

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: October 12, 2022

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O'Neil, AICP
Community Development Director

**SUBJECT: The Avalon
Preliminary site plan approval**
Property described as parcel number 12-20-101-003 (1085 Hill Road), located on the north side of Highland Road, west of Hill Road, consisting of approximately 68.96 acres. Property described as parcel number 12-20-126-006, located north of Highland Road, east of Hill Road, consisting of approximately 41.06 acres.

The rezoning requests were considered by the Planning Commission at its regular meeting of April 21, 2022 at which time the **Planning Commission recommended approval of the rezoning requests**. The preliminary site plan approval was considered by the Planning Commission at its regular meeting of July 7, 2022, at which time the **Planning Commission recommended approval of the preliminary site plan**. At the July 19, 2022 Township Board meeting, the rezoning requests were moved to second reading and the preliminary site plan was tabled. For reference, reviews of the latest submittal as well as the previous submittal are provided for comparison of the prior proposal to the current request. Please find enclosed the following related documents:

- ❑ Minutes from the July 19, 2022 Township Board meeting.
- ❑ Minutes from the July 7th, 2022 Planning Commission meeting.
- ❑ Review letters prepared by the Township Engineering Consultant, Mike Leuffgen, dated October 11, 2022, and May 25, 2022.
- ❑ Review letter prepared by DLZ Traffic Consultant, Leigh Merrill, dated June 15, 2022.
- ❑ Review letters prepared by the Township Staff Planner, Justin Quagliata, dated October 6, 2022, May 25, 2022 and April 13, 2022.
- ❑ Review letters prepared by White Lake Township Fire Chief, John Holland, dated October 11, 2022 and May 24, 2022.
- ❑ Preliminary site plan, elevations, and floor plans submitted by the applicant.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

CHARTER TOWNSHIP OF WHITE LAKE
Approved Minutes of the Regular Board of Trustees Meeting
July 19, 2022

Supervisor Kowall called the meeting to order at 7:00 p.m. He then led the Pledge of Allegiance.

Clerk Noble called the roll:

Present: Rik Kowall, Supervisor
 Anthony L. Noble, Clerk
 Mike Roman, Treasurer
 Scott Ruggles, Trustee
 Liz Smith, Trustee
 Andrea Voorheis, Trustee
 Michael Powell, Trustee

Also Present:

 Sean O’Neil, Community Development Director
 Nick Spencer, Building Official
 Aaron Potter, DPS Director
 Daniel T. Keller, Chief of Police
 John Holland, Fire Chief
 Lisa Hamameh, Township Attorney
 Michael Leuffgen, DLZ Engineering
 Jennifer Kelbert, Recording Secretary

PUBLIC COMMENT

William Thomas, 8180 High Pointe Trail, who is the Secretary for the Settler’s Point Association. He passed out a paperwork packet to each board member. He spoke of their special assessment a few years back and he expressed dissatisfaction with the work when the city took over redoing their retention ponds. He stated Johnson & Anderson was the engineering company at the time and TPS was the general contractor. He added that he could not explain the problem in 3 minutes, which is the reason why he has passed out the packet. They association would like the Board to read about it, think about it and get back to them. They would like them to be held accountable. He hopes they won’t have to take this any further.

John Newberry, 571 Lakeside Drive, a White Lake resident for 27 years. He states his property abuts office strips along M-59. He states right over his back fence there are currently 3 dumpsters. He spoke in opposition of the time the waste removal company is emptying the dumpsters at 4:30 AM-5:00 AM. He is hoping that something can be done about this.

Supervisor Kowall asked him if he had contacted the Planning Department or the Ordinance Officer about this? He stated he sent an email on July 5, 2022, but has not yet received a

response. Supervisor Kowall stated he will speak with the Planning Department and internal staff to look into his matter

CONSENT AGENDA

- A. REVENUE AND EXPENSES**
- B. CHECK DISBURSEMENTS**
- C. DEPARTMENT REPORT - POLICE**
- D. DEPARTMENT REPORT - FIRE**
- E. DEPARTMENT REPORT - COMMUNITY DEVELOPMENT**
- F. DEPARTMENT REPORT - TREASURER**

It was MOVED by Trustee Powell, SUPPORTED by Trustee Ruggles to approve the Consent Agenda. The motion PASSED by voice vote (7 yes votes).

PRESENTATIONS

A. CITIZENS LIFE SAVING AWARD

Chief Keller presented the Citizens Life Saving Award to William Coxen for his assistance at a serious injury traffic crash on October 19, 2021 involving a vehicle that lost control and drove into a lake. He noted that Mr. Coxen undoubtedly prevented a very bad tragedy by diving into the frigid waters of Pontiac Lake to save the two occupants.

B. SWEARING IN OF NEW POLICE OFFICER – NATALIE UHAZIE

Chief Keller introduced White Lake's newest police officer, Natalie Uhazie. He indicated that she came to White Lake Police Department by the way of Clerk Anthony Noble who administered Officer Uhazie's oath. Officer Uhazie's mother, Marianne pinned her badge

C. PROMOTION TO SERGEANT – THOMAS SARASIN

Chief Keller introduced Tom Sarasin and spoke of his accomplishments since becoming a White Lake Police Officer in 2013.

Chief Keller introduced Tom's wife Rainey who accompanied him as his oath was administered. She pinned his badge after Clerk Noble administered the oath of office.

D. PROMOTION TO LIEUTENANT - JEFFREY WAY

Chief Keller introduced Sergeant Jeff Way and spoke of his accomplishments since becoming a White Lake Police Officer in 2003.

Chief Keller introduced Jeff's daughter Lauren who pinned his badge after Clerk Noble administered the oath of office

Supervisor Kowall indicated he would like to take a moment to give a round of applause to Police Chief, Daniel Keller for his leadership

OLD BUSINESS

A. SECOND READING; 1392 SOUTH WILLIAMS LAKE ROAD REZONING

Director O'Neil stated this is the second reading on Williams Lake Road as required by state statute. The Planning Commission unanimously recommended approval of this request and he is also recommending adoption by the board. This property is located just adjacent to Weatherstone Condominiums off of Williams Lake Road, north of Cooley Lake Road. There is a single family home on this property now. It is currently zoned AG (Agricultural) and the request is to rezone to RM-1 which is multiple family residential which is both consistent with the master plan as well as with the surrounding property zoning.

Supervisor Kowall asked if anyone had any questions. He reminded the Board that there is not necessarily a site plan submitted for this. It will come before the Township at a later date. It is just going for a zoning change now.

Trustee Powell states this is the appropriate rezoning request for this property. It is surrounded by like rezoning; therefore, he motions to approve it as presented.

It was MOVED by Trustee Powell, SUPPORTED by Trustee Voorheis to approve the rezoning from AG to RM-1 as presented. The motion PASSED by voice vote (7 yes votes).

B. SECOND READING; COMFORT CARE REZONING

Director O'Neil stated this is similar to the action just taken above. This is the second reading of a rezoning request. This one is attached to a site plan. The Comfort Care facility is located off of Union Lake Road, right across the street from Independence Village. It is on 8.7 acres. It was granted preliminary site plan approval last month at the time of the first reading. It is on a long and shallow parcel on the southwest side of Union Lake Road across from Independence Village. It is a pretty straightforward request. The Board did approve the site plan with some conditions. One of the conditions was to collaborate with the adjacent development in order to deal with both stormwater and access. They are still working away at that right now. He was exchanging emails and phone calls with them today. The Planning Commission's recommendation is to rezone this property from local business to plan development.

Trustee Powell asked if they do not rezone it to PD (Plan Development), what rezoning would this use fit in in White Lake?

Director O'Neil answered this particular use would traditionally be an RM-1 or an RM-2 type rezoning – a multiple family type rezoning. PD does allow for multiple families. They felt this was the most prudent way to go because of the odd shape of the parcel. The PD gives flexibility to both the applicant and the Township.

Trustee Powell agreed with this. He also stated they have another PD request later on down the agenda. He would like to point out to the Board that if they were to rezone this to multiple, then it would require them to go to the Zoning Board of Appeals for a number of variances that can get pretty complicated. PD allows this Board and the Planning Commission to shape all of the waivers and variances into the overall site plan without having to go to the ZBA. He wanted to point out that the waivers they are looking for are the front and rear yard setback along Union Lake Road and then the rear yard setback. He also stated that he is not sure why, but this use requires three separate loading zones. He further stated that by going to PD we are granting them and we are agreeing that three loading zones are not necessary.

It was MOVED by Trustee Ruggles, SUPPORTED by Trustee Powell to approve the Second Reading; Comfort Care Rezoning. The motion PASSED by voice vote (7 yes votes).

C. DANGEROUS BUILDING – REVISIT DEMOLITION ORDER – 9910 HIGHLAND ROAD

Nick Spencer stated that before the Board tonight is the demolition order of 9910 Highland Road. He reminded the Board of the past September's Board meeting, where the demolition order was revoked. He stated that the project is still unfinished and that this has gone before the dangerous building officer twice at this point. He is requesting the Board to reverse the decision back to the original request.

Supervisor Kowall interjected asking if he was asking for the decision to uphold the dangerous building officer's decision?

Attorney Hamameh believed that the Board already modified the decision of the dangerous building officer.

Official Spencer stated that was correct.

Supervisor Kowall stated they will modify it again.

Treasurer Roman stated that some issues have come to him very recently that involve legal issues with this decision today. He further stated they are going to need to consult with their

attorney on those issues and because of that he wants to ask the Board, in fact, he is going to make a motion to table this until the next board meeting in August.

Trustee Powell interjected that if somebody does a second motion, then they can't talk about it. He asked if there was any way to elaborate on that more?

Treasurer Roman stated he would ask counsel for her opinion.

Attorney Hamameh stated she has some concerns in that the Board already modified the decision of the dangerous building hearing officer when he concluded it was a dangerous building and must come down.

Trustee Powell stated the Board did not modify his decision that it was a dangerous building, but just gave them additional time before it was demolished.

Attorney Hamameh continued that the Board decided it wasn't a dangerous building and therefore allowed him to repair it. She further stated that if it were a dangerous building, they would have ordered it demolished.

Trustee Ruggles stated they all still agreed it was dangerous.

Trustee Powell agreed about its current state, but it didn't mean that it couldn't be repaired.

Attorney Hamameh stated that was fine, but without a show cause hearing, without an opportunity, the Board is just going to reverse a decision of the previous Board to reinstate a previous decision of a dangerous building hearing officer from 1 ½ to 2 years ago?

Trustee Ruggles stated they were going to say the conditions have not been met.

Attorney Hamameh stated she just has concerns with this.

Trustee Powell stated if this gets delayed, it will be delayed more than it has already been delayed. If we were to reverse our previous decision, they still have the ability to hire an attorney and sue the township anyway.

Attorney Hamameh stated that what she is trying to say is she would like the opportunity to talk about the issues as the attorney and not in a public forum.

Trustee Powell said that he appreciated that. He knows that she hasn't, but he has talked to the neighbors. They are embarrassed that six years have gone by and they have seen this home in worse shape now than it was right after the fire. It was quite unacceptable to the neighbors and it is unacceptable to him. He is one that hates to see things torn down, if it's not necessary. They have proven to him that it is necessary because they are not going to perform.

Supervisor Kowall stated they are not capable of performing.

Trustee Powell further stated that this board warned them that if they gave them eight months, they might have more money put into it, but that was not going to be a reason for the Board to extend it. He is just a little concerned about a technicality to delay a re-motion or reaffirming that they did not comply with the last motion.

Supervisor Kowall asked if anyone here is representing the project?

A member of the audience stated “yes”.

Trustee Ruggles stated he does not want this to go on for another second.

Treasurer Roman stated if there is a legal question as to the process, he felt they should get the process right.

Trustee Powell responded that the Board could make a motion to put the applicant on notice that they have made a motion and that action is going to occur.

Supervisor Kowall concurred with his colleague. He shared that as the legal representative of the Township – outside of the Township attorney, that they do need to make sure that they are in the legal confines.

Trustee Powell asked what the downside is if they make a motion? He also stated their attorney should be able to tell them that.

Attorney Hamameh stated she can't even tell them because she really has to analyze what they've done to get here and she has to research. She further stated she wanted time so that she could provide the Board with a legal opinion about their risks and liabilities so they can make that decision.

Trustee Powell interjected that he was not trying to be argumentative, but this has been on the table for eight months now.

Trustee Smith commented that this has been on the agenda was published a week ago.

Attorney Hamameh stated she did not receive all of the information for the property. She contacted the building department as soon as she saw it on the agenda last Thursday. She stated she got it on Monday – yesterday – preventing her from being able to and has way too much on her plate right now to have been able to react, read the materials, do the research and write a legal opinion to provide it at today's meeting.

Attorney Hamameh further commented that she is only expressing that she has concerns with the process. Usually, you go through the dangerous building hearing process, you get an order from the dangerous building hearing officer, you either modify it or you approve it or you deny it. This is a little bit different how it was handled and so now to go back and reverse that decision? She wanted to take a look at that, but obviously it's the Board's decision.

Clerk Noble agreed that Attorney Hamameh would have not had time to research this. We reversed it a year ago. It's been a year, so I concur with the Board, but that's not enough time to put on counsel. She is busy because we all reach out to her; we should give her that time. He felt giving her until the next board meeting would give her ample time to do such and keep us out of the woods.

Trustee Powell replied that in the meantime, the owner spends more money, he hires more workers, does even more work, he goes that much further and then what?

Clerk Noble questioned if the legality of a Board action at this point?

Trustee Powell responded he felt the Board could still do what it feels is right. And that our counsel is responsible to defend our actions and give us guidance, but we can still do what this Board feels is right to do. He recommends a vote and then take it from there.

Trustee Voorheis asked for clarification about tabling this issue tonight and if that is just giving them more time?

Trustee Powell responded that was correct.

Trustee Voorheis would like clarification on what a "yes" vote means and what a "no" vote means?

Supervisor Kowall responded a "yes" vote would be giving Attorney Hamameh time to research the information, that's what it all boils down to.

Trustee Ruggles asked if in the meantime if there was a stop work order on this?

Official Spencer responded there has not been a stop work order.

Trustee Smith questioned if there could be?

Clerk Noble stated they hadn't even started yet.

Nick Spencer replied they have not started yet, but they have a permit, so technically. They've started removing materials.

Clerk Noble asked if they could put a stop work order until this is resolved?

Nick Spencer stated he could.

Supervisor Kowall stated he would like to hear from the property owner/representatives. He asked them to come forward and identify themselves.

Stephen Hutch, 9910 Highland Road spoke to the Board and indicated the many challenges that

have occurred. He apologized and indicated that he limited on what he can say for legal reasons.

Supervisor Kowall thanked Stephen Hutch.

Treasurer Roman responded that his motion was to table this until the next meeting. A “yes” vote would give our attorney some time to research it and then get back with the Board about the process.

Trustee Powell interjected that there’s no discussion on tabling the motion.

Trustee Voorheis asked if it could be added to Thursday?

Supervisor Kowall stated we will determine when it can be added.

Treasurer Roman stated he didn’t know if our attorney can do the research by Thursday.

Supervisor Kowall interjected it will be on the agenda of the next regular meeting as long as counsel is prepared.

Treasurer Roman wanted to clarify that it would be the next regular meeting meaning at the August board meeting?

Supervisor Kowall stated that was correct.

It was MOVED by Treasurer Roman, SUPPORTED by Supervisor Kowall to motion to table the motion until the next regular board meeting in August. The motion FAILED by roll call vote: Smith/no, Ruggles/no, Noble/yes, Kowall/yes, Roman/yes, Powell/no, Voorheis/no

Trustee Powell commented that the neighbors he talked to today think that this Board is a laughing stock because they’ve been living next to a burnout for six years. He further commented that they haven’t been able to do their job. He promised him that he would do his part in supporting the wishes of the residents to finally have that home be torn down. This is the reason why he spoke so boldly on this. He would like to make another motion.

Supervisor Kowall told him to feel free to make another motion.

Trustee Ruggles asked him what motion was he thinking?

Trustee Powell responded he was thinking of reversing our previous – no – a finding of the terms and conditions of our last motion were not met and therefore we reinstate the request for the demolition of the building.

It was MOVED by Trustee Powell, SUPPORTED by Trustee Ruggles to motion to reinstate the previous request for the demolition of the building. The motion PASSED by roll call

vote (Ruggles/yes, Powell/yes, Roman/no, Kowall/no, Noble/no, Voorheis/yes, Smith/yes).

Supervisor Kowall stated he would be in touch with Nick Spencer and they can have a discussion.

NEW BUSINESS

A. REQUEST TO PURCHASE NEW PHONE RECORDING SYSTEM FOR POLICE DEPARTMENT

Chief Keller stated that he brought Lt. Matthew Ivory with him because he did the in depth research on the new phone and radio recording equipment that they need to purchase. This is one of those things, they have been trying to put off until they were hopefully in their new building, but unfortunately, their old system has come to an end.

Lt. Ivory presented to the Board a summary of how the Public Safety phone, 911 and radio transmissions are recorded. He spoke of the current operating system which is Windows 7. He indicated the is antiquated, outdated technology that is now showing signs of failure so much so that they had to implement a policy to manually check the system every single week because they had a previous issue where it was discovered the system failed to record for two weeks and the department was not aware of it. The system is so outdated that remote support is no longer available. He recommended Equature which is the same single public safety answering point (PSAP) used by all of Oakland County including the Oakland County Central Dispatching Center which is one of our default backup centers.

Supervisor Kowall stated unfortunately as the technology changes, you struggle to keep up and this is just a classic case.

Chief Keller stated the fire department's going to share in some of the costs of this program. He thinks approximately \$4,000 of the equipment will come from the fire department. He is requesting \$42,530.85 for the Equature system which will be taken out of drug forfeiture.

Supervisor Kowall asked him what the police department total would be?

Chief Keller responded it would be \$42,530.85. And again, the fire department will take \$3,465 of that.

Trustee Voorheis clarified it would be fully functional in 4 to 6 weeks if we approve it tonight?

Chief Keller responded that it would be fully functional at that time.

Lt. Ivory added that it's all cloud-based. It's all a Microsoft Azure cloud based system. So, anything that happened maintenance wise is their problem to take care of and part of this cost is the annual maintenance agreement. He further stated with it being a cloud-based system, there is equipment in-house but probably 90% of it is all servers on their end. If there is a problem,

somebody sitting at their kitchen table remotely fixes it. If they can't then they send out techs from this area, not down in Ohio.

Trustee Voorheis asks about the longevity of this, how long approximately?

Lt. Ivory further stated that the maintenance contract covers 5 years, but anything that's cloud-based – it's going to be updated. With the in-house system – Windows 7 doesn't even have updates anymore. There will be issues along the way – like all computers have issues, but he anticipates they will potentially be using this long into the use of a new building.

Chief Keller added they are going to stretch it like we stretch everything else until it's at capacity.

Trustee Voorheis asked approximately – ballpark – like 5-10 years?

Chief Keller stated he was thinking 5 to 8 years – 5 years minimum, but would assume 8 years when it starts to transfer into a new system.

Trustee Smith asked if they could clarify the figure because it doesn't match any of the figures that they have in the Board packet. She also asked if it would be up to \$42,000?

Chief Keller stated the number – because they get a break if they pay for the 5 year warranty. They would also get a break of 10% if they pay for it all at once instead of breaking up into years.

Trustee Powell asked Lt. Ivory how will this new system operate? He knows with the cameras they have sometimes you have to take a thumb drive from what the officer's camera produces, you need to put it into a computer, you need to send it out or it could be done wirelessly by just entering the area here and by wi-fi it just goes to the cloud. Is the system updated to the wi-fi download or do you have to do it manually?

Lt. Ivory replied that it's all done through the VOIP system – through the existing phone lines that they have or are getting now, as well as all of their radio systems, it's all integrated. It is up to the second recording. One of the things they actually threw in for us was quality assurance, so we can actually monitor our dispatchers to make sure they are doing a quality job which is what we do now. It's just a lot more tedious. When a call is received, as soon as that call is disconnected, any supervisor can log into this system on their terminal anywhere really as long as they have their own passcode. Then they can listen to the phone call that was just received. It's all sent and recorded through the internet, through the fiber optics up to their servers.

Trustee Powell commented that the officer doesn't have to do anything manually in order for his camera and his in-car cams would automatically download through the software? They don't have to do anything manually?

Lt. Ivory replied the camera system is completely separate from this – this is all telephone and

radio traffic.

Trustee Smith asked if the camera is separate like when they drive into the parking lot, it uploads?

Lt. Ivory answered yes, that is already in place.

Supervisor Kowall asked if there was anything else from the Board?

It was MOVED by Clerk Noble, SUPPORTED by Trustee Smith to approve the request to purchase a new phone recording system from Equature for the police department up to \$43,000 as presented. The motion PASSED by voice vote (7 yes votes).

Chief Keller thanked the Board.

B. CONSIDERATION OF PRELIMINARY SITE PLAN APPROVAL – AVALON

Director O'Neil stated the next two items on the agenda both pertain to the same project known as Avalon. It is located at Hill Road and M-59 on the northwest corner. This is a project that is comprised of 2 parcels that total approximately 110 acres in size. The request for tonight is for rezoning 2 parcels, which is zoned both AG & PD that is on the west side of Hill Road and the property on the east side of Hill Road is currently zoned R1A. Both of the applicants are requesting these projects be rezoned to PD and that is one site plan that will pull both of these properties into one project for a request for approval.

Director O'Neil further stated that on April 21st, the Planning Commission recommended approval of the rezoning request. At that time, they denied that request for site plan approval and gave the applicants some direction. The applicants came back & at the July 7th meeting and obtained a recommendation for approval from the Planning Commission and that plan is before you tonight.

Director O'Neil stated it is a very large project and explained some of the details. He indicated that the applicants are here and prepared to make a presentation tonight. He summarized the request tonight is for preliminary site plan approval and then first reading of the rezoning from AG and PD on the westside and then R1A on the eastside of Hill Road to PD (Planned Development).

Director O'Neil added that these projects will be on our Township utilities and the water and sewer will be extended down Hill Road and across the M-59 frontage. Hill Road will be paved to nearly the most northern extent of their property. They don't know the exact configuration but a traffic light will need to be installed at a location to be determined on M-59. They are working with the Department of Transportation. The applicant is also proposing a \$100,000 contribution to the park fund.

Trustee Powell stated that it would probably take 15 pages of variances for the ZBA to consider each one individually but if rezoned to PD, it can be done based upon the guidance from this Board as to what we want the development to look like or to simulate.

Trustee Powell also stated that he is a major fan of cluster options and open spaced plans. He stated he thinks that they are a win-win. The problem is most developers think of it only as one-sided. They want to win with extra density because they see every unit as extra dollars in their pocket. Rarely do they see a win for the Township, unless they are forced into it. This developer that's before us tonight, he can't say enough good about them. They are very astute. However, they are developers and they're in this to make money. They're not doing this to better White Lake Township, otherwise they'd be gone and we'd be dealing with another entity. It's up to us to make sure that White Lake Township is represented properly and not just the developer.

He submitted to the applicant and this Board that the parallel plan that was submitted on both sides of this road, both the single family and the multiple cannot be built as presented. This Township would vote against approving that if they were to submit it right now for approval. It doesn't meet the requirements of the ordinance so it really can't be approved without variances being obtained. He further commented that the Township would not allow them to fill in all the wetlands and they must get site plan approval from the Township first. He is a major fan of that rezoning. However, the density and the base plans need to be relooked at and evaluated more than what they are. He further stated he would be considering tabling the site plan but moving forward with the rezoning.

Director O'Neil offered the Board additional background on the zoning portion.

Supervisor Kowall asked if there were any other comments from the board?

Trustee Voorheis stated she has had multiple people reach out to her and absolutely say lessen the density. She loved the idea of the bigger setbacks. She does realize it's M-59, but she does want to attempt to retain the rural atmosphere. She further stated that she is all about tabling this. But also improving the rezoning. She suggested having them go back to the drawing board and give us more like that rural feeling in rural White Lake.

Trustee Smith concurred with Trustee Powell. She liked the ideas of the setback as well. She thinks that will be palpable to our community and fit in better to have it set backed and bermed. She would prefer the RM1 zoning instead of RM2. She understands the explanation but would prefer the less density. She is in favor of tabling it, working on it, making the changes that Mr. Powell spoke of tonight and bringing it back to the Board.

Trustee Powell pointed out that if we move the rezoning forward, the first reading that doesn't set the density in place, remember the density is tied to the site plan. I think we're safe if we table the site plan tonight and but move forward with the rezoning to PD to both sides.

Supervisor Kowall commented it does allow the Township some tools in the toolbox. Mr.

Powell is absolutely correct. This is a very ambitious project for White Lake Township. He agreed with Mr. Powell that the RM2 and the R1D in the PD are appropriate. He is a fan of the larger setbacks. He further stated the rural integrity here is a constant tightrope walk and we are always trying to make sure that the residents know that we're trying to do our best to look out for their interest and the impact it's going to have on the community. The addition of a light will actually be welcome in that area that would be helpful down there. He also thinks consideration should be given to moving the zoning change forward and tabling the site plan for further consideration.

Director O'Neil stated he wanted to make sure the applicants had a chance to ask any questions, so they could take direction. He knows that there were concerns and we had discussed them regarding the underlying parallel plan. It needed to be modified to better match the requirements of the ordinance

Supervisor Kowall commented he was going to ask the applicant if they'd like to come forward and give a little outline of what your thought process is.

Trustee Ruggles stated when the Planning Commission first looked at the lot sizes, they knew they were below the recommendation of staff; 70 feet wide was the recommendation a lot of these are in 60's, but the reason for that is allows them to work around the wetland and once we understood that then we all agreed with that idea that the wetlands wouldn't be disturbed where on that parallel plan not that they'd be able to accomplish it, but it shows them filling in all the wetland, so we would prefer that they worked around it, so that's one reason that the planning commission was okay with the way it was presented.

Supervisor Kowall asked if he was talking about the east side of the road.

Trustee Ruggles replied it was the eastside single family homes, correct.

Supervisor Kowall asked the applicants if they cared to present or anything they would like to discuss?

James Galbraith introduced himself and his colleague Mark Kasab. He stated he thinks they've got clarity from the Board this evening as to how we should look at refining the parallel plan. He stated they will dive deeper into the plan they hope to bring forth. He also stated they made some adjustments to it along the way, but there's still room for some improvement. They are very sensitive to the buffering of the community, not only to the neighbors to the north, which we've already done a significant improvement to the plan but also to the frontage along M-59. He further stated it's to their benefit as well and we can do the same along Hill Road. He said they pride themselves on our communities.

He said they look forward to working with this Board and we'll refine this plan, exchange it with staff and continue to value your input. They also would support the idea of the site plan being tabled for further study, if they could advance the zoning along from the first reading to the

second reading. He stated that would be appreciated in the process. He concluded by asking if anyone had questions for him.

Supervisor Kowall asked if there were any questions from the staff? (No questions at this time.) He stated he certainly appreciated them looking at White Lake as an opportunity for their business as well as the growth of our community.

James Galbraith commented they've had a long history with this parcel. They've owned it for about 16 or 18 years. He thinks several people recognized that they first acquired this property with the thought of doing retail on the frontage. He stated they had high hopes of another box store or a village. They've done box retail such as Target and Costco. He said Target and Costco didn't come to the market and almost every retailer they talked to after they acquired it wanted to be east of Meijer closer to Waterford. He further stated they've seen retailing change dramatically with e-commerce. They also considered the possibility of holding out a small corner of the parcel for retail. After seeing some of the struggles some of the other landlords are having along this corridor, they decided it would be better served as a first-class residential community.

Trustee Smith stated she was comfortable with everything that they have spoken about tonight. But she's still interested in the RM1 zoning. They are at it now anyway, so she asked if they could incorporate that in their motion?

Trustee Powell replied the reason why RM1 will put a little more burden on them is because in the parallel plan, the setbacks are larger between buildings, so the overall density is not able to be obtained on the parallel plan. He further stated he has no problem making that motion because it falls in line with a little bit more with the White Lake Township area.

Supervisor Kowall asked if there was anybody in the audience that would like to speak on this matter? (No public)

Trustee Smith asked Director O'Neil if he was comfortable with the parallel plan on the westside?

Director O'Neil explained in detail the specifics of the zoning ordinance and how related to the master plan and the zoning density.

Trustee Smith stated she was cautious because with another developer that we've dealt with we thought we were all on the same page. She added she would like to be conservative, a little bit more cautious to get closer to what we actually are hoping for instead of giving them a long leash to run with and they take the whole thing.

Clerk Noble this developer has a long track record within multiple communities including Novi and Commerce.

Trustee Powell stated he is in agreement with Director O'Neil.

Trustee Smith commented she will give this developer the benefit of the doubt. She understands their explanation and would be ok with RM2 for those reasons stated. She further stated she just hopes that they're much closer to our idea.

Supervisor Kowall replied that we get the final say and that's submitted to this Board as part of their PD agreement. He stated he was ready to move this along.

Trustee Powell said he will take the motions separately.

It was MOVED by Trustee Powell, SUPPORTED by Supervisor Kowall to approve the first reading and moving along to the second reading for the rezoning from AG and R1A to PD as presented. The motion PASSED by voice vote (7 yes votes).

Supervisor Kowall stated that the rezoning will go forward to the second reading.

It was MOVED by Trustee Powell, SUPPORTED by Clerk Noble to table the consideration of the preliminary site plan approval known as Avalon until the applicant has submitted a revised parallel plan and most probably a revised PD plan that our staff and consultants can review and bring back before this board. The motion PASSED by voice vote (7 yes votes).

D. REQUEST TO APPROVE PERFORMANCE GUARANTEE AGREEMENT – CARTER'S PLUMBING

Director O'Neil stated that Carter's Plumbing has moved into the old Amcomm building that was previously Oscar Larson. There have been a few big users of this property over the last few years. CAMQ properties, LLC is the actual owner and the address is 10431 Highland Road. Carter's Plumbing is the new soon-to-be occupant. All of the following information can be found in your packet. In April of this year, the Township was made aware of unpermitted construction activity within the building. Official Spencer went down and let them know that they were required to obtain permits to do the current work or the work that they were undertaking. On June 9th, Aaron Potter was there to witness some excavation of the ground and installation of a storm water system. It was an issue because there were some restrictive covenants that were attached to that property. In 2015, Oscar Larson (previous owner) and EGLE had entered into an agreement which prohibits this kind of excavation. They got on the phone with EGLE. They were able to quickly have a meeting with them and the applicants to kind of outline some of our concerns. It very quickly came up that they were willing to restore what they had disturbed and we were willing to let them do that, but there was a process. We needed a site plan and they had asked to simply be able to gravel the parking lot. The zoning ordinance doesn't allow the parking lots in commercial buildings to just be graveled. A residential driveway could be graveled, non-residential sites cannot use gravel. We let them know that they would have to pave back the area that they had removed. But again, it would require site plan approval. It

would address stormwater, all the other requirements of the zoning ordinance and that the extra layer was having EGLE involved because of the restrictive covenants. We weren't comfortable with approving anything without EGLE because that's really out of our jurisdiction.

Supervisor Kowall stated we don't have the authority.

Director O'Neil stated they've had good response, as has the applicant. They've been available to discuss and meet. So truly tonight before you is to approve a performance guarantee which is really outside the norm but it could potentially allow this applicant to get a temporary certificate of occupancy and run their business out of this site. But they are requesting some time in exchange for this performance guarantee and temporary certificate of occupancy to get a plan together. They've contracted with Kieft Engineering – who you know does quite a bit of work in the Township and we're certainly comfortable working with them. But there's some lead time and the applicant can probably address some of that. He further stated a lot of it is outlined here so at this point they don't have any objection to the Board approving this. He asked if they would approve it – they do it with conditions. They are asking that you prescribe a period of time within which the improvements must be completed. They also will need a clean certificate of insurance which was provided tonight. The area they want to gravel if you're looking at the aerial is basically right here. Some landscaping has been removed. There are some other things that are going to need to be a part of their plan going forward but primarily the big issue tonight is the request to gravel this area until they can pave it out which will require a plan. That was just a very brief synopsis. He would be happy to answer your questions.

Supervisor Kowall asked if in this process they are going to have to make an application to EGLE as part of their site plan and a part of their engineering plan?

Director O'Neil replied EGLE will be involved as a reviewer on the plan. He doesn't know that they'll necessarily make an application. EGLE is going to require them to meet all of our requirements.

Supervisor Kowall asked if EGLE made or gave any inclination that there may be some remediation necessary?

Director O'Neil responded that he was going to let Aaron Potter answer this because he's had some conversations with them,

Aaron Potter stated the majority of the remediation of this contamination was already completed by Oscar Larson.

Attorney Hamameh offered to answer and advised that when we were talking to EGLE, we did confirm that EGLE was going to go out and take samples to ensure that the plume has not migrated any further requiring any additional remediation.

Aaron Potter stated when they met with EGLE out on the site, they did mention that probably

one of the requirements that they'd be looking at would be a shallow monitoring well in the area around the outlet into the storm drain exiting the property.

Supervisor Kowall asked Mr. Leuffgen in his experience with EGLE, what's their turnaround time on things like this?

Mike Leuffgen replied It can historically take a long time to get a response. He's quite optimistic in this case because they came out so quickly. They were able to get a meeting with them within 2-3 days. They've been very responsive on this item so far, but depending on the priority of the project and how it ranks with whatever else they're dealing with, it could take a while.

Supervisor Kowall asked if we are talking about several months?

Mike Leuffgen replied he wouldn't say that long. He doesn't think you're dealing with anything too complicated here because a lot of the remediation had happened previously.

Supervisor Kowall commented his concern is that if they decide to come out and put a shallow monitoring well in but get results they don't like, will they come back and say we are going to have to come up with a remediation plan? It just kind of pushes the whole thing out so we have an unknown there at this point. We don't really have all that historical data nor do we have in the township the expertise to deal with that and that is the state's wheelhouse so to speak.

Mike Leuffgen stated they don't really have the authority to deal with it as well.

Supervisor Kowall replied he doesn't want to give them an unrealistic timeline because of potential problems He further stated that his own personal experiences with MDNR was that it took forever to get some of the permitting done. It took an excessive amount of time, so he didn't want to give them an unrealistic time frame. He wanted an opinion from the professionals here versus the Board's opinion

Trustee Powell commented he thinks you are thinking correctly and the guidance from our engineer and our DPS director is the same. He went through this exact same issue for the Village of Wolverine Lake. They had an underground storage tank leak and the first thing when the DNR/DEQ/EGLE comes in is you must eliminate all pollution. That's their first stand – eliminate it all. When you can't eliminate it all, you clean it the best you can. There are commercial standards and residential standards. Depending on how clean you've made it, they then allow you to encapsulate it. The thought is that natural bacteria would eventually dissolve it if it just stayed in place and not moved. The problem is when they opened it up, now rain water falls in that and now you're mounting the groundwater which is going to carry that with it EGLE could say no now we're getting into residential areas now you're contaminating off-site, so all we can do is best we can do and make it subject to a timeframe and EGLE approval.

Trustee Ruggles replied he agreed with that.

Director O'Neil stated just to be clear, what they're requesting and what this agreement is supposed to provide for is they want to be able to occupy this building but prior to completing the following items: submission of an engineered site plan for the parking lot which includes the layout design and design and construction including paving storm water drainage water drainage, wetland protection, landscaping and screening and fencing and those all have to be subject to township and Eagle requirements. Connection of municipal sanitary sewer system which they're going through the process of doing that with Aaron now and then compliance with the township's code of ordinances, zoning ordinance, the restrictive covenants that we've talked about and other applicable law. They still have to comply with all of those things in order to be compliant with the action they're requesting that you take tonight which is to hold a hundred thousand dollar cash bond, give them a temporary certificate of occupancy for whatever period you prescribed and they understand that if they do not comply or they should understand and we can talk to them about it is they'll be in violation of all of that and there will be certain actions that we may have to take and in the process if EGLE finds that circumstances have changed as a result of some of this work – things that we aren't aware of now may happen.

Supervisor Kowall commented that's why he doesn't want to tie their hands with an unrealistic time frame. It's just not practical. You and I have both had bad experiences with bad sites and you just don't know what's going to rear its ugly head.

Trustee Ruggles stated he would say that what Director O'Neil just described as at least 4 months, by the time Kieft sends their guys out, draw it up and review it that puts them into winter. Then we're going to do some paving, so we're into next May/June. It's July now, I'm not sure if 12 months is long enough.

Supervisor Kowall replied he almost concurred with this only because we have this can where the lid is cracked and when it gets popped off we're not quite sure what's in it. We don't want to keep your money. We want you to be there, we want you to be finished, we want it done, but I don't think an 18 month window is an unrealistic window to request this be done in and understand that your certificate of occupancy would be and will be in jeopardy if this is not met within this timeframe

Trustee Smith expressed her extreme dissatisfaction with the way Township staff were treated through this process. She added that this was nothing more than a case of "I'm going to do it and ask for forgiveness later." This is a licensed plumber that knows better. He knows that you pull permits, he knows that we have policies, ordinances, regulations and he did not follow any of ours and went full steam ahead. She further stated he did whatever he wanted and hoped this Board would clean up the mess. She would like to hear why the Huron Water River Shed was disturbed by putting in storm drains prior to the sale. She stated she has a lot of questions for him, so she wants to hear from him directly and to help the Board understand if this was done intentionally with the hope for forgiveness afterward. She is not ok with that.

John Little, Attorney representing Matt Carter. He also introduced Casey Leach, a representative from Kieft Engineering. He stated he has graciously come here so he can answer any questions

about the timeline. He agreed this was self-induced and indicated that this was their fault, but it wasn't intentional, premeditated – it was ignorance. He further explained that this was the first time that Carter's Plumbing has been involved in purchasing a commercial building.

He addressed the Board at length and offered that they are here tonight asking for this performance agreement and are willing to pay a \$100,000 cash bond as part of an amends. He is asking the Board to give them the opportunity to make full amends for the mistakes they have made. He confirmed that they are good genuine people and will be an important part of your community. He indicated that Matt is here and they are willing to answer any questions.

Supervisor Kowall asked if any members of the board had any questions for them?

Trustee Smith stated she would like an explanation of what he is doing there. What is the plan for this and why did he put in storm drains and dig down into the Huron River Water Shed?

Matt Carter, 10431 Highland Road, stated that he didn't think he was doing anything wrong at the time. He does a lot of residential plumbing – he's been doing residential his entire life. When they do storm drains for residential use, permits are not required. He is used to that and believed this was the same with a commercial building, but he was wrong. He learned that the hard way. He wants to make it right. He promised whatever they say they're going to do together is going to get done and it's going to get done right. That's all he can do. But he didn't think he was doing anything that tremendously wrong as an honest man.

Trustee Smith stated she appreciated his apology, but it's just not true. She showed him the covenant that he had upon the sale

It was MOVED by Treasurer Roman, SUPPORTED by Supervisor Kowall to approve the performance guarantee agreement for Carter's Plumbing with the amendments to include a \$100,000 cash performance bond with a time limit added to this agreement of 18 months to complete. The motion PASSED by voice vote (6 yes votes, 1 no vote).

**E. RESOLUTION #22-024; WHITE LAKE TOWNSHIP TENTATIVELY
DECLARING ITS INTENTION TO ESTABLISH A SPECIAL ASSESSMENT
DISTRICT TO BE KNOWN AS EMERGENCY SEWER HOOK-UP 2022-02**

Supervisor Kowall asked if there were any questions or comments about this?

Trustee Powell would like to make a motion to approve this.

It was MOVED by Trustee Powell, SUPPORTED by Trustee Roman to approve resolution #22-024; While Lake Township tentatively declaring its intent to establish a special assessment district to be known as emergency sewer hook-up 2022-02. The motion PASSED by voice vote (7 yes votes).

**F. REQUEST FOR ONE YEAR EXTENSION FOR PEERLESS MIDWEST -
WELL MAINTENANCE CONTRACT**

Aaron Potter stated the Township executed a contract with Peerless Midwest in 2008. They extended Oakland County contract pricing to White Lake Township. This contract has expired. Oakland County has just extended their contract with Peerless Midwest. He is requesting the Township board to approve our contract with Peerless Midwest

Trustee Powell stated he didn't have any questions because it was pretty straightforward

Trustee Ruggles asked if one year was the most they would do?

Aaron Potter responded that he didn't even ask that question because Oakland County only extended their contract for one year.

Trustee Ruggles further commented whether their pricing wasn't going to go up.

Supervisor Kowall commented that Oakland County has only extended their contract for a year, which means they are giving us the Oakland County price. In one year, they may not extend Oakland County's agreement. Then they may not extend the same pricing and it could be restructured. He felt they should wait to see at that time where it's all going to fall. He doesn't think they are going to want to lose Oakland County.

It was MOVED by Trustee Ruggles, SUPPORTED by Supervisor Kowall to approve the request for a one year extension for Peerless Midwest Well Maintenance contract not to exceed \$100,000.00. The motion PASSED by voice vote (7 yes votes).

G. FIRST READING; FEE ORDINANCE AMENDMENT - ORD #129

Supervisor Kowall asked if there was anything that needed to be added to this amendment? He also stated that he appreciated Trustee Roman's explanation about this earlier regarding putting "maximum permitted by law" because that could go any which way. They could decide they don't allow us to charge anything anymore for canceled checks when they feel in a generous mood in Lansing. He feels the language is appropriate. They only need to consult with counsel or the State of Michigan to find out what that fee is at the time. He asked if there were any questions from the Board?

It was MOVED by Supervisor Kowall, SUPPORTED by Clerk Noble to move to the second reading; the fee ordinance amendment – Ordinance #129. The motion passed by voice vote (7 yes votes).

**H. RESOLUTION #22-025; TO APPROVE THE PURCHASE OF TAX
FORECLOSED PROPERTIES FROM OAKLAND COUNTY -
GALE ISLAND**

Treasurer Roman stated these are the Gale Island lots that the Township sunk about \$152,000 to \$153,000 to tear down and clean up the mess. Those properties were all tax-foreclosed by Oakland County. White Lake Township has the first right of refusal to pick those lots up. He commented to keep in mind that the Township has already put about \$153,000 into this. The total cost to purchase them comes to \$281,240.62 of which we will get our \$153,000 back. Essentially the Township will spend another roughly \$130,000 to control these lots. He further stated just so the Board knows, the law has changed recently. In the past when the Township picked up tax foreclosed lots, we were not allowed to profit on those lots. The profit had to go back over to Oakland County. That law has now changed to where if the Township did profit on some of the lots, then that money stays with the Township.

Clerk Noble asked if what Treasurer Roman was initially saying was that since the law changed, we could sell for a profit?

Treasurer Roman responded that interestingly enough, if you look at the lots, in his humble opinion some of them they are paying too much for, but for others they aren't paying enough. That is just the way the tax law works. This new law protects us.

Supervisor Kowall stated that his office has been contacted by individuals that are interested in purchasing those lots – multiple individuals.

Trustee Powell asked if they had to go out for public bid on those?

Supervisor Kowall responded they could consult with their attorney with the process. In the meantime, this opportunity should not go past us. This was initially the thought process when the Board saw good reason to demolish the buildings and most of them were sitting on the ground anyway. It was one of those cases that was so expensive being on an island because from a logistical standpoint it was extremely difficult.

Treasurer Roman responded to Trustee Powell's comment stating they were going to have to put their heads together on this situation because do you go out to bid leaving the parcels as they are or do you possibly optimize them? There's some strategy that will have to be put together.

Trustee Powell stated they could split and recombine them into first class buildings.

Treasurer Roman stated he has talked to the new Township assessor and he told him that it would be much easier to combine lots than to split them.

Supervisor Kowall asked if there were any further questions or comments?

It was MOVED by Treasurer Roman, SUPPORTED by Supervisor Kowall to approve Resolution #22-025 to give permission to spend \$281,240.62 out of the general fund to purchase the tax foreclosed properties from Oakland County - Gale Island. The motion PASSED by roll call vote (Noble/yes, Smith/yes, Ruggles/yes, Roman/yes, Voorheis/yes, Kowall/yes).

CLOSED SESSION

APPROVAL TO RECESS INTO CLOSED SESSION TO CONSIDER ATTORNEY/CLIENT PRIVILEGED COMMUNICATIONS, IN ACCORDANCE WITH MCL 15.268 (1)(h)

I. REQUEST TO APPROVE AMENDED EMPLOYMENT AGREEMENT - AARON POTTER

It was MOVED by Supervisor Kowall, SUPPORTED by Treasurer Roman to approve to recess into a closed session to consider attorney/client privilege communications in accordance with MCL 15.2681. The motion PASSED by roll call vote (Kowall/yes, Roman/yes, Noble/yes, Ruggles/yes, Smith/yes, Voorheis/yes).

Recessed into closed session at 9:27 p.m.

Returned to open session at 10:38 p.m.

It was MOVED by Treasurer Roman, SUPPORTED by Supervisor Kowall to approve the first amendment to the employment agreement with the one change as discussed in closed session. The motion PASSED by roll call vote (Noble/yes, Kowall/yes, Roman/yes, Powell/yes, Voorheis/yes, Smith/yes, Ruggles/yes).

TRUSTEE COMMENTS

Trustee Powell stated there are reports in this country that China and Bill Gates are buying up farmland all over the country. The statement from the pundits that he listens to say the local community needs to do everything they can to support the local farmers. He would like to study that and see what we can do to eliminate the possibility of our farmland being sold to out-of-state entities.

Supervisor Kowall concurs with Trustee Powell's comments, but thinks somehow it would be legally challenged.

Trustee Voorheis stated she was disappointed in her fellow Board members because they didn't attend the Music in the Park on June 25th. Thank you to Supervisor Kowall who was there with

125 people. It was a fun evening and they will continue to do it. They are a volunteer group. She also stated she was embarrassed to be the only liaison from this Board who was in attendance. But they can redeem themselves this Saturday by attending a clean comedy club. Mr. Powell appreciates good clean comedy. Advanced tickets are on sale now. The show is on Saturday beginning at 7:00 pm, but the show starts at 8:00 pm at Fisk Farm.

Trustee Ruggles asked if they were going to have a movie this fall?

Supervisor Kowall said they were working on it. There are a lot of things that Parks and Rec are working on.

Trustee Ruggles stated it is the most expensive movie he goes to.

Trustee Smith stated she thought it was wonderful how many officers were promoted tonight. She loved seeing that. She would also like to thank Oxbow Lake Baptist Church for the really neat Law Enforcement Appreciation they did on Sunday. She had the opportunity to speak during the service about our police department and Michigan Police Week. She loved how that community rallied around our police department. She also wanted to share with our community that they gave Pastor Chris Todd a badge and deputized him as our chaplain. He has been our chaplain, but they gave him the official badge. She is so glad to have him as a counsel to our community. She also encouraged more people out in our community to do more things like that.

Trustee Ruggles commented that the Planning Commission for this month has been canceled. We will meet again in August.

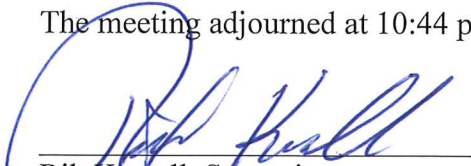
Clerk Noble wanted to thank his staff for working very hard on the elections. Just make sure you get out and vote. If you have any questions, call the Clerk's Office.

Supervisor Kowall stated White Lake Township is a great place to be. The Board is faced with a lot of decisions that sometimes are a little difficult, but we work our way through. He believes this Board has the utmost interest of the Township and its residents at heart. He goes to bed every night thinking that and is grateful for the staff and co-board members that he has. Good night and God Bless.

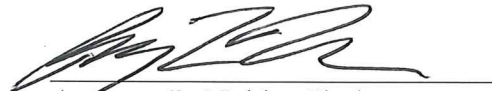
ADJOURNMENT

**It was MOVED by Supervisor Kowall, SUPPORTED by Treasurer Roman to adjourn.
The motion PASSED by voice vote (7 yes votes).**

The meeting adjourned at 10:44 p.m.



Rik Kowall, Supervisor
Charter Township of White Lake



Anthony L. Noble, Clerk
Charter Township of White Lake

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION**

Township Annex, 7527 Highland Road
White Lake, MI 48383
July 7, 2022 @ 7:00 PM

CALL TO ORDER

Commissioner Anderson called the meeting to order at 7:00 PM and led the Pledge of Allegiance. Roll was called.

ROLL CALL

Steve Anderson
Merrie Carlock
Pete Meagher
Debby Dehart
Robert Seeley
Scott Ruggles
Mark Fine

Absent: Matt Slicker
T. Joseph Seward

Also Present: Sean O'Neil, Community Development Director
Justin Quagliata, Staff Planner
Mike Leuffgen, DLZ
Lisa Kane, Recording Secretary

Visitors: Approximately 10 members of the public were present

APPROVAL OF AGENDA

Commissioner Seeley moved to approve the agenda of the July 7, 2022 Planning Commission Meeting.

Commissioner Fine supported and the MOTION CARRIED with a voice vote: 7 yes votes.

APPROVAL OF MINUTES

- a. Regular meeting minutes of June 16, 2022
- b. Commissioner Anderson requested amendments to the minutes, showing the motions carrying for tabling cases Elizabeth Lake Retail and White Lake Hill LLC.

Commissioner Ruggles moved to approve the amended Minutes of June 16, 2022.

Commissioner Fine supported and the MOTION CARRIED with a voice vote: 7 yes votes.

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

John Hunt of 871 Oxhill Dr is concerned about the cement that will surround his property when the Black Rock restaurant is built.

PUBLIC HEARING

None

CONTINUING BUSINESS

A. The Avalon fka White Lake Hill

Property described as parcel number 12-20-101-003 (1085 Hill Road), located on the north side of Highland Road, west of Hill Road, consisting of approximately 68.96 acres. Property described as parcel number 12-20-126-006, located north of Highland Road, east of Hill Road, consisting of approximately 41.06 acres. Parcel number 12-20-101-003 is currently zoned (AG) Agricultural and (PB) Planned Business, and parcel number 12-20-126-006 is currently zoned (R1-A) Single Family Residential.

Request:

1) Preliminary site plan approval

Applicant: White Lake Hill, LLC
31550 Northwestern Highway
Farmington Hills, MI 48334

Applicant present: Mark Kassab of Lautrec and Mike Bank

Commissioner Meagher motioned to untable the preliminary site plan. **Commissioner Fine** supported and the MOTION CARRIED with a voice vote. (6 – 1, with Commissioner Seeley voting no)

Director O'Neil introduced the project, stating that the rezoning was previously recommended for approval to the Township Board, however the preliminary site plan was tabled. The applicant has revised the plan, reducing the density to 6.1 per acre for the multiple-family lots and to 2.6 per acre for the single-family lots. The applicant has eliminated many waiver requests, as well as increasing the multiple-family north property setback to 120 feet.

Mr. Leuffgen presented the engineering review. The applicant has proved engineering feasibility with the current plan and the expectation is that the utility plan has not changed from what was previously presented. A donation to the sidewalk fund was indicated due to lack of sidewalk on the west side of Hill Rd. The plan is deficient for extending the sanitary sewer to the property line, it is recommended to have an escrow for the future utility/sanitary sewer connection. To ensure sufficient pressure, a second water supply to the property is necessary and should be a condition of approval. An analysis of sanitary sewer pump station is required at final site plan review.

Commissioner Anderson stated that the applicant has been flexible and agreeable to requests made of them.

Mr. Leuffgen presented the June 15, 2022 letter regarding the traffic impact study results.

Commissioner Ruggles inquired if the study indicated a traffic light be installed.

Mr. Kassab stated that they met with residents recently and considered the comments from the Planning Commission and the residents when reducing the density for the revised plan.

Mr. Levity provided clarification of the traffic study and stated that the data warrants a traffic signal with M-DOT but there has not been a decision made from M-DOT at this time.

Commissioner Meagher asked if M-DOT doesn't approve the signal, what are the ramifications.

Mr. Levity stated that M-DOT would have to offer an alternative if they do not approve a traffic signal or the applicant would have to come up with something else.

Commissioner Anderson inquired about the timeline for that process with M-DOT.

Mr. Levity they would likely install the light when the lowest amount of traffic for the warrant is met.

Mr. Kassab stated that they are prepared to abide by all M-DOT requirements.

Commissioner Seeley and **Commissioner Dehart** stated concerns about the density and size of the single-family lots.

The Board deliberated on the lot sizes and setbacks.

Commissioner Carlock inquired about disturbance to the wooded area during construction.

Mr. Kassab stated that they plan to keep that area in its natural state, installing a retaining wall 30 feet from the buildings. A wetland delineation has been completed identifying the regulated wetlands. They will coordinate with Road Commission of Oakland County for grading and paving of Hill Road. They will also contract a landscape architect to develop the landscaping plan.

Director O'Neil stated that the applicant has offered a \$100,000 contribution to the park fund that could be used for Stanley Park or other park projects.

Commissioner Ruggles inquired about the amount of wetlands on the property.

Mr. Kassab stated that there are 11 acres of wetlands on the project site.

Commissioner Meagher inquired about the front lot requirement and if it is for aesthetics and what the average cost of the single-family units would sell for.

Director O'Neil Stated that the front lot line requirement was established long ago but the trend has gone down in the area. It is believed that smaller lots are easier to maintain and people are in favor of more common areas.

Mr. Kassab stated that the single-family homes are expected to sell for about \$450,000.

The Board deliberated how the sidewalk fund would be determined and if it would be based on the construction cost.

Commissioner Anderson inquired if they had considered a larger donation to the park fund.

Commissioner Seeley inquired about what waivers being requested.

Director O'Neil listed the waivers that the applicant is requesting.

John Ranking of 1849 Hill Rd has concerns of the safety of this development's pavement ending on Hill Roads "S" curve and if the curve could be eliminated.

Harvey Wilson of 1795 Hill Rd appreciates the applicant meeting with residents but feels that this development is too dense.

A letter of support of the project was entered into record.

Commissioner Meagher moved to forward a favorable recommendation, subject to the applicant addressing all of the staff and consultants' review comments and recommendations to the Township Board, the preliminary site plan for the property described as parcel number 12-20-101-003 (1085 Hill Road), located on the north side of Highland Road, west of Hill Road, consisting of approximately 68.96 acres. Property described as parcel number 12-20-126-006, located north of Highland Road, east of Hill Road, consisting of approximately 41.06 acres. Parcel number 12-20-101-003 is currently zoned (AG) Agricultural and (PB) Planned Business, and parcel number 12-20-126-006 is currently zoned (R1-A) Single Family Residential.

Commissioner Fine supported, and the **MOTION CARRIED** with a roll call vote (6 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seeley/no, Ruggles/yes)

NEW BUSINESS

A. Hypershine Car Wash

Property described as parcel number 12-23-202-006 (9345 Highland Road), located on the south side of Highland Road, west of Fisk Road, consisting of approximately 4.91 acres. Currently zoned as (GB) General Business.

Request:

1) Final site plan approval

Applicant: EROP, LLC
2390 East Federal Drive
Decatur, IL 62526

Applicant Present: Erin McMachen representing EROP

Mr. Leuffgen presented the engineering review. The sanitary and storm sewer have items that need clarification. Engineering approval is recommended based on all items being addressed.

Commission Dehart inquired about the front access easement.

Mr. Quagliata gave a brief presentation of the project which received Township Board approval and was granted three variances by the Zoning Board of Appeals. The applicant has complied to all landscaping requirements and the frontage road has been widened to 24 feet to accommodate cross access.

Ms. McMachen addressed two outstanding comments, one regarding trees and the other was clarification on the screening fence.

The Board deliberated on the materials proposed for the exterior of the building.

Commissioner Carlock inquired about the reclaimed water system.

Ms. McMachen explained how the water reclamation system worked and stated no waste from within the building would enter the storm system.

Commissioner Fine asked if 55-gallon drums would be used and if they would be stored on the premises.

Mary Early of 5925 Pine Ridge Ct has concerns about the size of the lot for the project and inquired if there was a traffic impact study.

Mr. Quagliata M-DOT required a taper lane for this project which is indicated on the plan.

Commissioner Anderson inquired about the traffic stacking requirement.

Mr. Quagliata stated that the plan presented exceeds the requirement.

Commissioner Seeley moved to approve the final site plan subject to all staff and consultants' review comments being addressed as parcel number 12-23-202-006 (9345 Highland Road), located on the south side of Highland Road, west of Fisk Road, consisting of approximately 4.91 acres. Currently zoned as (GB) General Business.

Commissioner Meagher supported, and the MOTION CARRIED with a roll call vote (7 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seeley/yes, Ruggles/yes)

OTHER BUSINESS

A. Concept plan for the southeast corner of Hilltop Drive & Highland Road

Sam Stafa and Arban Stafa requested feedback from the Planning Commission about a potential project that would rezone the proposed site to allow attached single-family homes. Discussion about what direction the Township is interested in as it relates to rentals and home ownership.

Bob Hoffman of Highland Township stated that he currently owned one of the parcels and asked if rezoning would be the first step in the process.

LIAISON'S REPORT

Commissioner Ruggles reported that the Township Board approved the Comfort Care project at the June 21st meeting. DPS has requested two new vehicles, the Board approved one dump truck.

Commissioner Dehart reported that the Zoning Board of Appeals heard two cases at the last meeting, Last Resort Marina on Pontiac Lake Rd was denied.

Commissioner Carlock reported that the Parks Board had a successful Family Fun Day, 125 people enjoyed the event.

DIRECTOR'S REPORT

Director O'Neil Planning Commission members will be receiving ID badges. The update of the CIP is underway and will be available in August for review by the Planning Commission and in September for a vote.

COMMUNICATIONS

NEXT MEETING DATES: August 4, 2022

ADJOURNMENT

Commissioner Fine moved to adjourn the meeting at 9:02 PM

Commissioner Meagher supported and the MOTION CARRIED with a voice vote: 7 yes votes



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

October 11, 2022

Sean O' Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: The Avalon- f.k.a. White Lake Hill- Preliminary Site Plan Review – 6th Review

Ref: DLZ No. 2145-7233-21

Design Professional: ~~PEA Group~~ Felino A. Pascual
and Associates

Dear Mr. O' Neil,

Our office has performed the above mentioned Preliminary Site Plan review for the revised plan dated September 29, 2022. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards. **Note that no preliminary engineering site plan was received as part of this submittal; only a planning/landscape architecture plan was received.**

General Site Information

This site is located on the north side of M-59 and east of Ormond Road. The property is located on both sides of Hill Road: across from former Brooks Elementary School and West of Meijers. Total site acreage is approximately 110.02 acres.

Site Improvement Information:

- Construction of a Planned Development consisting of **68 (previously 74) 74 (previously 81)** single family condominium homes on the east side of Hill Road.
- Proposed paved and public road for the single family condominium homes with one point of access off Hill Road.
- Construction of a Planned Development consisting of **394** [see comment n] multi-family units for lease on the west side of Hill Road. Associated clubhouse and pool as part of multi-family development.

- For multi- family units: associated paved and curbed parking including one (1) ADA accessible parking space and maneuvering aisles for clubhouse and pool. Internal streets and drives are also proposed with a point of access off M-59 and a second point of access off Hill Road.
- Site to be serviced by watermain and sanitary sewer.
- Storm water runoff is proposed to be detained as follows: 1) Detention Pond at the northwest corner of Hill Road and M-59- to discharge to existing storm sewer just south. 2) Two detention ponds on the west side of Hill Road and located centrally in the multi-family portion- to discharge to existing culvert under Hill Road. 3) Detention pond located on the southernmost portion of the single family phase- to discharge to existing watercourse located to the west. 4) Detention pond located on the eastern portion of the single family phase- to discharge to the existing wetlands to the southwest.

We offer the following comments:

Note that comments from our September 7, 2022 review letter are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

The following items should be noted with respect to Planning Commission review:

- a) We note that the number of single family lots has been reduced from 74 to 68 ~~81 to 74~~ and that the multi- family has been reduced to 394 units. These reductions in the number of lots and units will likely not impact utility layout or design. We note that the plan sheets included as part of this submittal did not show the proposed watermain, sanitary sewer, or storm sewer; we assume that the layouts proposed on the most recent Preliminary Site Plan prepared by the design engineer and dated April 4, 2022 are to remain the same.
 - b) *Pond 2 located in the single family section of the development (see plan Sheet P-5.1) proposes discharge to the adjacent wetlands to the west. Clarify where drainage from this wetland shall be routed as it appears from existing topography that there is no outlet from this wetland. In addition, a portion of this wetland is located off site; an off-site drainage easement would be required. Additional topographical survey information will be required for the property to the south of the wetlands in order to clarify the drainage path.* **The design engineer has noted that the discharge from the proposed pond (now labeled as Pond 5) will discharge at an agricultural rate and follow its natural off site drainage course. The difference in pre and post development area discharging from proposed Pond 5 to the existing wetlands is an increase of 0.2 acres. We can consider this item complete for this level of review, however the capacity for the receiving wetland to accommodate**
-

the increased runoff volume will need to be demonstrated at the time of Final Site Plan/Final Engineering Plan submittal.

- c) *The multifamily exiting drive onto M-59 shows a width of 16 feet. Township Zoning Ordinance 5.11Q.v. requires a width of 20' for one way drives and a minimum width of 24' for two way drives. **Dimensions have been clarified; DLZ defers further comment regarding compliance to Township Planning Department.***
- d) *We defer to the Township as to whether 6 foot wide sidewalk is required on both sides of Hill Road. None is proposed at this time. Township Zoning Ordinance 5.21 requires a minimum of 6 foot width for sidewalks along major roadways. Comment outstanding. We continue to defer to the Township with regard to this item. Note that an 8' wide path has now been added along a portion of the west side only of the Hill Road frontage and that two road crossings of the path have been proposed near the Hill Road entrances in order to connect the multi-family to the single-family units. The locations for the path crossings should be reviewed for proper pavement markings and pedestrian crossing signage. **Comment addressed at this level of review. Per the design engineer, this item was discussed at a Township Zoom meeting on March 25, 2022. It was determined that an 8' wide path will be added along the western side of Hill Road from M-59 to the single family entrance. Paths are also now shown along the frontage for Units 81-84 and 85-87 only as the adjacent areas pose an issue with regulated wetlands and stream encroachment. The developer agreed at the meeting to make a contribution to the White Lake Sidewalk Fund to supplement pathway areas not installed along Hill Road. We note that single family Units 81-87 have now been eliminated and that the paths along those frontages also eliminated.***

We note that portions of the proposed sidewalk along the western side of Hill Road are proposed outside the future ROW. This sidewalk locations shall be either adjusted to inside the future ROW or an easement shall be provided. In addition, our comment with respect to the proper pavement markings and pedestrian crossing signage for Hill Road crossing will need to be addressed at the time of FSP/FEP submittal.

- e) *The following single family lots present conflicts with either the proposed house, required grading, or the potential deck/patio encroaching into the wetlands setback: 1, 27, 28, 40, 61, and 88. Impacts to the wetlands buffer will need to be removed. Comment outstanding. The wetlands setback/buffer for all wetlands was not shown on the initial Preliminary Site Plan submittal dated December 8, 2021. There are now units in the single family portion of this development as well as other areas of the development where grading is proposed in the wetlands setback/buffer which is not allowable. The following single family units will require revision with respect to grading in the wetlands setback: 1-*

7,20,27,28,39,40,52-54,61,75,76,84,85, and 88. In addition, the proposed retaining wall adjacent grading to the northwest of multi-family Unit 19 will also require adjustment with respect to grading in the wetlands buffer. Since the units listed border EGLE regulated wetlands, our office concurs with the recommendation by Barr Engineering, Inc Wetland Delineation Report (dated February 9, 2022) recommending that Barr's wetland boundary determination and jurisdictional opinion be reviewed by EGLE prior to undertaking any activity near or within any identified wetlands; the proposed layout as submitted may require revision, in response to EGLE's review, to unit/ lot layout in the single family phase, thus impacting the preliminary site layout. **Comment addressed. Per a meeting with the Township on March 25, 2022, it was agreed that grading within the 25' wetland setback would be acceptable. A wetland restoration plan shall be required at the time of FSP/FEP submittal. Plan shall include a timeline for restoration of the wetland buffers. Note that the developer shall also be required to comply with all EGLE requirements with respect to grading and regulated wetlands. A note shall be provided on the FSP/FEP with regard to the wetland buffer restoration.**

- f) *All public roads are required to be built to RCOC standards. Comment remains as a notation.*
 - g) *Specify the proposed width of the shared access driveways for Lots 81-84 and 85-88 of the single family portion. These drives shall be built to private access drive standards of White Lake as specified in the Zoning Ordinance Section 5.16. Section C. ii. requires two points of access for such drives to an adjacent public or private road. Section D. ii. requires that access driveways shall be able to accommodate emergency vehicles. Comment partially addressed. Two points of access for each of the drives are now proposed, however, Ordinance 5.16 C.i. requires a 30' wide easement width for an access drive; 25' is proposed for Lots 81-84 and 85-88. In addition, Zoning Ordinance Section 5.16 C. iii. regarding setbacks shall be met (Unit 85 is not in compliance). Also specify on plan that the 20' drive widths proposed are measured as 20' from the edge of the gutter line per Ordinance 5.16 C. v. Please also provide fire truck turning radius for these private access drives. **Comment addressed. Fire truck movements have been provided and show that while tight, the trucks will be able to traverse the drives.***
 - h) *Clarify if there is an existing drainage easement on the property south of the single family Detention Ponds 1 and 3. An easement will be required for discharge of drainage off site. In addition, the design engineer will be required to demonstrate that there will be no downstream impacts from the proposed development in terms of stormwater discharge flows. Engineer will need to demonstrate that adequate downstream capacity exists to handle post development flow. **Comment remains as a notation and can be further clarified at the time of FSP/FEP. Design engineer has stated in their February 15, 2022 review response letter: "There is not an easement in place. There is an existing stream which provides the historical drainage route through the said parcel to a box culvert under M-59. Since the development will have a 100-year detention basin and will discharge stormwater***
-

at an agricultural rate, the downstream ditch should have adequate capacity. A detailed engineering analysis will be provided to the township and MDOT during the construction plan phase.”

- i) *End sections for the three detention basins proposed on the single family portion will be required to be located outside the wetland setback. Comment partially addressed. Our office finds the basin outlet locations acceptable and that the outlet pipes for Basins 4 and 5 shall be constructed within the wetlands setback and the land restored to its natural preconstruction condition. Note that location of the basin end sections shall be subject to review and approval by EGLE. EGLE may require revision of the end section locations. Our office recommends the Township require a wetland setback restoration plan and that the developer be required to post a bond amount to guarantee proper and timely completion of restoration of the wetland buffer setbacks in these two areas should EGLE approve the end section locations. **Comment addressed for this level of review. The design engineer notes a wetland setback restoration plan shall be provided at the time of FSP/FEP submittal. A note shall be provided on the FSP/FEP regarding wetland setback restoration.***
 - j) *Extend the sanitary sewer to the north property line along Hill Road. Comment remains. Applicant indicated that the topography near the northern property restricts construction of the sanitary sewer at this location and would require a construction easement from the adjacent property owner. Township Ordinance requires extension to the limits of the property line and the sanitary sewer master plan indicates that gravity sanitary sewer is ultimately proposed north of this location. We defer to the Township if a variance can be granted on this requirement or if completion of this item will be a condition of approval. **Comment addressed. Discussion with the Township concluded that the sewer shall not be extended to the north property line and that an easement for future sanitary sewer extension shall be provided. In addition, the developer shall be required to deposit a monetary fee or escrow with the Township as assurance to supplement the future sewer extension.***
 - k) *With nearly 60 feet of elevation change, the designer should ensure that sufficient pressure exists at the higher elevations for a bathroom on the 2nd story. The water may have to come from Pressure District 4 to service units with higher elevations as it appears that there will be insufficient pressure on the northern portions of the proposed development. To interconnect between the pressure districts, at least one PRV may be required. We suggest that the Township request escrow funds with regard to this item such that DLZ can model the water system to determine any deficiencies that may exist regarding water pressures and/or capacities. Our office has performed modeling of the proposed water system, see attached water model results; In all scenarios the area at the northeast corner of Aurora Circle experienced the lowest resulting pressure. There is a need for a handful of homes in this vicinity to have individual booster pumps to ensure adequate pressure given the various*
-

scenarios. It can also not be understated that the proposed design places an incredibly high criticality rating on the existing 16" watermain along M59. This is the only supply proposed to serve the nearly 500 residential units. If something were to happen to this watermain there is no second source or storage to feed this area temporarily. DLZ recommends a second water supply be installed to provide redundancy to the proposed distribution system. Please note that in order to stay within the same pressure district the source would need to be from south of the existing Pressure Reducing Valves that exist on either side of the existing Meijer store. **Comment addressed at this level of review. As a condition of the Township engineer's recommendation for Preliminary Site Plan approval, the developer acknowledges the critical issue of not having a redundant source of water supply for the proposed development. The design engineer has stated that a second supply connection is being researched.**

- l) Sanitary sewage from this development is tributary to the existing Meijer sanitary sewer pump station located at the Northeast corner of Highland Road and Bogie Lake Road; an analysis will need to be provided that indicates there is sufficient capacity within the existing pump station, or if upgrades will be necessary to support the additional discharges. **Comment addressed and remains as a notation. Design engineer states in their review response letter dated February 15, 2022: "Since an 18" sewer has been stubbed to the Hill Road/M-59 intersection, it is our understanding that the pump station and forcemain were designed for future development along Hill Road and Ormond Roads. A detailed analysis will be conducted during the construction plan phase."**
 - m) Proposed future decks or patios for Lots 12,15,82, and 83 of the single family portion of the development appear to encroach into the proposed storm sewer easement. Please revise. Comment outstanding. A 12' wide deck or patio would only allow for 5' of easement on one side of the storm sewer relative to Units 82 and 83; 6' minimum is required. In addition, Units 9-12 would have a similar issue. Unit 80- the deck or patio could only be placed on the NE area of the rear of the house. Units 85 and 86 would not have enough space for a deck or patio without storm sewer easement encroachment. **This comment remains outstanding. Since the lot numbering and count has changed and no such table has been included and no utility information included with the current submittal, we are unable to review requested changes or provide comment. All numbers for data tables will need to match up.**
 - n) The number of multifamily units of 393 in the 'Multi-Family Site Data Table' on Sheet P-2.0 does not match the total shown (72+334=406) in the same table under subsection "Minimum Lot Size." **Comment applies to the engineering Preliminary Site Plan prepared by PEA Group and dated April 4, 2022.**
-

- o) *It now appears on the currently submitted plan that only one ADA parking space is provided for the entire multi-family portion of the proposed development. Calculations demonstrating the need for only one ADA space will need to be provided. **Comment outstanding.***

Parallel Preliminary Site Plan Comments-

1. *While the number of single family lots provided on this plan is lower (62) than the current PSP (74), the number of multi-family units has increased from 394 to 540. Although the detention basin areas appear to be enlarged on the parallel plan, the parallel plan does not provide proposed detention basin capacities for this plan. This was an item of discussion at the July 19, 2022 Township Board meeting. We are thus unable to comment as to whether sufficient storm water storage capacity in the basins on the parallel plan is provided. **Comment outstanding.***
2. *The plan proposes lots 55-59 on the east side of Hill Road. In order to service all the lots, the sanitary sewer would have to be extended to the north property line on the west side of Hill Road. An off site easement for construction of the sanitary sewer in this area would have to be obtained as the topography in this area would require construction off site. These actions would need to occur in lieu of the developer providing an easement for future extension to the north property line and a monetary fee or escrow deposited with the Township as noted in Comment j). **Comment outstanding.***

Avalon Single Family Plan

1. This plan is dated September 15, 2022 and was prepared by PEA Group. This plan shows the portion of the single family development located on the east side of Hill Road. The plan proposes 68 units. We have no further comment with respect to review of this plan.

The following comments can be addressed on the Final Site Plan/Final Engineering Plan:

Final Site Plan/Final Engineering Plan Comments-

General

1. Plan shall contain notes per White Lake Township Engineering Design Standards Section A. 8. a.-d.
 2. Provide at least two permanent benchmarks on NAVD 88 datum. Benchmarks are required at least every 1,200 feet.
 3. Provide soil boring reports that were prepared by CTI and McDowell.
-

4. The topographical survey shows existing overhead electrical lines on the parcel west of Hill Road. Clarify as to whether these lines shall remain or be relocated and as to whether an easement for the lines exists. In the event the lines are to be relocated, the easements (if existing) will need to be vacated.
5. A landscape plan showing all proposed trees relative to proposed storm sewer, sanitary sewer, and watermain shall be submitted. Note that 10' horizontal separation is required between proposed utilities noted and proposed trees.

Paving/Grading

1. ADA accessible ramps will be required on sidewalk adjacent to ADA parking spaces. Ramp slopes shall meet ADA requirements.
2. Structural wall calculations, that have been signed and sealed by a Registered Structural Engineer, verifying the wall integrity and the ability to support lateral and vertical stresses will need to be provided for retaining walls over 30" tall.
3. Retaining walls >30" in height shall require a decorative fence or railing at the top that is a minimum of 36" in height.
4. Wetland buffers shall be clearly shown on all grading sheets.
5. Sheets 3.1-3.4 have Hill Road mislabeled as Highland Road. Please revise.

Watermain

1. We defer to the Fire Department regarding items related to fire suppression and hydrant coverage.
2. Show 20' wide easements for all watermain on plan.
3. Additional gate wells will be required to meet isolation requirements.
4. Radii of watermain appears to be too small at Units 40-41. Bends may be necessary.
5. There appears to be less than 10 feet of separation barrel to barrel between the storm sewer and watermain proposed in front of multifamily Unit 38. Please revise.

Sanitary Sewer

1. A manhole will need to be added along Hill Road southeast of multifamily Unit 28. There is 720 feet between manholes.
 2. There appears to be less than 10 feet of horizontal separation to storm sewer in front of multifamily Unit 57. Please revise so minimum separation is achieved.
-

3. Modify sanitary sewer connection note on Sheet P-4.1 to read: " Connect proposed 10" and 18" sanitary to existing 18" sanitary stub."

Stormwater Management

1. We recommend that the proposed ditch end section tie into the MH southwest (adjacent to multi-family Detention Pond 3) be moved such that the end section ties into a separate manhole due south of the end section. This would eliminate the potential for four pipe connections into the same MH. See Sheet 4.2.
2. Show 12' easements for storm sewer on plan.
3. A minimum of 12" diameter sewer is required for storm sewer carrying surface drainage. Reference Sheet 4.4; proposed sewer for Lots 55-80 and 28-36 will need to be changed from 8" to 12".
4. Storm sewer shall be located no closer than a 10' horizontally from proposed buildings/structures. Reference Building #28 multi-family.

Recommendation

Most of our previous comments have been addressed; the need for a redundant water source is a significant outstanding item that needs to be acknowledged by the applicant and is a condition of PSP approval by the Planning Commission at their July 7, 2022 meeting. The storm sewer easement deck encroachments mentioned in Item m) above should be discussed as they may pose problems as units are built out. DLZ is confident the remaining items can be further clarified on the Final Site Plan submittals without significant modification to the site layout.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan



Michael Leuffgen, P.E.
Department Manager



Victoria Loemker, P.E.
Senior Engineer



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT-White Lake Hill- PSP Review.06

October 11, 2022

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Cc: Justin Quagliata, Community Development, *via email*
Hannah Micallef, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
John Holland, Fire Chief, White Lake Township, *via email*
Jason Hanifen, Fire Marshal, White Lake Township, *via email*

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INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

May 25, 2022

Sean O' Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: The Avalon- f.k.a. White Lake Hill- Preliminary Site Plan Review – 4th Review

Ref: DLZ No. 2145-7233-21

Design Professional: PEA Group

Dear Mr. O' Neil,

Our office has performed the above mentioned Preliminary Site Plan review for the revised plan dated May 16, 2022. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

General Site Information

This site is located on the north side of M-59 and east of Ormond Road. The property is located on both sides of Hill Road: across from former Brooks Elementary School and West of Meijers. Total site acreage is approximately 110.02 acres.

Site Improvement Information:

- Construction of a Planned Development consisting of **81 (previously 87)** single family condominium homes on the east side of Hill Road.
- Proposed paved and public road for the single family condominium homes with one point of access off Hill Road.
- Construction of a Planned Development consisting of **406? 393?** [see comment o)] multi-family units for lease on the west side of Hill Road. Associated clubhouse and pool as part of multi-family development.

- For multi- family units: associated paved and curbed parking including ADA accessible parking spaces and maneuvering aisles for clubhouse and pool. Internal streets and drives are also proposed with a point of access off M-59 and a second point of access off Hill Road.
- Site to be serviced by watermain and sanitary sewer.
- Storm water runoff is proposed to be detained as follows: 1) Detention Pond at the northwest corner of Hill Road and M-59- to discharge to existing storm sewer just south. 2) Two detention ponds on the west side of Hill Road and located centrally in the multi-family portion- to discharge to existing culvert under Hill Road. 3) Detention ponds located on the southernmost portion of the single family phase- to discharge to existing watercourse located between the two ponds. 4) Detention pond located on the eastern portion of the single family phase- to discharge to the existing wetlands to the southwest.

We offer the following comments:

Note that comments from our April 13, 2022 review letter are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

The following items should be noted with respect to Planning Commission review:

- a) We note that the number of single family lots has been reduced from 87 to 81 and that the multi-family has been reduced from 406 units to 393 units. These reductions in the number of lots and units will likely not impact utility layout or design. We note that the plan sheets included as part of this submittal did not show the proposed watermain, sanitary sewer, or storm sewer; we assume that the layouts proposed on the previous Preliminary Site Plan dated April 4, 2022 are to remain the same.
 - b) *Pond 2 located in the single family section of the development (see plan Sheet P-5.1) proposes discharge to the adjacent wetlands to the west. Clarify where drainage from this wetland shall be routed as it appears from existing topography that there is no outlet from this wetland. In addition, a portion of this wetland is located off site; an off-site drainage easement would be required. Additional topographical survey information will be required for the property to the south of the wetlands in order to clarify the drainage path. The design engineer has noted that the discharge from the proposed pond (now labeled as Pond 5) will discharge at an agricultural rate and follow its natural off site drainage course. The difference in pre and post development area discharging from proposed Pond 5 to the existing wetlands is an increase of 0.2 acres. We can consider this item*
-

complete for this level of review, however the capacity for the receiving wetland to accommodate the increased runoff volume will need to be demonstrated at the time of Final Site Plan.

- c) *The multifamily exiting drive onto M-59 shows a width of 16 feet. Township Zoning Ordinance 5.11Q.v. requires a width of 20' for one way drives and a minimum width of 24' for two way drives. Dimensions have been clarified; DLZ defers further comment regarding compliance to Township Planning Department.*
- d) *We defer to the Township as to whether 6 foot wide sidewalk is required on both sides of Hill Road. None is proposed at this time. Township Zoning Ordinance 5.21 requires a minimum of 6 foot width for sidewalks along major roadways. Comment outstanding. We continue to defer to the Township with regard to this item. Note that an 8' wide path has now been added along a portion of the west side only of the Hill Road frontage and that two road crossings of the path have been proposed near the Hill Road entrances in order to connect the multi-family to the single-family units. The locations for the path crossings should be reviewed for proper pavement markings and pedestrian crossing signage. Comment addressed at this level of review. Per the design engineer, this item was discussed at a Township Zoom meeting on March 25, 2022. It was determined that an 8' wide path will be added along the western side of Hill Road from M-59 to the single family entrance. Paths are also now shown along the frontage for Units 81-84 and 85-87 only as the adjacent areas pose an issue with regulated wetlands and stream encroachment. The developer agreed at the meeting to make a contribution to the White Lake Sidewalk Fund to supplement pathway areas not installed along Hill Road.*

We note that portions of the proposed sidewalk along the western side of Hill Road are proposed outside the future ROW. This sidewalk locations shall be either adjusted to inside the future ROW or an easement shall be provided. In addition, our comment with respect to the proper pavement markings and pedestrian crossing signage for Hill Road crossing will need to be addressed at the time of FSP/FEP submittal.

- e) *The following single family lots present conflicts with either the proposed house, required grading, or the potential deck/patio encroaching into the wetlands setback: 1, 27, 28, 40, 61, and 88. Impacts to the wetlands buffer will need to be removed. Comment outstanding. The wetlands setback/buffer for all wetlands was not shown on the initial Preliminary Site Plan submittal dated December 8, 2021. There are now units in the single family portion of this development as well as other areas of the development where grading is proposed in the wetlands setback/buffer which is not allowable. The following single family units will require revision with respect to grading in the wetlands setback: 1-7, 20, 27, 28, 39, 40, 52-54, 61, 75, 76, 84, 85, and 88. In addition, the proposed retaining wall adjacent*

grading to the northwest of multi-family Unit 19 will also require adjustment with respect to grading in the wetlands buffer. Since the units listed border EGLE regulated wetlands, our office concurs with the recommendation by Barr Engineering, Inc Wetland Delineation Report (dated February 9, 2022) recommending that Barr's wetland boundary determination and jurisdictional opinion be reviewed by EGLE prior to undertaking any activity near or within any identified wetlands; the proposed layout as submitted may require revision, in response to EGLE's review, to unit/ lot layout in the single family phase, thus impacting the preliminary site layout. **Comment addressed. Per a meeting with the Township on March 25, 2022, it was agreed that grading within the 25' wetland setback would be acceptable. A wetland restoration plan shall be required at the time of FSP/FEP submittal. Plan shall include a timeline for restoration of the wetland buffers. Note that the developer shall also be required to comply with all EGLE requirements with respect to grading and regulated wetlands. A note shall be provided on the FSP/FEP with regard to the wetland buffer restoration.**

- f) *All public roads are required to be built to RCOC standards. **Comment remains as a notation.***
 - g) *Specify the proposed width of the shared access driveways for Lots 81-84 and 85-88 of the single family portion. These drives shall be built to private access drive standards of White Lake as specified in the Zoning Ordinance Section 5.16. Section C. ii. requires two points of access for such drives to an adjacent public or private road. Section D. ii. requires that access driveways shall be able to accommodate emergency vehicles. **Comment partially addressed. Two points of access for each of the drives are now proposed, however, Ordinance 5.16 C.i. requires a 30' wide easement width for an access drive; 25' is proposed for Lots 81-84 and 85-88. In addition, Zoning Ordinance Section 5.16 C. iii. regarding setbacks shall be met (Unit 85 is not in compliance). Also specify on plan that the 20' drive widths proposed are measured as 20' from the edge of the gutter line per Ordinance 5.16 C. v. Please also provide fire truck turning radius for these private access drives. **Comment addressed. Fire truck movements have been provided and show that while tight the trucks will be able to traverse the drives.*****
 - h) *Clarify if there is an existing drainage easement on the property south of the single family Detention Ponds 1 and 3. An easement will be required for discharge of drainage off site. In addition, the design engineer will be required to demonstrate that there will be no downstream impacts from the proposed development in terms of stormwater discharge flows. Engineer will need to demonstrate that adequate downstream capacity exists to handle post development flow. **Comment remains as a notation and can be further clarified at the time of FSP. Design engineer has stated in their February 15, 2022 review response letter: "There is not an easement in place. There is an existing stream which provides the historical drainage route through the said parcel to a box culvert under M-59. Since the development will have a 100-year detention basin and will discharge stormwater at an agricultural rate, the downstream ditch should have adequate capacity. A detailed***
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engineering analysis will be provided to the township and MDOT during the construction plan phase.”

- i) *End sections for the three detention basins proposed on the single family portion will be required to be located outside the wetland setback. Comment partially addressed. Our office finds the basin outlet locations acceptable and that the outlet pipes for Basins 4 and 5 shall be constructed within the wetlands setback and the land restored to its natural preconstruction condition. Note that location of the basin end sections shall be subject to review and approval by EGLE. EGLE may require revision of the end section locations. Our office recommends the Township require a wetland setback restoration plan and that the developer be required to post a bond amount to guarantee proper and timely completion of restoration of the wetland buffer setbacks in these two areas should EGLE approve the end section locations.* **Comment addressed for this level of review. The design engineer notes a wetland setback restoration plan shall be provided at the time of FSP/FEP submittal. A note shall be provided on the FSP/FEP regarding wetland setback restoration.**
 - j) *Extend the sanitary sewer to the north property line along Hill Road. Comment remains. Applicant indicated that the topography near the northern property restricts construction of the sanitary sewer at this location and would require a construction easement from the adjacent property owner. Township Ordinance requires extension to the limits of the property line and the sanitary sewer master plan indicates that gravity sanitary sewer is ultimately proposed north of this location. We defer to the Township if a variance can be granted on this requirement or if completion of this item will be a condition of approval.* **Comment addressed. Discussion with the Township concluded that the sewer shall not be extended to the north property line and that an easement for future sanitary sewer extension shall be provided. In addition, the developer shall be required to deposit a monetary fee or escrow with the Township as assurance to supplement the future sewer extension.**
 - k) *With nearly 60 feet of elevation change, the designer should ensure that sufficient pressure exists at the higher elevations for a bathroom on the 2nd story. The water may have to come from Pressure District 4 to service units with higher elevations as it appears that there will be insufficient pressure on the northern portions of the proposed development. To interconnect between the pressure districts, at least one PRV may be required. We suggest that the Township request escrow funds with regard to this item such that DLZ can model the water system to determine any deficiencies that may exist regarding water pressures and/or capacities. Our office has performed modeling of the proposed water system, see attached water model results; In all scenarios the area at the northeast corner of Aurora Circle experienced the lowest resulting pressure. There is a need for a handful of homes in this vicinity to have individual booster pumps to ensure adequate pressure given the various scenarios. It can also not be understated that the proposed design places an incredibly high criticality*
-

rating on the existing 16" watermain along M59. This is the only supply proposed to serve the nearly 500 residential units. If something were to happen to this watermain there is no second source or storage to feed this area temporarily. DLZ recommends a second water supply be installed to provide redundancy to the proposed distribution system. Please note that in order to stay within the same pressure district the source would need to be from south of the existing Pressure Reducing Valves that exist on either side of the existing Meijer store. **Comment addressed at this level of review. As a condition of the Township engineer's recommendation for Preliminary Site Plan approval, the developer acknowledges the critical issue of not having a redundant source of water supply for the proposed development. The design engineer has stated that a second supply connection is being researched.**

- l) *Sanitary sewage from this development is tributary to the existing Meijer sanitary sewer pump station located at the Northeast corner of Highland Road and Bogie Lake Road; an analysis will need to be provided that indicates there is sufficient capacity within the existing pump station, or if upgrades will be necessary to support the additional discharges. **Comment addressed and remains as a notation. Design engineer states in their review response letter dated February 15, 2022: "Since an 18" sewer has been stubbed to the Hill Road/M-59 intersection, it is our understanding that the pump station and forcemain were designed for future development along Hill Road and Ormond Roads. A detailed analysis will be conducted during the construction plan phase."***
 - m) *Proposed future decks or patios for Lots 12,15,82, and 83 of the single family portion of the development appear to encroach into the proposed storm sewer easement. Please revise. Comment outstanding. A 12' wide deck or patio would only allow for 5' of easement on one side of the storm sewer relative to Units 82 and 83; 6' minimum is required. In addition, Units 9-12 would have a similar issue. Unit 80- the deck or patio could only be placed on the NE area of the rear of the house. Units 85 and 86 would not have enough space for a deck or patio without storm sewer easement encroachment. **This comment remains outstanding. Since the lot numbering and count has changed and no utility information has been included with the current submittal, we are unable to review requested changes or provide comment.***
 - n) *Parcel Area Table on Sheet P-2.0 of plans appears to be missing parcel data for Units 82,83,84,86, and 87. Please update. **Comment addressed.***
 - o) *The number of multifamily units of 393 in the 'Multi-Family Site Data Table' on Sheet P-2.0 does not match the total shown (72+334=406) in the same table under subsection "Minimum Lot Size.'*
-

The following comments can be addressed on the Final Site Plan/Final Engineering Plan:

Final Site Plan/Final Engineering Plan Comments-

General

1. Plan shall contain notes per White Lake Township Engineering Design Standards Section A. 8. a.-d.
2. Provide at least two permanent benchmarks on NAVD 88 datum. Benchmarks are required at least every 1,200 feet.
3. Provide soil boring reports that were prepared by CTI and McDowell.
4. The topographical survey shows existing overhead electrical lines on the parcel west of Hill Road. Clarify as to whether these lines shall remain or be relocated and as to whether an easement for the lines exists. In the event the lines are to be relocated, the easements (if existing) will need to be vacated.
5. A landscape plan showing all proposed trees relative to proposed storm sewer, sanitary sewer, and watermain shall be submitted. Note that 10' horizontal separation is required between proposed utilities noted and proposed trees.

Paving/Grading

1. ADA accessible ramps will be required on sidewalk adjacent to ADA parking spaces. Ramp slopes shall meet ADA requirements.
2. Structural wall calculations, that have been signed and sealed by a Registered Structural Engineer, verifying the wall integrity and the ability to support lateral and vertical stresses will need to be provided for retaining walls over 30" tall.
3. Retaining walls >30" in height shall require a decorative fence or railing at the top that is a minimum of 36" in height.
4. Wetland buffers shall be clearly shown on all grading sheets.
5. Sheets 3.1-3.4 have Hill Road mislabeled as Highland Road. Please revise.

Watermain

1. We defer to the Fire Department regarding items related to fire suppression and hydrant coverage.
 2. Show 20' wide easements for all watermain on plan.
 3. Additional gate wells will be required to meet isolation requirements.
 4. Radii of watermain appears to be too small at Units 40-41. Bends may be necessary.
-

5. There appears to be less than 10 feet of separation barrel to barrel between the storm sewer and watermain proposed in front of multifamily Unit 38. Please revise.

Sanitary Sewer

1. A manhole will need to be added along Hill Road southeast of multifamily Unit 28. There is 720 feet between manholes.
2. There appears to be less than 10 feet of horizontal separation to storm sewer in front of multifamily Unit 57. Please revise so minimum separation is achieved.
3. Modify sanitary sewer connection note on Sheet P-4.1 to read: "Connect proposed 10" **and 18"** sanitary to existing 18" sanitary stub."

Stormwater Management

1. We recommend that the proposed ditch end section tie into the MH southwest (adjacent to multi-family Detention Pond 3) be moved such that the end section ties into a separate manhole due south of the end section. This would eliminate the potential for four pipe connections into the same MH. See Sheet 4.2.
2. Show 12' easements for storm sewer on plan.
3. A minimum of 12" diameter sewer is required for storm sewer carrying surface drainage. Reference Sheet 4.4; proposed sewer for Lots 55-80 and 28-36 will need to be changed from 8" to 12".
4. Storm sewer shall be located no closer than a 10' horizontally from proposed buildings/structures. Reference Building #28 multi-family.

Recommendation

Most of our previous comments have been addressed; the need for a redundant water source is a significant outstanding item that needs to be acknowledged by the applicant as a condition of PSP approval should the Planning Commission desire to make that motion. The storm sewer easement deck encroachments mentioned in Item m) above should be discussed as they may pose problems as units are built out. DLZ is confident the remaining items can be further clarified on the Final Site Plan submittals without significant modification to the site layout.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 9 of 9

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

Cc: Justin Quagliata, Community Development, *via email*
Hannah Micallef, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
John Holland, Fire Chief, White Lake Township, *via email*
Jason Hanifen, Fire Marshal, White Lake Township, *via email*

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INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

June 15, 2022

Sean O’Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

**RE: Traffic Impact Study Review
Mixed-Use Development at Highland Road (M-59) and Hill Road**

Ref: DLZ File No. 2145-7233-21
Date of Study: 06/07/2022

Design Professional: Fishbeck

The applicant has submitted a revised Traffic Impact Study for the redevelopment of P.I.’s #12-20-101-003 and 12-20-126-006. P.I. #12-20-101-003 and 12-20-126-006 total 110.02 acres and are located on the north side of Highland Road (M-59) on both the east and west side of Hill Road. The study evaluated existing conditions, anticipated background conditions and anticipated traffic generated by the proposed development, then it completed both traffic signal warrants and right turn lane warrants for the proposed site. All of the intersections evaluated along Highland Road are under the jurisdiction of the Michigan Department of Transportation (MDOT).

The first observation of the TIS, is that despite utilizing the same traffic data as the previous TIS, which was submitted in December 2021, the Level of Service (LOS) analysis for the existing conditions had a significant change in the existing LOS of the WB Highland Rd. and EB Crossover intersection in the PM Peak hour. The previous TIS had an existing LOS of F and a delay time of 66.8 sec. The revised TIS has an existing LOS of D and a delay time of 29.1 sec for the same intersection in the PM Peak hour. DLZ is not aware of the reason for the change in delay, but the change provides doubt to the potential findings in the TIS. There is also a significant difference between the two reports for the same intersection and same time period in the Background Conditions analysis (LOS F: 78.0 sec delay vs LOS D: 31.3 sec delay).

Upon running the traffic signal warrants at each intersection, the study determined that Warrant 1 – Eight Hour Vehicular Volume and Warrant 3 – Peak Hour Vehicular Volume are met for the WB Highland Road and EB Cross (east of Hill Road) intersection. The intersection was then modeled with a traffic signal, which resulted in improved LOS for the intersection compared with the unimproved future conditions. However, the improved future condition LOS analysis revealed that the LOS is significant worse for the following intersections in the PM Peak hour compared with the background conditions analysis:

Intersection	Background Condition LOS/Delay	Improved Future Condition LOS/Delay
M-59 and EB crossover (NB)	AM: LOS B – 14.1 sec	AM: LOS D – 45.0 sec
	PM: LOS D – 31.3 sec	PM: LOS E – 60.5 sec
WB M-59 and Hill Road (SB)	AM: LOS B – 14.2 sec	AM: LOS C – 21.3 sec
	PM: LOS D – 30.1 sec	PM: LOS F – 68.2 sec
EB M-59 and WB crossover (SB)	AM: LOS C – 22.3 sec	AM: LOS E – 36.6 sec
	PM: LOS D – 29.1 sec	PM: LOS E – 40.6 sec
EB M-59 and Haven Rd (SB)	PM: LOS D – 34.6 sec	PM: LOS E – 46.4 sec

Due to the number of intersections where the LOS changes from LOS D to LOS E or F, DLZ believes there are further improvements to be made in this area.


We have reviewed the analysis; the methodology appear to be in line with standard practices, and the findings are supported by the data provided, though are in potential conflict with the previous TIS that used the same data. However, the resulting LOS for the intersections is worse than the background conditions for the site on several legs of the analyzed intersections. Several legs currently operating at LOS D or better will change to a LOS E or F, and nearly all legs will operate at a LOS worse than the background conditions. Further evaluation and improvements adjacent to the proposed site should be considered.

Upon running the right turn lane warrant for the WB Highland Road and Hill Road intersection, it was determined that a full right turn lane was warranted due to PM peak hour traffic volumes.

DLZ believes additional improvements are needed in the area in order to improve Level of Service in the corridor to an acceptable level, but would note that final approval of the Traffic Impact Study will be provided by MDOT.

If you have any questions, please feel free to contact to me.

Respectfully,
DLZ Michigan, Inc.

 Digitally signed by Leigh C
Merrill III
Date: 2022.06.16
12:52:27-04'00'

Leigh Merrill, P.E.
Project Manager

CC: Cc: Michael Leuffgen, P.E., DLZ *via email*
Justin Quagliata, Community Development *via e-mail*

WHITE LAKE TOWNSHIP TOWNSHIP BOARD

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Township Board

FROM: Sean O'Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: October 6, 2022

RE: The Avalon
Rezoning and Preliminary Site Plan – Review #6

Staff reviewed the revised preliminary site plan (PSP) prepared by Felino A. Pascual and Associates (FPA) dated May 10, 2022 (revision date September 29, 2022) and preliminary layout plan (single-family) prepared by PEA Group dated September 15, 2022. The aforementioned plans provide differing information for the single-family development, including lot size (area and width) and density; the table on Sheet LP-1 of the FPA plan was not updated during the last revision. **Plans shall be revised for consistency.**

The previous staff reports for the rezoning and PSP (attached) should be referenced for a more complete overview of the project. At its July 19, 2022 meeting the Township Board introduced the rezoning of both parcels to PD (Planned Development) and tabled action on the PSP. To address concerns of the Township Board, a number of changes were made to the PSP, including:

- Reduction of 13 single-family units, from 81 to 68
 - Units fronting Hill Road were eliminated
 - Single-family density was reduced from 2.6 units per acre to 2.2 units per acre
- Increased 12-unit building setback to 100 feet from Hill Road right-of-way line
- Increased ranch-unit building setback to 74 feet from Highland Road right-of-way line

Overall, there would be 394 apartment units (increased one unit from the previous plan) for rent among 57 buildings consisting of 17, twelve-unit buildings; 2, six-unit buildings (non-ranch units); 15, six-unit buildings; 5, five-unit buildings (4 on the prior PSP); 9, four-unit buildings (10 on the prior PSP); and 9, three-unit buildings. In the multiple-family portion of the development, the 12-plex buildings would be two-stories in height and all other building types would consist of ranch-style dwellings (with the exception of 2, six-unit buildings).

Recreation Space

Multiple-family developments are required to provide recreation space for the use of the residents therein. A formula is applied whereby 5,000 square feet for the first unit plus an additional 100 square feet for each additional unit determines such space required for recreation. For a 394-unit multiple-family development, 44,300 square feet (1.02 acres) of recreation space is required. **The table on Sheet LP-1 shall be revised to note the correct recreation space requirement (44,400 square feet is incorrectly listed as required).** 1.29 acres of recreation space (two pocket parks and a dog park) is indicated as provided in the multiple-family portion of the development. **The recreational space listed as provided in the table on Sheet LP-1 (1.12 acres) is incorrect and shall be revised. Furthermore, the open space listed as provided in the table on Sheet LP-1 shall be revised to not include the recreation space (1.29 acres).**

Single-Family Development Standards

- Lot Area
 - Based on the revised PSP, the minimum unit area is 8,350 square feet (311 square foot increase from prior PSP). The average unit is 10,573 square feet (527 square foot increase) in size. The Township Board must determine if the proposed unit areas are acceptable.
- Lot Frontage/Width
 - The minimum unit width proposed is 70 feet (eight-foot increase from prior PSP). It should be noted the average unit width increased ten feet, from the 68 feet to 78 feet.
- Setbacks and Lot Coverage
 - The yard setbacks and lot coverage for the existing R1-A zoning district, R1-D zoning district, PD zoning district, and the proposed PD (single-family) are summarized in the table below.

	R1-A zoning	R1-D zoning	PD zoning	Proposed PD
Front yard setback	35 feet	30 feet	40 feet	25 feet
Side yard setback	25 feet	10 feet	25 feet	7.5 feet
Rear yard setback	40 feet	30 feet	TBD	30 feet**
Max. lot coverage	20%*	20%*	TBD	35%

*A maximum 30% lot coverage may be approved administratively by the Community Development Director or his designee on existing lots of record where the lot has sanitary sewer service and the proposed building complies with all setback requirements.

A 45-foot rear yard setback was previously prescribed for six units at the north end of the PD. **Clarification is required at final site plan.

The initially proposed PD provided 35-foot rear yard setbacks (now five feet less proposed) and 10-foot side yard setbacks (now 2.5 feet less proposed). Based on a discussion with the Developer, it was staff’s understanding the minimum side yard setback would be eight (8) feet. **Staff suggests the Township Board require eight (8) foot side yard setbacks;** the test plot plans confirm various building footprints would fit on the units with eight (8) foot side yards.

The single-family portion of the development would still need waivers from standards of the zoning ordinance, including, but not limited to (see previous staff reports):

- Street Continuation
 - The zoning ordinance requires the street layout in condominium subdivisions provide for continuation of streets to adjoining residential developments or the proper projections of streets (a stub) to adjoining property which could be developed in the future. Currently there is no street stub proposed to the property to the north. The applicant stated there is a 26-foot grade difference from the north property line to the proposed road. Topographic conditions may justify a waiver from this requirement.

- Street Layouts and Blocks
 - The maximum length of cul-de-sac streets and maximum length of blocks within condominium subdivisions cannot exceed 1,500 feet. A waiver from this ordinance provision is required (the extent of the waiver shall be identified by the Developer).

Multiple-Family Development Standards

Generally, six to eight units per acre is allowed in the RM-1 (Attached Single-Family) zoning district and eight to ten units per acre is allowed in the RM-2 (Multiple-Family) zoning district. With 394 total units on approximately 64.82 net acres, density of the proposed multiple-family portion of the development is 6.1 units per acre. For safety reasons and to provide open space, the zoning ordinance requires setbacks between buildings. Where two or more multiple-family structures are erected on the same lot, a minimum setback of 20 feet must be provided between structures. If the structures have a common yard, this setback must be increased by two feet for each ten feet or part thereof by which each of the buildings exceed 40 feet in length on that side of the building facing the common yard. Furthermore, structures located within a multiple-family development must have a minimum setback of 25 feet from the back of sidewalk or 25 feet from back of curb for developments without sidewalks. The maximum lot coverage in both the RM-1 and RM-2 zoning districts is 20 percent, and 19.64 percent lot coverage is proposed.

Parallel Plan

For any residential project, a parallel plan demonstrating the layout and density of residential uses that would be possible without use of the PD District is required. A parallel plan must meet all standards for lot area, lot width, and setbacks; roadway improvements; open space; and contain an area which conceptually would provide sufficient area for stormwater detention. Lots in the parallel plan must provide sufficient building envelope size without impacting regulated wetlands.

The parallel plan provided shows the parcel on the east side of Hill Road developed under R1-D (Single-Family Residential) zoning. According to the plan, 62 units (96 units on the previous parallel plan) could be developed on “lots” 80 feet wide and 12,000 square feet in area (the minimum lot size standards for R1-D zoning). With 62 units on 30.66 net acres, the parallel plan yields a single-family density of 2.02 dwelling units per acre (decreased from 2.9 units per acre on the previous parallel plan).

On the west side of Hill Road, the parallel plan shows the parcel developed under RM-2 (Multiple-Family) zoning. As indicated on the plan, 540 units (apartments) (600 units on the previous parallel plan) could be developed among 43 twelve-unit buildings (49 on the prior PSP) and 4 six-unit buildings (2 on the prior PSP). For the multiple-family portion of the development, the parallel plan shows buildings on the site at 17.7% lot coverage (maximum 20%), and 1.4 acres of recreation space is provided (minimum 1.02 acres). **The recreational space listed as provided in the table on Sheet LP-1 (1.17 acres) is incorrect and shall be revised. Furthermore, the open space listed as provided in the table on Sheet LP-1 shall be revised to not include the recreation space (1.4 acres of pocket parks).** With 540 units on 64.82 net acres, the parallel plan yields a multiple-family density of 8.33 dwelling units per acre (decreased from 9.38 units per acre on the previous parallel plan).

Hill Road

As part of the project, Hill Road would be paved (which can be a requirement of approval per the zoning ordinance) from Highland Road to approximately 140 feet from the north property line. The Developer has offered to pave Hill Road to the property line if/when the Road Commission for Oakland County (RCOC) initiates improvements to Hill Road from its paving terminus, and would provide additional right-of-way if required.

Public Benefit

The intent of the PD district is to permit greater flexibility and more creative design of residential developments than is possible under conventional zoning regulations. A PD allows a developer to propose a residential project with diverse housing types and different lot dimensions and yard setbacks as those prescribed in the standard residential districts. Lot size, yards, frontage requirements, setbacks, building height, and type and size of dwelling unit restrictions are generally waived in a PD. In exchange for the flexible standards, a public benefit must be provided to offset the impact(s) of development on the Township. Other factors to consider during evaluation of public benefit is if an offered public benefit(s) is commensurate with the waivers requested for the project. Ordinance requirements (such as sidewalk installations and utility extensions) and other agency requirements (such as a Michigan Department of Transportation (MDOT) requirement to install traffic signalization on Highland Road) are not considered public benefits. For this project, the Developer has offered \$100,000 to be used at the discretion of the Township Board for projects benefitting the community.

Recommendation

Both the proposed rezoning and planned development (for each parcel) are compatible with the Master Plan and surrounding land uses. Staff recommends approval (final adoption) of the rezonings, and approval of the preliminary site plan subject to the items identified in this report and the previous staff reports (attached) being addressed prior to final site plan.

The following notations summarize the preliminary site plan review:

- Recommendation of approval is in accordance with the preliminary site plans prepared by Felino A. Pascual and Associates dated May 10, 2022 (revision date September 29, 2022) and preliminary layout plan (single-family) prepared by PEA Group dated September 15, 2022, subject to revisions as required. The utility, grading, and storm drainage plans for the site are subject to the approval of the Township Engineering Consultant and shall be completed in accordance with the Township Engineering Design Standards.
- Recommendation of approval is in accordance with the preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022, subject to revisions as required and with the preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018, subject to revisions as required.

Attachments:

1. Avalon staff report dated May 25, 2022.
2. Avalon staff report dated April 13, 2022.
3. Letter from James M. Galbraith dated September 30, 2022.
4. Revised preliminary site plan prepared by Felino A. Pascual and Associates dated May 10, 2022 (revision date September 29, 2022).
5. Preliminary layout plan (single-family) prepared by PEA Group dated September 15, 2022
6. Revised parallel plan prepared by Felino A. Pascual and Associates dated May 10, 2022 (revision date September 29, 2022).
7. Preliminary stormwater analysis prepared by PEA Group dated September 14, 2022.
8. Preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022.
9. Preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018.
10. Test plot plans prepared by Land Development Consulting Services, Inc dated September 20, 2022.
11. Single-family architectural profiles prepared by MJC Companies.

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O'Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: May 25, 2022

RE: The Avalon
Rezoning and Preliminary Site Plan – Review #4

Staff reviewed the revised preliminary site plan (PSP) prepared by PEA Group (revision date May 16, 2022). The previous staff report for the rezoning and PSP (attached) should be referenced for a more complete overview of the project. At its April 21, 2022 meeting the Planning Commission recommended approval of rezoning both parcels to Planned Development (PD) and recommended denial of the PSP. In an effort to address concerns of the Planning Commission, a number of changes were made to the PSP, including:

- Reduction of 13 multiple-family (apartment) units, from 406 to 393
 - Multiple-family density reduced from 6.3 units per acre to 6.1 units per acre
- Reduction of 6 single-family units, from 87 to 81
 - Single-family density reduced from 2.8 units per acre to 2.6 units per acre
- Increased multiple-family setback from north property line, from 50 feet to 120 feet
- Eliminated sign setback waiver request at the corner of Hill Road and Highland Road
- Eliminated Highland Road driveway width waiver request
- Eliminated parking stall striping waiver request
- Eliminated dumpster pad waiver request

Overall, there would be 393 apartment units for rent among 57 buildings (**Building 39 is not located on the PSP; revise building numbers accordingly**) consisting of 17, twelve-unit buildings; 17, six-unit buildings (21 on the prior PSP); 4, five-unit buildings (5 on the prior PSP); 10, four-unit buildings (6 on the prior PSP); and 9, three-unit buildings. **An updated number of two-bedroom units and three-bedroom units shall be provided on Sheet P-2.0.** In the multiple-family portion of the development, the 12-plex buildings would be two-stories in height and all other building types would consist of ranch-style dwellings. The 81 site condominiums would consist of one- and two-story units. All of the single-family and multiple-family units would have an attached two-car garage. Some single-family products have an optional two-and-a-half car garage and/or three-car garage. There are no side-entry garages on either the single-family or the multiple-family units.

On Sheet P-2.0, the following shall be updated in the Multi-Family Site Data Table:

- **Proposed Use: incorrect dwelling units per acre provided.**
- **Building Footprint Area: was not updated from prior PSP.**
- **Minimum Lot Size: number of units and minimum lot size not updated from prior PSP.**
- **Building Lot Coverage: was not updated from prior PSP.**
- **Setback Requirements (proposed only): was not updated from prior PSP.**
- **Parking Calculations: was not updated from prior PSP.**
- **Open Space: was not updated from prior PSP.**

On Sheet P-2.0, the following shall be updated in the Single-Family Site Data Table:

- **Maximum Building Lot Coverage: incorrect standard listed (correct standard is 20%) and proposed maximum lot coverage was not updated from prior PSP.**
- **Proposed Setbacks: the prior PSP noted a 45-foot rear yard setback prescribed for Units 8-13. If proposed, the data table shall note differing setbacks for certain units.**
- **Open Space: was not updated from prior PSP.**

Parallel Plan

For any residential project, a parallel plan demonstrating the layout and density of residential uses that would be possible without use of the PD District is required. A parallel plan must meet all standards for lot area, lot width, and setbacks; roadway improvements; open space; and contain an area which conceptually would provide sufficient area for stormwater detention. Lots in the parallel plan must provide sufficient building envelope size without impacting regulated wetlands.

The applicant provided a parallel plan showing the parcel on the east side of Hill Road developed under R1-D (Single-Family Residential) zoning. According to the plan, 96 units could be developed on “lots” 80 feet wide and 12,000 square feet in area (the minimum lot size standards for R1-D zoning). With 96 units on 32.51 net acres (net acreage for parallel plan purposes only), the parallel plan yields a single-family density of 2.9 dwelling units per acre.

On the west side of Hill Road, the parallel plan shows the parcel developed under RM-2 (Multiple-Family) zoning. As indicated on the plan, 600 units (apartments) could be developed among 49 twelve-unit buildings and 2 six-unit buildings. For the multiple-family portion of the development, the parallel plan shows buildings on the site at the maximum lot coverage (20%), and the minimum amount of recreation space is provided (1.49 acres). Note areas of recreation space are not identified on the plan; it appears areas likely comprising recreation space include the pocket park, clubhouse facility, and park commons noted on the plan. With 600 units on 63.94 net acres (net acreage for parallel plan purposes only), the parallel plan yields a multiple-family density of 9.4 dwelling units per acre.

Waivers

Generally, in a PD the standard requirements for lot size, yards, frontage, setbacks, building height, and type and size of dwelling unit are waived, provided the purpose and intent of the zoning ordinance are incorporated into the overall development plan. For PDs the zoning ordinance is intended to provide flexibility for the Planning Commission and Township Board to set appropriate standards during site plan review. Where modifications of zoning ordinance standards are requested, the Developer must provide a table which clearly compares each requested modification to the zoning ordinance standard to be modified. Unless variations are specifically requested and approved by the Planning Commission, the final site plan must comply with the appropriate standards of the Township. Based on the revised PSP, the Developer is requesting the following waivers for the Avalon PD:

Recreation Space

Multiple-family developments are required to provide recreation space for the use of the residents therein. A formula is applied whereby 5,000 square feet for the first unit plus an additional 100 square feet for each additional unit determines such space required for recreation. For a 406-unit multiple-family development, 45,500 square feet of recreation space is required. The submitted open space plan shall be revised to note the correct recreation space requirement (10,700 square feet is incorrectly listed as required). 18,623 square feet of recreation space (clubhouse, pool, and dog park) is proposed in the multiple-family portion of the development; therefore, a waiver of 26,877 square feet is required for the amount of recreation space. **It appears a recreation space waiver is still required – an updated calculation shall be provided on the PSP.**

Lot Area

The existing R1-A zoning district requires parcels have a minimum lot area of one acre. In the R1-D (Single-Family Residential) zoning district, the densest district in the Township, parcels are required to have a minimum lot area of 12,000 square feet. For the single-family portion of the project, the PD has “lots” ranging from 7,431.38 square feet to 17,750.68 square feet in size. The average “lot” size is 9,118.05 square feet. Staff suggests the Planning Commission consider requiring minimum lot area of at least 8,000 square feet. **Based on the revised PSP, “lots” range from 8,039 square feet (607.62 square foot increase) to 17,205 square feet (545.68 square foot decrease) in size. The average “lot” is 9,337 square feet (218.95 square foot increase) in size.**

Lot Frontage/Width

Lot width is the straight-line distance between parallel side lot lines, measured at the front setback line. Where side lot lines are not parallel, the width is measured at the front setback line parallel to the street or tangent to the curve of the street. The existing R1-A zoning district requires parcels have a minimum of 150 feet of lot frontage. In the R1-D zoning district, parcels are required to have a minimum lot width of 80 feet. Lots on a cul-de-sac or curvilinear street must have a minimum of 65 feet of frontage and comply with the lot width requirement at the minimum front setback line. Additionally, corner lots in condominium subdivisions must be at least 20 feet wider than the minimum width required by the zoning ordinance. For the single-family portion of the project, the PD has “lots” ranging from 62 feet of lot width (including “lots” on a cul-de-sac or curvilinear street) to 107 feet (**now 105 feet**). The average “lot” width is 68 feet. Staff suggests the Planning Commission consider requiring minimum lot width of at least 70 feet. **Based on the revised PSP, the minimum lot width and average lot width remain unchanged from the prior plan. Maximum lot width decreased two feet, from 107 feet to 105 feet. Staff still supports a larger lot width, with 70 feet suggested as the requirement for the PD.**

Setbacks and Lot Coverage

The yard setbacks and lot coverage for the existing R1-A zoning district, R1-D zoning district, PD zoning district, and the proposed PD (single-family) are summarized in the table below.

	R1-A zoning	R1-D zoning	PD zoning	Proposed PD
Front yard setback	35 feet	30 feet	40 feet	25 feet
Side yard setback	25 feet	10 feet	25 feet	10 feet
Rear yard setback	40 feet	30 feet	TBD	35 feet**
Max. lot coverage	20%*	20%*	TBD	35%***

*A maximum 30% lot coverage may be approved administratively by the Community Development Director or his designee on existing lots of record where the lot has sanitary sewer service and the proposed building complies with all setback requirements.

A 45-foot rear yard setback is prescribed for Units 8-13. **As noted on page 2 of this report, clarification is required on the revised PSP.

*** **As noted on page 2 of this report, clarification is required on the revised PSP.**

Buildings within a multiple-family development must have a minimum setback of 25 feet from the back of sidewalk or 25 feet from back of curb (if no sidewalk is present). A five-foot waiver is requested to allow a 20-foot front setback. **Waiver remains requested.**

The Planning Commission may consider the proposed setbacks and lot coverage and determine whether they are appropriate or whether additional setbacks or less lot coverage should be established. The submitted plan notes no deck or patio would encroach into any setback.

Decks, Porches, and Patios

The zoning ordinance states “In no instance shall a deck, porch, patio or paved terrace be located in any recorded easement...” As noted in the DLZ review letter dated April 13, 2022 decks and patios attached to several single-family units would likely encroach into the proposed storm sewer easement. Staff is concerned about deck/patio encroachment into the storm sewer easement. Maintenance activities within the easement could potentially damage decks/patios in the vicinity. While the storm system is private and must be maintained by the condo association (after assignment by the Developer), if the association fails to maintain the storm sewer and the Township exercises its right to maintain/repair/replace the system (as would be outlined in the development agreement and master deed) correcting resulting damage to private decks/patios should not be the responsibility of the Township. Hold harmless language, subject to approval by the Township Attorney, would need to be incorporated into the development agreement and master deed if a waiver was granted to allow deck/patio encroachment into the storm sewer easement. There is an alternative to not install decks/patios on the rear of units where encroachment into the storm sewer easement would occur. The decks/patios on the units in question could potentially be relocated to the sides of units and/or reduced in size. **As noted in the DLZ review letter dated May 25, 2022, since the unit count and numbering has changed and no utility information was included with the current submittal staff and consultants are unable to review requested changes or provide comment.**

Separate from the waiver request, the note under the typical lot layout on Sheets P-2.3 and P-2.4 of the site plan shall be revised to add the word “within” following the word “encroaching.” Also, the words “wetland buffer” shall be replaced with the words “natural features.” **Comment outstanding.**

Additionally, the Developer shall clarify its correspondence to the Township dated April 4, 2022. In said communication, the Developer requested a waiver to allow decks/patios to encroach within the Natural Features Setback on Units 1, 4, 9, 27, and 40. Such a request for waiver is inconsistent with the submitted preliminary site plans. **Comment outstanding; however, it does not appear a waiver for the aforementioned units to encroach into the Natural Features Setback is required.**

Driveway Access

For boulevard-style driveways, the minimum required entering road width is 20 feet and the minimum required exiting road width is 22 feet. The Hill Road boulevard access to the multiple-family portion of the development (both entering and exiting drives) appear to be 19 feet in width (the PSP measures the drive width to the back of curb; road measurement surface is taken between the edges of the gutter pan) and is noncompliant. Waivers (1 foot for entrance; 3 feet for exit) are needed to allow a reduction of the required road surface width.

Street Layouts and Blocks

The maximum length of cul-de-sac streets and maximum length of blocks within condominium subdivisions cannot exceed 1,500 feet. The Developer is seeking a 930-foot waiver to allow maximum block length of 2,430 feet. Topography, steep grades, and natural features on the site were the stated reasons for the requested waiver. The Fire Department has reviewed the length of the streets and blocks and is satisfied with accommodations for emergency access.

Street Continuation

The zoning ordinance requires the street layout in condominium subdivisions provide for continuation of streets to adjoining residential developments or the proper projections of streets (a stub) to adjoining property which could be developed in the future. Currently there is no street stub proposed to the property to the north. The applicant stated there is a 26-foot grade difference from the north property line to the proposed road. Topographic conditions seem to justify a waiver from this requirement.

Sidewalks

The zoning ordinance requires a minimum six-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along both the east and west Hill Road property frontages, which the applicant is required to install as part of the project. The submitted site plan shows an eight-foot concrete sidewalk along the west side of the Hill Road property frontage from Highland Road to the south side of the single-family access (across the street). Portions of this sidewalk are proposed outside of the future right-of-way; the sidewalk must be relocated inside the road right-of-way or an easement be provided. Right-of-way/easement widths for public walkways when not adjacent to or a part of street rights-of-way must be at least 15 feet and dedicated to the use of the public. Sidewalks on the east side of Hill Road are proposed along the frontage of Units 81-84 (**now Units 75-78**) and Units 85-87 (**now Units 79-81**). There are regulated wetlands and a stream along the remaining portion of Hill Road north of Units 81-84 (**now Units 75-78**); therefore, the Developer is requesting a waiver to not install sidewalks in this location. However, the Developer offered to make a contribution to the Township Sidewalk Fund to supplement the pathway areas not installed along Hill Road. The amount of the proposed donation must be provided and accepted by the Township.

Signs

The zoning ordinance requires the area, quantity, location, and dimensions of all signs to be provided with the preliminary site plan. One monument sign, not more than 30 square feet in area, may be maintained at or adjacent to the principal entrance to a residential development. One additional sign may be permitted if the residential development has access to two thoroughfares or the development has more than one boulevard street entrance from an existing arterial or it has at least 250 dwellings. The signs may not exceed a height of six feet. The multiple-family portion of the development would contain more than 250 units, so a second development entry sign is permitted by right.

A waiver is requested to install a third sign (determined to be the sign at the corner of Highland Road and Hill Road). For the multiple-family portion of the development, the other monument signs are proposed adjacent to (Highland Road) and within (Hill Road) the boulevard entrances. One monument sign is proposed within the boulevard entrance to the single-family portion of the development.

While signage details were not provided, staff can administratively review and approve the sign design. The monument signs would be required to comply with residential district sign regulations, including not more than 30 square feet in area and six feet in height.

Comments to be addressed from previous review

- The apartments would have access to a 6,658 square foot clubhouse consisting of a business center, fitness center, and leasing office. A patio (covered and uncovered) at the rear of the clubhouse is adjacent to a swimming pool. The conceptual clubhouse renderings state the building would be 5,132 square feet in size. Clarify the size of the clubhouse and revise the plans for consistency.
- The open space plan does not clearly indicate if stormwater management areas are counted as open space. Clarification must be provided.
- Parking calculations (for multiple-family dwellings) on Sheet P-2.0 shall be revised; the number of bedrooms, guest parking required, and total parking required are incorrect.
- Phasing, if any, shall be indicated on the plans.
- A trash enclosure detail shall be provided on Sheet P-7.0 showing the finished face on the outside walls of the enclosure and indicate the color of the gate.
- An updated list of all requested waivers shall be provided by the Developer. Furthermore, PD modifications 2, 4, and 5 shall be removed from the table on Sheet P-2.0.

Planning Commission Options / Recommendation

The Planning Commission may recommend approval or denial of the rezoning request, or it may recommend a different zoning designation than proposed by the applicant to the Township Board. The Planning Commission may recommend approval, approval with conditions, or denial of the preliminary site plan to the Township Board. **The proposed rezoning and planned development are both compatible with the Master Plan and with surrounding land uses. Staff recommends approval of the rezoning, and approval of the preliminary site plan subject to the items identified in this report being addressed prior to final site plan.**

The following notations summarize the preliminary site plan review:

- Recommendation of approval is in accordance with the preliminary site plans prepared by PEA Group (revision date ~~April 4, 2022~~ **May 16, 2022**), subject to revisions as required. The utility, grading, and storm drainage plans for the site are subject to the approval of the Township Engineering Consultant and shall be completed in accordance with the Township Engineering Design Standards.
- Recommendation of approval is in accordance with the preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022, subject to revisions as required and with the preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018, subject to revisions as required.

Attachments:

1. Avalon staff report dated April 13, 2022.
2. Revised preliminary site plan prepared by PEA Group (revision date May 16, 2022).
3. Preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022.
4. Preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018.

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O'Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: April 13, 2022

RE: The Avalon
Rezoning and Preliminary Site Plan – Review #3

White Lake Hill, LLC has submitted an approximately \$140,000,000 planned development (PD) proposal for a project identified as The Avalon. Overall, the 493-unit PD proposal includes the construction of 87 detached single-family site condominiums (The Residence at Avalon) on approximately 30.66 net acres located on the east side of Hill Road, north of Highland Road and the construction of 406 multiple-family units (The Avalon Apartment Homes) on approximately 64.82 net acres located on the west side of Hill Road, north of Highland Road. Site condominiums are units whereby a person owns their individual “lot” and shares ownership of common space with the rest of the owners in the development. Typically, an owner is responsible for maintaining their own “lot,” much like a traditional subdivision. The site condominium would be governed by a declaration of Covenants, Conditions and Restrictions (CCRs), which were provided with the application. The multiple-family development would be maintained by a management company.

The area proposed for a PD is comprised of two parcels, which would be required to be rezoned. The property west of Hill Road (1085 Hill Road; Parcel Number 12-20-101-003) is zoned PB (Planned Business) and AG (Agricultural), and the property east of Hill Road (Parcel Number 12-20-126-006) is zoned R1-A (Single-Family Residential). The parcels proposed for the PD are identified in the table below:

Property/Parcel Number	Acreage	Street Frontage
Parcel Number 12-20-126-006	41.06 gross acres 30.66 net acres	1,624.88 feet (Hill Road)
1085 Hill Road Parcel Number 12-20-101-003	68.96 gross acres 64.82 net acres	1,406.50 feet (at the chord – Highland Road) 2,443.61 feet (Hill Road)

The intent of the PD district is to permit greater flexibility and more creative design of residential developments than is possible under conventional zoning regulations. A PD allows a developer to propose a residential project with diverse housing types and different lot dimensions and yard setbacks as those prescribed in the standard residential districts. Lot size, yards, frontage requirements, setbacks, building height, and type and size of dwelling unit restrictions are generally waived in a PD. In exchange for the flexible standards, a public benefit must be provided to offset the impact(s) of development on the Township. The Developer is proposing to contribute \$100,000 to the Township Parks and Recreation Fund to be utilized at Stanley Park.

Overall, there would be 406 apartment units for rent among 58 buildings consisting of 17, twelve-unit buildings; 21, six-unit buildings; 5, five-unit buildings; 6, four-unit buildings; and 9, three-unit buildings. There would be 334 two-bedroom units and 72 three-bedroom units. The 12-plex buildings would be two-stories in height and all other building types would consist of ranch-style dwellings. The 87 site condominiums would consist of one- and two-story units. All of the single-family and multiple-family units would have an attached two-car garage. Some single-family products have an optional two-and-a-half car garage and/or three-car garage. There are no side-entry garages on either the single-family or the multiple-family units.

The apartments would have access to an approximately 6,658 square foot clubhouse consisting of a business center, fitness center, and leasing office. A patio (covered and uncovered) at the rear of the clubhouse is adjacent to a swimming pool. The conceptual clubhouse renderings state the building would be 5,132 square feet in size. The Developer must clarify the size of the clubhouse and revise the plans for consistency.

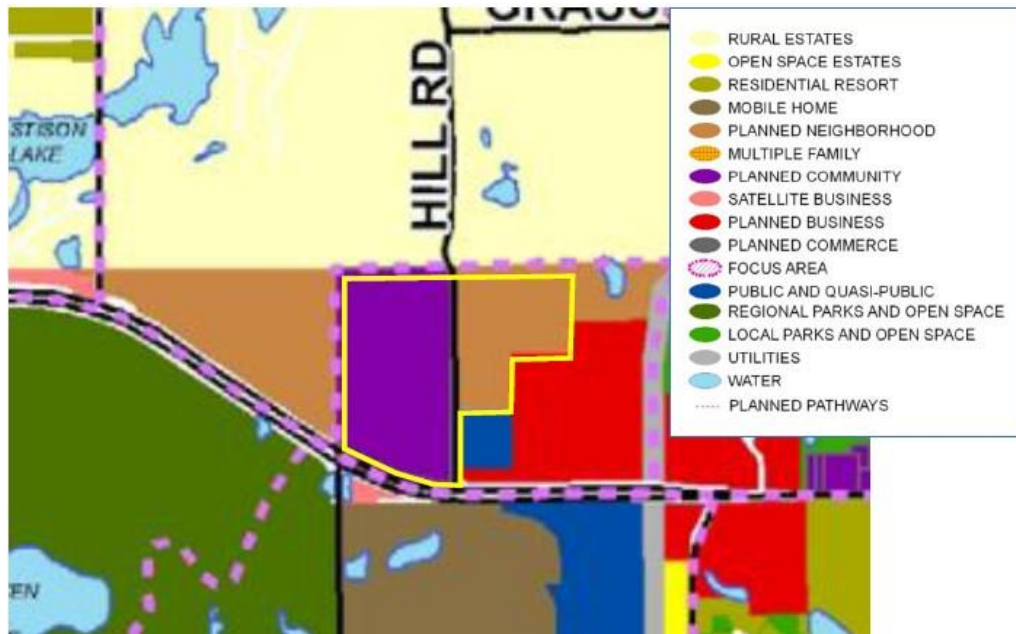
In total, the Developer estimates approximately 1,200 persons would reside within the overall development and anticipates the multiple-family apartments would lease for rates ranging from \$2,000 - \$2,700 per month and the single-family units would be for sale ranging from \$450,000 - \$500,000.

Master Plan

The Future Land Use Map from the Master Plan designates the subject site east of Hill Road in the Planned Neighborhood category, which is envisioned as a primarily residential land use of mixed densities and multiple product types, in a setting which may occasionally include a limited number of neighborhood retail, office, and personal service clusters. Connections to and segments of the Township community-wide pathway system are required as an integral part of all developments. All Planned Neighborhood development is intended to be served by Township sanitary sewers and either Township public water or community well systems. Net residential densities are anticipated to range between 2.0 and 8.0 units per acre, and nonresidential elements should not exceed 25 percent of the net land area after preservation of natural features. With 87 total units on approximately 30.66 net acres, density of the proposed site condominium is 2.8 dwelling units per acre (du/a).

The subject site west of Hill Road is designated as Planned Community on the Future Land Use Map. Planned Community is characterized by a mix of uses including higher residential densities and a variety of housing product types as well as a core area with retail, dining, entertainment, governmental, recreational, institutional, office and personal service establishments. Residential elements of a Planned Community may take the form of a freestanding neighborhood, or may be permitted on the upper floors of nonresidential development in the community core area. Multi-use/story buildings are expected to have two or three stories, however open space must be provided. Connections to and segments of the Township community-wide pathway system are required as an integral part of all developments. With 406 total units on approximately 64.82 net acres, density of the proposed multiple-family portion of the development is 6.3 du/a.

FUTURE LAND USE MAP



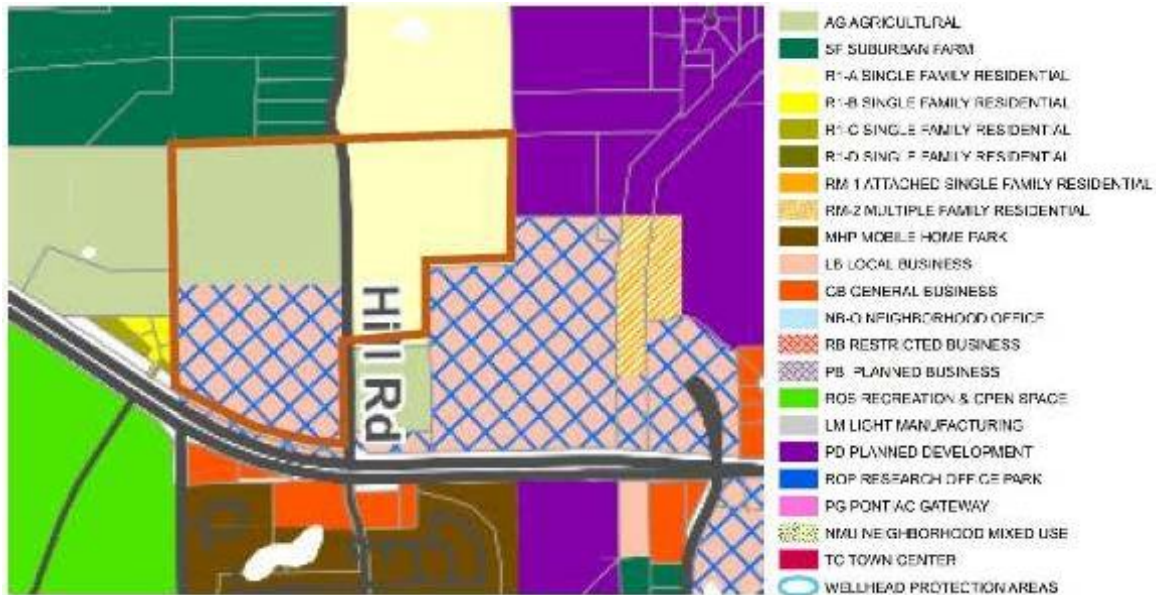
Zoning

The subject site west of Hill Road has split zoning; the south portion of the parcel is located in the PB (Planned Business) zoning district and the north portion of the parcel is located in the AG (Agricultural) zoning district. The subject site east of Hill Road is located in the R1-A (Single-Family Residential) zoning district. The following table illustrates the lot width and lot area standards for the existing and proposed zoning districts:

ZONING DISTRICT	LOT WIDTH	LOT AREA
AG	300 feet	5 acres
PB	No minimum	10 acres
R1-A	150 feet	1 acre

The properties proposed for development are requested to rezone to PD. A PD is allowed on properties a minimum of 10 acres in size. Any type and mix of housing (detached or attached single-family dwellings or multiple-family dwellings) are permitted in a PD. Various types of planned land use on large parcels held in common ownership, which includes preservation of open space, should characterize the PD district.

ZONING MAP



Physical Features

Currently the parcels are undeveloped and in parts are wooded with rolling topography. Wetlands on the properties were delineated by Barr Engineering Co. in March and April of 2021. There were 22 wetlands onsite, identified as A through V in the delineation report. According to the delineation report Wetlands I, J, K, O, R, and S appear to be regulated under Part 303 (Wetlands Protection, of the Michigan Natural Resources and Environmental Protection Act) because they are within 500 feet of the stream located east of Hill Road. Wetlands H and N may be regulated under Part 303 because they extend offsite and may be connected to a larger wetland complex, located west of the area of investigation that appears to be greater than five acres in size. Wetlands T and U may also be regulated under Part 303 because they are part of a larger wetland complex, located offsite, which is likely within 500 feet of the stream and likely five acres or more in size. Therefore, a Part 303 permit would likely be required from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) to place fill, remove soil, drain surface water from, or make use of these specific wetlands. EGLE has regulatory authority regarding the wetland boundary location(s) and jurisdictional status of wetlands on this site. The Developer acknowledged prior to final site plan the wetland boundary determination and jurisdictional opinion shall be reviewed and verified by EGLE. The proposed unit layout may require revision in response to the EGLE review. Based on the submitted plans, 0.41-acre of wetland impact is proposed within the single-family portion of the development and 0.34-acre of wetland impact is proposed within the multiple-family portion of the development.

No building or structure can be located closer than 25 feet to any regulated wetland, submerged land, watercourse, pond, stream, lake or like body of water. The setback shall be measured from the edge of the established wetland boundary as reviewed and approved by the Township. Grading activities should also not occur in the Natural Features Setback (NFS) as the intent is to, as much as possible, leave said area in its natural state (i.e., not maintaining a lawn, not applying fertilizers or pesticides, native plantings only). In the single-family portion of the development, grading is proposed within the NFS. If grading is permitted to occur in the NFS, the area must be restored to its natural, undisturbed state. The Developer acknowledged a NFS restoration plan is required and must be submitted at final site plan, and also acknowledged the following must be conditions of any approval:

- Prior to any construction or grading on the site, the Developer shall install silt fencing at the upland edge of Natural Features Setbacks / limits of grading. The silt fencing shall be removed after construction once the area is stabilized and vegetation has been established.
- Wetland limits shall be clearly identified with permanent markers. The size, number, location, and language on the markers shall be subject to the approval of the Community Development Director.

Access

The site fronts on Highland Road and Hill Road. Highland Road (state trunkline) along the subject site is a four-lane divided highway designated as a Principal Arterial on the Township Thoroughfare Plan. Development of the subject site requires the installation of an eight-foot-wide sidewalk along the Highland Road property frontage (shown on plans; the existing paved shoulder is to be removed and converted to greenbelt). Hill Road is a gravel, two-lane public road without curb and gutter with a proposed 86-foot right-of-way requirement by the Road Commission for Oakland County (RCOC). The Developer will be required to dedicate (if not already completed) the additional portion of the future right-of-way to the RCOC. As part of the project, the Developer would pave Hill Road beginning approximately 140 feet from the northern extent of the condominium southward to Highland Road in accordance with the requirements of the RCOC.

A traffic impact statement (TIS) is required if the proposed use(s) would generate 750 or more driveway trips per day, or 100 or more peak-hour, peak-direction driveway trips. An average day is the average 24-hour total of all vehicle trips counted to and from a study site from Monday through Friday. A peak hour of traffic is the hour of highest volume of traffic entering and exiting the site during the morning and afternoon hours. A TIS prepared by Rowe dated November 22, 2021 was submitted examining traffic generation, access management, safety, and sight distance for the proposed development. The study looks at existing, background (future traffic volumes without the traffic generated by the proposed development; there were no future background developments identified in the study), and future level of service (LOS) during the AM (7:00-9:00 a.m.) and PM (4:00-6:00 p.m.) peak hours at the following intersections around the project site:

- Highland Road and Hill Road
- Highland Road and Le Grand Court
- Westbound Highland Road and crossover east of Hill Road
- Eastbound Highland Road and crossover west of Hill Road
- Westbound Highland Road and crossover west of Hill Road
- Highland Road and Haven Road
- Hill Road and Driveway 1
 - Proposed driveway approximately 2,300 feet north of Highland Road
- Hill Road and Driveway 2
 - Proposed driveway approximately 1,600 feet north of Highland Road

The traffic study notes existing traffic at the studied intersections all operate at an acceptable LOS (LOS D or better) during the AM and PM peak hours, with the exception of westbound Highland Road and eastbound crossover (east of Hill Road). The study shows background traffic at the studied intersections will operate at an acceptable LOS during AM and PM peak hours, with the exception of Highland Road and Haven Road, and westbound Highland Road and eastbound crossover (east of Hill Road). For future traffic, the study indicates all studied intersections will continue to operate at an acceptable LOS during the AM and PM peak hours, with the exception of several movements at the following intersections:

- Westbound Highland Road and Eastbound Crossover (east of Hill Road)
 - The northbound left-turn movement would continue to operate at LOS F in the PM peak hour and experience a total 95th percentile queue length of 411 feet (17 vehicles).
- Highland Road and Hill Road
 - The southbound right turn movement would operate at LOS F in the PM peak hour and experience a 95th percentile queue length of 612 feet (25 vehicles).
- Eastbound Highland Road and Westbound Crossover (west of Hill Road)
 - The southbound left turn movement would operate at LOS E in the PM peak hour and experience a total 95th percentile queue length of 354 feet (14 vehicles).
- Highland Road and Haven Road
 - The southbound left turn movements would operate at LOS E in the PM peak hour and experience a total 95th percentile queue length of 91 feet (4 vehicles).

The 95th percentile queue lengths were reviewed at the studied intersections. Significant queues were observed in the simulation for the westbound Highland Road and eastbound crossover (east of Hill Road) that impacted the eastbound through movements. To mitigate those issues, the study recommends a traffic signal for the westbound Highland Road and eastbound crossover (east of Hill Road). A signal at this intersection would reduce delay for the northbound left turns experienced during the PM peak hour and reduce queues experienced at this intersection and the intersection of Highland Road and Hill Road. The results of the LOS analysis for future conditions with the improvement listed above results in the following:

- Westbound Highland Road and Eastbound Crossover (east of Hill Road)
 - The northbound left turn movement would continue to operate at LOS F in the PM peak hour with a reduction in delay from 239.5 seconds to 189.4 seconds and experience a total 95th percentile queue length of 217 feet (9 vehicles).

- Highland Road and Hill Road
 - The southbound right turn movement would continue to operate at LOS F in the PM peak hour and experience a 95th percentile queue length of 227 feet (9 vehicles).

With improvements, the 95th percentile queue lengths were reviewed at the studied intersections. No significant queue lengths were observed in the simulations and queue lengths did not block any study intersection. The study also suggests a right-turn lane is warranted for the driveway off of westbound Highland Road. The recommended improvements are shown on the plan.

The following table summarizes traffic generation estimates for the proposed project:

Land Use	Land Use Code	Units	AM Peak Hour			PM Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Single-family Detached Housing	210	88 Units	17	49	66	55	33	88	897
Multi-family Housing (Low-Rise)	220	406 Units	36	113	149	123	72	195	2,678
Total	-	-	53	162	215	178	105	283	3,575

Utilities

Municipal water and sanitary sewer are available in the vicinity of the subject site and would have to be extended to serve the proposed development. The location and capacity of utilities will be reviewed by the Director of Public Services and the Township Engineering Consultant.

The Developer intends to construct sanitary sewer along Hill Road to the furthest extent north possible. To supplement the shortened length (approximately 50 feet from north property line), the Developer will make a contribution to the Township Sanitary Sewer Fund. The amount of the proposed contribution must be provided and accepted by the Township. Additionally, a utility easement will be provided to the Township at north end of the property along Hill Road.

Staff Analysis

In considering any petition for an amendment to the zoning map, the Planning Commission and Township Board must consider the criteria from Article 7, Section 13 of the zoning ordinance in making its findings, recommendations, and decision. Review of the rezoning request should focus on whether the proposed PD zoning is appropriate for the site. When reviewing the preliminary site plan, the Planning Commission should consider if the project meets the design standards for Planned Developments found in Article 6, Section 7 (C) and (D) of the zoning ordinance, the appropriateness of the requested waivers, and the site standards and development procedures for a PD as outlined in Articles 5 and 6, respectively, of the zoning ordinance.

The Planned Development review process is summarized by the following steps:

1. **Preliminary Site Plan:** During this review, the number of units and road layout are established, the amount of open space is determined, and other project details are decided upon. The Planning Commission holds a public hearing on the rezoning, reviews the PD proposal, and makes a recommendation to the Township Board. The Township Board takes final action, approving or denying the preliminary site plan. The rezoning request is reviewed concurrently with the preliminary site plan and is decided by the Township Board.
2. **Final Site Plan:** At this time, building materials and colors are finalized and all conditions of preliminary site plan approval must be satisfied. The Planning Commission reviews and takes action to approve or deny the final site plan, and also reviews the proposed Development Agreement and makes a recommendation to the Township Board.
3. **Development Agreement:** Upon recommendation by the Planning Commission, the Township Board takes final action on the Development Agreement.

Following is a summary of the project's consistency with the provisions of the zoning ordinance.

Open Space

Planned Developments are intended to include the preservation of open space. Common open space is land in an undeveloped state preserving natural resources, natural features, scenic or wooded conditions, agricultural use, or a similar use or condition. Land in an undeveloped state may include a recreational trail, picnic area, children's play area, greenway, or linear park. Land in common open space is not required to be dedicated to the use of the public. With a total of 30.66 acres of developable area, the single-family portion of the development provides 5.93 acres (19.3% of the developable area) as open space. With a total of 64.82 acres of developable area, the multiple-family portion of the development provides 24.22 acres (37.4% of the developable area) as open space. Note the submitted open space plan does not clearly indicate if stormwater management areas are counted as open space. Clarification must be provided.

Parking

For multiple-family dwellings, the zoning ordinance requires two parking spaces for each dwelling unit plus $\frac{1}{4}$ of a space per bedroom for guest parking in common areas. With 406 multiple-family dwelling units consisting of 884 bedrooms, a total of 1,033 spaces would be required for the project (812 resident spaces and 221 guest spaces). A total of 1,297 spaces are proposed (812 resident spaces in garages, 406 guest spaces in driveways, and 79 guest spaces not associated with individual units). Parking calculations on Sheet P-2.0 shall be revised; the number of bedrooms, guest parking required, and total parking required are incorrect.

Phasing: The applicant indicated both the single-family and multiple-family portions of the project will be developed in one phase. Based on the magnitude and scope of the project, staff estimates 2025-2027 as the project build-out year.

Sidewalks: The zoning ordinance requires sidewalks for internal circulation with a minimum of five feet in width. The submitted site plan shows five-foot-wide sidewalks along both sides of each street in the single-family portion of the project and along at least one side of each street in the multiple-family portion of the project. A crosswalk connection is proposed across Hill Road between the entrances of both the single-family and multiple-family developments.

Streets/Circulation: All condominium subdivisions must be developed with public streets conforming to all minimum requirements, general specifications, typical cross-sections and other conditions set forth in the zoning ordinance and any other requirements of the RCOC. All streets must also be approved by and dedicated to the RCOC. In the event the Developer is unable to obtain approval from, and dedicate the proposed streets to the RCOC, a separate application for approval of private condominium streets must be filed with the Planning Commission. All private condominium streets must conform to the standards of the zoning ordinance. The Developer indicated the streets at The Residences at Avalon would be built to public standards and approved and dedicated to the RCOC. All streets in the multiple-family portion of the development would be private.

Building Architecture and Design

Generally, exterior building materials should be comprised primarily of high quality, durable, low maintenance material, such as masonry, stone, brick, glass, or equivalent materials. Buildings should be completed on all sides with acceptable materials. As shown on the preliminary architectural plans, the proposed building materials for the project are a mix of horizontal siding and brick veneer, with asphalt shingle roofing. Ranch units within the multiple-family portion of the project would have rear recessed covered patios. Most 12-plex units would also have a recessed covered patio; those units that do not would have a balcony (second-story). At final site plan, detailed elevations will be required to clearly indicate the exterior building materials to be used. Also, the architectural plans shall not identify the 12-plex units as condominiums, as condominiums are not a housing type but rather a form of ownership.

A sample board of building materials to be displayed at the Planning Commission meeting and elevations in color are required by the zoning ordinance and must be submitted at final site plan. Additionally, address (street number) locations must be shown on the buildings. Three-inch-tall numbers visible from the street are required. The address locations are subject to approval of the Township Fire Marshal.

An outdoor patio is located on the north side of the clubhouse building and around the pool. Details for the items to be located on the patio and details for the patio surfacing shall be provided at final site plan. An ornamental paving treatment should be required by the Planning Commission. The treatment should be something either decorative or something to provide aesthetic quality to the patio. Potential options for ornamental paving treatments include, but are not limited to, CMU pavers; brick; stone; or stamped, stained, and sealed concrete. Accessory items within the development such as railings, benches, trash receptacles, outdoor seating (such as tables and chairs), or sidewalk planters located in the vicinity of sidewalks and/or outdoor seating areas are required to be of commercial quality and complement the building design and style. These details must be provided at final site plan.

Landscaping and Screening

Landscaping must generally comply with the provisions of the zoning ordinance and should be designed to preserve existing significant natural features and to buffer service areas, parking lots, and dumpsters. A mix of evergreen and deciduous plants and trees are preferred, along with seasonal accent plantings. A landscape plan will be provided and reviewed in detail during final site plan if the preliminary site plan is approved.

Lighting

Site lighting is required to comply with the zoning ordinance. Information on site lighting will be reviewed in detail during final site plan.

Waivers

Generally, in a PD the standard requirements for lot size, yards, frontage, setbacks, building height, and type and size of dwelling unit are waived, provided the purpose and intent of the zoning ordinance are incorporated into the overall development plan. For PDs the zoning ordinance is intended to provide flexibility for the Planning Commission and Township Board to set appropriate standards during site plan review. Where modifications of zoning ordinance standards are requested, the Developer must provide a table which clearly compares each requested modification to the zoning ordinance standard to be modified. Unless variations are specifically requested and approved by the Planning Commission, the final site plan must comply with the appropriate standards of the Township. Based on the submitted site plan, the Developer is requesting the following waivers for the Avalon PD:

Recreation Space

Multiple-family developments are required to provide recreation space for the use of the residents therein. A formula is applied whereby 5,000 square feet for the first unit plus an additional 100 square feet for each additional unit determines such space required for recreation. For a 406-unit multiple-family development, 45,500 square feet of recreation space is required. The submitted open space plan shall be revised to note the correct recreation space requirement (10,700 square feet is incorrectly listed as required). 18,623 square feet of recreation space (clubhouse, pool, and dog park) is proposed in the multiple-family portion of the development; therefore, a waiver of 26,877 square feet is required for the amount of recreation space.

Parallel Plan

For any residential project, a parallel plan demonstrating the layout and density of residential uses that would be possible without use of the PD District is required. The Developer requested a waiver of this requirement, as the densities proposed are within the Master Plan guidelines.

Lot Area

The existing R1-A zoning district requires parcels have a minimum lot area of one acre. In the R1-D (Single-Family Residential) zoning district, the densest district in the Township, parcels are required to have a minimum lot area of 12,000 square feet. For the single-family portion of the project, the PD has “lots” ranging from 7,431.38 square feet to 17,750.68 square feet in size. The average “lot” size is 9,118.05 square feet. Staff suggests the Planning Commission consider requiring minimum lot area of at least 8,000 square feet.

Lot Frontage/Width

Lot width is the straight-line distance between parallel side lot lines, measured at the front setback line. Where side lot lines are not parallel, the width is measured at the front setback line parallel to the street or tangent to the curve of the street. The existing R1-A zoning district requires parcels have a minimum of 150 feet of lot frontage. In the R1-D zoning district, parcels are required to have a minimum lot width of 80 feet. Lots on a cul-de-sac or curvilinear street must have a minimum of 65 feet of frontage comply with the lot width requirement at the minimum front setback line. Additionally, corner lots in condominium subdivisions must be at least 20 feet wider than the minimum width required by the zoning ordinance. For the single-family portion of the project, the PD has “lots” ranging from 62 feet of lot width (including “lots” on a cul-de-sac or curvilinear street) to 107 feet. The average “lot” width is 68 feet. Staff suggests the Planning Commission consider requiring minimum lot width of at least 70 feet.

Setbacks and Lot Coverage

The yard setbacks and lot coverage for the existing R1-A zoning district, R1-D zoning district, PD zoning district, and the proposed PD (single-family) are summarized in the table below.

	R1-A zoning	R1-D zoning	PD zoning	Proposed PD
Front yard setback	35 feet	30 feet	40 feet	25 feet
Side yard setback	25 feet	10 feet	25 feet	10 feet
Rear yard setback	40 feet	30 feet	TBD	35 feet**
Max. lot coverage	20%*	20%*	TBD	35%

*A maximum 30% lot coverage may be approved administratively by the Community Development Director or his designee on existing lots of record where the lot has sanitary sewer service and the proposed building complies with all setback requirements.

**A 45-foot rear yard setback is prescribed for Units 8-13.

Buildings within a multiple-family development must have a minimum setback of 25 feet from the back of sidewalk or 25 feet from back of curb (if no sidewalk is present). A five-foot waiver is requested to allow a 20-foot front setback.

The Planning Commission may consider the proposed setbacks and lot coverage and determine whether they are appropriate or whether additional setbacks or less lot coverage should be established. The submitted plan notes no deck or patio would encroach into any setback.

Decks, Porches, and Patios

The zoning ordinance states “In no instance shall a deck, porch, patio or paved terrace be located in any recorded easement...” As noted in the DLZ review letter dated April 13, 2022 decks and patios attached to several single-family units would likely encroach into the proposed storm sewer easement. Staff is concerned about deck/patio encroachment into the storm sewer easement. Maintenance activities within the easement could potentially damage decks/patios in the vicinity. While the storm system is private and must be maintained by the condo association (after assignment by the Developer), if the association fails to maintain the storm sewer and the Township exercises its right to maintain/repair/replace the system (as would be outlined in the development agreement and master deed) correcting resulting damage to private decks/patios should not be the responsibility of the Township. Hold harmless language, subject to approval by the Township Attorney, would need to be incorporated into the development agreement and master deed if a waiver was granted to allow deck/patio encroachment into the storm sewer easement. There is an alternative to not install decks/patios on the rear of units where encroachment into the storm sewer easement would occur. The decks/patios on the units in question could potentially be relocated to the sides of units and/or reduced in size.

Separate from the waiver request, the note under the typical lot layout on Sheets P-2.3 and P-2.4 of the site plan shall be revised to add the word “within” following the word “encroaching.” Also, the words “wetland buffer” shall be replaced with the words “natural features.”

Additionally, the Developer shall clarify its correspondence to the Township dated April 4, 2022. In said communication, the Developer requested a waiver to allow decks/patios to encroach within the Natural Features Setback on Units 1, 4, 9, 27, and 40. Such a request for waiver is inconsistent with the submitted preliminary site plans.

Driveway Access

One-way drives must be a minimum of 20-feet-wide. Furthermore, for boulevard-style driveways, the minimum required entering road width is 20 feet and the minimum required exiting road width is 22 feet. The exiting drive onto Highland Road is 16 feet in width. DLZ deferred compliance regarding this matter (Item B, Page 2 of the DLZ review letter dated April 13, 2022) to the Community Development Department. The aforementioned item was not addressed. The site plan measures the drive width to the back of curb; the road measurement surface is taken between the edges of the gutter pan. A waiver of six feet is required to allow the Highland Road exit drive to consist of a 16-foot-wide road surface. Additionally, the Hill Road boulevard access (both entering and exiting drives appear to be 19 feet in width) to the multiple-family portion of the development is noncompliant and waivers (1 foot for entrance; 3 feet for exit) are needed to allow a reduction of the required road surface width.

Parking

The zoning ordinance requires each individual parking space be delineated by dual stripes, two feet apart centered on the dividing lines and painted white. A waiver is requested to allow single stripes. Separate from the waiver request, a “Van Accessible” sign detail for the barrier-free parking shall also be provided on Sheet P-7.0 of the site plan.

Street Layouts and Blocks

The maximum length of cul-de-sac streets and maximum length of blocks within condominium subdivisions cannot exceed 1,500 feet. The Developer is seeking a 930-foot waiver to allow maximum block length of 2,430 feet. Topography, steep grades, and natural features on the site were the stated reasons for the requested waiver. The Fire Department has reviewed the length of the streets and blocks and is satisfied with accommodations for emergency access.

Sidewalks

The zoning ordinance requires a minimum six-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along both the east and west Hill Road property frontages, which the applicant is required to install as part of the project. The submitted site plan shows an eight-foot concrete sidewalk along the west side of the Hill Road property frontage from Highland Road to the south side of the single-family access (across the street). Portions of this sidewalk are proposed outside of the future right-of-way; the sidewalk must be relocated inside the road right-of-way or an easement be provided. Right-of-way/easement widths for public walkways when not adjacent to or a part of street rights-of-way must be at least 15 feet and dedicated to the use of the public. Sidewalks on the east side of Hill Road are proposed along the frontage of Units 81-84 and Units 85-87. There are regulated wetlands and a stream along the remaining portion of Hill Road north of Units 81-84; therefore, the Developer is requesting a waiver to not install sidewalks in this location. However, the Developer offered to make a contribution to the Township Sidewalk Fund to supplement the pathway areas not installed along Hill Road. The amount of the proposed donation must be provided and accepted by the Township.

Signs

The zoning ordinance requires the area, quantity, location, and dimensions of all signs to be provided with the preliminary site plan. The site plan shows the location of a monument sign (at the corner of Highland Road and Hill Road) setback eight feet from the Highland Road right-of-way line. Development entry signs not placed within a boulevard entrance must be setback at least 10 feet from the road right-of-way. Therefore, a two-foot waiver is requested for the aforementioned sign.

One monument sign, not more than 30 square feet in area, may be maintained at or adjacent to the principal entrance to a residential development. One additional sign may be permitted if the residential development has access to two thoroughfares or the development has more than one boulevard street entrance from an existing arterial or it has at least 250 dwellings. The signs may not exceed a height of six feet. The multiple-family portion of the development would contain more than 250 units, so a second development entry sign is permitted by right. A waiver is requested to install a third sign (determined to be the sign at the corner of Highland Road and Hill Road). For the multiple-family portion of the development, the other monument signs are proposed within the boulevard entrances on Highland Road and Hill Road. One monument sign is proposed within the boulevard entrance to the single-family portion of the development.

While signage details were not provided, staff can administratively review and approve the sign design. The monument signs would be required to comply with residential district sign regulations, including not more than 30 square feet in area and six feet in height.

Trash Collection

All units would be served by individual trash carts provided by the waste collection company. A 10-foot by 20-foot dumpster pad/enclosure is located east of the clubhouse building. The zoning ordinance requires dumpsters to be surrounded by a six-foot-tall wall on three sides and an obscuring wood gate on a steel frame on the fourth side, located on a six-inch concrete pad extending 10 feet in front of the gate, with six-inch concrete-filled steel bollards to protect the rear wall and gates. As proposed, the pad does not extend 10 feet in front of the gate; therefore, a 10-foot waiver is required. The zoning ordinance also states dumpsters and trash storage enclosures shall be constructed of the same decorative masonry materials as the buildings to which they are accessory. Brickform concrete (simulated brick pattern) or stained, decorative CMU block are not permitted where the principal building contains masonry. Plain CMU block is also prohibited. As a condition of site plan approval, the dumpster enclosure shall match the same brick veneer/cultured stone veneer as the facade of the clubhouse with a steel-backed wood gate painted a complementary color to the brick veneer/cultured stone veneer. A trash enclosure detail shall be provided on Sheet P-7.0 of the site plan showing the finished face on the outside walls of the enclosure and indicate the color of the gate.

An updated list of all requested waivers shall be provided by the Developer. Furthermore, PD modifications 2, 4, and 5 shall be removed from the table on Sheet P-2.0 of the site plan. Said waivers are not needed.

Planning Commission Options / Recommendation

The Planning Commission may recommend approval or denial of the rezoning request, or it may recommend a different zoning designation than proposed by the applicant to the Township Board. The Planning Commission may recommend approval, approval with conditions, or denial of the preliminary site plan to the Township Board. **The proposed rezoning and planned development are both compatible with the Master Plan and with surrounding land uses. Staff recommends approval of the rezoning, and approval of the preliminary site plan subject to the items identified in this report being addressed prior to final site plan.**

The following notations summarize the preliminary site plan review:

- Recommendation of approval is in accordance with the preliminary site plans prepared by PEA Group (revision date April 4, 2022), subject to revisions as required. The utility, grading, and storm drainage plans for the site are subject to the approval of the Township Engineering Consultant and shall be completed in accordance with the Township Engineering Design Standards.
- Recommendation of approval is in accordance with the preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022, subject to revisions as required and with the preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018, subject to revisions as required.

Attachments:

1. Rezoning application dated December 6, 2021.
2. Site plan review application dated December 10, 2021.
3. Community Impact Statement prepared by Developer dated February 25, 2022.
4. Traffic Impact Statement prepared by Rowe dated February 18, 2022.
5. Wetland Delineation Report prepared by Barr Engineering Co. dated February 9, 2022.
6. Preliminary site plans prepared by PEA Group (revision date April 4, 2022).
7. Preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022.
8. Preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018.
9. Preliminary clubhouse rendering and floor plan prepared by TK Design & Associates dated November 13, 2021.
10. Single-family architectural plans prepared by MJC Companies.



Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 10/11/22

Project: The Avalon

File #: N/A

Date on Plans: 09/29/22

The Fire Department has the following comments with regards to the Revised site plan for the project known as The Avalon:

1. Multifamily phase.
 - a. The spacing between hydrants shall not exceed 300 feet. **Comment addressed**
 - b. The hydrants shall be arranged to provide adequate coverage for all buildings including #56 and #57 (additional hydrant to be added to this area). **Comment addressed**
 - c. Include a turn radius profile for units # 49-58. **Comment addressed**
 - d. **All proposed street names shall be submitted for approval:**
Pending Comment from previous reviews - The layout/configuration of the proposed street names assigned to this project are too closely grouped creating potential confusion to responders.
Avoid the following:
 - Name changes at jogs and curves.
 - Duplicate names.
 - Names that could be mispronounced or are difficult to pronounce.
 - Names that are spelled or pronounced close to an existing street/road name.

Reference the Township map for guidance.

John Holland
Fire Chief
Charter Township of White Lake
(248)698-3993
jholland@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.



Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 05/24/22

Project: The Avalon

File #: N/A

Date on Plans:

The Fire Department has the following comments with regards to the Revised site plan for the project known as The Avalon:

1. Multifamily phase.
 - a. The spacing between hydrants shall not exceed 300 feet. **Comment addressed**
 - b. The hydrants shall be arranged to provide adequate coverage for all buildings including #56 and #57 (additional hydrant to be added to this area). **Comment addressed**
 - c. Include a turn radius profile for units # 49-58. **Comment addressed**
 - d. The layout/configuration of the proposed street names assigned to this project are too closely grouped creating potential confusion to responders. **Pending (Street names are subject to Fire department approval)**

Avoid the following:

- Name changes at jogs and curves.
- Duplicate names.
- Names that could be mispronounced or are difficult to pronounce.
- Names that are spelled or pronounced close to an existing street/road name.

Reference the Township map for guidance.

John Holland
Fire Chief
Charter Township of White Lake
(248)698-3993
jholland@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

WHITE LAKE HILL L.L.C.
31550 Northwestern Highway, Suite 200
Farmington Hills, MI 48334
(248) 737-1478

September 30, 2022

Mr. Sean O'Neil
Planning Director
White Lake Township
7525 Highland Road
White Lake, MI 48383-2900

VIA HAND DELIVERY
soneil@whitelaketwp.com

RE: AVALON

Dear Mr. O'Neil:

The following is our response to the ongoing review of our Planned Development District (PD) application for Parcels 12-20-101-003 and 12-20-126-006 at the intersection of Highland and Hill Roads.

Parallel Plan

The parallel plan revision is based on RM-2 Multi-Family and R1-D Single-Family Zoning Standards.

The number of Multiple Family Units, Single Family Units and Net Density is summarized below:

		<u>NET DENSITY</u>
Multi-Family Units	540	8.3 Units
Single-Family Lots	<u>62</u>	2.0 Lots
TOTAL:	602	6.1 Combined

Engineering

PEA has determined that there is enough space in both the parallel plan and the PD site plan for adequate storm water detention. Please refer to the enclosed letter from PEA dated September 14, 2022 and the attached maps and calculations.

PD Multit-Family Plan

The PD Multi-Family Plan has been revised to incorporate a 100' landscape buffer along Hill Road. The PD Plan was also reconfigured to improve the entrance from Highland Road and the building layout near the clubhouse. The PD Plan incorporates 394 apartment units consisting of 178 ranch units in 36 buildings and 216 stacked ranch units in 19 two-story buildings.

PD Plan/Single Family Lots

The Single-Family PD Plan has been revised – eliminating eight lots fronting Hill Road. The plan reflects 68 lots with a minimum lot width of 70'. The net density is 2.2 lots per acre. The Single-Family lot configuration is shown on the PD Plan and detailed on the plan from PEA Job Number 2021-0084 dated September 15, 2022.

Single Family Development Standards:

Minimum Lot Area:	8,000 S.F.
Minimum Lot Width:	70'
Minimum Front Yard Setback:	25'
Minimum Rear Yard Setback:	30'
Minimum Side Yard Setbacks:	7.5' Each Side
Maximum Lot Coverage:	35%

Plot plans to confirm lot fit for building foot prints are enclosed. These are provided to demonstrate that the houses proposed will fit on the lots. Lots 2 and 3 have been included to illustrate the fit for lots with wetland buffers. The houses will be built by White Lake Hills LLC and MJC Homes. MJC Homes has built in partnership with various affiliates of White Lake Hill for over thirty years.

Comparison Parallel Plan/PD Plan:

	Parallel Plan	PD Plan
Multi-Family Units	540	394
Single-Family Lots	<u>62</u>	<u>68</u>
TOTAL:	602	462
Multi-Family Density	8.3 Units/Acre	6.1 Units/Acre
Single-Family Density	2.0 Lots/Acre	2.2 Lots /Acre
Overall Density:	6.1/Acre	4.6/Acre

Hill Road

As part of the PD, Hill Road will be paved from Highland Road to approximately 200' north of the entrance to the Single-Family Lots on the east side of Hill Road. When the Township and the RCOC initiate improvements to Hill Road from our paving terminus Hill Road will be paved by White Lake Hill LLC to the north property line of the PD. Additional Right-Of-Way will be provided if required.

Community Benefits

Improvements within the PD that are also tangible benefits to the community, include the paving of Hill Road and signalization on Highland Road. Additionally, White Lake Hill LLC will contribute One Hundred Thousand Dollars to be used at the discretion of the Township Board for projects that benefit the community.

We are available to review this submission with staff in person or via zoom at your convenience.

We respectfully request that PD zoning and preliminary site plan be considered by the board at the October 18, 2022 Township Board Meeting.

Sincerely,

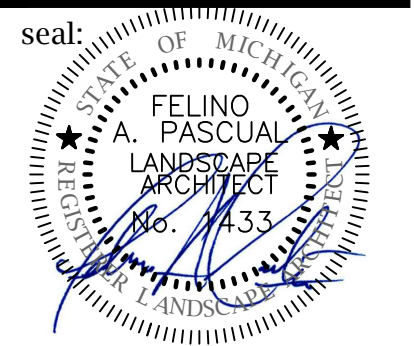

James M. Galbraith

JMG:lmm

cc: Mark Kassab

Enclosures:

- Parallel Plan
- PD Site Plan
- Storm Water Analysis
- Test Plot Plans



client:
WHITE LAKE HILL, LLC
 31550 Northwestern Hwy
 Farmington Hills, Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill Road
 sheet title:

PD SITE PLAN OVERALL VIEW

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	REVIEW	8-18-2022
LP22.056.08 TWP. REV.		8-25-2022
LP22.056.09 TWP. REV.		9-29-2022

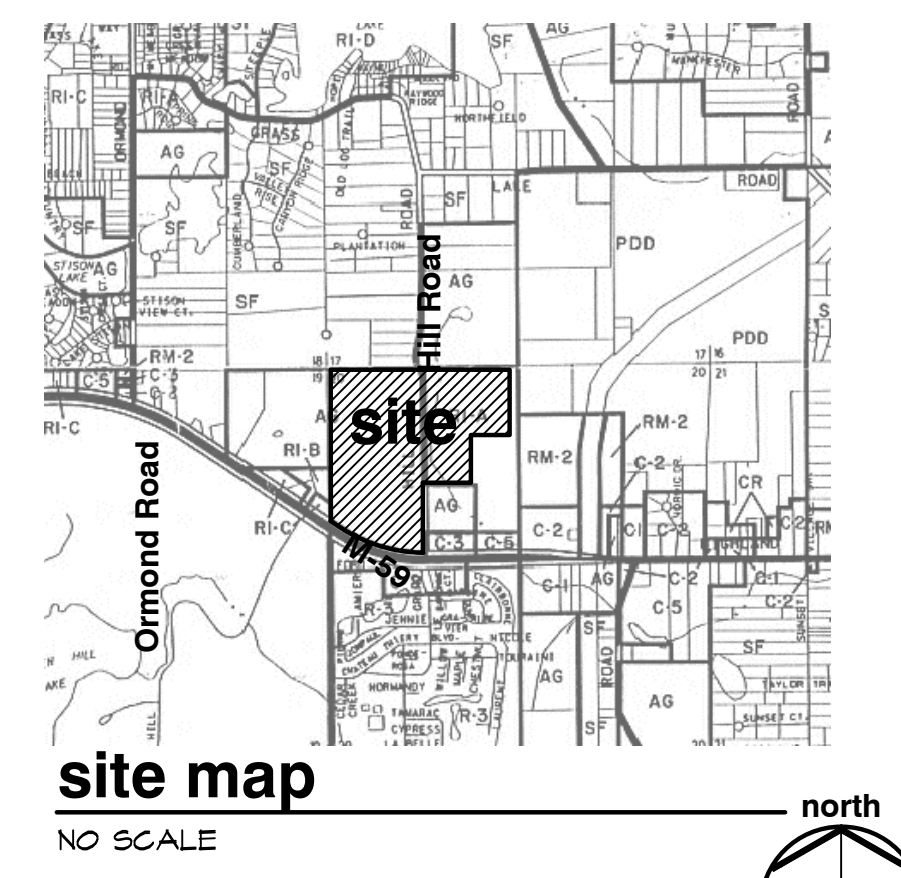
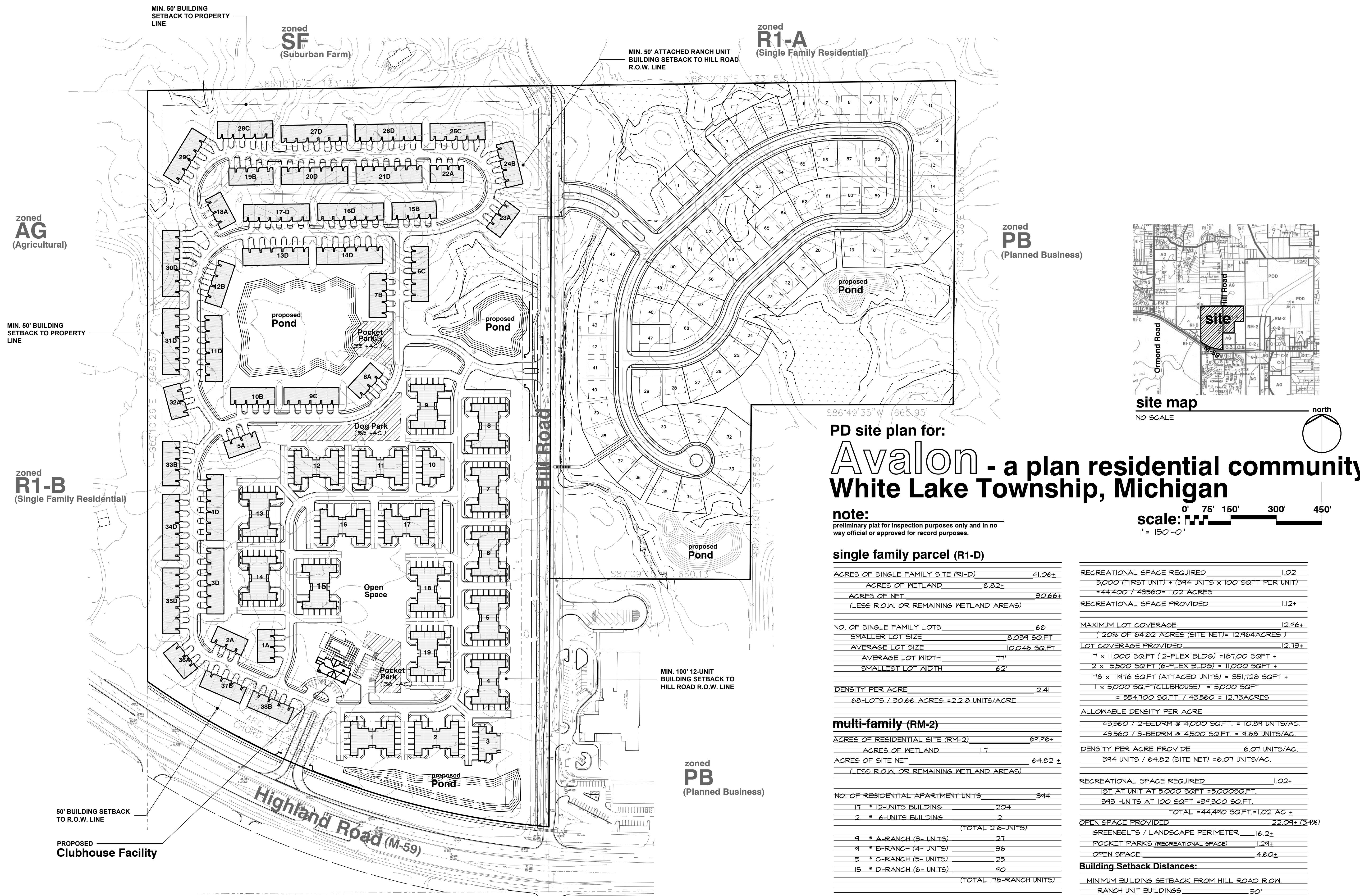
drawn by:
JP, DK, PH
 checked by:
FP
 date:
5-10-2022

notice:
 Copyright © 2022
 This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual and Associates.
 Do Not scale drawings. Use figured dimensions only



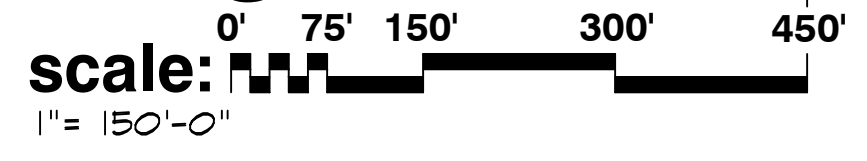
The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:
LP22.056.05
 sheet no:



PD site plan for:
Avalon - a plan residential community
White Lake Township, Michigan

note:
 preliminary plat for inspection purposes only and in no way official or approved for record purposes.



single family parcel (R1-D)

ACRES OF SINGLE FAMILY SITE (R1-D)	41.06±
ACRES OF WETLAND	8.82±
ACRES OF NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	30.86±
NO. OF SINGLE FAMILY LOTS	68
SMALLER LOT SIZE	8,039 SQ.FT
AVERAGE LOT SIZE	10,046 SQ.FT
AVERAGE LOT WIDTH	77'
SMALLEST LOT WIDTH	62'
DENSITY PER ACRE	2.41
68-LOTS / 30.86 ACRES = 2.218 UNITS/ACRE	

multi-family (RM-2)

ACRES OF RESIDENTIAL SITE (RM-2)	64.82±
ACRES OF WETLAND	1.7
ACRES OF SITE NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	64.82±
NO. OF RESIDENTIAL APARTMENT UNITS	394
17 * 12-UNITS BUILDING	204
2 * 6-UNITS BUILDING	12
(TOTAL 216-UNITS)	
9 * A-RANCH (3- UNITS)	27
4 * B-RANCH (4- UNITS)	36
5 * C-RANCH (5- UNITS)	25
15 * D-RANCH (6- UNITS)	90
(TOTAL 178-RANCH UNITS)	

TOTAL NO. OF PARKING REQUIRED	1,525
(2-SPACES UNIT * 1/4 SPACE PER BEDROOM)	
2-SPACES X 394 UNITS = 788-SPACES	
25-SPACE X 2,948 BEDRM = 787-SPACES	
TOTAL NO. OF PARKING PROVIDED	1,644
NO. OF GARAGE PARKING	788
NO. OF PARKING APPROACH	788
NO. OF OPEN PARKING	68

RECREATIONAL SPACE REQUIRED	1.02
5,000 (FIRST UNIT) + (394 UNITS X 100 SQFT PER UNIT)	
= 44,400 / 43,560 = 1.02 ACRES	
RECREATIONAL SPACE PROVIDED	1.12±

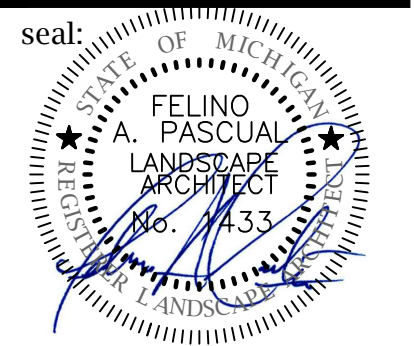
MAXIMUM LOT COVERAGE	12.96±
(20% OF 64.82 ACRES (SITE NET) = 12.964 ACRES)	
LOT COVERAGE PROVIDED	12.78±
17 x 11,000 SQ.FT (12-PLEX BLDG) = 187,000 SQFT +	
2 x 5,500 SQ.FT (6- PLEX BLDG) = 11,000 SQFT +	
178 x 1,976 SQ.FT (ATTACHED UNITS) = 351,728 SQFT +	
1 x 5,000 SQ.FT (CLUBHOUSE) = 5,000 SQFT	
= 554,728 SQ.FT. / 43,560 = 12.78 ACRES	

ALLOWABLE DENSITY PER ACRE	43,560 / 2-BEDRM @ 4,000 SQ.FT. = 10.89 UNITS/AC.
43,560 / 3-BEDRM @ 4,500 SQ.FT. = 9.68 UNITS/AC.	
DENSITY PER ACRE PROVIDE	6.07 UNITS/AC.
394 UNITS / 64.82 (SITE NET) = 6.07 UNITS/AC.	

RECREATIONAL SPACE REQUIRED	1.02±
1ST AT UNIT AT 5,000 SQFT = 5,000 SQ.FT.	
393 -UNITS AT 100 SQFT = 39,300 SQ.FT.	
TOTAL = 44,400 SQ.FT. = 1.02 AC ±	
OPEN SPACE PROVIDED	22.09± (34%)
GREENBELTS / LANDSCAPE PERIMETER	16.2±
POCKET PARKS (RECREATIONAL SPACE)	1.29±
OPEN SPACE	4.60±

Building Setback Distances:

MINIMUM BUILDING SETBACK FROM HILL ROAD R.O.W.	
RANCH UNIT BUILDINGS	50'
6 AND 12-UNIT BUILDINGS	100'
MINIMUM BUILDING SETBACKS FROM HILL ROAD PAVEMENT	
RANCH UNIT BUILDINGS	31'
6 AND 12-UNIT BUILDINGS	125'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD R.O.W.	
RANCH UNIT BUILDINGS	74'
6 AND 12-UNIT BUILDINGS	43'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD PAVEMENT	
RANCH UNIT BUILDINGS	152'
6 AND 12-UNIT BUILDINGS	157'



client:
WHITE LAKE HILL, LLC
 31550 Northwestern Hwy
 Farmington Hills, Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill Road

sheet title:
PD Multi-Family Site Plan (south parcel)

job no./issue/revision date:

job no./issue/revision date	description
LP20.077.09 REVIEW 10-1-2020	MINIMUM BUILDING SETBACK FROM HILL ROAD R.O.W.
LP20.077.09 REVIEW 11-25-2020	RANCH UNIT BUILDINGS 50'
LP21.008.01 REVIEW 1-6-2021	6 AND 12-UNIT BUILDINGS 100'
LP21.008.01 REVIEW 1-12-2021	MINIMUM BUILDING SETBACK FROM HILL ROAD PAVEMENT
LP22.056.05 REVIEW 5-11-2022	RANCH UNIT BUILDINGS 81'
REVIEW 5-13-2022	6 AND 12-UNIT BUILDINGS 125'
LP22.056.07 REVIEW 7-27-2022	MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD R.O.W.
LP22.056.08 REVIEW 8-18-2022	RANCH UNIT BUILDINGS 74'
LP22.056.08 TWP. REV. 8-25-2022	6 AND 12-UNIT BUILDINGS 43'
LP22.056.09 TWP. REV. 9-29-2022	MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD PAVEMENT
	RANCH UNIT BUILDINGS 152'
	6 AND 12-UNIT BUILDINGS 157'

drawn by:
JP, DK, PH
 checked by:
FP
 date:
5-10-2022

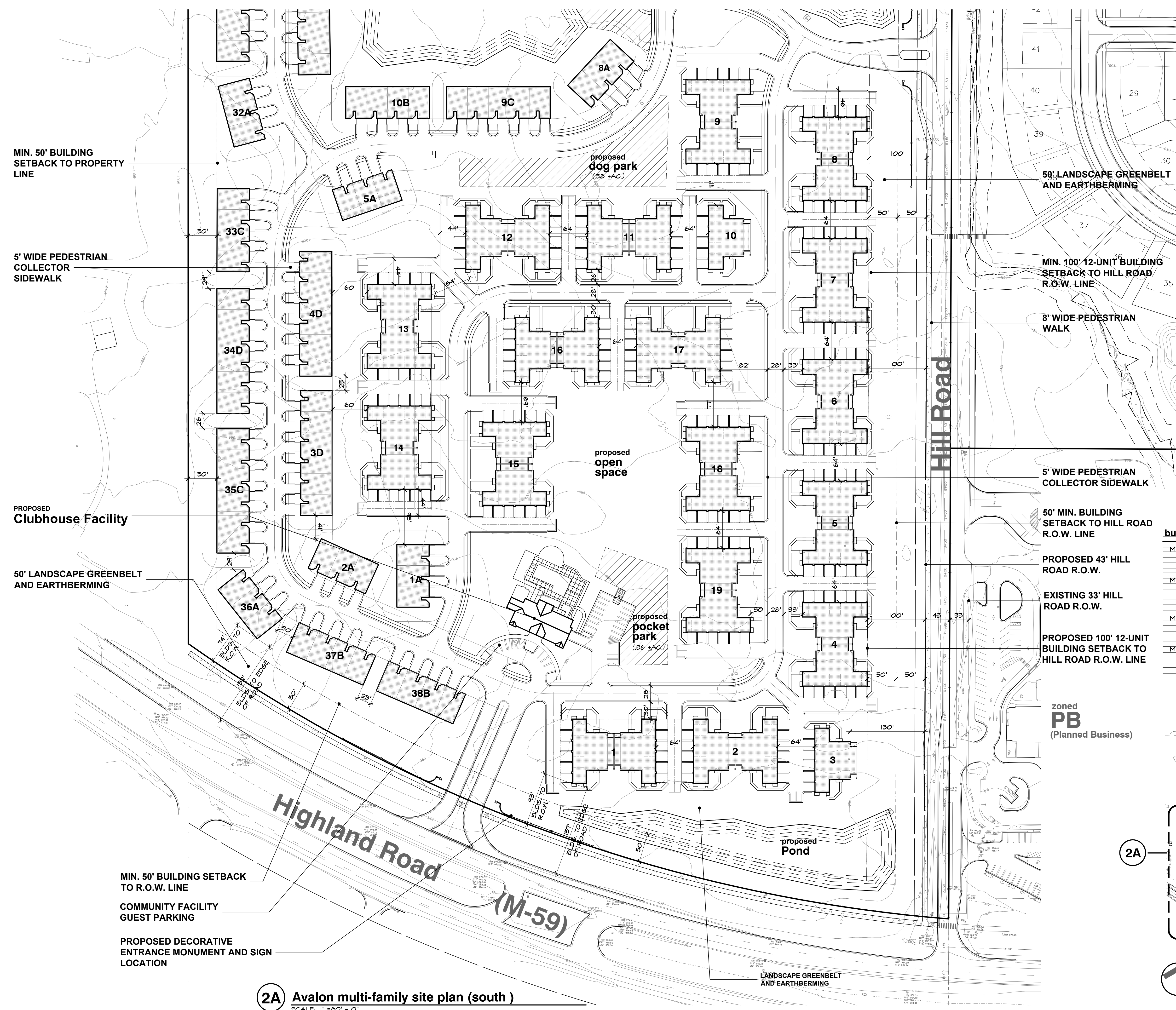
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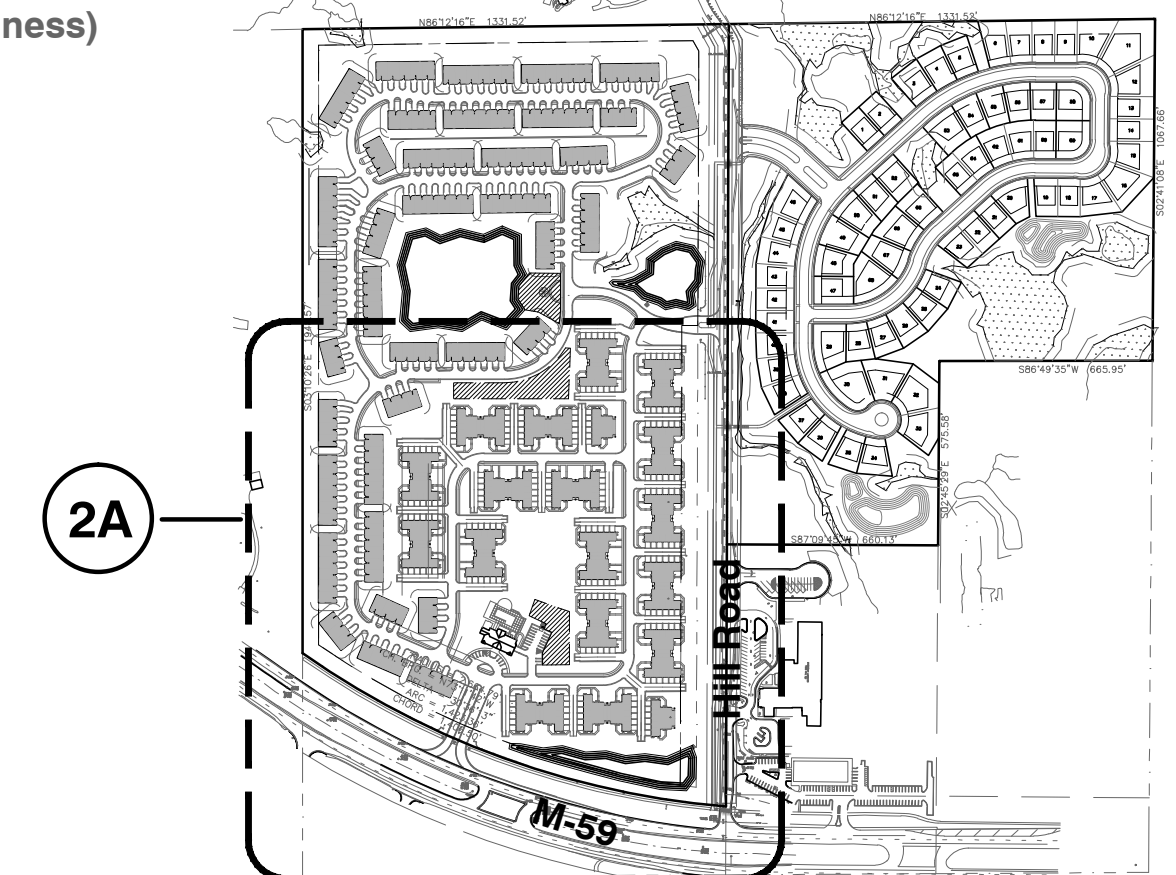
project no.:
LP22.056.05

sheet no.:
LP-2 of 5



building setback distances:

setback type	distance
MINIMUM BUILDING SETBACK FROM HILL ROAD R.O.W.	
RANCH UNIT BUILDINGS	50'
6 AND 12-UNIT BUILDINGS	100'
MINIMUM BUILDING SETBACK FROM HILL ROAD PAVEMENT	
RANCH UNIT BUILDINGS	81'
6 AND 12-UNIT BUILDINGS	125'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD R.O.W.	
RANCH UNIT BUILDINGS	74'
6 AND 12-UNIT BUILDINGS	43'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD PAVEMENT	
RANCH UNIT BUILDINGS	152'
6 AND 12-UNIT BUILDINGS	157'



2A Avalon multi-family site plan (south)
 SCALE: 1" = 80' - 0"

key reference location map
 NO SCALE



client:

**WHITE LAKE
HILL, LLC**
31550 Northwestern Hwy
Farmington Hills, Michigan

project:

AVALON

project location:

White Lake Twp.
Michigan
Highland Road & Hill
Road

sheet title:
**PD Multi-Family
Site Plan
(north parcel)**

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	REVIEW	8-18-2022
LP22.056.08 TWP. REV.	REV.	8-25-2022
LP22.056.09 TWP. REV.	REV.	9-29-2022

drawn by:

JP, DK, PH

checked by:

FP,

date:

5-10-2022

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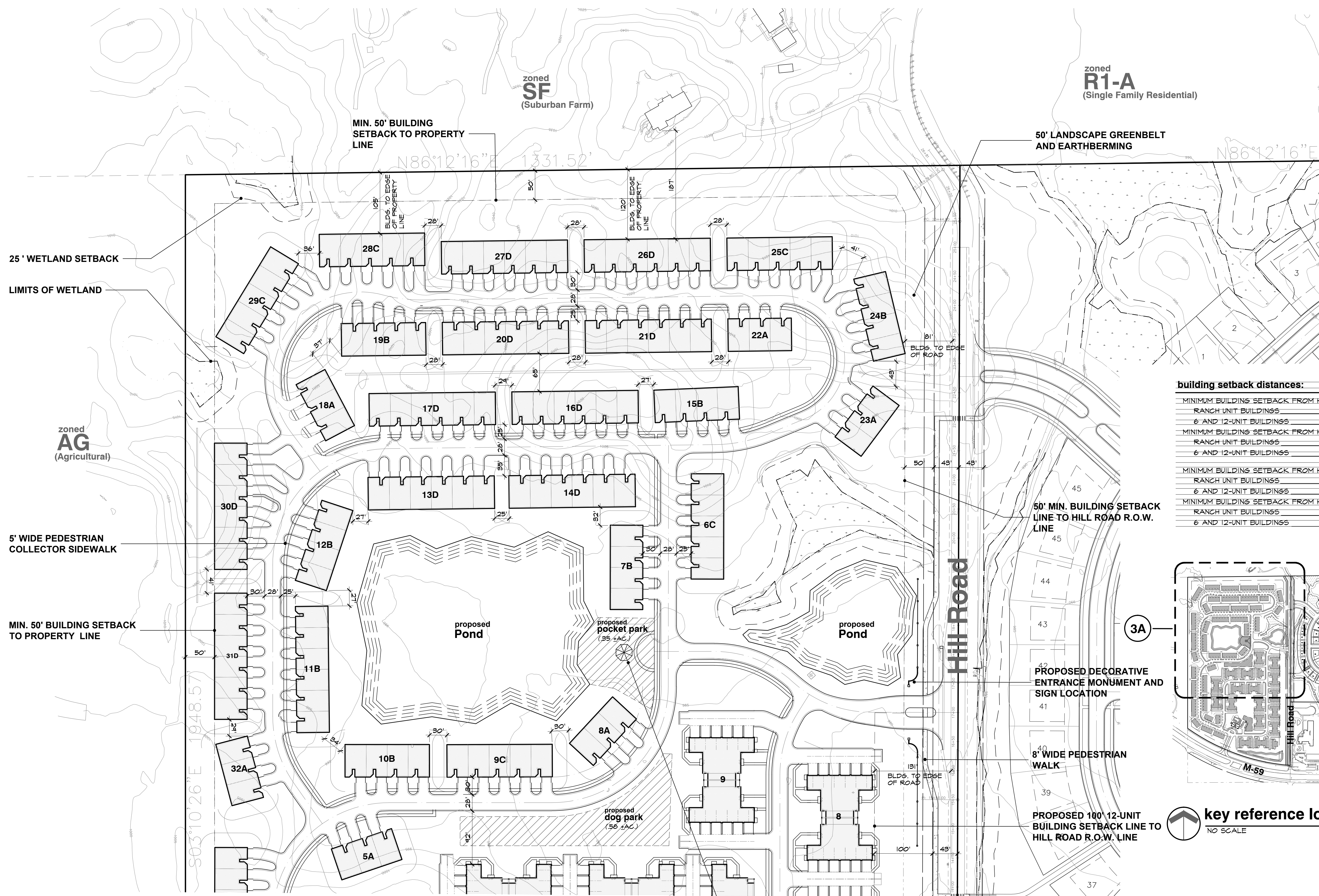
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of construction.

project no.:

LP22.056.05

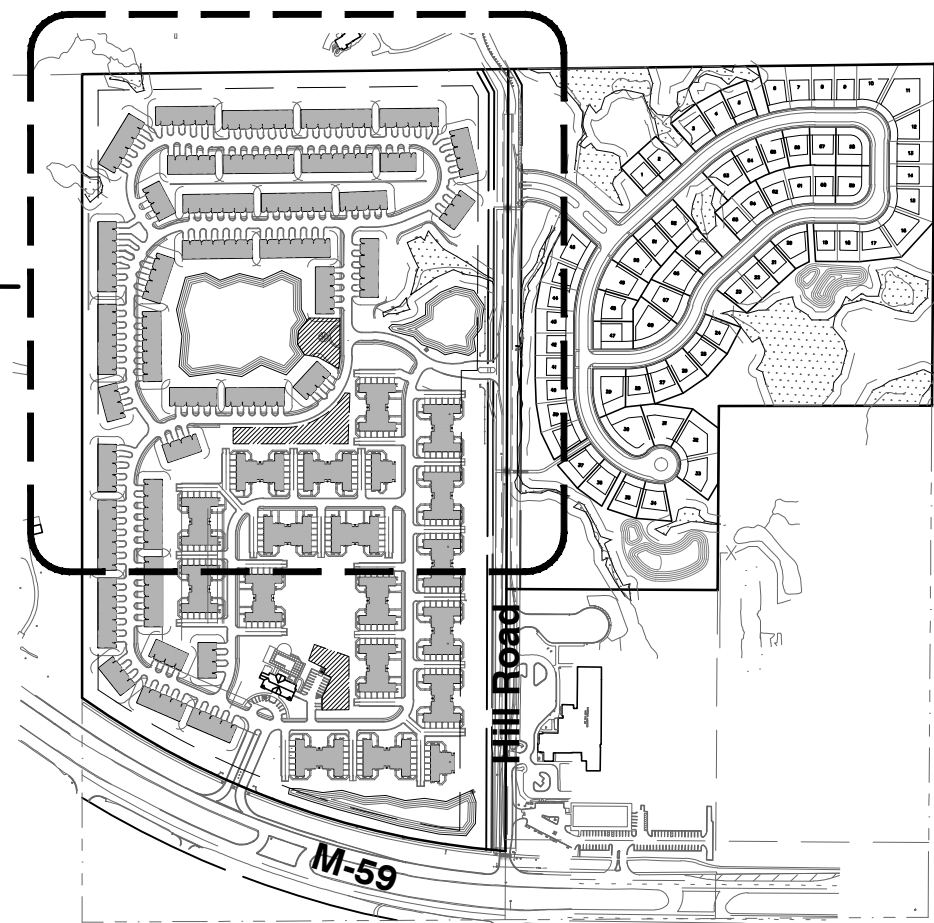
sheet no.:

LP-3 of 5



building setback distances:

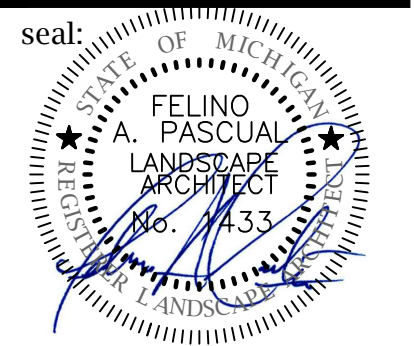
MINIMUM BUILDING SETBACK FROM HILL ROAD R.O.W.	
RANCH UNIT BUILDINGS	50'
6 AND 12-UNIT BUILDINGS	100'
MINIMUM BUILDING SETBACK FROM HILL ROAD PAVEMENT	
RANCH UNIT BUILDINGS	25'
6 AND 12-UNIT BUILDINGS	125'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD R.O.W.	
RANCH UNIT BUILDINGS	74'
6 AND 12-UNIT BUILDINGS	43'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD PAVEMENT	
RANCH UNIT BUILDINGS	152'
6 AND 12-UNIT BUILDINGS	157'



key reference location map
NO SCALE

3A Avalon multi-family site plan (north)
SCALE: 1" = 80' - 0"

PROPOSED PARK FEATURE



client:
WHITE LAKE HILL, LLC
 31550 Northwestern Hwy
 Farmington Hills, Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill Road

sheet title:
PD Single Family Site Plan

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	REVIEW	8-18-2022
LP22.056.08 TWP. REV.		8-25-2022
LP22.056.09 TWP. REV.		9-29-2022

drawn by:
JP, DK, PH
 checked by:
FP
 date:
5-10-2022

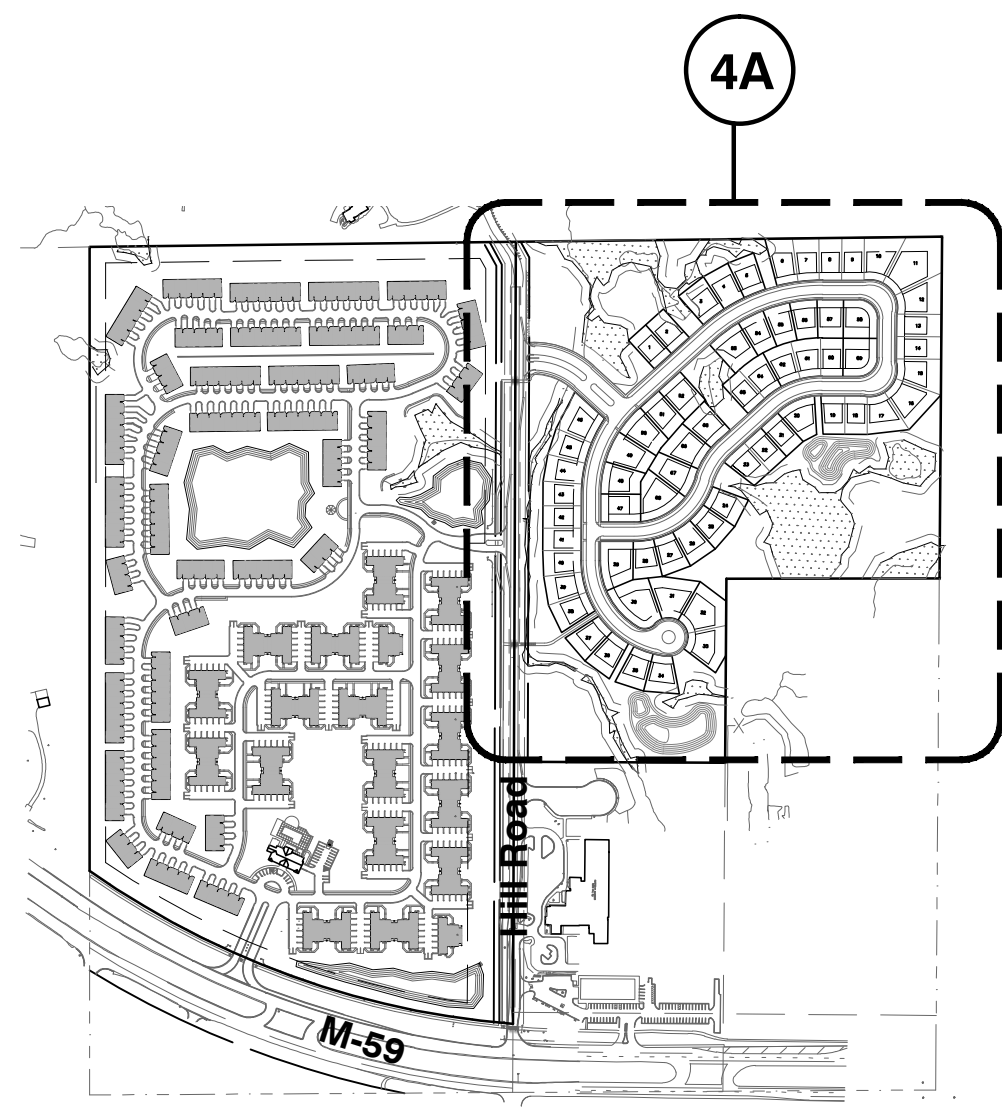
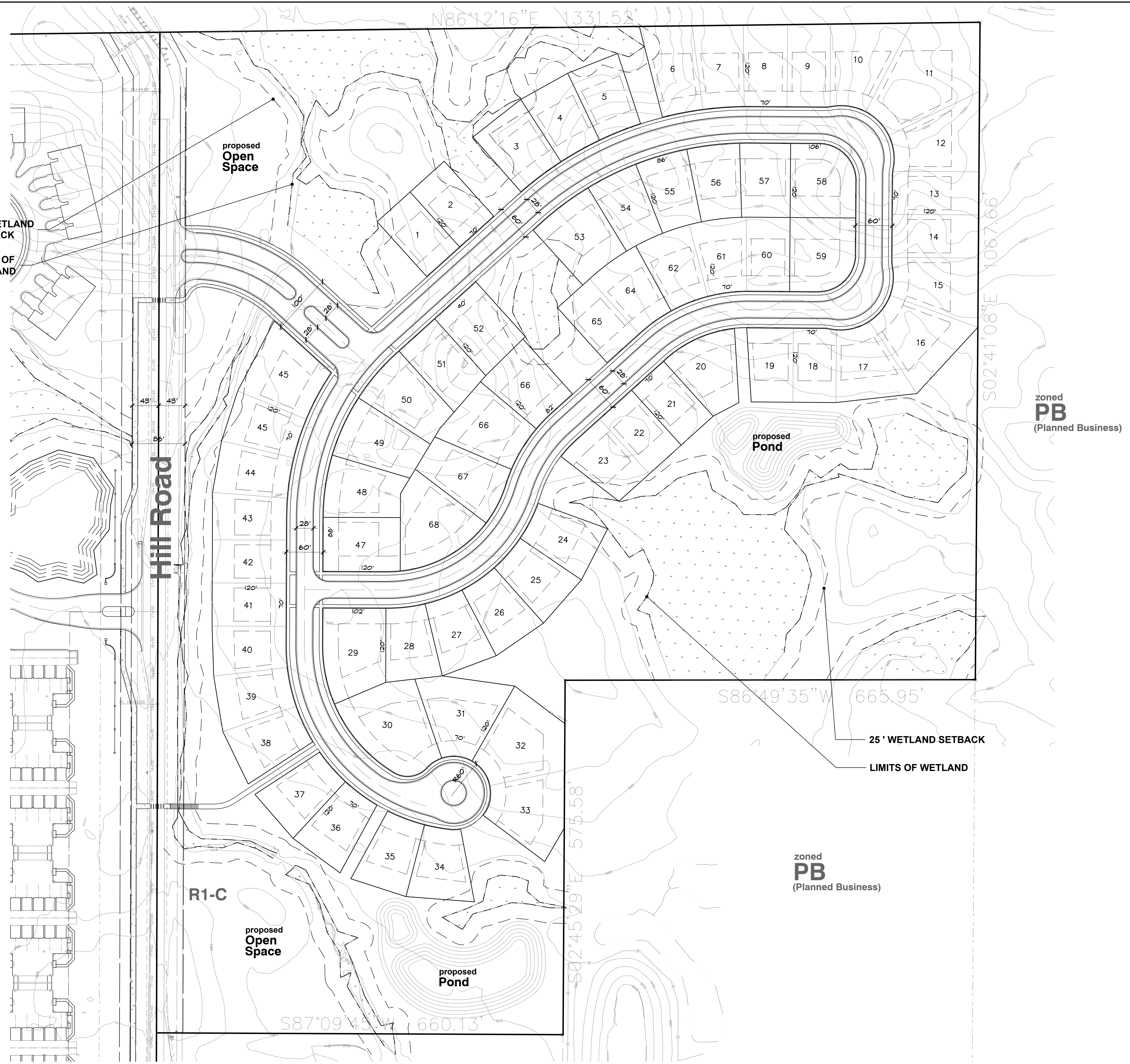
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project no:
LP22.056.05

sheet no:
LP-4 of 5

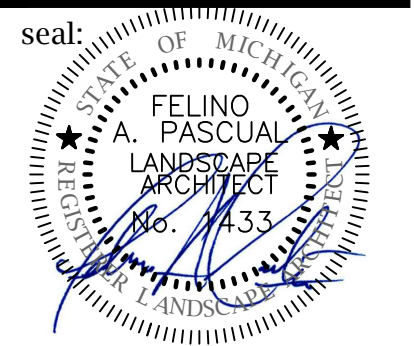


key reference location map
 NO SCALE

single family parcel (R1-D)

ACRES OF SINGLE FAMILY SITE (R1-D)	41.06±
ACRES OF WETLAND	8.82±
ACRES OF NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	30.66±
NO. OF SINGLE FAMILY LOTS	68
SMALLER LOT SIZE	8,039 SQ.FT
AVERAGE LOT SIZE	10,046 SQ.FT
AVERAGE LOT WIDTH	71'
SMALLEST LOT WIDTH	62'
DENSITY PER ACRE	2.41
68-LOTS / 30.66 ACRES = 2.218 UNITS/ACRE	

4A Avalon single family site plan (south)
 SCALE: 1" = 80' - 0"



client:
WHITE LAKE HILL, LLC
 31550 Northwestern Hwy
 Farmington Hills, Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill Road

sheet title:
Site Greenbelt Section

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	REVIEW	8-18-2022
LP22.056.08	TWP. REV.	8-25-2022
LP22.056.09	TWP. REV.	9-29-2022

drawn by:
JP, DK, PH
 checked by:
FP
 date:
5-10-2022

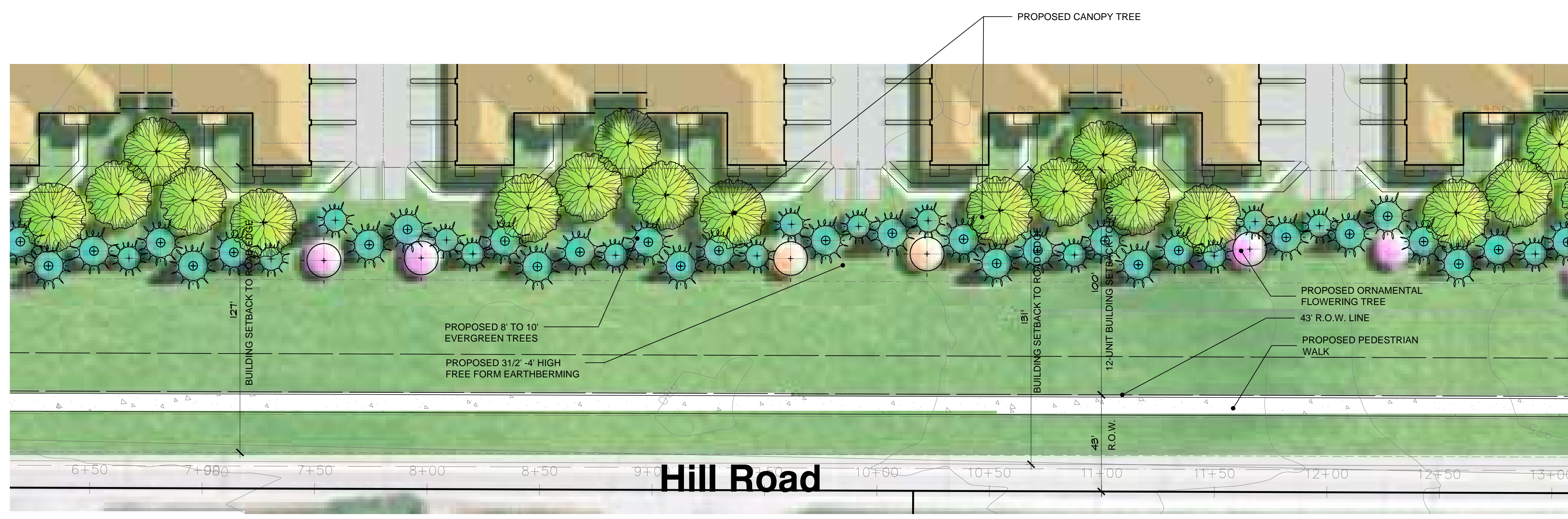
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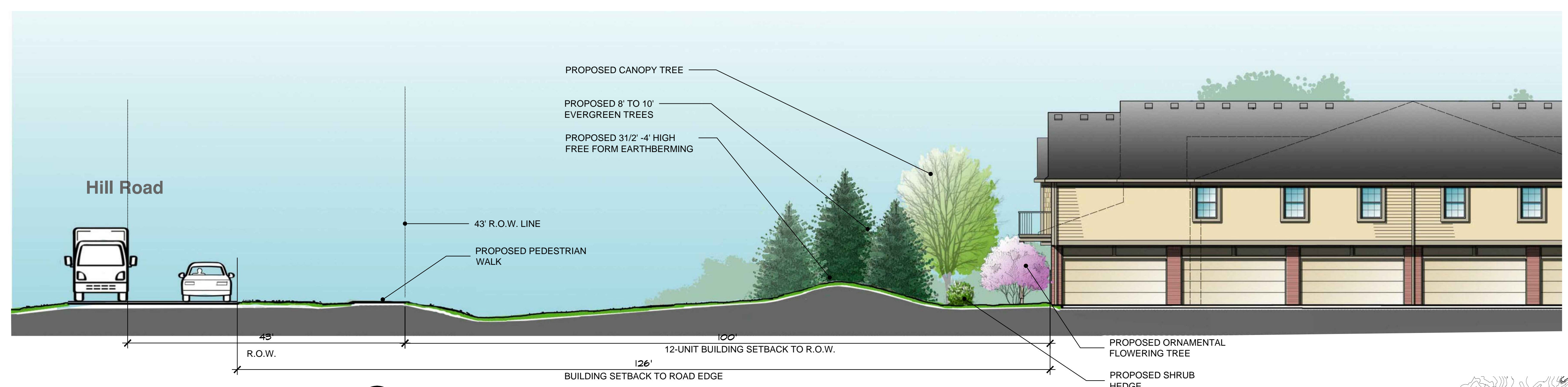
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project no:
LP22.056.05

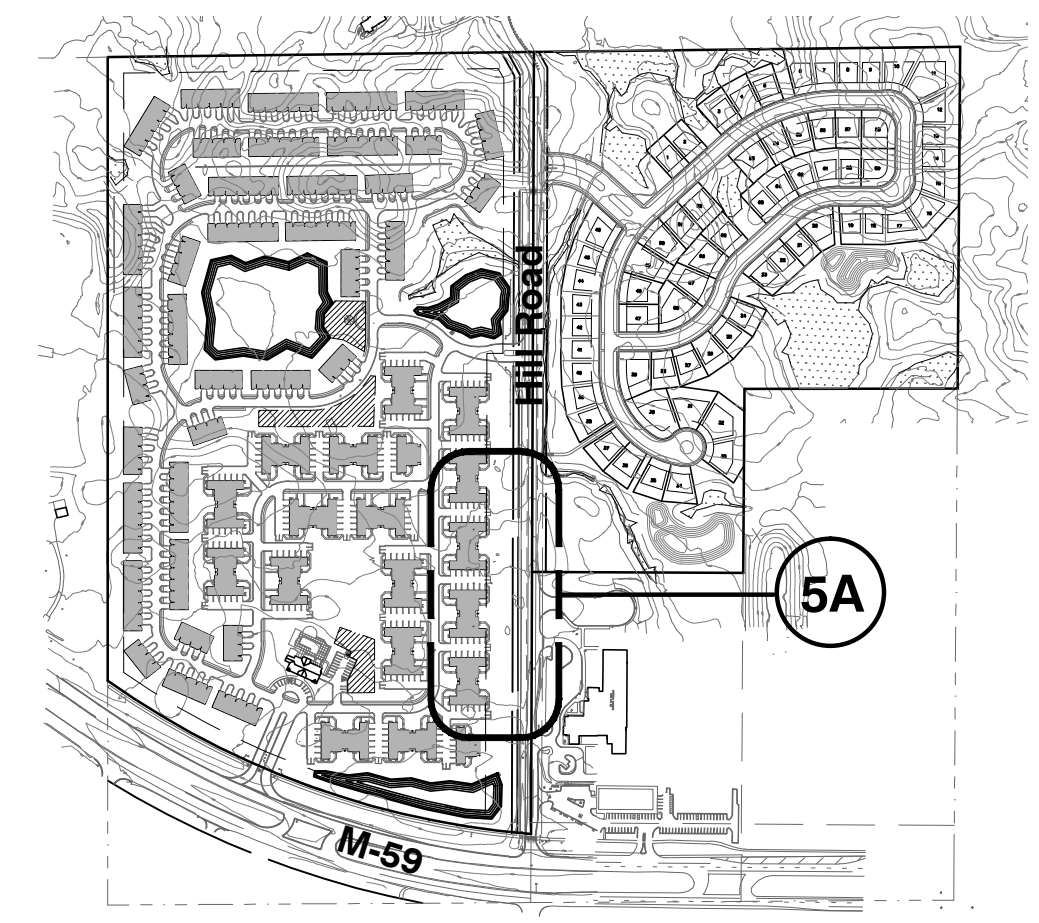
sheet no:
LP-5 of 5



5A landscape greenbelt plan (Hill Road)
 SCALE: 1" = 10' - 0"



5B landscape site section (Hill Road)
 SCALE: 1" = 10' - 0"



key reference location map
 NO SCALE



5C landscape site section (Hill Road)
 SCALE: 1" = 10' - 0"

PROPOSED 8' TO 10' EVERGREEN TREES
 PROPOSED SHRUB HEDGE BEYOND
 PROPOSED ORNAMENTAL FLOWERING TREE
 PROPOSED 8' TO 10' EVERGREEN TREES

client:
WHITE LAKE HILL, LLC
 31550 Northwestern Hwy
 Farmington Hills, Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill Road

sheet title:
OVERALL SITE PLAN VIEW

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	TWP	8-25-2022
LP22.056.09	TWP	9-29-2022

drawn by:
JP, DK, PH
 checked by:
FP
 date:
5-10-2022

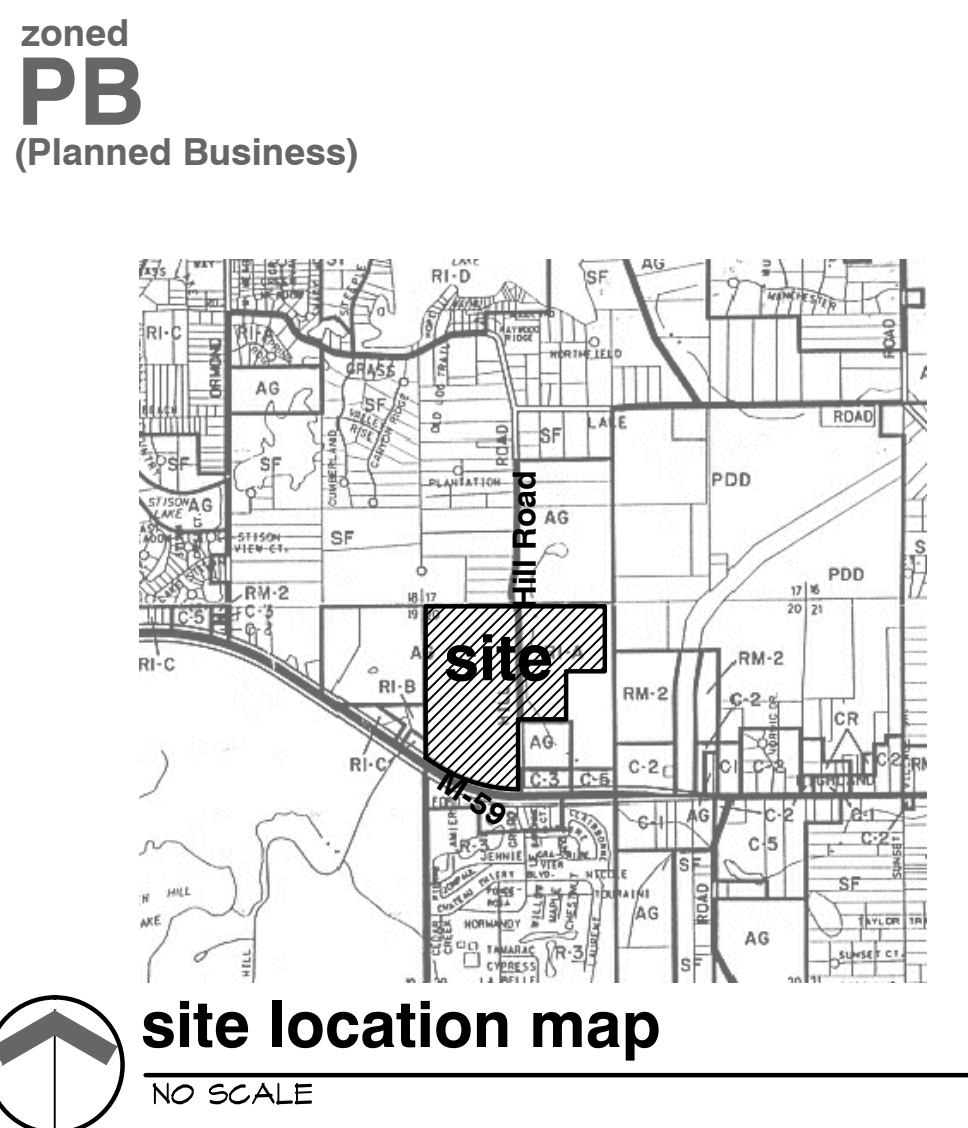
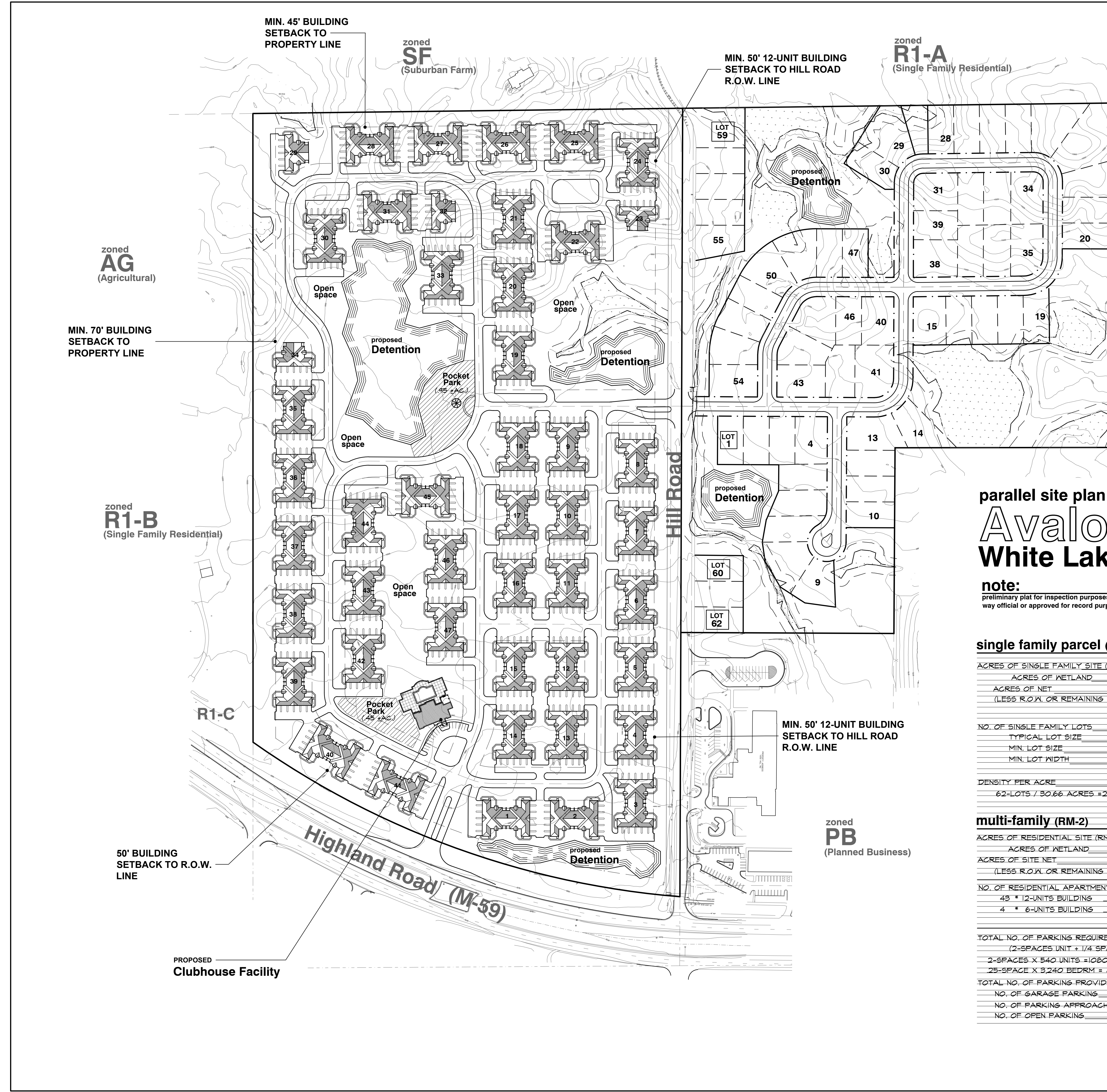
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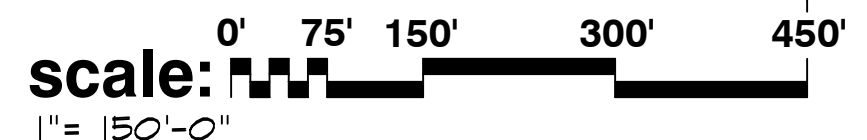
project no:
LP22.056.05

sheet no:
LP-1 of 4



parallel site plan study for:
Avalon - a plan residential community
White Lake Township, Michigan

note:
 preliminary plat for inspection purposes only and in no way official or approved for record purposes.



single family parcel (R1-D)

ACRES OF SINGLE FAMILY SITE (R1-D)	41.06±
ACRES OF WETLAND	8.82±
ACRES OF NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	30.66±
NO. OF SINGLE FAMILY LOTS	62
TYPICAL LOT SIZE	80'X150'
MIN. LOT SIZE	12,000 SQ.FT
MIN. LOT WIDTH	80'
DENSITY PER ACRE	2.02
62-LOTS / 30.66 ACRES = 2.02 UNITS/ACRE	

multi-family (RM-2)

ACRES OF RESIDENTIAL SITE (RM-2)	69.96±
ACRES OF WETLAND	1.7
ACRES OF SITE NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	64.82±
NO. OF RESIDENTIAL APARTMENT UNITS	540
43 * 12-UNITS BUILDING	516
4 * 6-UNITS BUILDING	24
TOTAL NO. OF PARKING REQUIRED (2-SPACES UNIT + 1/4 SPACE PER BEDROOM)	1,890
2-SPACES X 540 UNITS = 1,080-SPACES	
25-SPACE X 3,240 BEDRM = 810-SPACES	
TOTAL NO. OF PARKING PROVIDED	2,175
NO. OF GARAGE PARKING	1,080
NO. OF PARKING APPROACH	1,080
NO. OF OPEN PARKING	15

RECREATIONAL SPACE REQUIRED	1.02
5,000 (FIRST UNIT) + (540 UNITS X 100 SQFT PER UNIT) = 59,000 / 49360 = 1.195 ACRES	
RECREATIONAL SPACE PROVIDED	1.17±

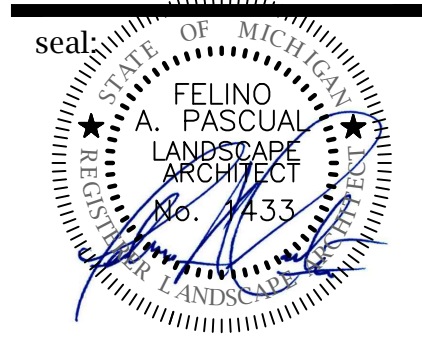
MAXIMUM LOT COVERAGE (20% OF 64.82 ACRES (SITE NET) = 12.964 ACRES)	12.96±
LOT COVERAGE PROVIDED	11.48±

43 x 11,000 SQ.FT (12-PLEX BLDG) = 473,000 SQFT + 4 x 5,500 SQ.FT (6-PLEX BLDG) = 22,500 SQFT + 1 x 5,000 SQ.FT (CLUBHOUSE) = 5,000 SQFT = 500,500 SQ.FT. / 43,560 = 11.48 ACRES	
--	--

ALLOWABLE DENSITY PER ACRE	
43,560 / 2-BEDRM @ 4,000 SQ.FT. = 10.89 UNITS/AC.	
43,560 / 3-BEDRM @ 4,500 SQ.FT. = 9.68 UNITS/AC.	
DENSITY PER ACRE PROVIDED	8.33 UNITS/AC.
540 UNITS / 64.82 (SITE NET) = 8.33 UNITS/AC.	

RECREATIONAL SPACE REQUIRED	1.35±
1ST AT UNIT AT 5000 SQFT = 5000SQ.FT. 599 -UNITS AT 100 SQFT = 59,900SQ.FT. TOTAL = 58,900SQ.FT. = 1.35 AC ±	

OPEN SPACE PROVIDED	16.97± (26%)
GREENBELTS / LANDSCAPE PERIMETER	10.82±
OPEN SPACE	4.75±
POCKET PARKS	1.4±



client:
WHITE LAKE HILL, LLC
31550 Northwestern Hwy
Farmington Hills, Michigan

project:
AVALON

project location:
White Lake Twp.
Michigan
Highland Road & Hill Road

sheet title:
MULTI-FAMILY SITE PLAN (south)

job no./issue/revision date:
LP20.077.09 REVIEW 10-1-2020
LP20.077.09 REVIEW 11-25-2020
LP21.008.01 REVIEW 1-6-2021
LP21.008.01 REVIEW 1-12-2021
LP22.056.05 REVIEW 5-11-2022
REVIEW 5-13-2022
LP22.056.07 REVIEW 7-27-2022
LP22.056.08 TWP 8-25-2022
LP22.056.09 TWP 9-29-2022

drawn by:
JP, DK, PH

checked by:
FP

date:
5-10-2022

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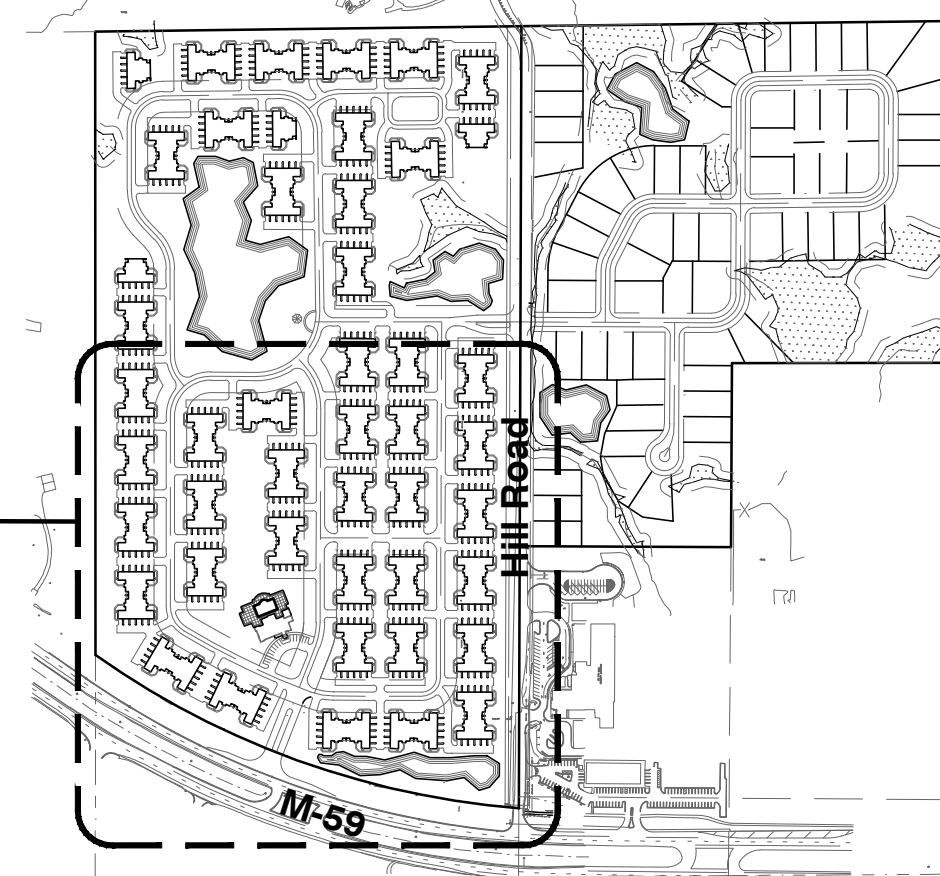
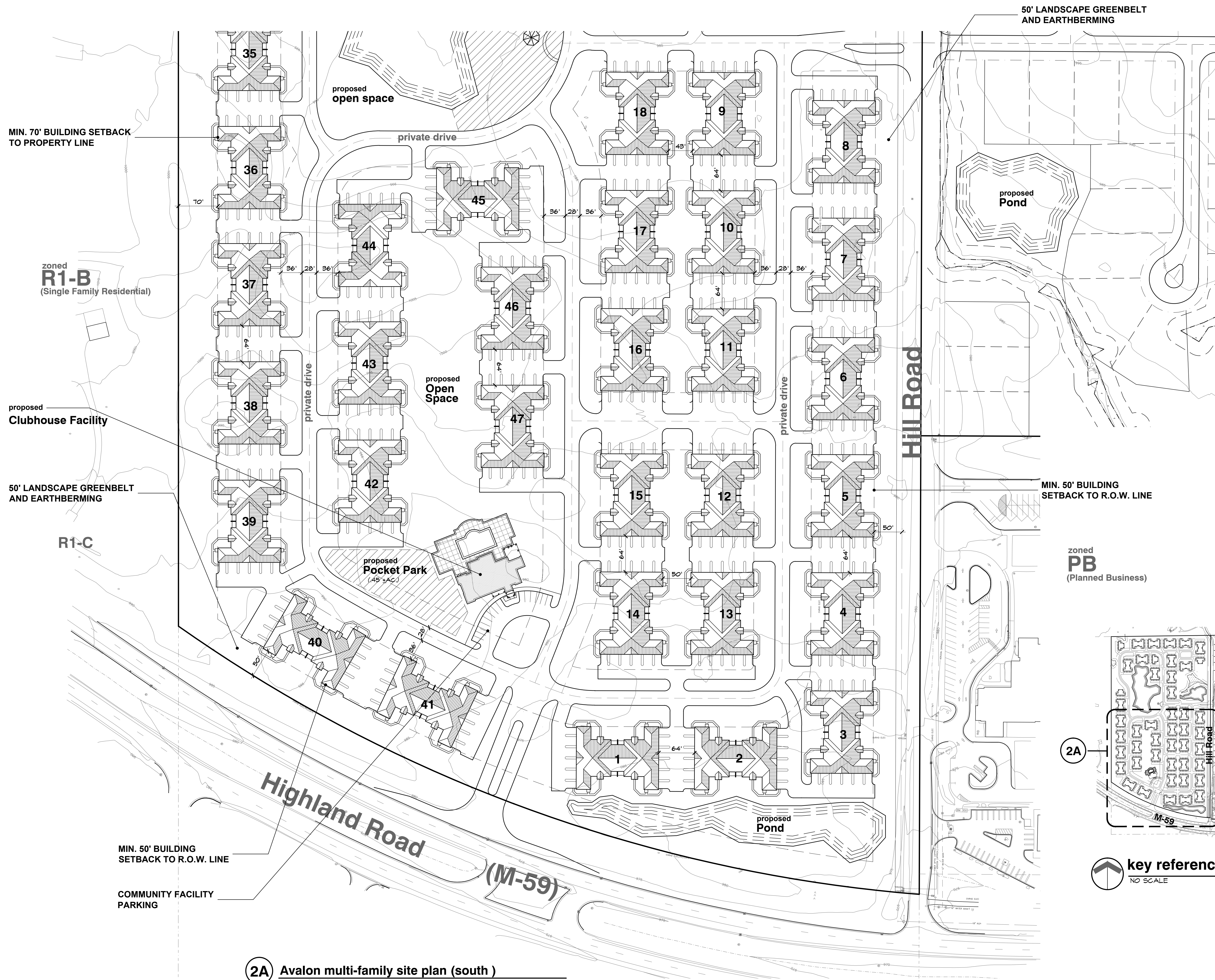
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project no:
LP22.056.05

sheet no:
LP-2 of 4



2A Avalon multi-family site plan (south)
SCALE: 1" = 80' - 0"

client:
WHITE LAKE HILL, LLC
 31550 Northwestern Hwy
 Farmington Hills, Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill Road

sheet title:
MULTI-FAMILY SITE PLAN (north)

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	TWP	8-25-2022
LP22.056.09	TWP	9-29-2022

drawn by:
JP, DK, PH
 checked by:
FP
 date:
5-10-2022

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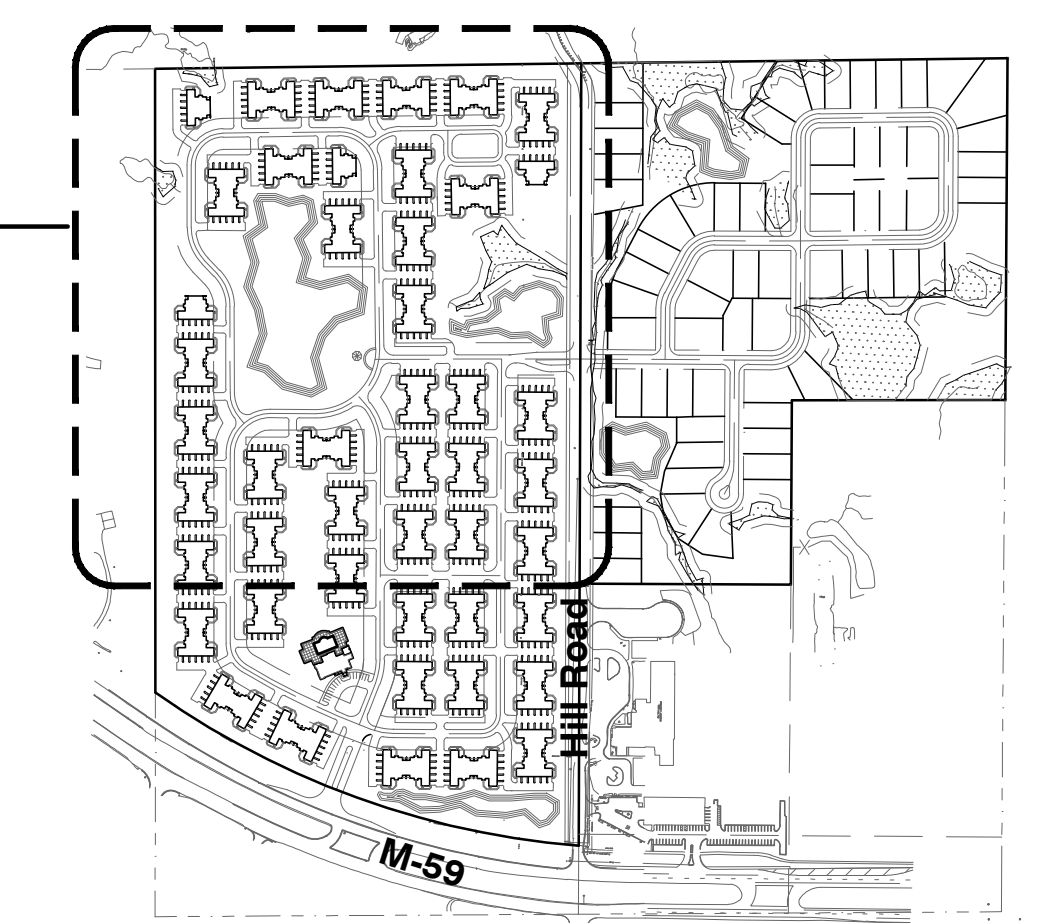
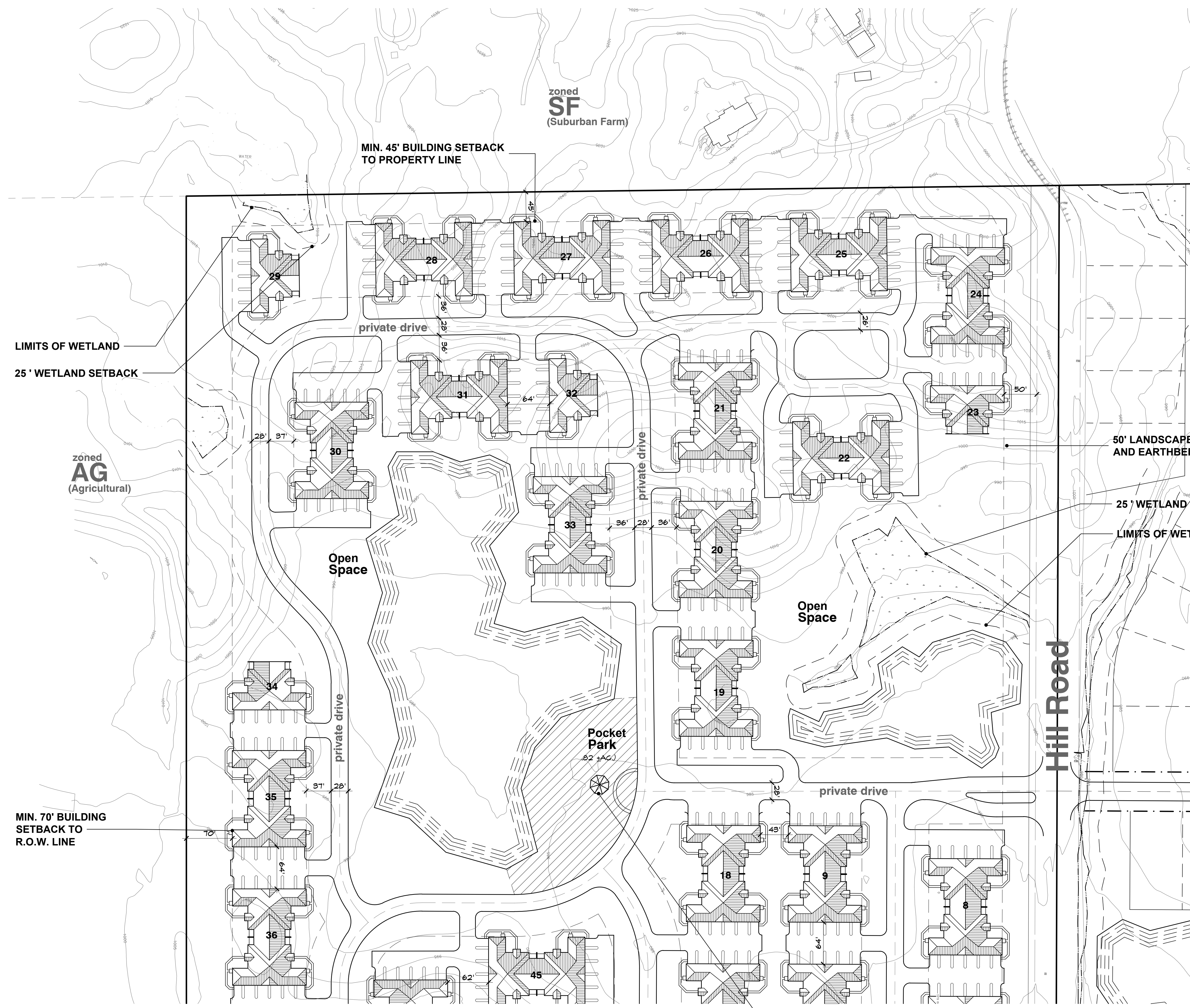
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project no:
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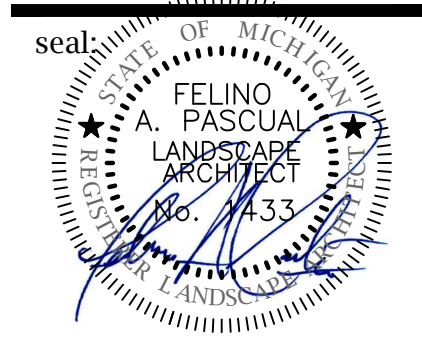
sheet no:
LP-3 of 4



key reference location map
 NO SCALE

3A Avalon multi-family site plan (north)
 SCALE: 1" = 80' - 0"

PROPOSED PARK FEATURE



client:
**WHITE LAKE
HILL, LLC**
31550 Northwestern Hwy
Farmington Hills, Michigan

project:
AVALON

project location:
White Lake Twp.
Michigan
Highland Road & Hill
Road

sheet title:
**SINGLE FAMILY
SITE PLAN**

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
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LP22.056.07	REVIEW	7-27-2022
LP22.056.08	TWP	8-25-2022
LP22.056.09	TWP	9-29-2022

drawn by:
JP, DK, PH
checked by:
FP
date:
5-10-2022

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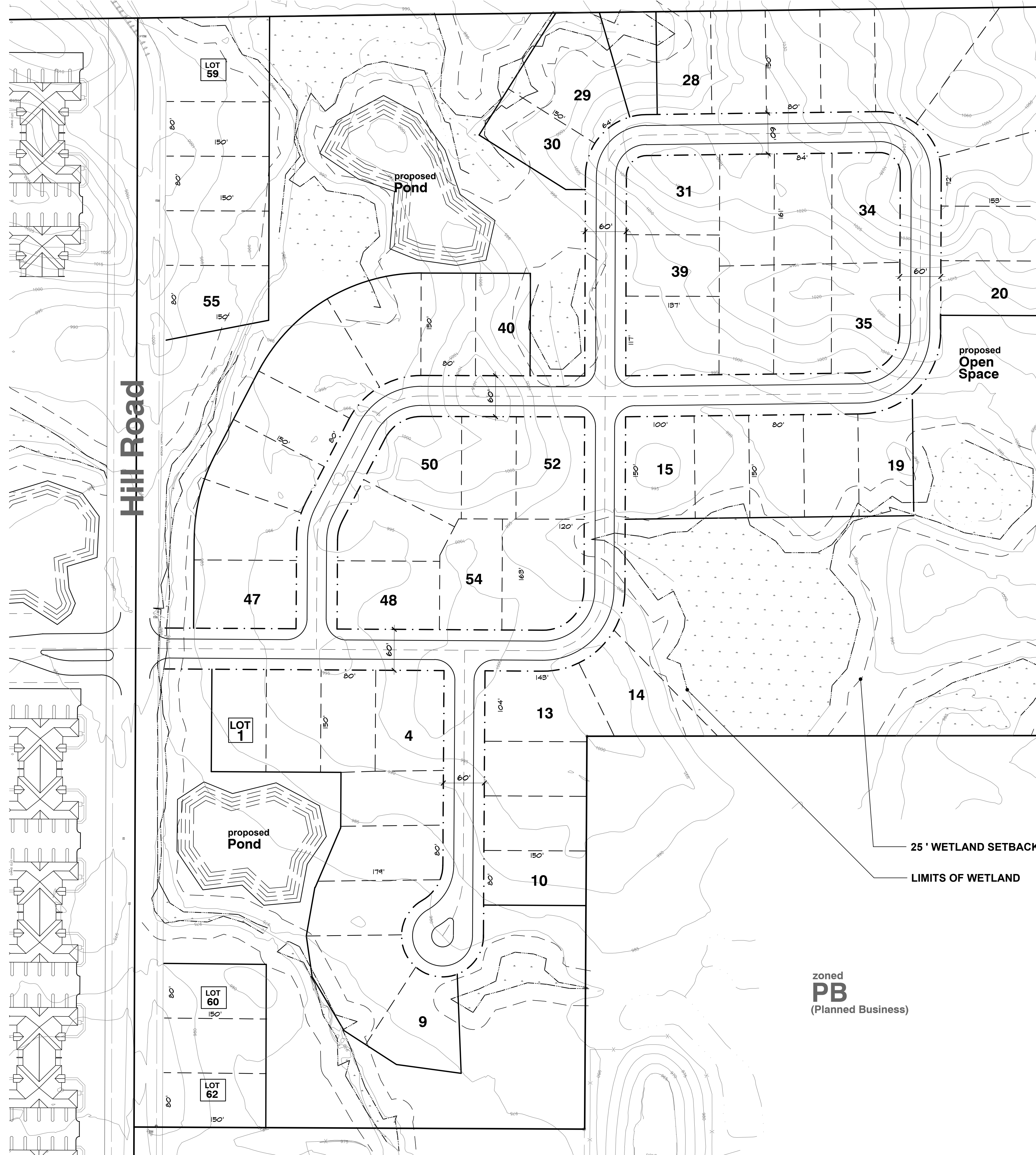
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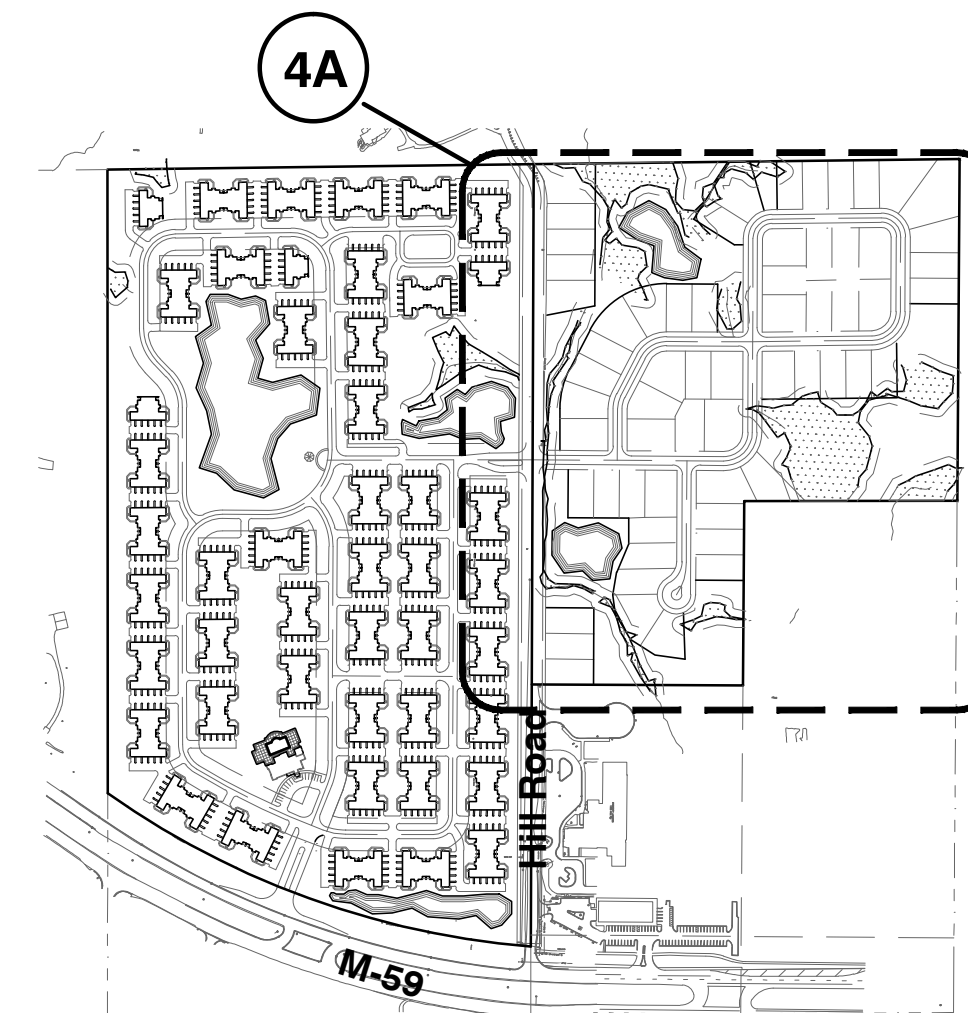
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exact location and elevation prior to the start
of construction.

project no:
LP22.056.05

sheet no:
LP-4 of 4



zoned
PB
(Planned Business)



4A Avalon single family site plan (south)
SCALE: 1" = 80' - 0"



7927 Nemco Way, Suite 115
Brighton, MI 48116

517.546.8583
peagroup.com

September 14, 2022
Project No.: 2021-0084

via email: jgalbraith@lautrecltd.com

Mr. James Galbraith
White Lake Hill, LLC
31550 Northwestern Highway, Suite 220
Farmington Hills, Michigan 48334

RE: The Avalon – White Lake Township
Preliminary Stormwater analysis

Dear Mr. Galbraith:

Pursuant to your request, PEA Group has analyzed the preliminary design of the stormwater detention facilities for this project to assure that adequate space is provided for detention basins on both the current site plan layout and parallel plans.

During development of the Preliminary PUD Site Plan drawings, we calculated the required detention basin volumes according to Oakland County Water Resources Commissioner standards, and designed the basins and grading to provide the required volume and land area to accommodate them.

Attached are the original drainage calculations and maps illustrating the designs referenced above (sheets P-5.1 and P-5.2), and the current site plan and parallel plan by Felino Pascual & Associates. We have overlaid the detention basins we designed (in color red) onto these to demonstrate that there is enough space in both the parallel plan and site plan for adequate stormwater detention.

Sincerely,

PEA Group

A handwritten signature in black ink, appearing to read "Jonathan E. Curry".

Jonathan E. Curry, PE
Sr. Project Manager

client:
LAUTREC
 31550 Northwestern
 Hwy
 Farmington Hills,
 Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill
 Road

sheet title:
**OVERALL SITE
 PLAN VIEW**

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2020
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
LP22.056.05	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	REVIEW	8-25-2022

drawn by:
JP, DK, PH
 checked by:
FP,
 date:
5-10-2022

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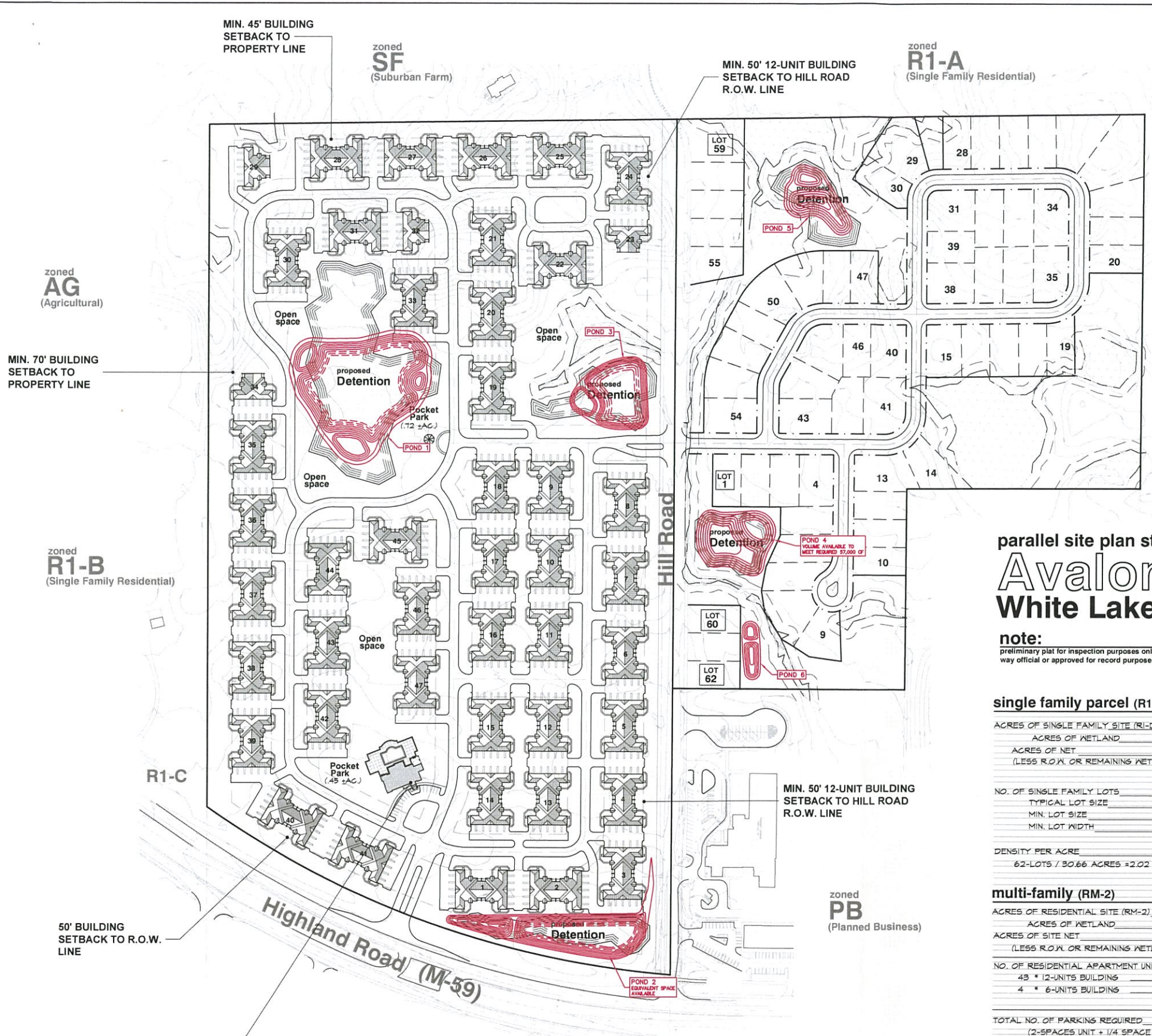
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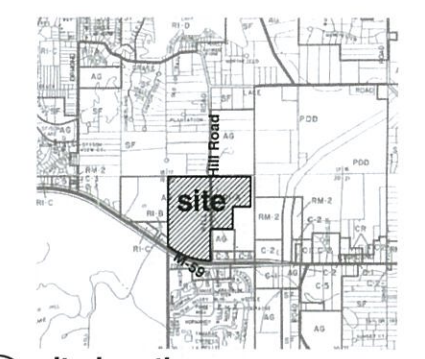
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project no:
LP22.056.05

sheet no:
LP-1 of 4



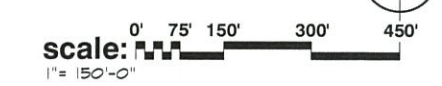
zoned
PB
 (Planned Business)



site location map
 NO SCALE

parallel site plan study for:
**Avalon - a plan residential community
 White Lake Township, Michigan**

note:
 preliminary plan for inspection purposes only and in no
 way official or approved for record purposes.



single family parcel (R1-D)

ACRES OF SINGLE FAMILY SITE (R1-D)	41.06±
ACRES OF WETLAND	8.82±
ACRES OF NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	30.66±
NO. OF SINGLE FAMILY LOTS	62
TYPICAL LOT SIZE	80'X150'
MIN. LOT SIZE	12,000 SQ.FT
MIN. LOT WIDTH	80'
DENSITY PER ACRE	2.02
62-LOTS / 30.66 ACRES = 2.02 UNITS/ACRE	

multi-family (RM-2)

ACRES OF RESIDENTIAL SITE (RM-2)	64.82±
ACRES OF WETLAND	1.7
ACRES OF SITE NET (LESS R.O.W. OR REMAINING WETLAND AREAS)	64.82 ±
NO. OF RESIDENTIAL APARTMENT UNITS	540
43 * 12-UNITS BUILDING	516
4 * 6-UNITS BUILDINGS	24

TOTAL NO. OF PARKINGS REQUIRED (2-SPACES UNIT + 1/4 SPACE PER BEDROOM)	1,090
2-SPACES X 540 UNITS = 1080-SPACES	
25-SPACE X 3,240 BEDRM = 810-SPACES	
TOTAL NO. OF PARKINGS PROVIDED	2,175
NO. OF GARAGE PARKING	1,080
NO. OF PARKING APPROACH	1,080
NO. OF OPEN PARKING	15

RECREATIONAL SPACE REQUIRED	1.02
5,000 (FIRST UNIT) + (540 UNITS X 100 SQFT PER UNIT)	
=59,000 / 43,560 = 1.35 ACRES	
RECREATIONAL SPACE PROVIDED	1.17±
MAXIMUM LOT COVERAGE	12.96±
(20% OF 64.82 ACRES (SITE NET) = 12.964 ACRES)	
LOT COVERAGE PROVIDED	11.48±
43 x 11,000 SQ.FT (12-PLEX BLDG) = 473,000 SQ.FT.	
4 x 5,500 SQ.FT (6-PLEX BLDG) = 22,500 SQ.FT.	
1 x 5,000 SQ.FT (CLUBHOUSE) = 5,000 SQ.FT	
= 500,500 SQ.FT. / 43,560 = 11.48 ACRES	
ALLOWABLE DENSITY PER ACRE	
43,560 / 2-BEDRM @ 4,000 SQ.FT. = 10.89 UNITS/AC.	
43,560 / 3-BEDRM @ 4,500 SQ.FT. = 9.68 UNITS/AC.	
DENSITY PER ACRE PROVIDED	8.33 UNITS/AC.
540 UNITS / 64.82 (SITE NET) = 8.33 UNITS/AC.	
OPEN SPACE REQUIRED (15% OF SITE NET)	9.72±
(64.82 X .15 (15%) = 9.723 ACRES)	
OPEN SPACE PROVIDED	16.97± (26%)
GREENBELTS / LANDSCAPE PERIMETER	10.82±
POCKET PARKS AND OPEN SPACE	6.15±

zoned
AG
 (Agricultural)

MIN. 70' BUILDING
 SETBACK TO
 PROPERTY LINE

zoned
R1-B
 (Single Family Residential)

50' BUILDING
 SETBACK TO R.O.W.
 LINE

MIN. 45' BUILDING
 SETBACK TO
 PROPERTY LINE

zoned
SF
 (Suburban Farm)

MIN. 50' 12-UNIT BUILDING
 SETBACK TO HILL ROAD
 R.O.W. LINE

zoned
R1-A
 (Single Family Residential)

MIN. 50' 12-UNIT BUILDING
 SETBACK TO HILL ROAD
 R.O.W. LINE

zoned
PB
 (Planned Business)

PROPOSED
Clubhouse Facility



client:
LAUTREC
 31550 Northwestern
 Hwy
 Farmington Hills,
 Michigan

project:
AVALON

project location:
 White Lake Twp.
 Michigan
 Highland Road & Hill
 Road

sheet title:

**SITE PLAN
 OVERALL VIEW**

job no./issue/revision date:

LP20.077.09	REVIEW	10-1-2020
LP20.077.09	REVIEW	11-25-2021
LP21.008.01	REVIEW	1-6-2021
LP21.008.01	REVIEW	1-12-2021
LP22.056.05	REVIEW	5-11-2022
	REVIEW	5-13-2022
LP22.056.07	REVIEW	7-27-2022
LP22.056.08	REVIEW	8-18-2022
LP22.056.08 TWP. REV.		8-25-2022

drawn by:
JP, DK, PH
 checked by:
FP,
 date:
5-10-2022

notice:
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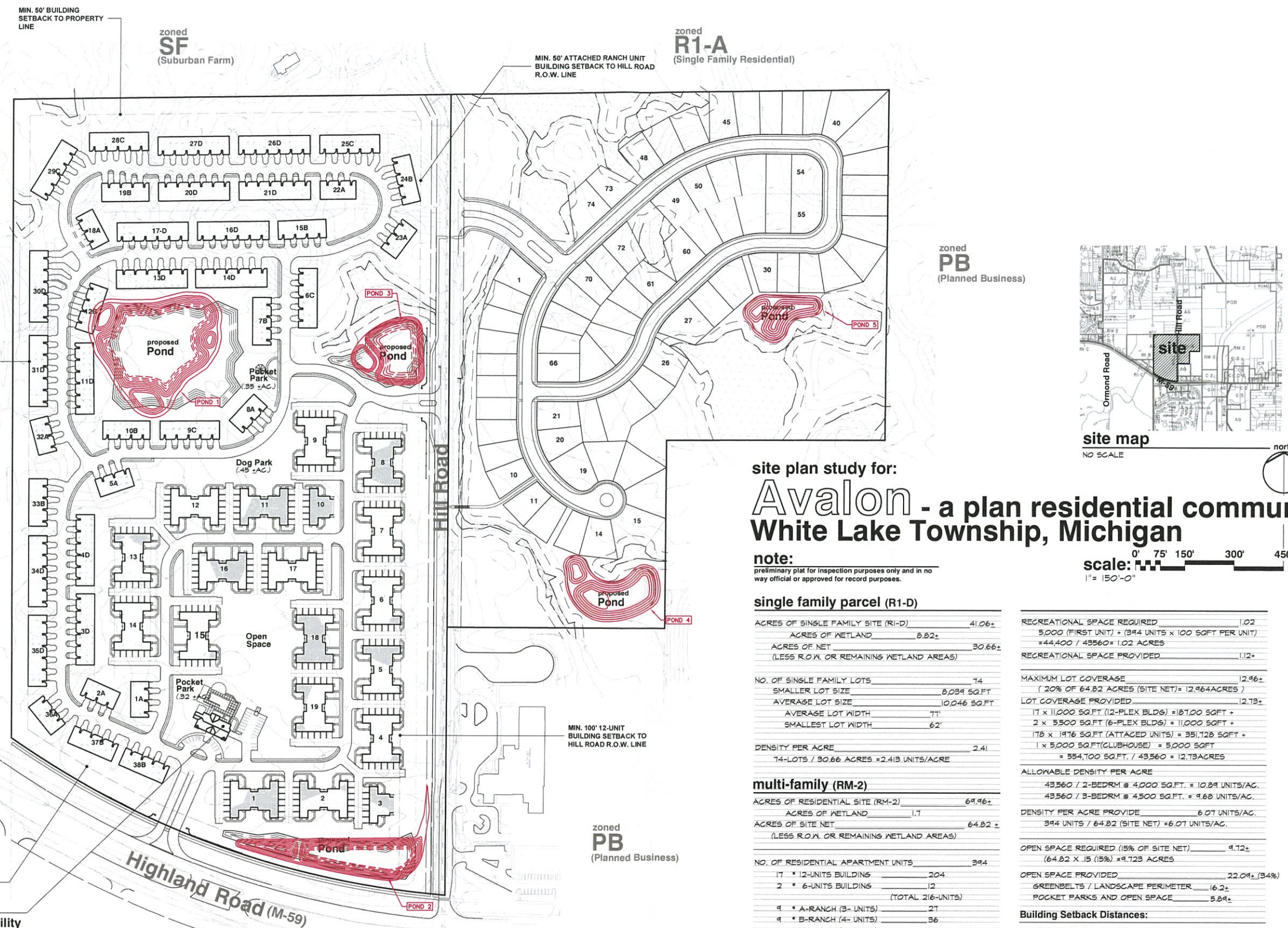
Do not scale drawings. Use
 figured dimensions only



The location and elevations of existing
 underground utilities as shown on this
 drawing are only approximate. No guarantee
 is either expressed or implied as to the
 completeness of accuracy; contractor shall be
 exclusively responsible for determining the
 exact location and elevation prior to the start
 of construction.

project no:
LP22.056.05

sheet no:



site plan study for:
**Avalon - a plan residential community
 White Lake Township, Michigan**

note:
 preliminary plat for inspection purposes only and in no
 way official or approved for record purposes.

single family parcel (R1-D)

ACRES OF SINGLE FAMILY SITE (R1-D)	41.06±
ACRES OF WETLAND	8.82±
ACRES OF NET	30.66±
(LESS R.O.W. OR REMAINING WETLAND AREAS)	
NO. OF SINGLE FAMILY LOTS	74
SMALLER LOT SIZE	8,089 SQ.FT.
AVERAGE LOT SIZE	10,046 SQ.FT.
AVERAGE LOT WIDTH	71'
SMALLEST LOT WIDTH	62'
DENSITY PER ACRE	2.41
74-LOTS / 30.66 ACRES = 2.413 UNITS/ACRE	

multi-family (RM-2)

ACRES OF RESIDENTIAL SITE (RM-2)	69.96±
ACRES OF WETLAND	1.7
ACRES OF SITE NET	64.82 ±
(LESS R.O.W. OR REMAINING WETLAND AREAS)	
NO. OF RESIDENTIAL APARTMENT UNITS	394
17 * 12-UNITS BUILDING	204
2 * 6-UNITS BUILDING	12
(TOTAL 216-UNITS)	
9 * A-RANCH (3- UNITS)	27
4 * B-RANCH (4- UNITS)	36
5 * C-RANCH (5- UNITS)	25
15 * D-RANCH (6- UNITS)	90
(TOTAL 178-RANCH UNITS)	

TOTAL NO. OF PARKINGS REQUIRED	1,525
(2-SPACES UNIT + 1/4 SPACE PER BEDROOM)	
2-SPACES X394 UNITS = 788-SPACES	
25-SPACE X 2,948 BEDRM = 737-SPACES	
TOTAL NO. OF PARKINGS PROVIDED	1,644
NO. OF GARAGE PARKINGS	788
NO. OF PARKINGS APPROACH	788
NO. OF OPEN PARKINGS	68

RECREATIONAL SPACE REQUIRED	1.02
5,000 (FIRST UNIT) + (394 UNITS X 100 SQFT PER UNIT)	
=44,400 / 43,560 = 1.02 ACRES	
RECREATIONAL SPACE PROVIDED	1.12±

MAXIMUM LOT COVERAGE	12.96±
(20% OF 64.82 ACRES (SITE NET) = 12.964ACRES)	
LOT COVERAGE PROVIDED	12.73±
17 X 11,000 SQ.FT. (12-PLEX BLDGS) = 187,000 SQFT +	
2 X 5,500 SQ.FT. (6-PLEX BLDGS) = 11,000 SQFT +	
178 X 1,916 SQ.FT. (ATTACHED UNITS) = 351,128 SQFT +	
1 X 5,000 SQ.FT.(CLUBHOUSE) = 5,000 SQFT	
= 554,100 SQ.FT. / 43,560 = 12.73ACRES	

ALLOWABLE DENSITY PER ACRE	
43,560 / 2-BEDRM @ 4,000 SQ.FT. = 10.89 UNITS/AC.	
43,560 / 3-BEDRM @ 4,500 SQ.FT. = 9.68 UNITS/AC.	

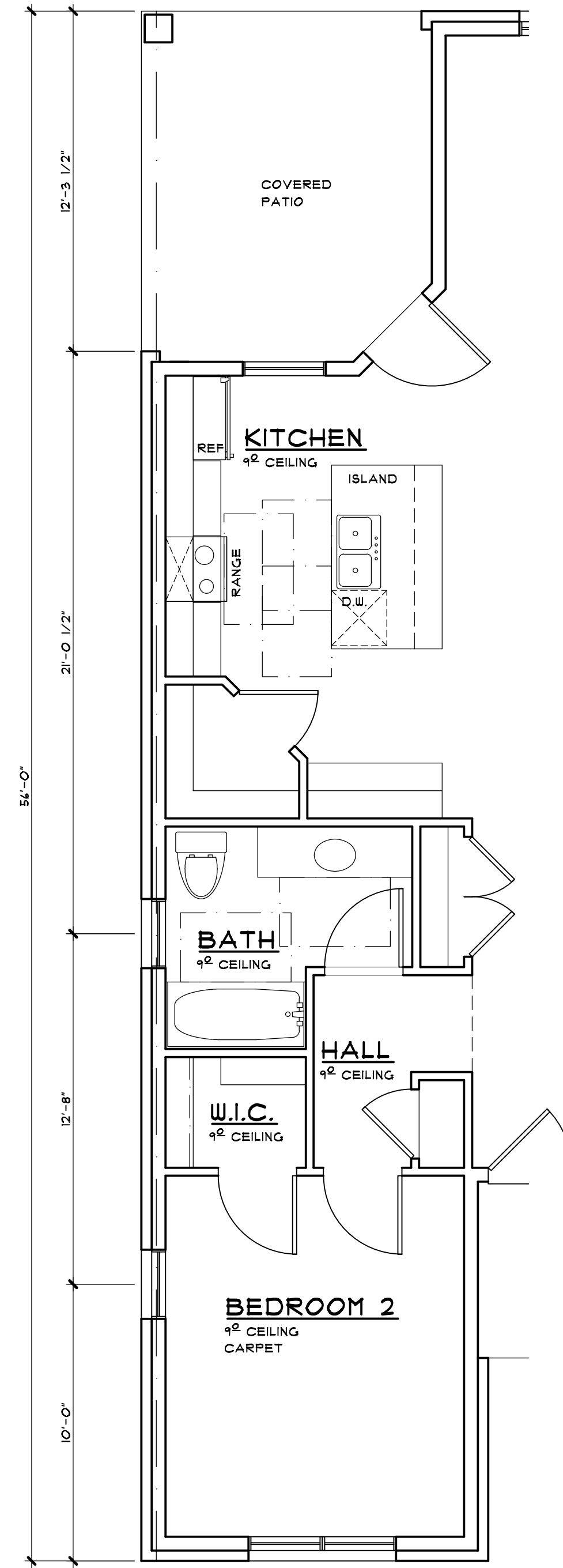
DENSITY PER ACRE PROVIDE	6.07 UNITS/AC.
394 UNITS / 64.82 (SITE NET) = 6.07 UNITS/AC.	

OPEN SPACE REQUIRED (15% OF SITE NET)	9.72±
(64.82 X .15 (15%)) = 9.723 ACRES	

OPEN SPACE PROVIDED	22.09± (34%)
GREENBELTS / LANDSCAPE PERIMETER	16.2±
POCKET PARKS AND OPEN SPACE	5.89±

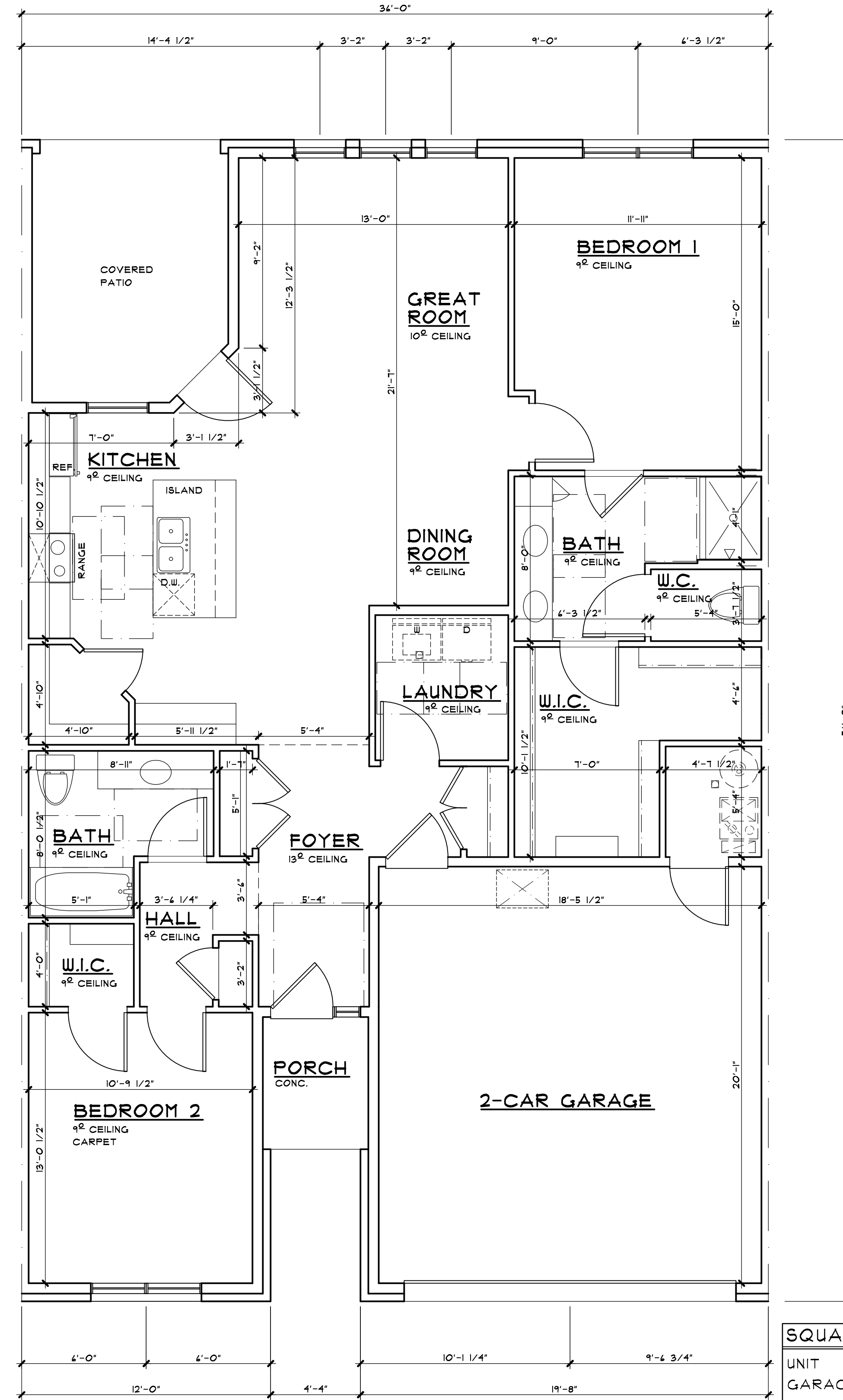
Building Setback Distances:

MINIMUM BUILDING SETBACK FROM HILL ROAD R.O.W.	
RANCH UNIT BUILDINGS	50'
6 AND 12-UNIT BUILDINGS	100'
MINIMUM BUILDING SETBACK FROM HILL ROAD PAVEMENT	
RANCH UNIT BUILDINGS	81'
6 AND 12-UNIT BUILDINGS	125'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD R.O.W.	
RANCH UNIT BUILDINGS	74'
6 AND 12-UNIT BUILDINGS	45'
MINIMUM BUILDING SETBACK FROM HIGHLAND ROAD PAVEMENT	
RANCH UNIT BUILDINGS	152'
6 AND 12-UNIT BUILDINGS	157'



**UNIT FLOOR PLAN -
LEFT SIDE END**

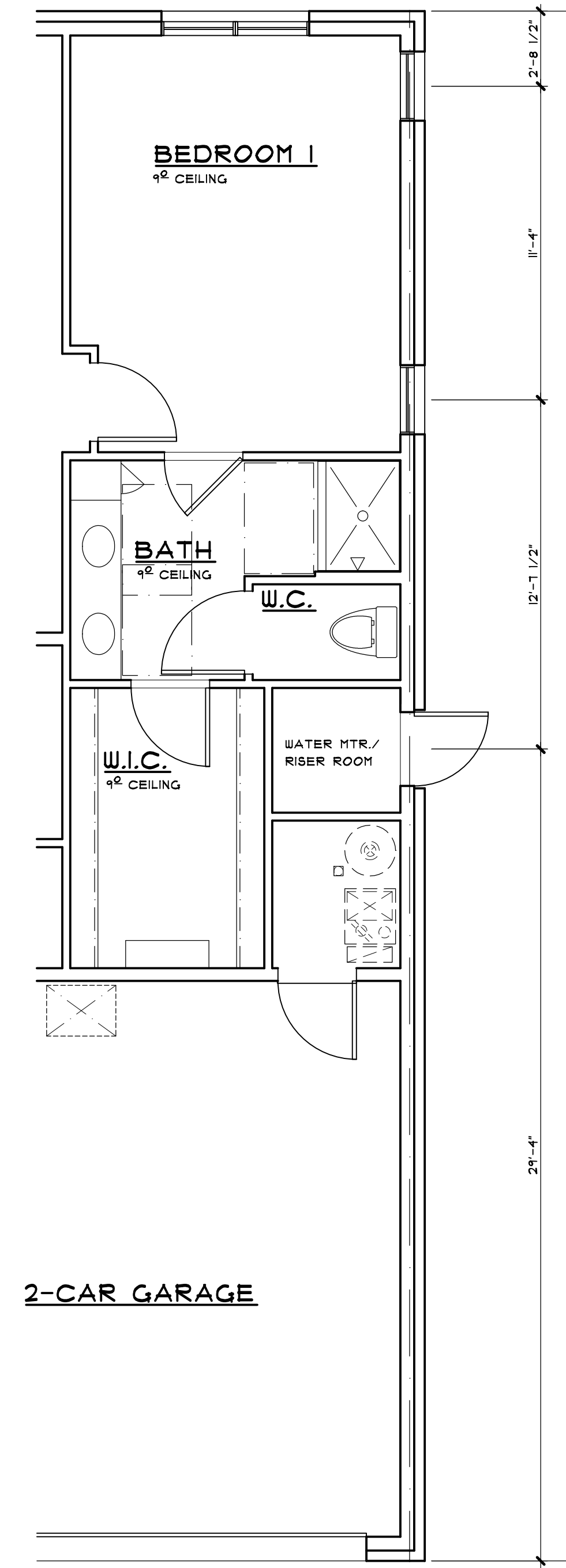
SCALE: 1/4" = 1'-0"



SQUARE FOOTAGE	
UNIT	1,424 SQ FT
GARAGE	403 SQ FT
COV. PAT.	122 SQ FT

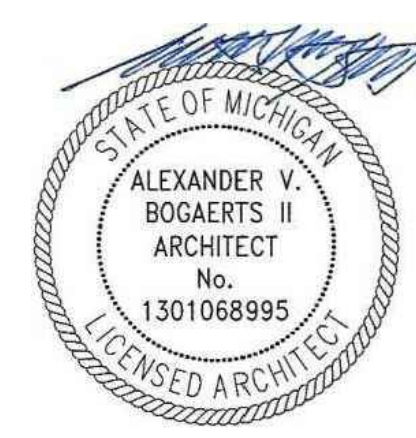
UNIT FLOOR PLAN

SCALE: 1/4" = 1'-0"



**UNIT FLOOR PLAN -
RIGHT SIDE END**

SCALE: 1/4" = 1'-0"



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AVALON - RANCHES

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SHEET TITLE
UNIT FLOOR PLAN

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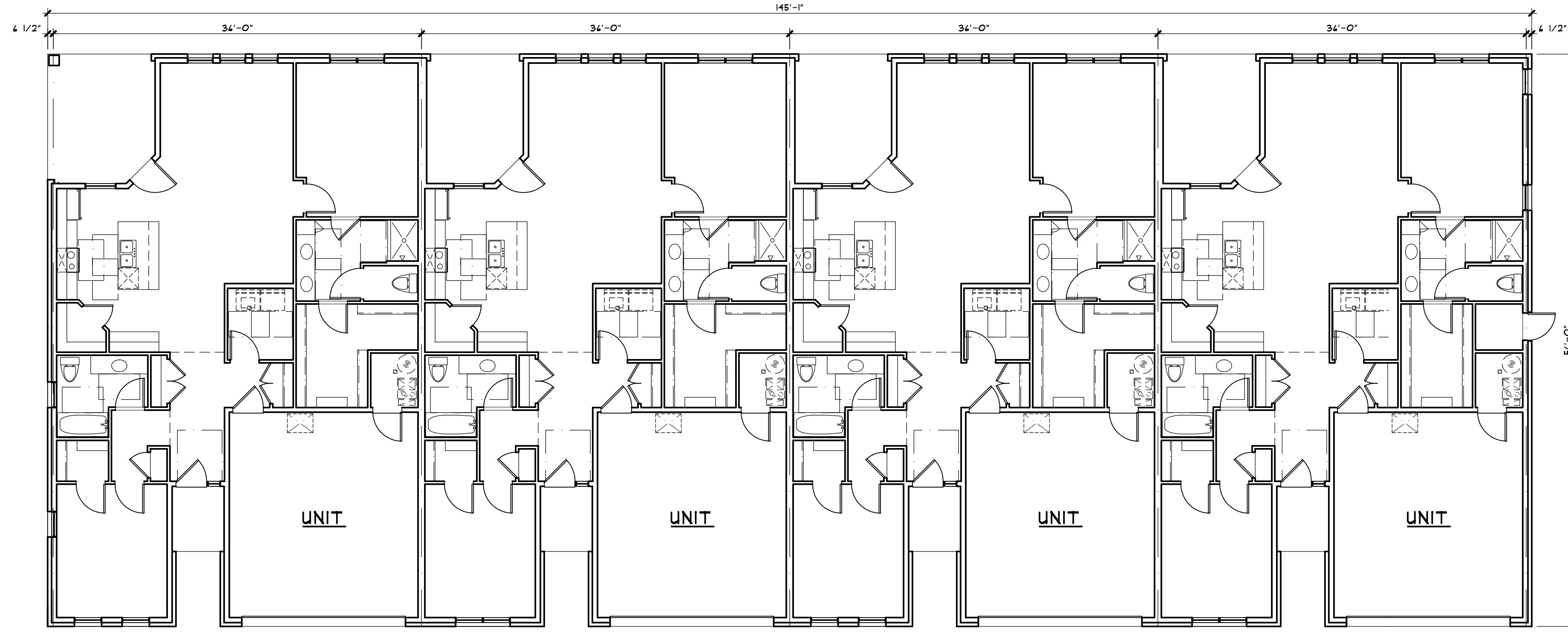
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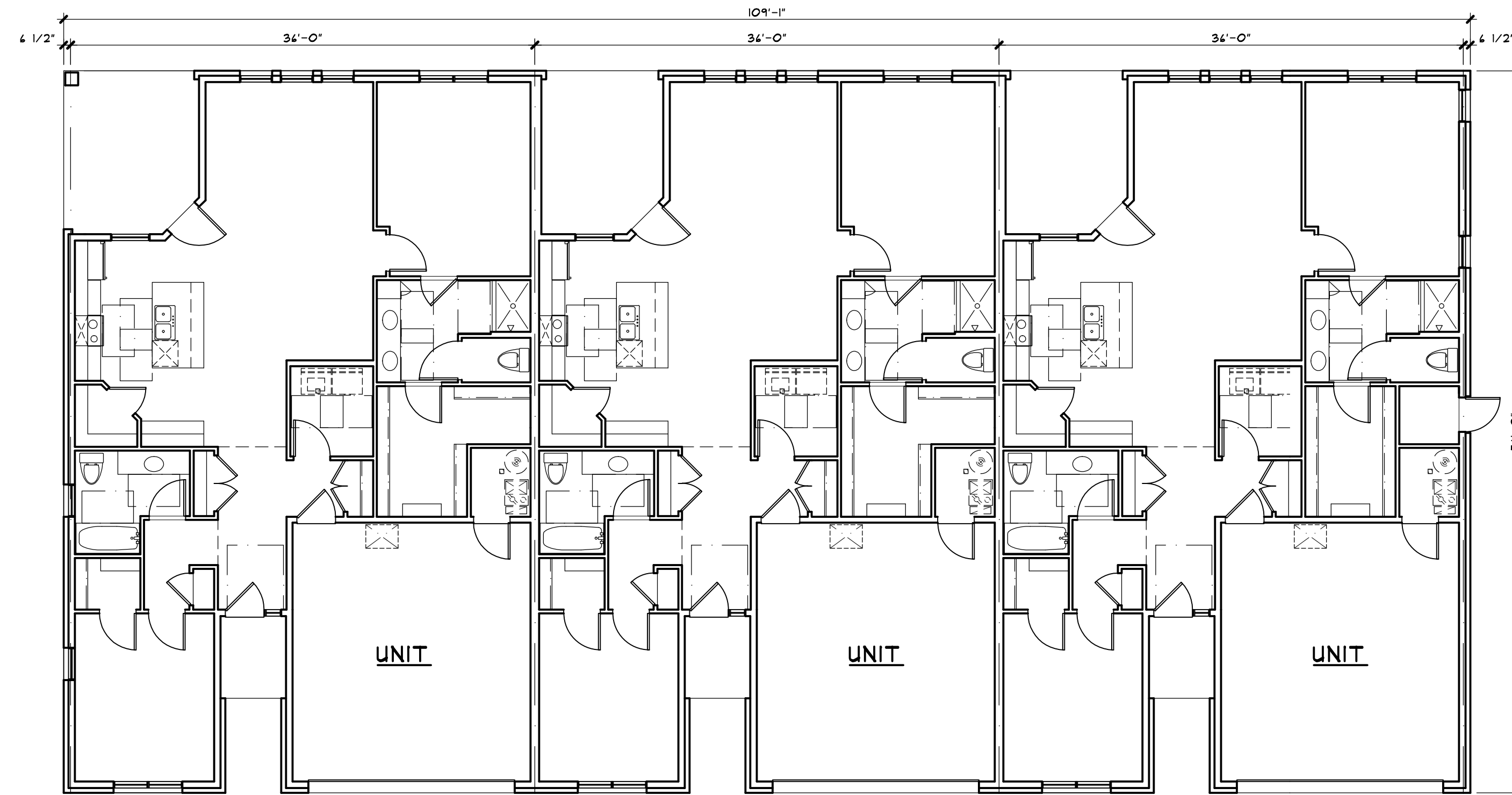
DATE
2022-03-29

SHEET NUMBER
A100



4 UNIT BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"



3 UNIT BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"



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BUILDING FLOOR PLANS

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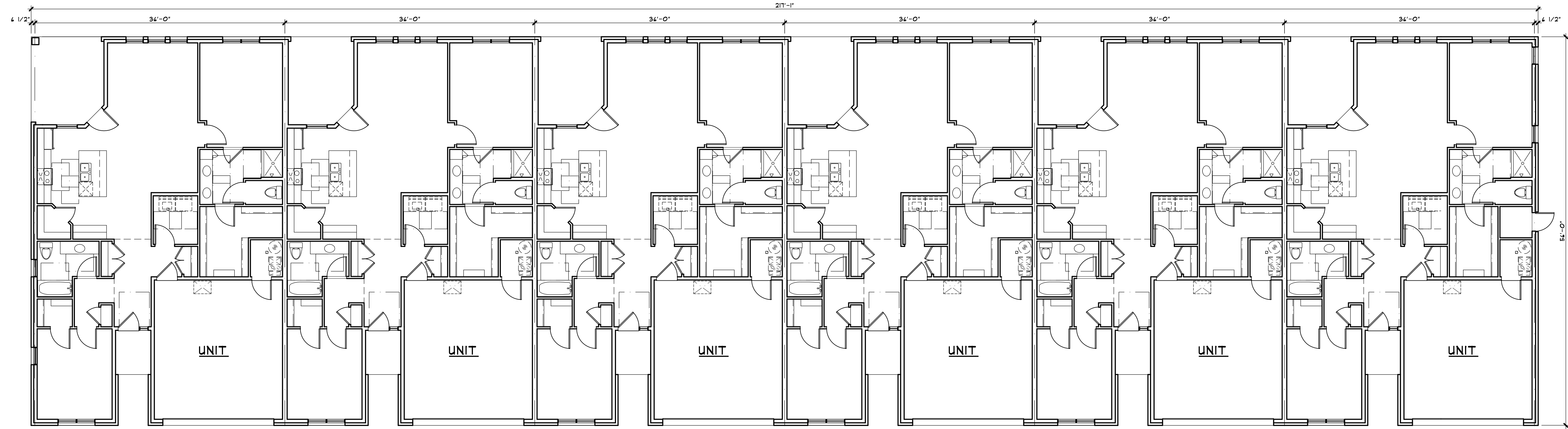
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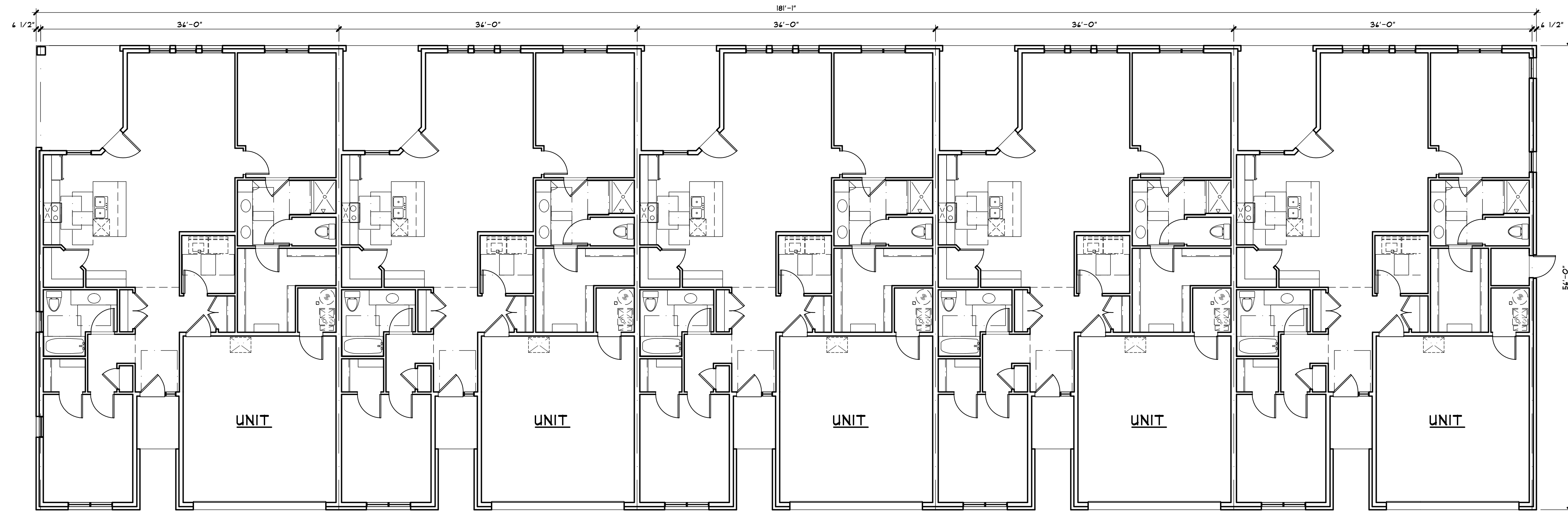
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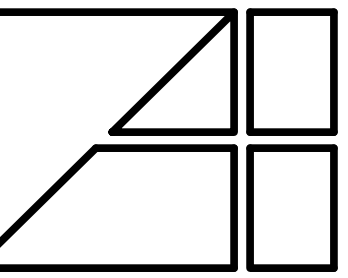
6 UNIT BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"



5 UNIT BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"



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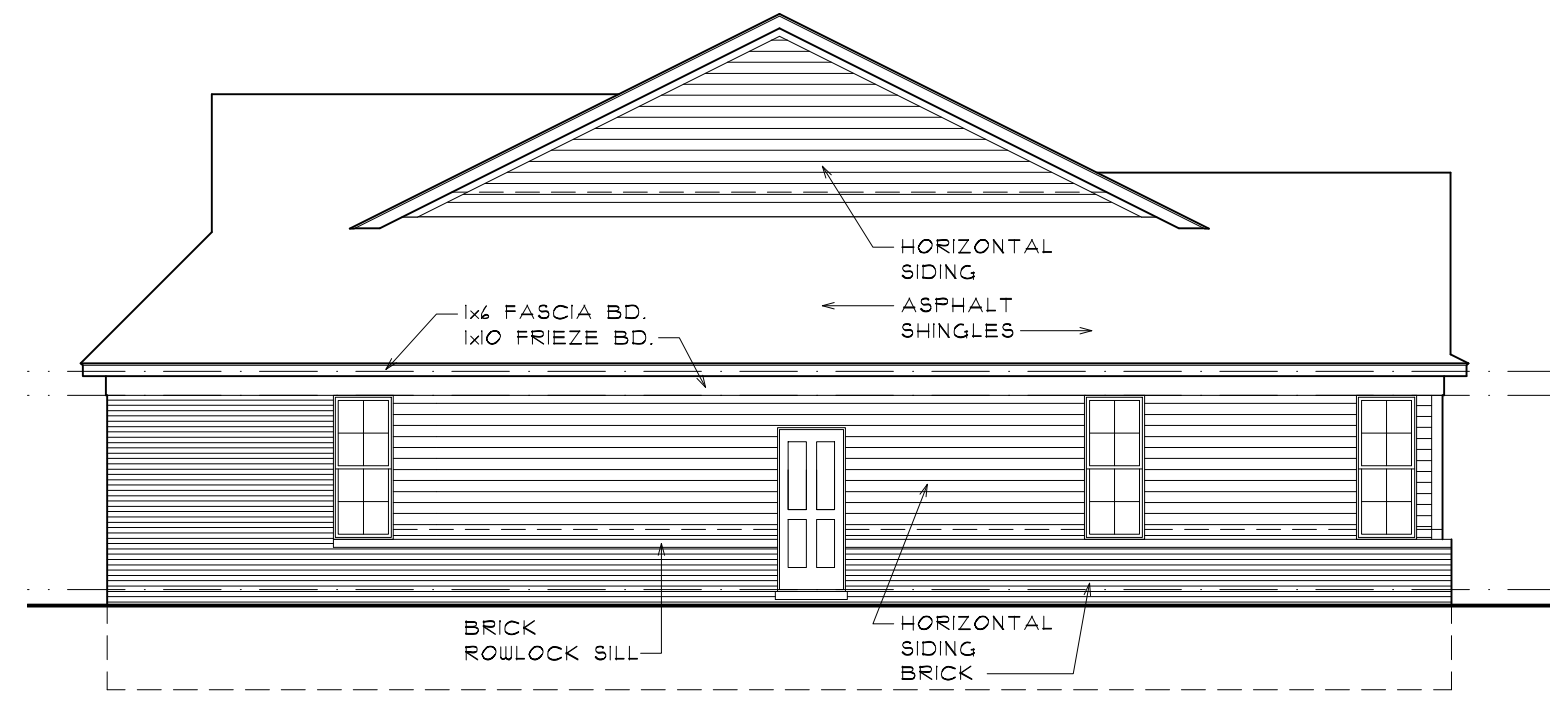
BUILDING FLOOR PLANS

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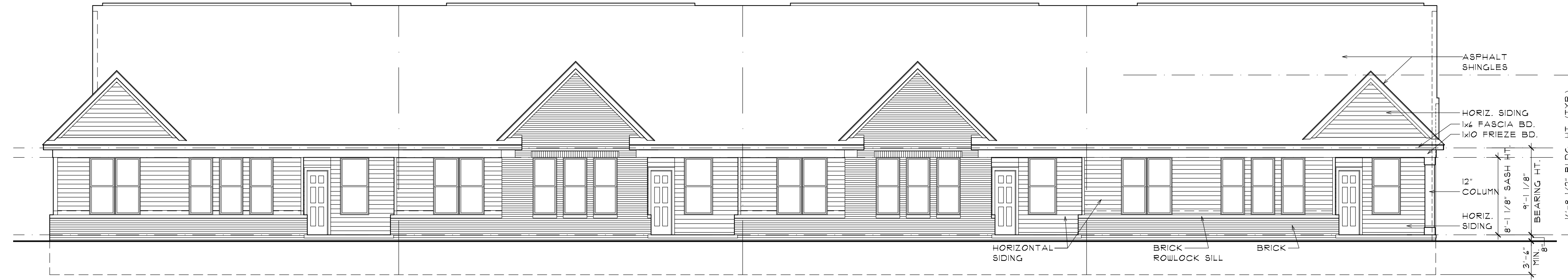
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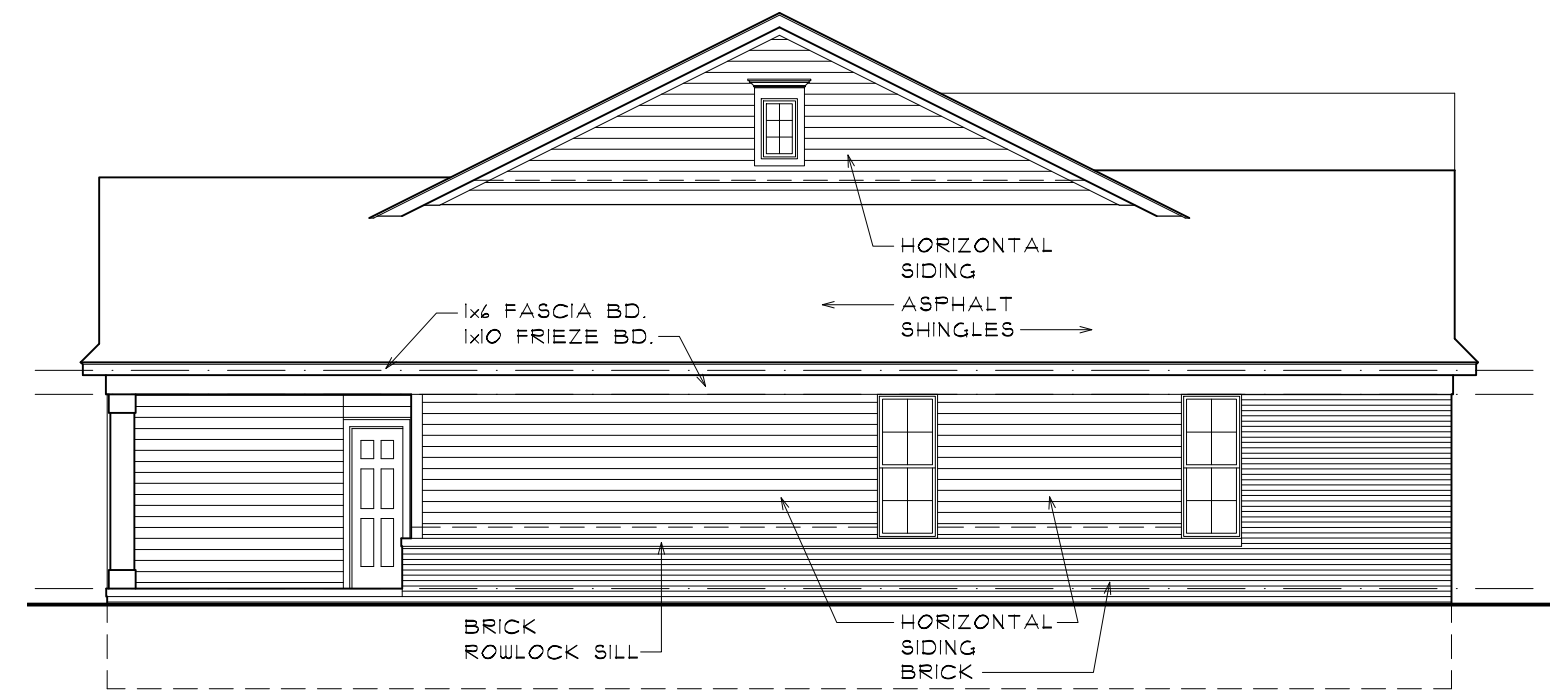
RIGHT SIDE ELEVATION 'B' ('A' and 'C' SIMILAR)

SCALE: 1/8" = 1'-0"



REAR ELEVATION 'A' and 'C' ('B' SIMILAR)

SCALE: 1/8" = 1'-0"



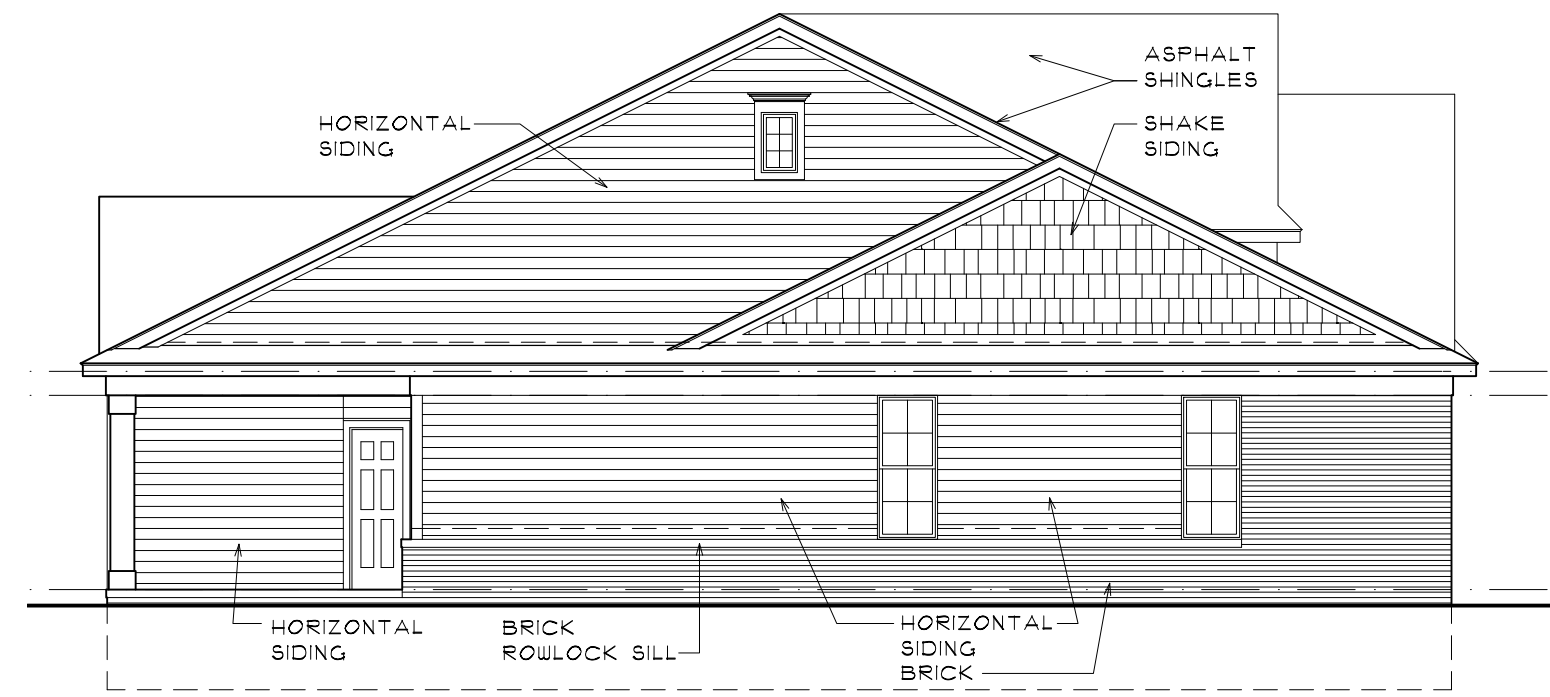
LEFT SIDE ELEVATION 'A' and 'C'

SCALE: 1/8" = 1'-0"



4 UNIT FRONT ELEVATION 'A'

SCALE: 1/8" = 1'-0"



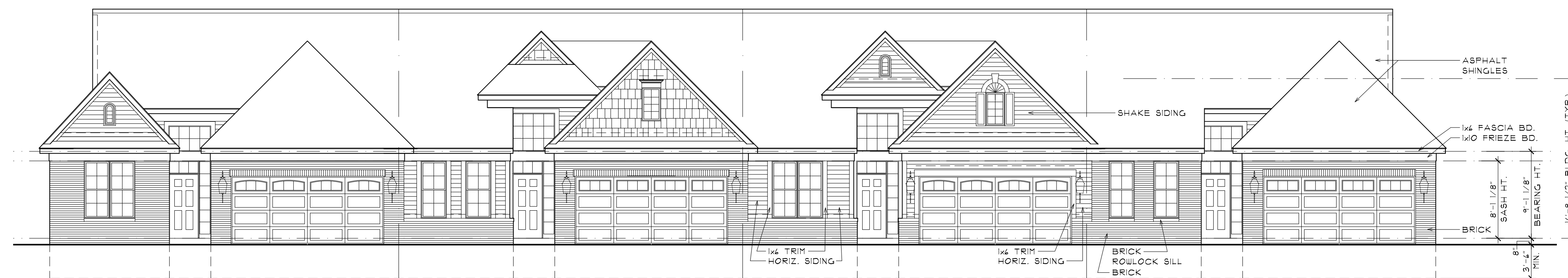
LEFT SIDE ELEVATION 'B'

SCALE: 1/8" = 1'-0"



4 UNIT FRONT ELEVATION 'B'

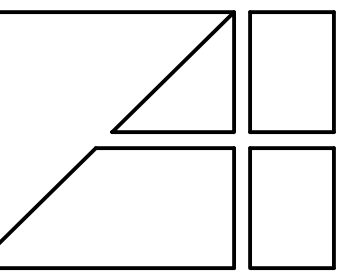
SCALE: 1/8" = 1'-0"



4 UNIT FRONT ELEVATION 'C'

SCALE: 1/8" = 1'-0"

NOTE:
SEE BUILDING RENDERINGS
FOR ALL BUILDING MATERIAL
COLORS. 3 DIFFERENT COLOR
SCHEMES PROPOSED FOR A,
B, AND C. 3RD SCHEME C
SIMILAR TO 4 AND 4 UNIT
RENDERINGS.
ELEVATIONS RENDERED:
4 UNIT FRONT ELEVATION 'B'
& 4 UNIT FRONT ELEVATION 'A'



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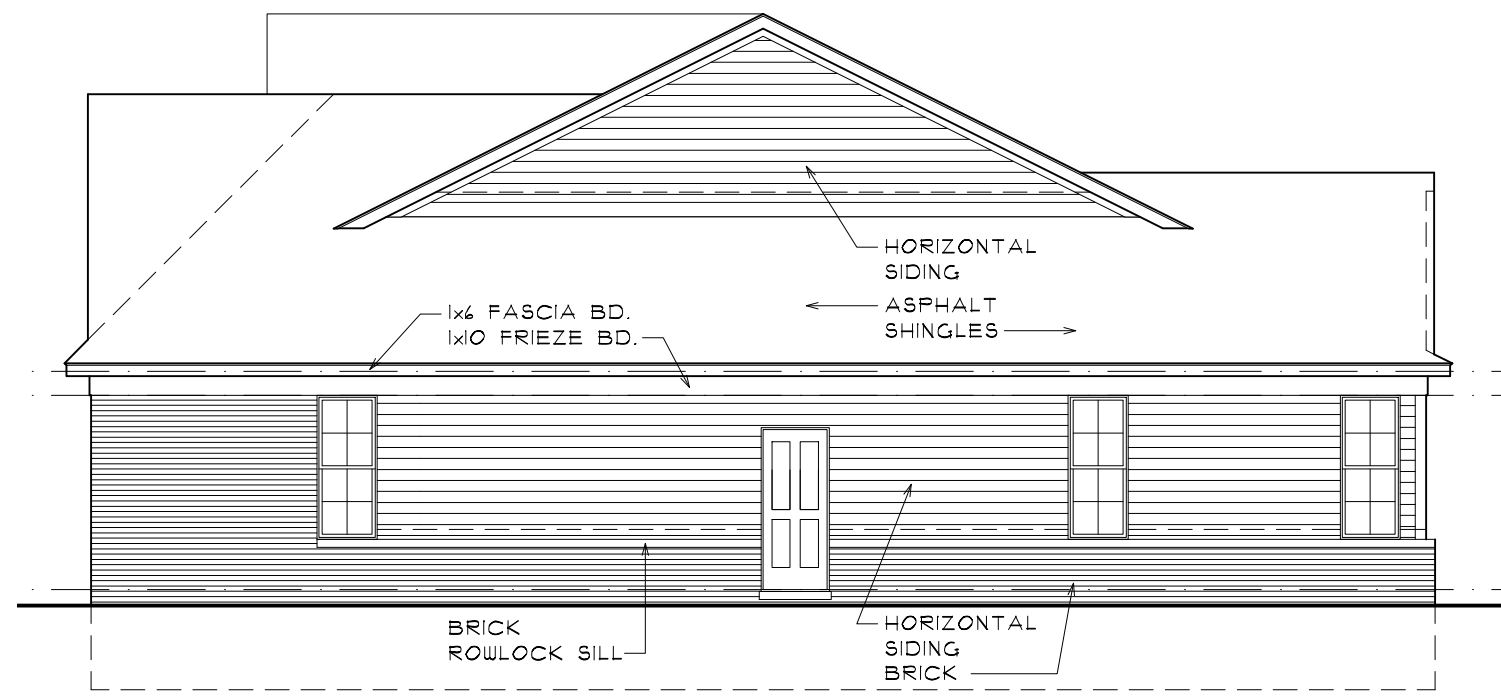
BUILDING ELEVATIONS

WHITE LAKE HILL, LLC
AVALON - RANCHES
WHITE LAKE TOWNSHIP, MICHIGAN

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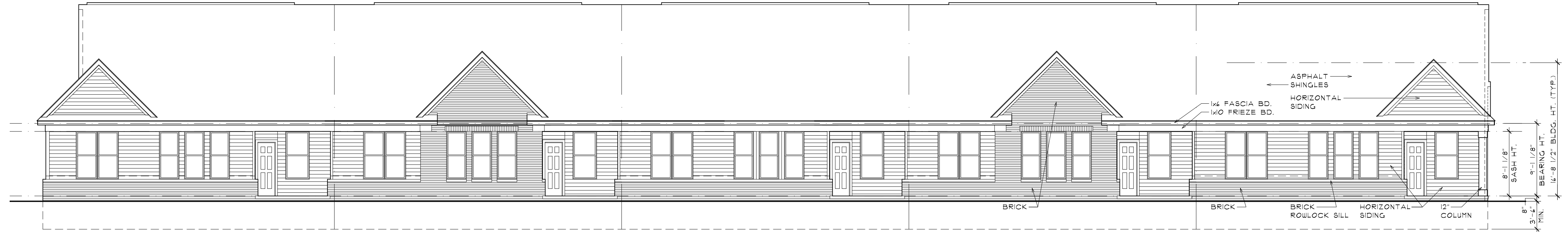


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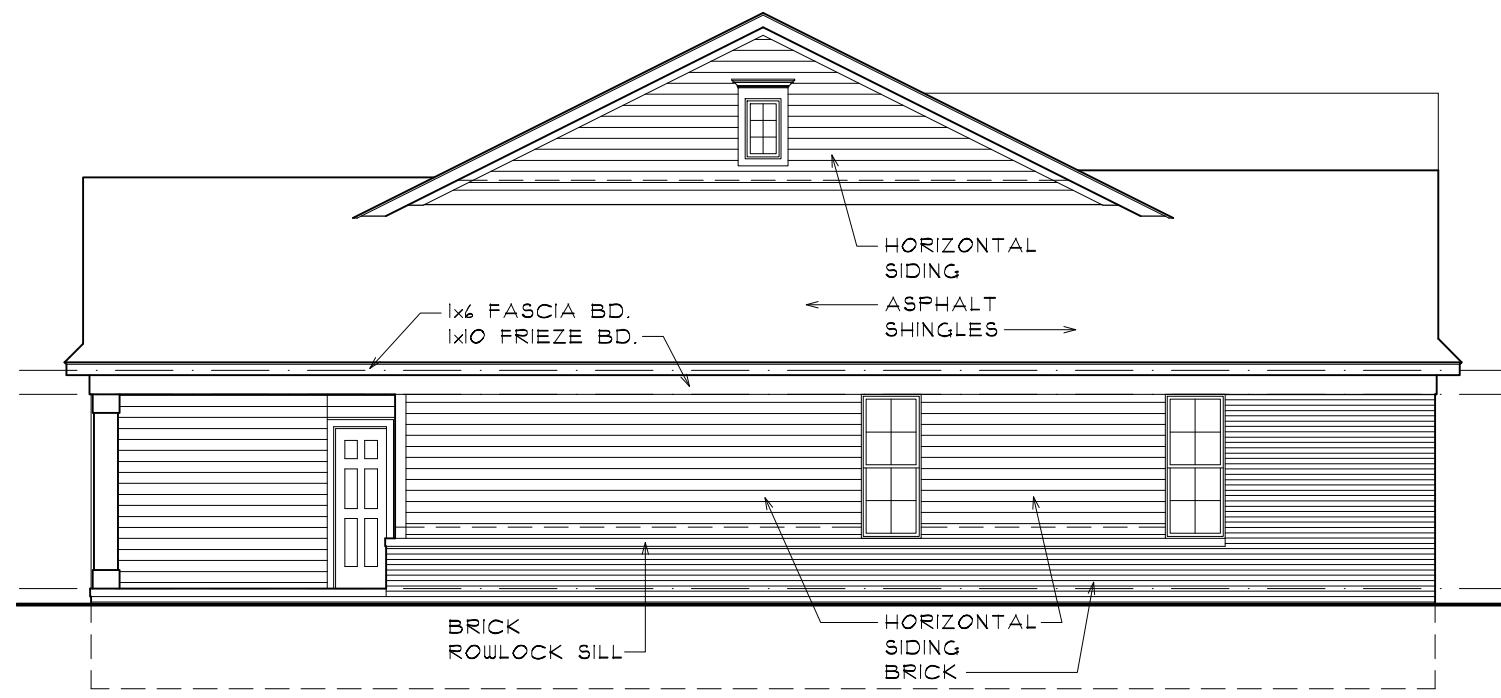
RIGHT SIDE ELEVATION 'B' ('A' and 'C' SIMILAR)

SCALE: 1/8" = 1'-0"



REAR ELEVATION 'A' and 'C' ('B' SIMILAR)

SCALE: 1/8" = 1'-0"



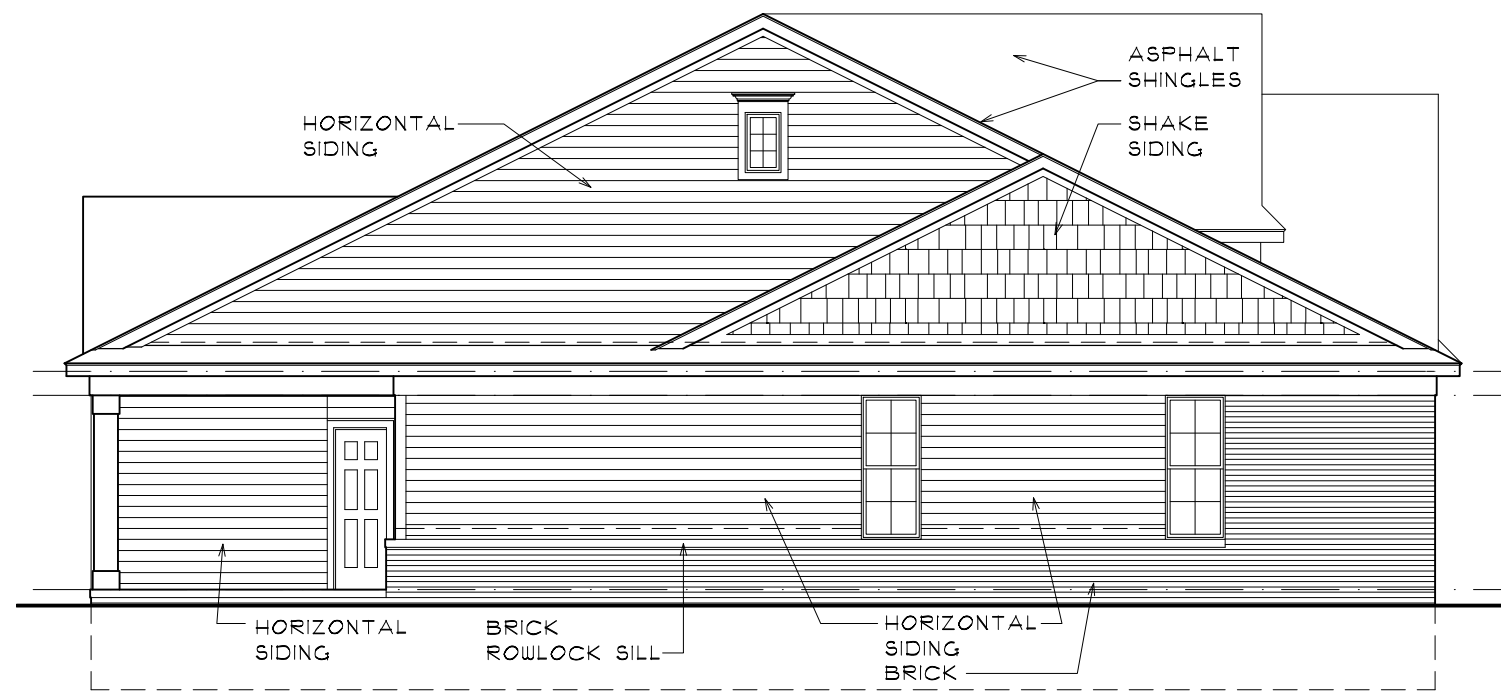
LEFT SIDE ELEVATION 'A' and 'C'

SCALE: 1/8" = 1'-0"



5 UNIT FRONT ELEVATION 'A'

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION 'B'

SCALE: 1/8" = 1'-0"



5 UNIT FRONT ELEVATION 'B'

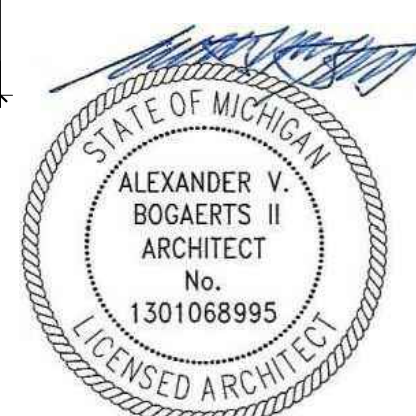
SCALE: 1/8" = 1'-0"



5 UNIT FRONT ELEVATION 'C'

SCALE: 1/8" = 1'-0"

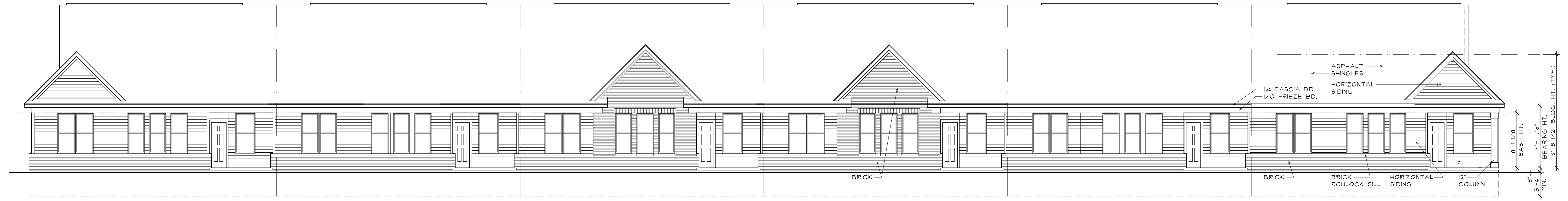
NOTE:
SEE BUILDING RENDERINGS FOR ALL BUILDING MATERIAL COLORS. 3 DIFFERENT COLOR SCHEMES PROPOSED FOR A, B, AND C. 3RD SCHEME C SIMILAR TO 4 AND 4 UNIT RENDERINGS.
ELEVATIONS RENDERED:
4 UNIT FRONT ELEVATION 'B'
4 UNIT FRONT ELEVATION 'A'



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SHEET TITLE: BUILDING ELEVATIONS
 CLIENT/PROJECT: WHITE LAKE HILL, LLC
 AVALON - RANCHES
 WHITE LAKE TOWNSHIP, MICHIGAN

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REAR ELEVATION 'A' and 'C' ('B' SIMILAR)

SCALE: 1/8" = 1'-0"



6 UNIT FRONT ELEVATION 'A'

SCALE: 1/8" = 1'-0"



6 UNIT FRONT ELEVATION 'B'

SCALE: 1/8" = 1'-0"

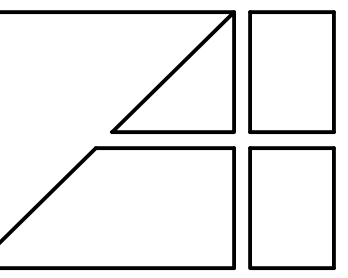
NOTE:
SEE BUILDING RENDERINGS FOR ALL BUILDING MATERIAL COLORS. 3 DIFFERENT COLOR SCHEMES PROPOSED FOR A, B, AND C. 3RD SCHEME C SIMILAR TO 4 AND 6 UNIT RENDERINGS.
ELEVATIONS RENDERED: 4 UNIT FRONT ELEVATION 'B' & 4 UNIT FRONT ELEVATION 'A'

NOTE:
REFER TO SHEET A105 FOR BUILDING SIDE ELEVATIONS



6 UNIT FRONT ELEVATION 'C'

SCALE: 1/8" = 1'-0"



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BUILDING ELEVATIONS

WHITE LAKE HILL, LLC
AVALON - RANCHES
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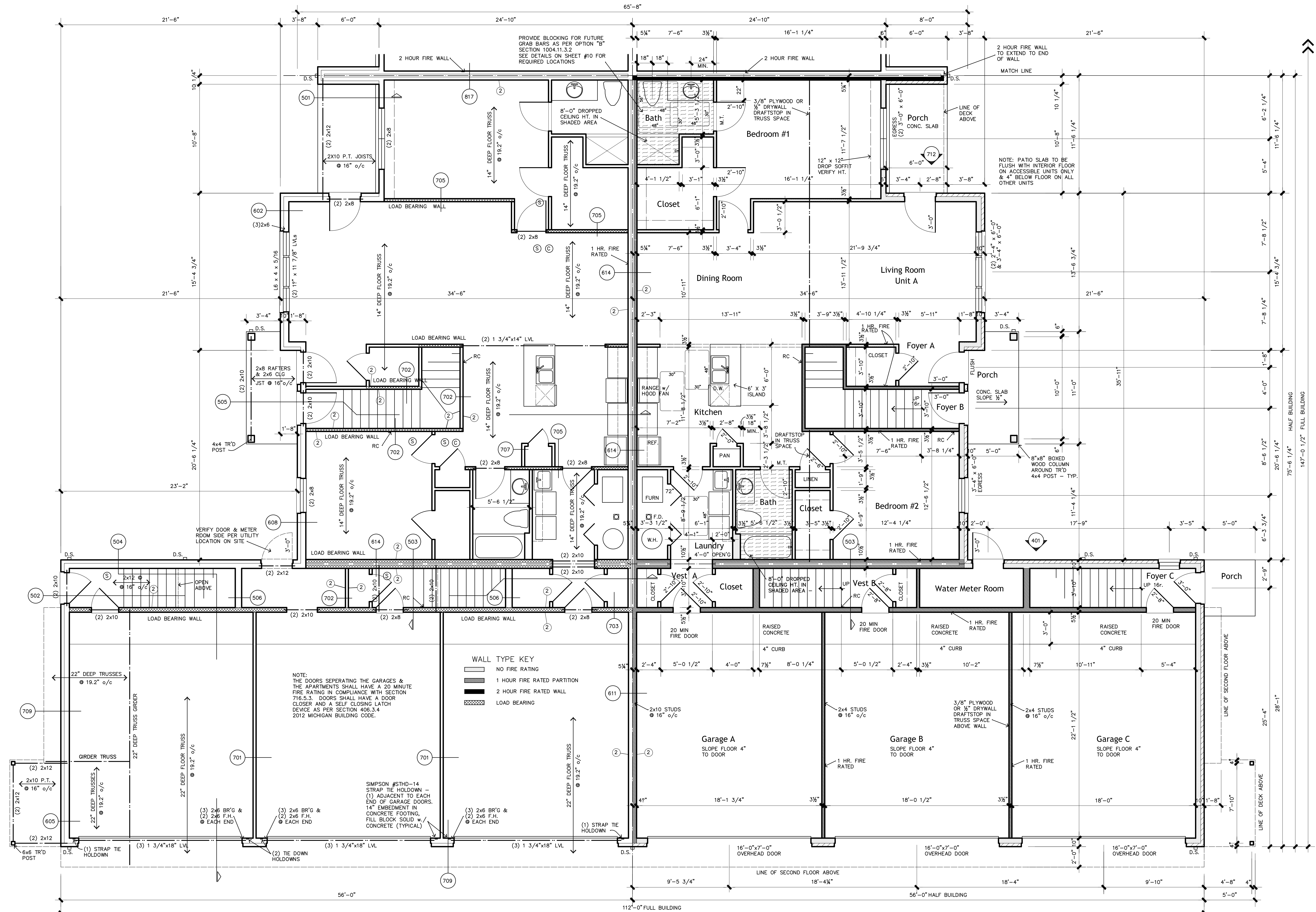
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2022-03-29
SHEET NUMBER



A106



WALL TYPE KEY

[White Box]	NO FIRE RATING
[Grey Box]	1 HOUR FIRE RATED PARTITION
[Black Box]	2 HOUR FIRE RATED WALL
[Hatched Box]	LOAD BEARING

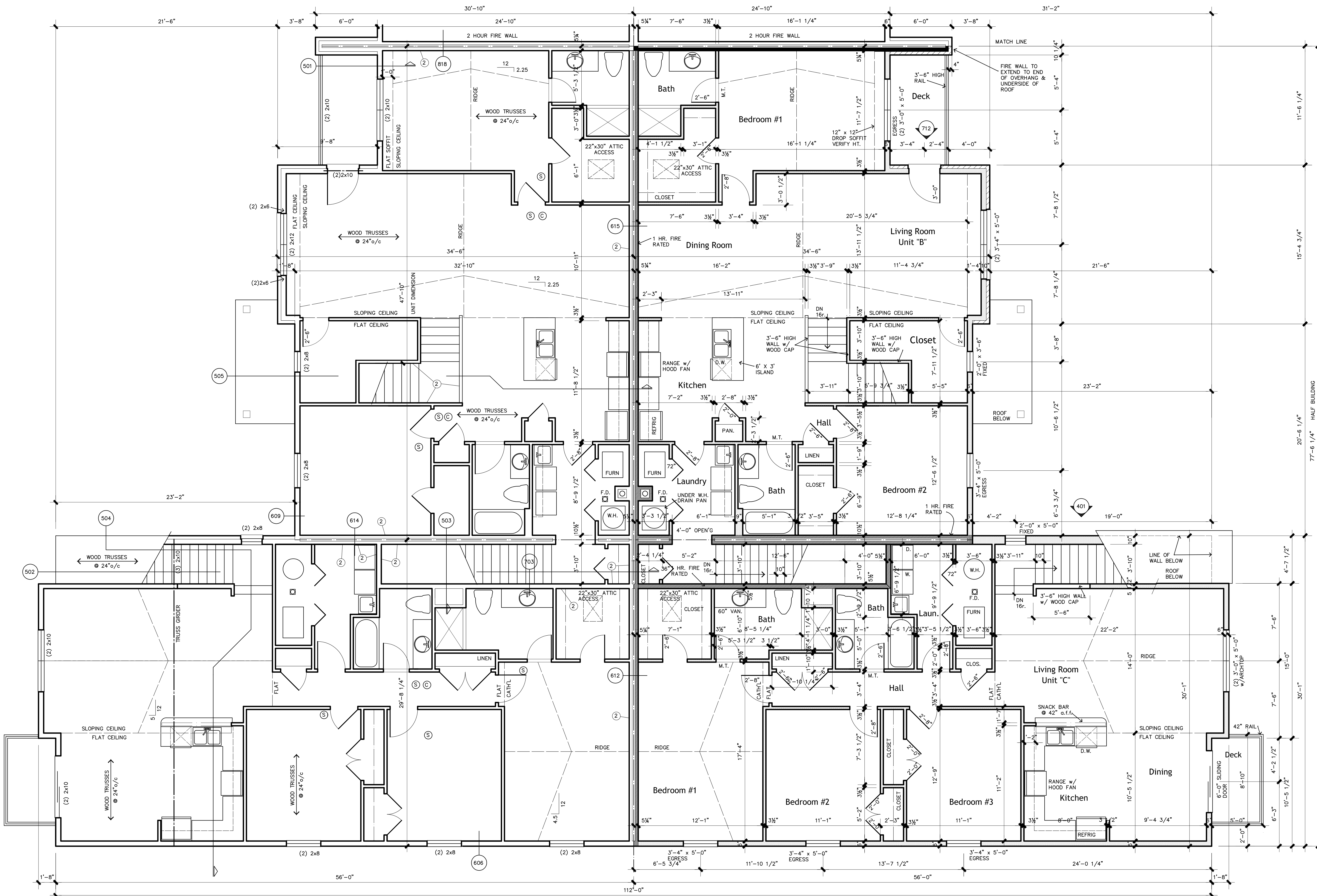
NOTE: THE DOORS SEPARATING THE GARAGES & THE APARTMENTS SHALL HAVE A 20 MINUTE FIRE RATING IN COMPLIANCE WITH SECTION 716.5.3. DOORS SHALL HAVE A DOOR CLOSER AND A SELF-CLOSING LATCH DEVICE AS PER SECTION 406.3.4 2012 MICHIGAN BUILDING CODE.

SIMPSON #5THD-14 STRAP TIE HOLDDOWN - (1) ADJACENT TO EACH END OF GARAGE DOORS. 14" EMBEDMENT IN CONCRETE FOOTING, FILL BLOCK, SOLID W/ CONCRETE (TYPICAL)

First Floor Plan
Scale: 1/4" = 1'-0"

Type "B" Units
ALL UNITS EXCEPT FOR: BUILDINGS #3, #4 & #9 - SEE SHEET #10 BUILDING #10 - SEE SHEET #11

REPRODUCTION OF PRINTS IS PROHIBITED.

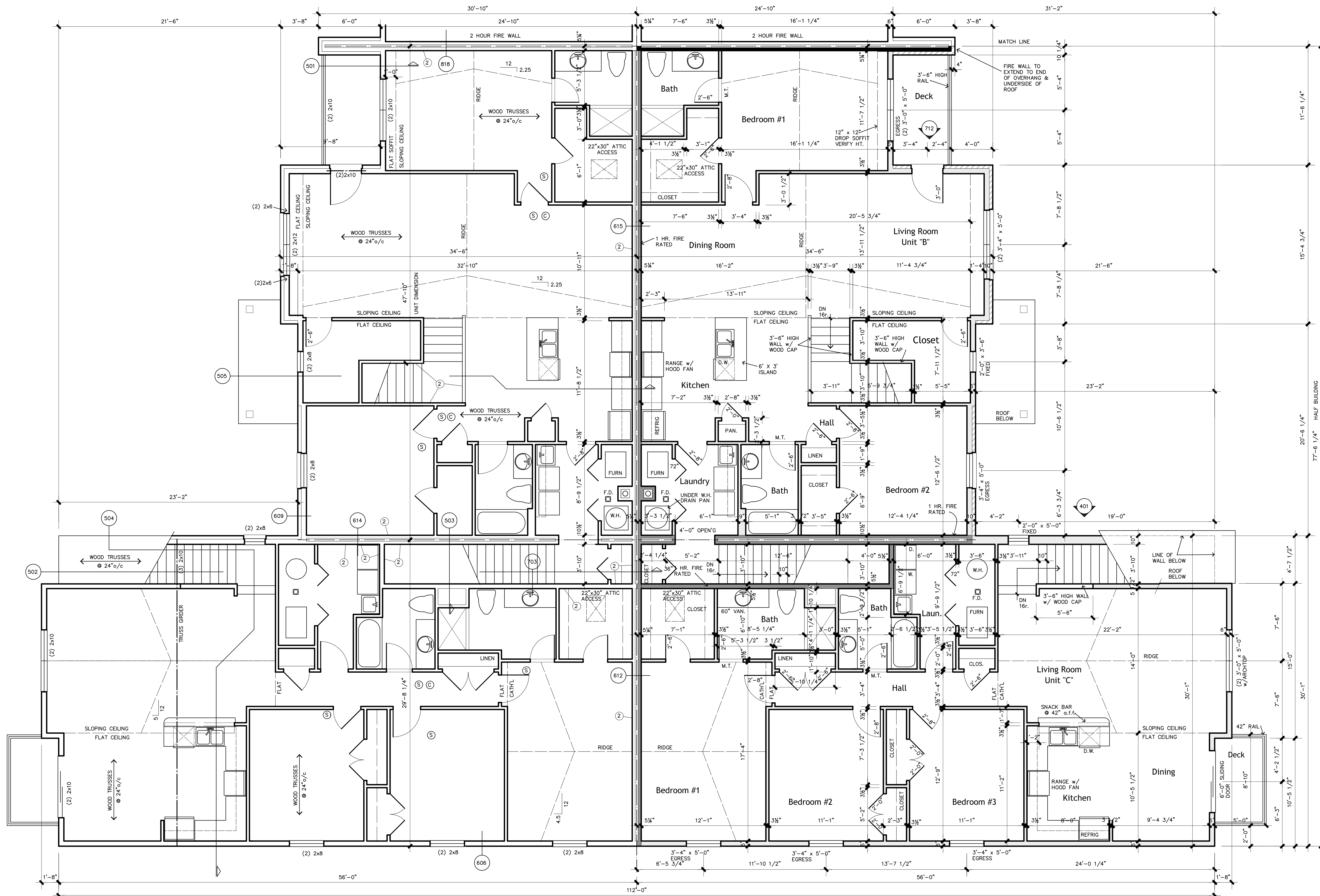


WALL TYPE KEY

[Symbol]	NO FIRE RATING
[Symbol]	1 HOUR FIRE RATED PARTITION
[Symbol]	2 HOUR FIRE RATED WALL
[Symbol]	LOAD BEARING

Second Floor Plan
 Scale: 1/4" = 1'-0"

ALL UNITS "B" & "C" ARE NOT ACCESSIBLE UNITS.

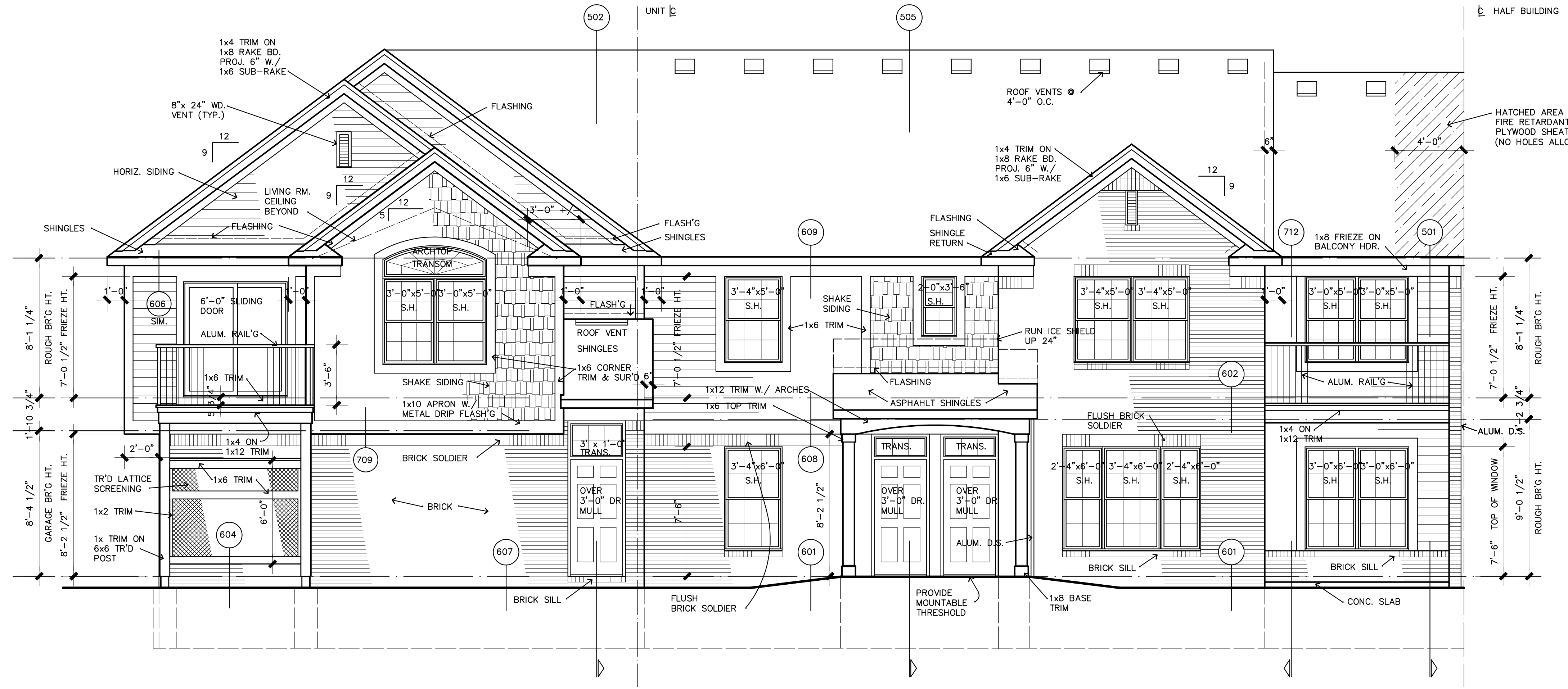


WALL TYPE KEY

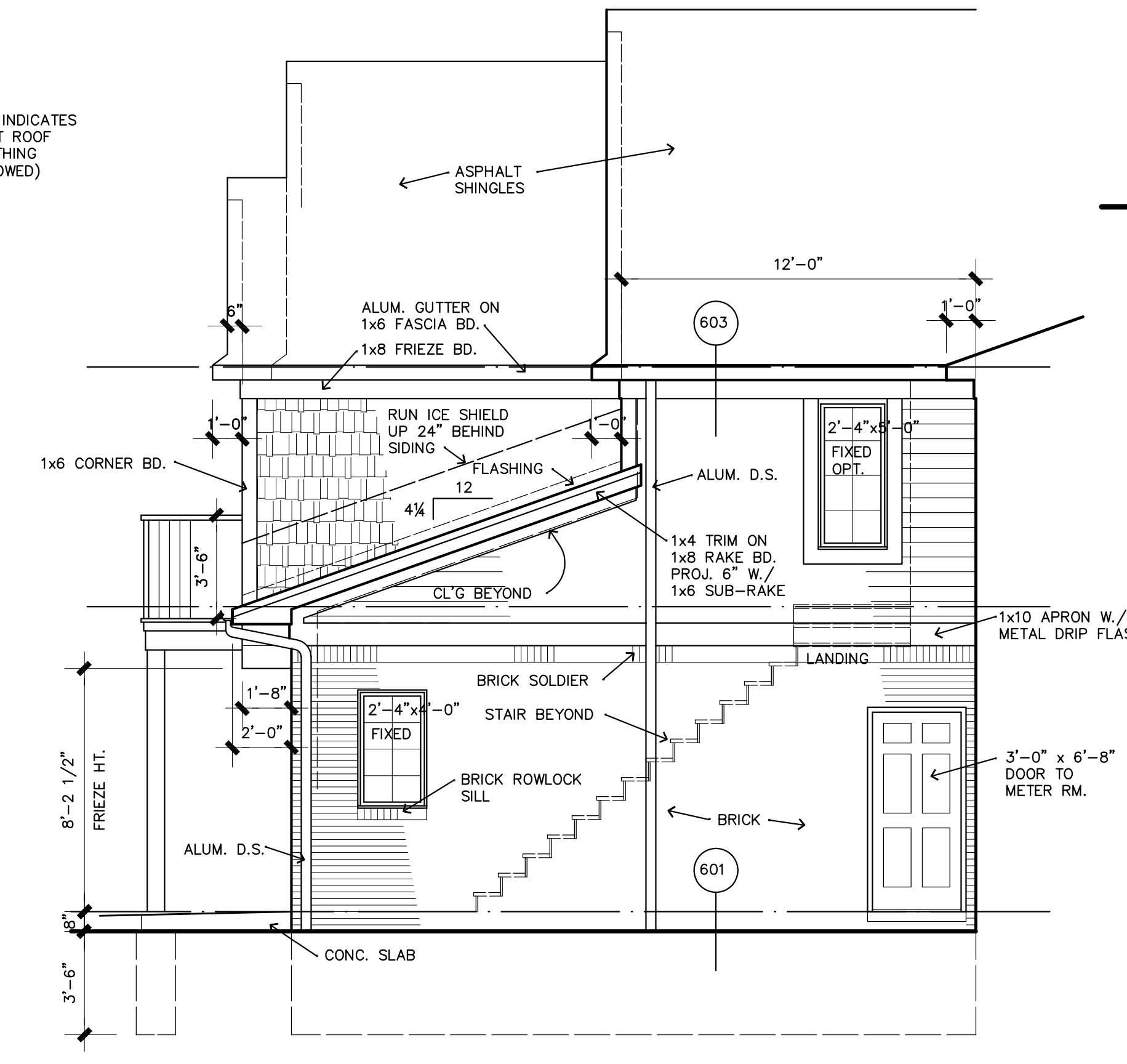
(Thin solid line)	NO FIRE RATING
(Thick solid line)	1 HOUR FIRE RATED PARTITION
(Dashed line)	2 HOUR FIRE RATED WALL
(Cross-hatched pattern)	LOAD BEARING

Second Floor Plan
 Scale: 1/4" = 1'-0"

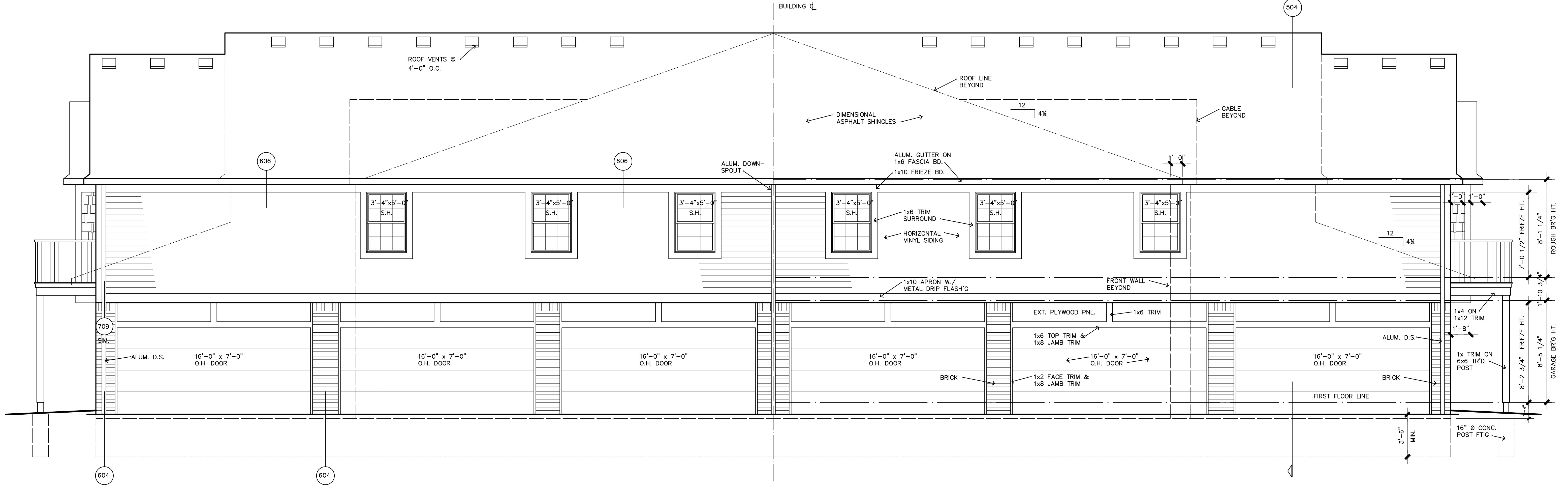
ALL UNITS "B" & "C" ARE NOT ACCESSIBLE UNITS.



Front/Rear Elevation "A"
 Scale: 1/4" = 1'-0"



Partial Elevation "A"
 Scale: 1/4" = 1'-0"



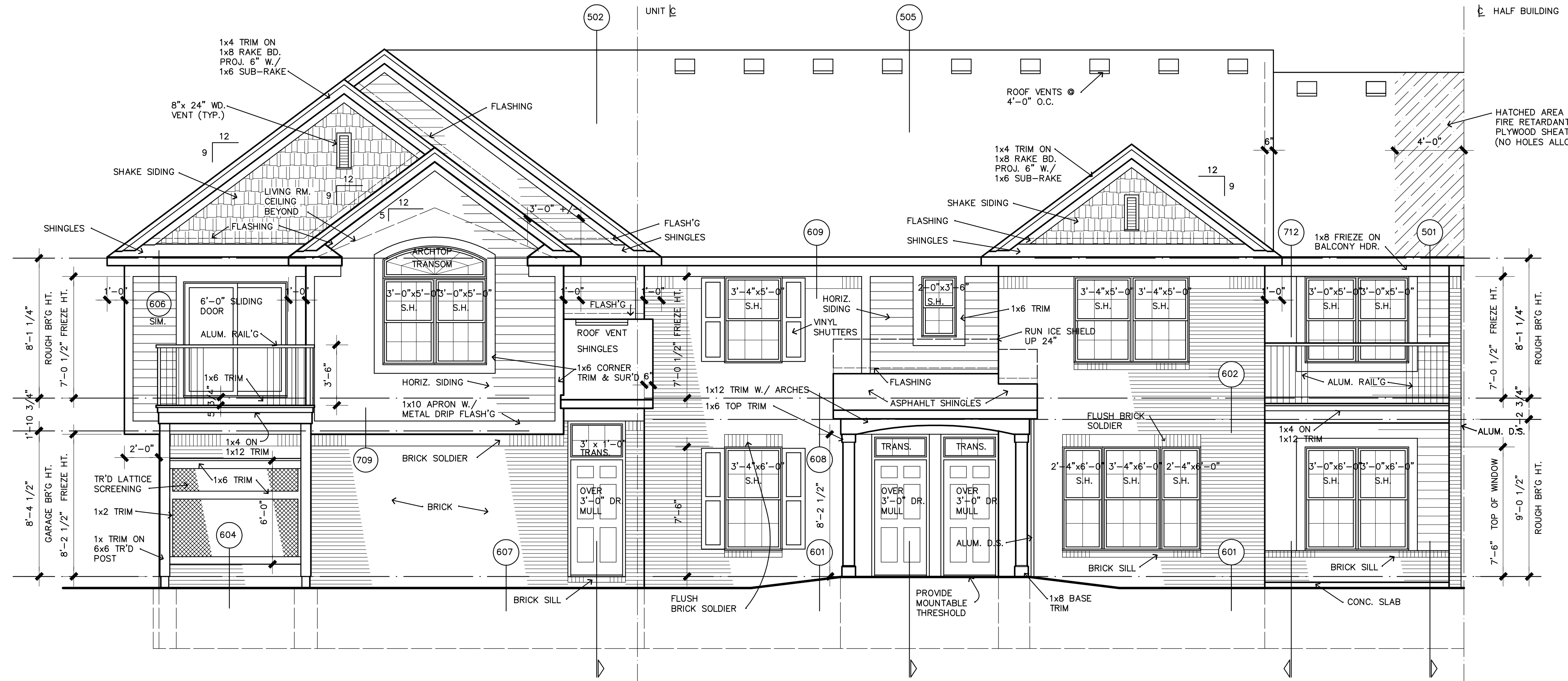
Side Elevation "A"
 Scale: 1/4" = 1'-0"

Proposed Condominiums for:
MJC
 12 - Plex Condominiums
 Architects • Engineers • Historic Restorations
 110 W. St. Clair • Romeo • Michigan • 48065-4655
 Office: 586-752-9010 • 586-201-1602 Call
 greatarchitects@charter.net
 A.I.A.
 Member of the American Institute of Architects
 BURMANN ASSOCIATES INC.

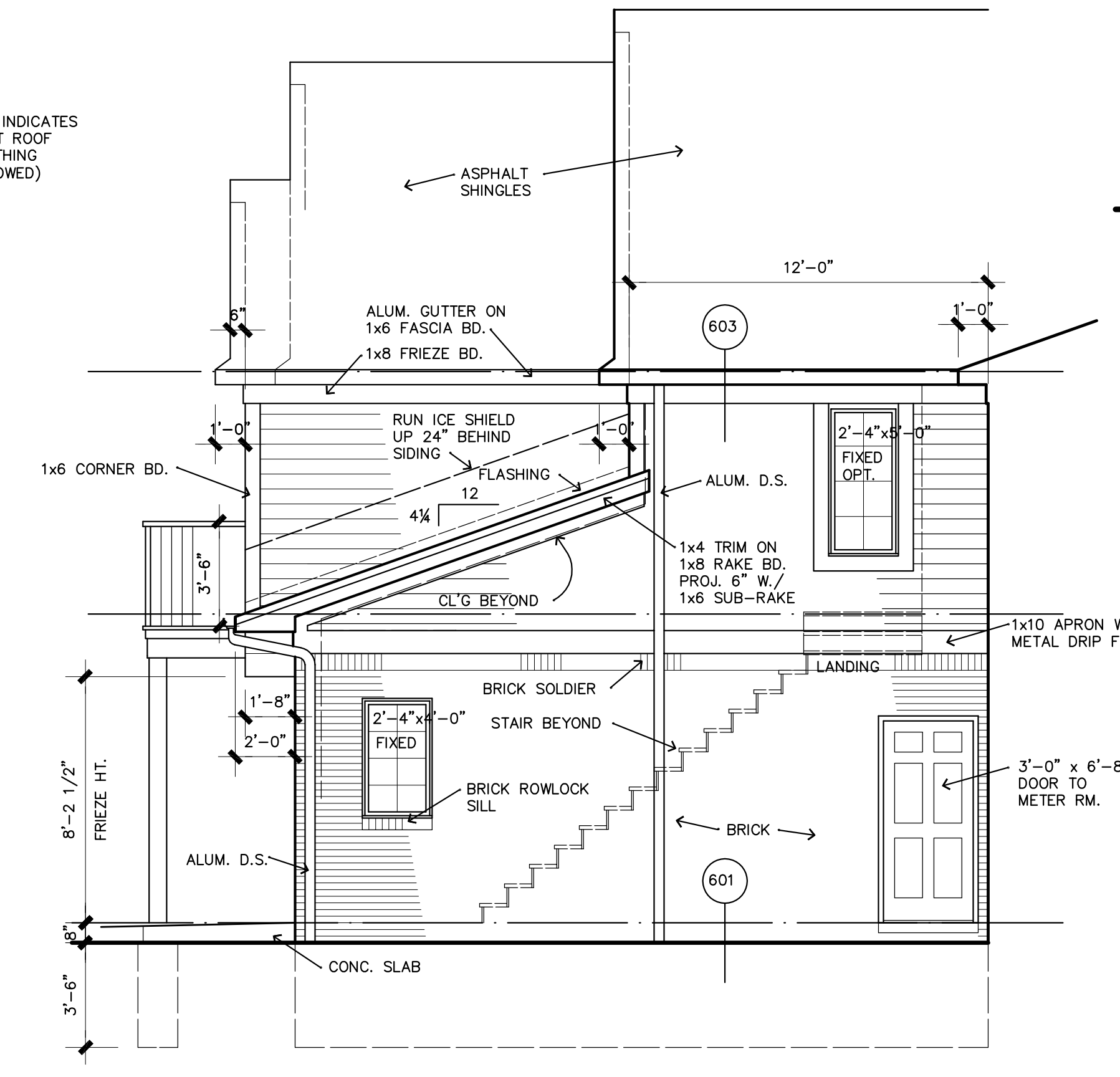
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Job: 18173
 Drawn by: MAK
 Date: 17JUL18
 Sheet Number:

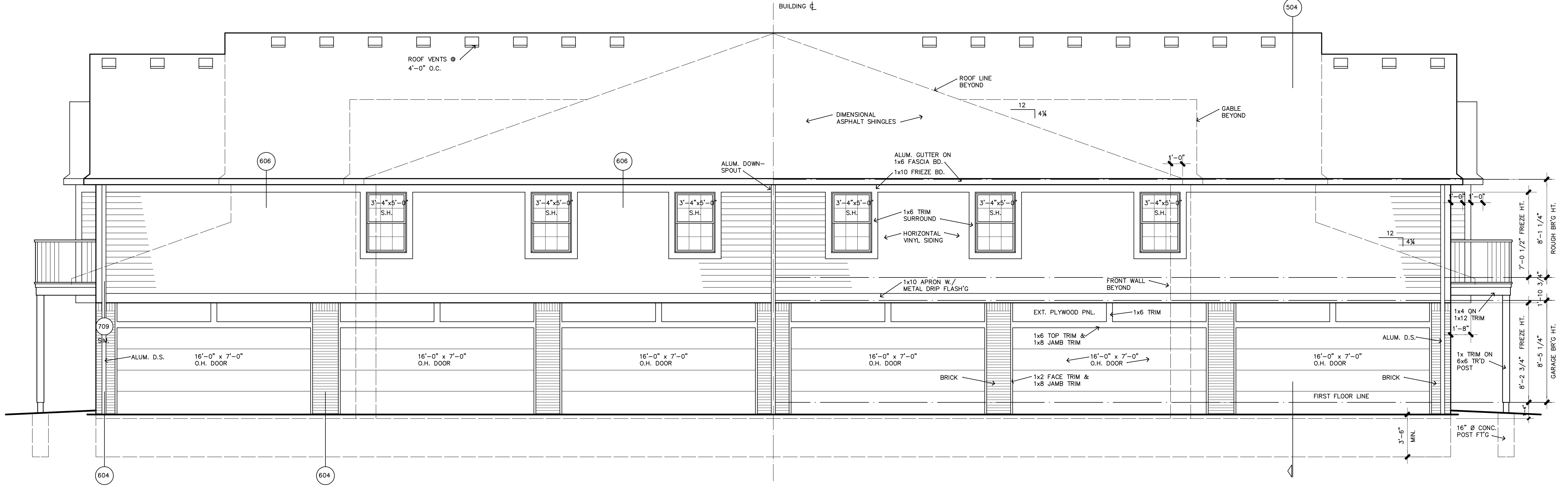
REPRODUCTION OF PRINTS IS PROHIBITED.



Front/Rear Elevation "B"
 Scale: 1/4" = 1'-0"



401 Partial Elevation "B"
 Scale: 1/4" = 1'-0"



Side Elevation "B"
 Scale: 1/4" = 1'-0"

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Sheet Contents:
 Elevations

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 Sheet Number:

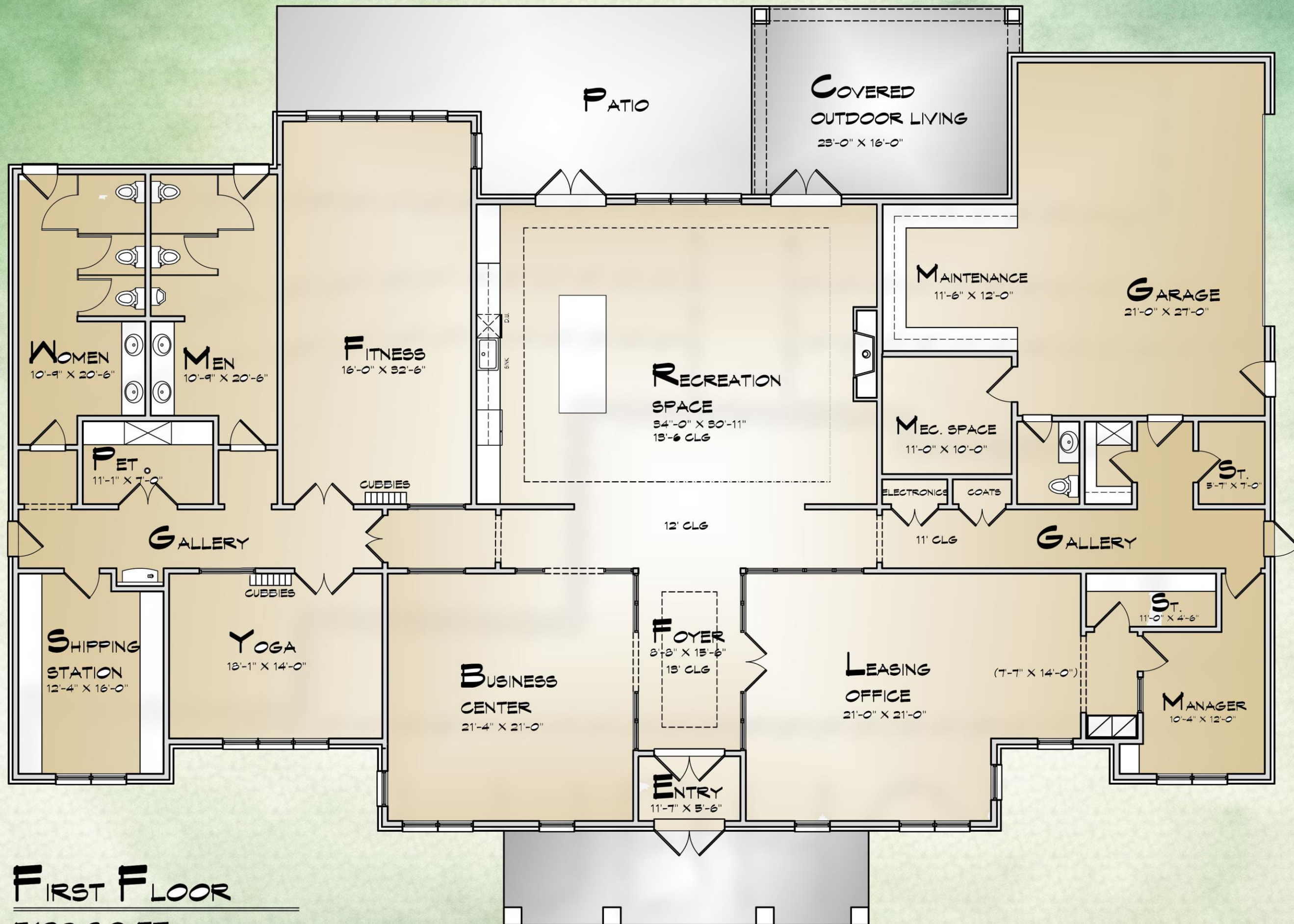
WHITE LAKE HILLS
PROPOSED CLUBHOUSE

+ OPT. 5132 SQ.FT. BONUS

11-13-2021

VERSION 3





FIRST FLOOR

5132 SQ FT

(EXCLUDES GARAGE AND MAINTANCE AREA)

10' CLG

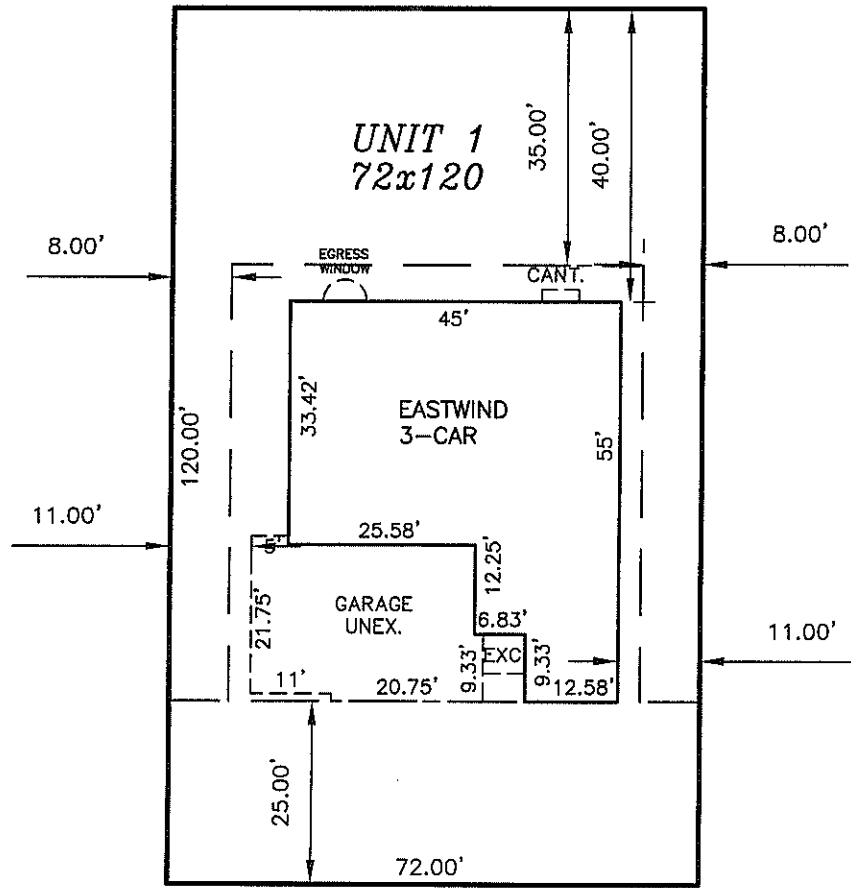



PROPOSED CRAFTSMAN CLUB HOUSE
ENTRY SIDE



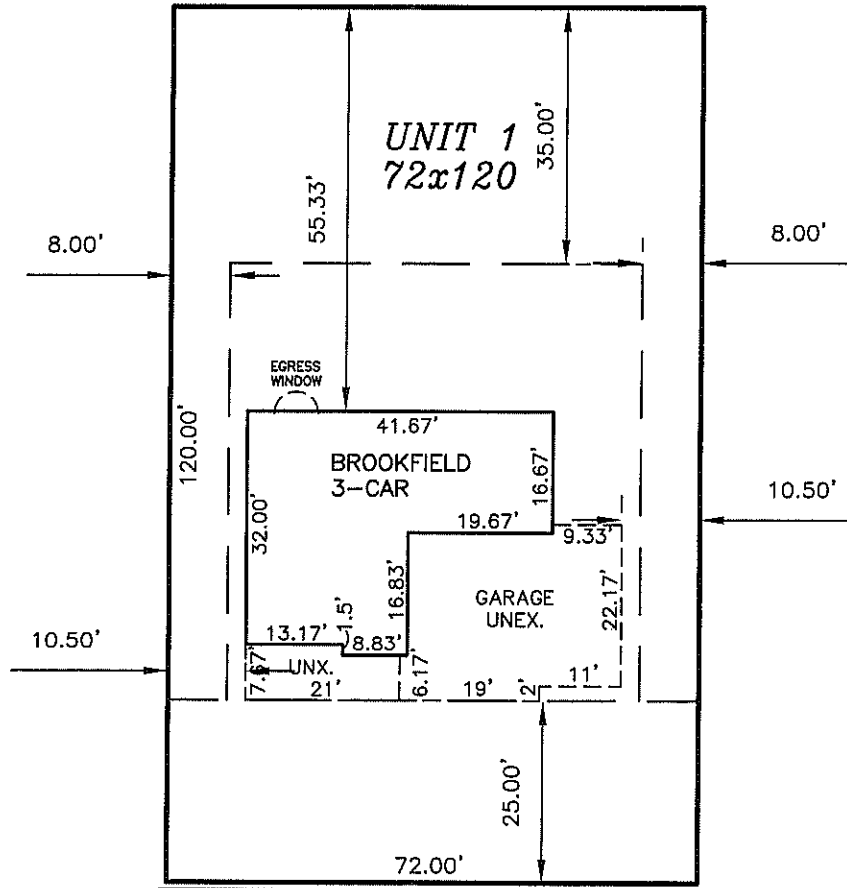
PROPOSED CRAFTSMAN CLUB HOUSE
POOL SIDE


LOT AREA = 8,640 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,556 S.F.
 LOT COVERAGE = 29.58%



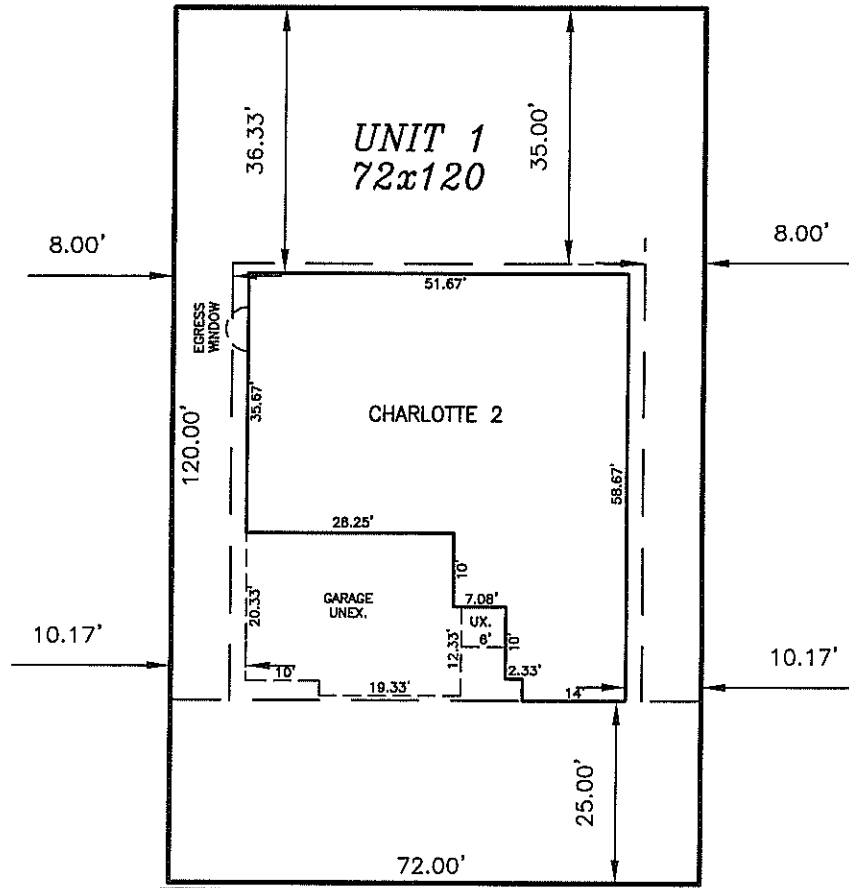
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	SCALE: 1" = 20' DATE: 9-20-2022
UNIT 1 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	DRAWN BY: JL
CHECK-FOR-FIT	LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY. FARMINGTON HILLS, MI 48334	DRAWING NO. 8 OF 10


LOT AREA = 8,640 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,856 S.F.
 LOT COVERAGE = 21.48%



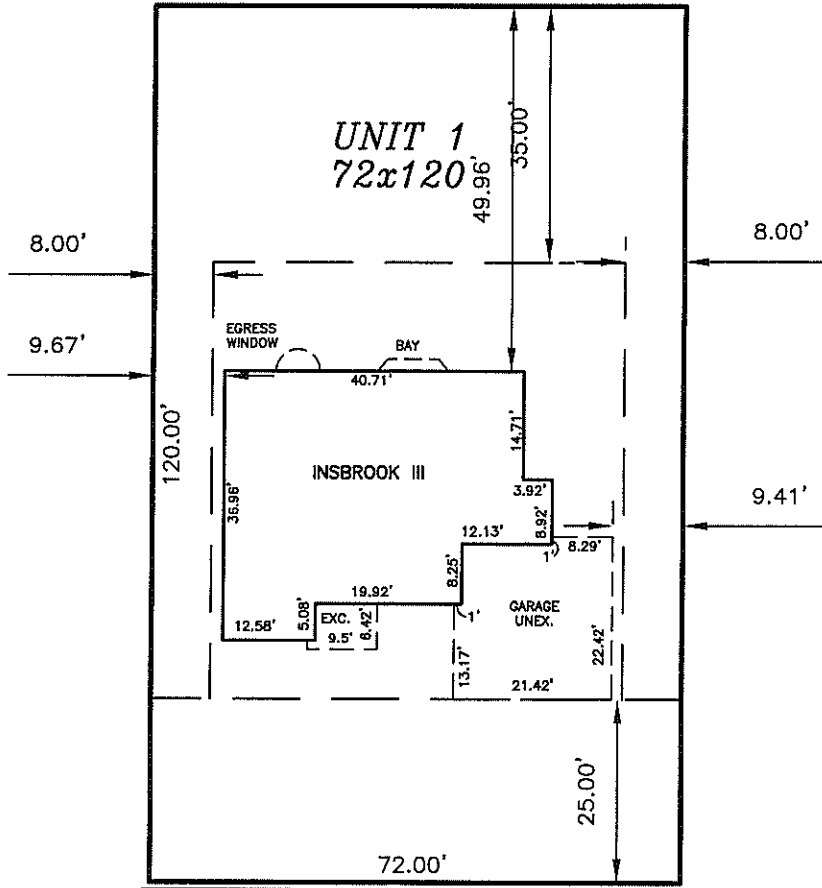
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044		PHONE: (586)868-2350 FAX: (586)868-2351
UNIT 1 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN		SCALE: 1" = 20' DATE: 9-20-2022
CHECK-FOR-FIT		DRAWN BY: JL LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334		DRAWING NO. 10 OF 10


LOT AREA = 8,640 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,941 S.F.
 LOT COVERAGE = 34.04%



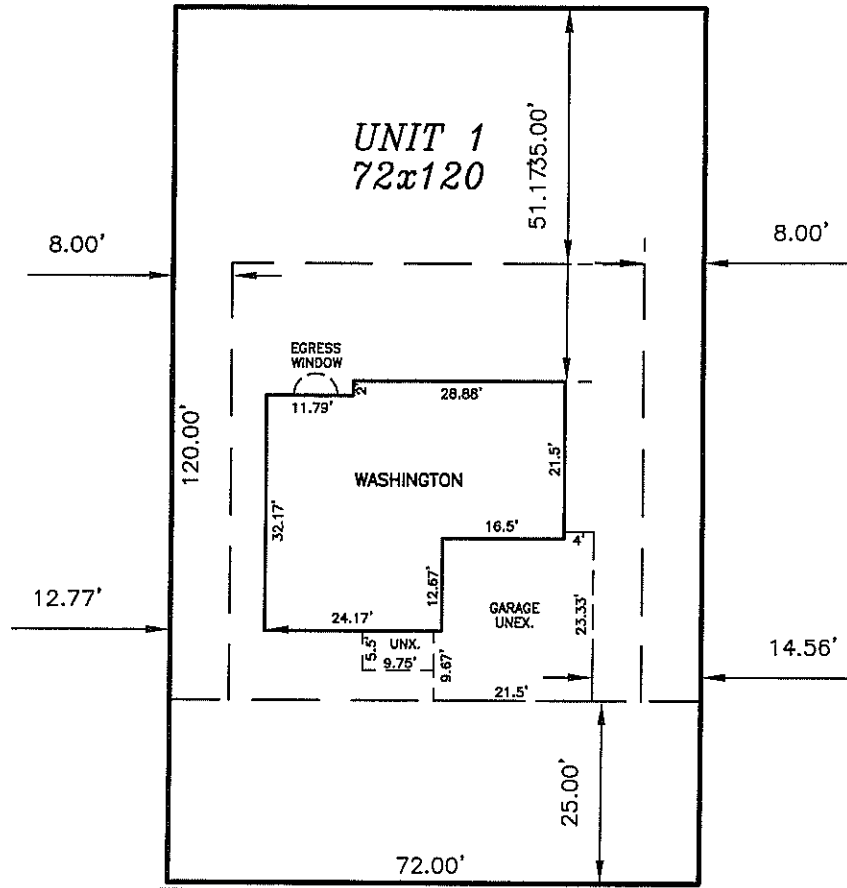
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	SCALE: 1" = 20' DATE: 9-20-2022 DRAWN BY: JL LDCS # 22-C4F-XX
UNIT 1 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	
CHECK-FOR-FIT	
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 2 OF 10


LOT AREA = 8,640 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,843 S.F.
 LOT COVERAGE = 21.33%



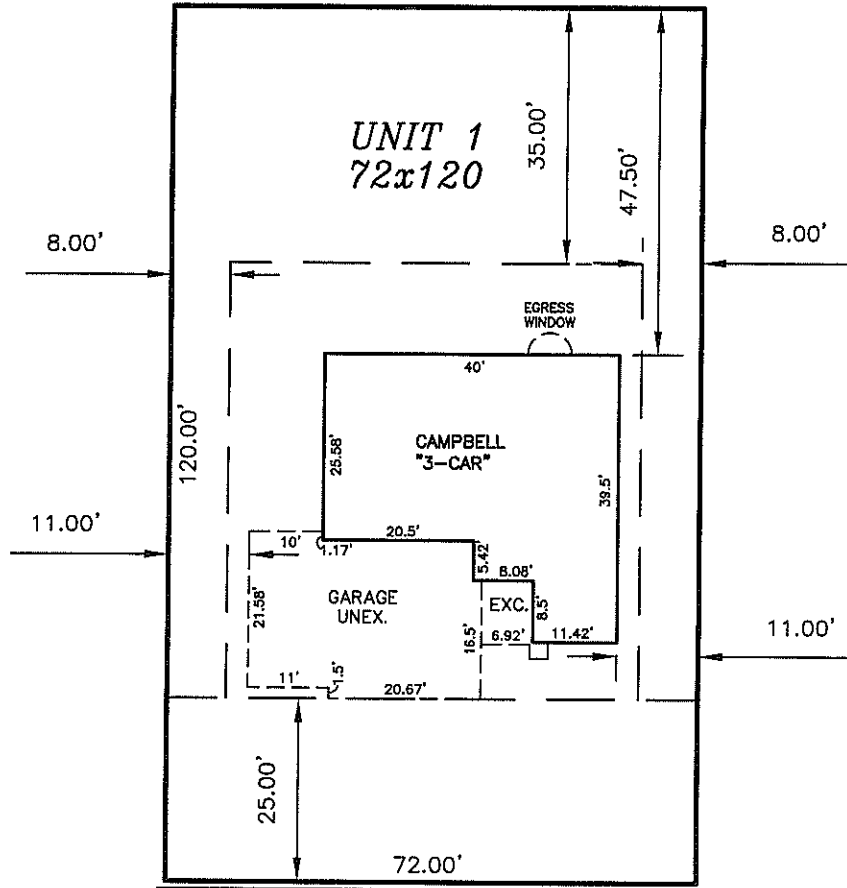
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351	
	UNIT 1 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	SCALE: 1" = 20' DATE: 9-20-2022
CHECK-FOR-FIT		DRAWN BY: JL LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 3 OF 10	


LOT AREA = 8,640 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,682 S.F.
 LOT COVERAGE = 19.47%



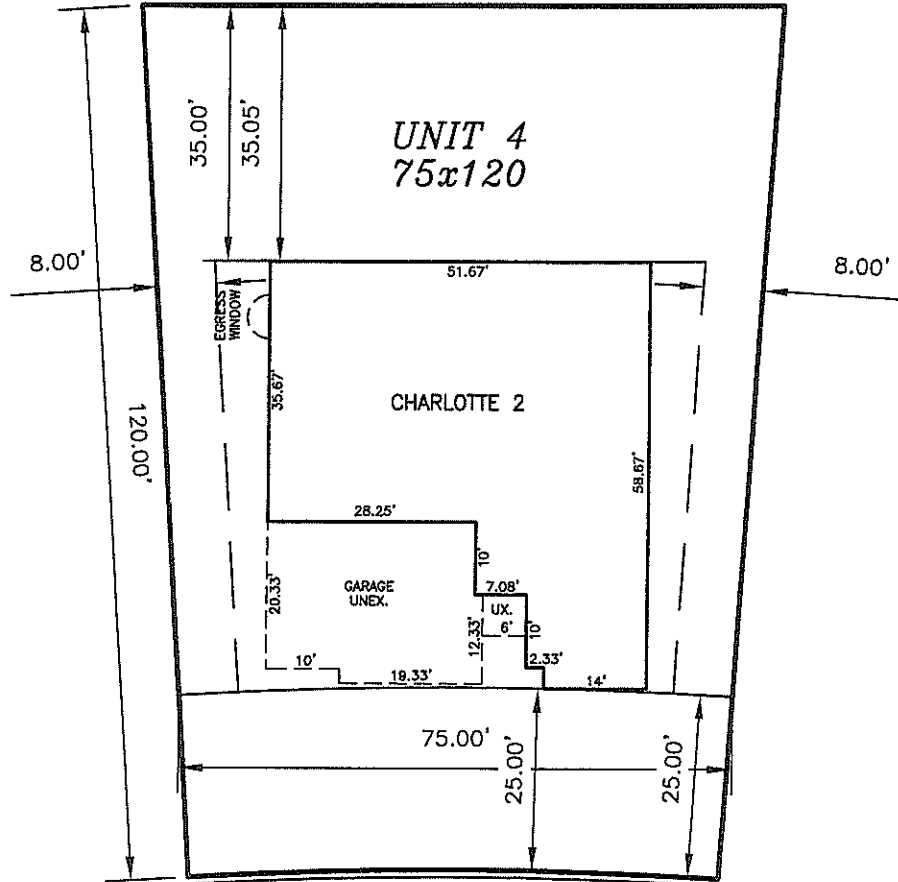
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044		PHONE: (586)868-2350 FAX: (586)868-2351
UNIT 1 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN		SCALE: 1" = 20' DATE: 9-20-2022
CHECK-FOR-FIT		DRAWN BY: JL LDGS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334		DRAWING NO. 4 OF 10


LOT AREA = 8,640 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,976 S.F.
 LOT COVERAGE = 22.87%



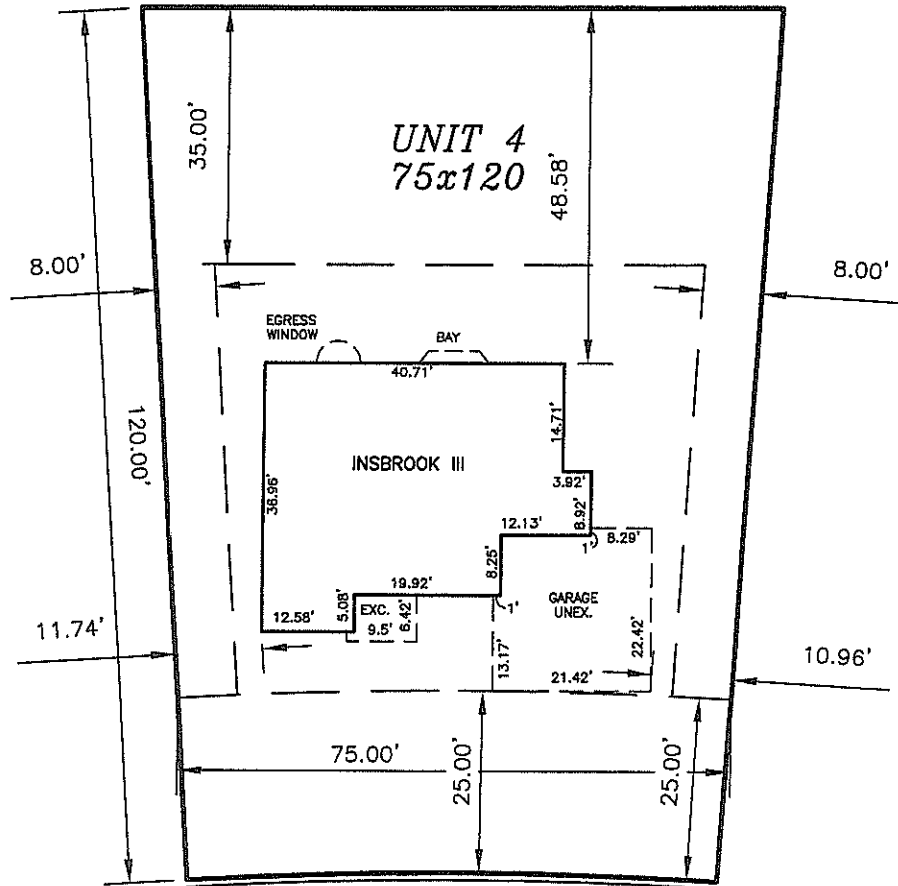
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	UNIT 1 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN
CHECK-FOR-FIT	DRAWN BY: JL LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 6 OF 10


LOT AREA = 9,464 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,941 S.F.
 LOT COVERAGE = 31.08%



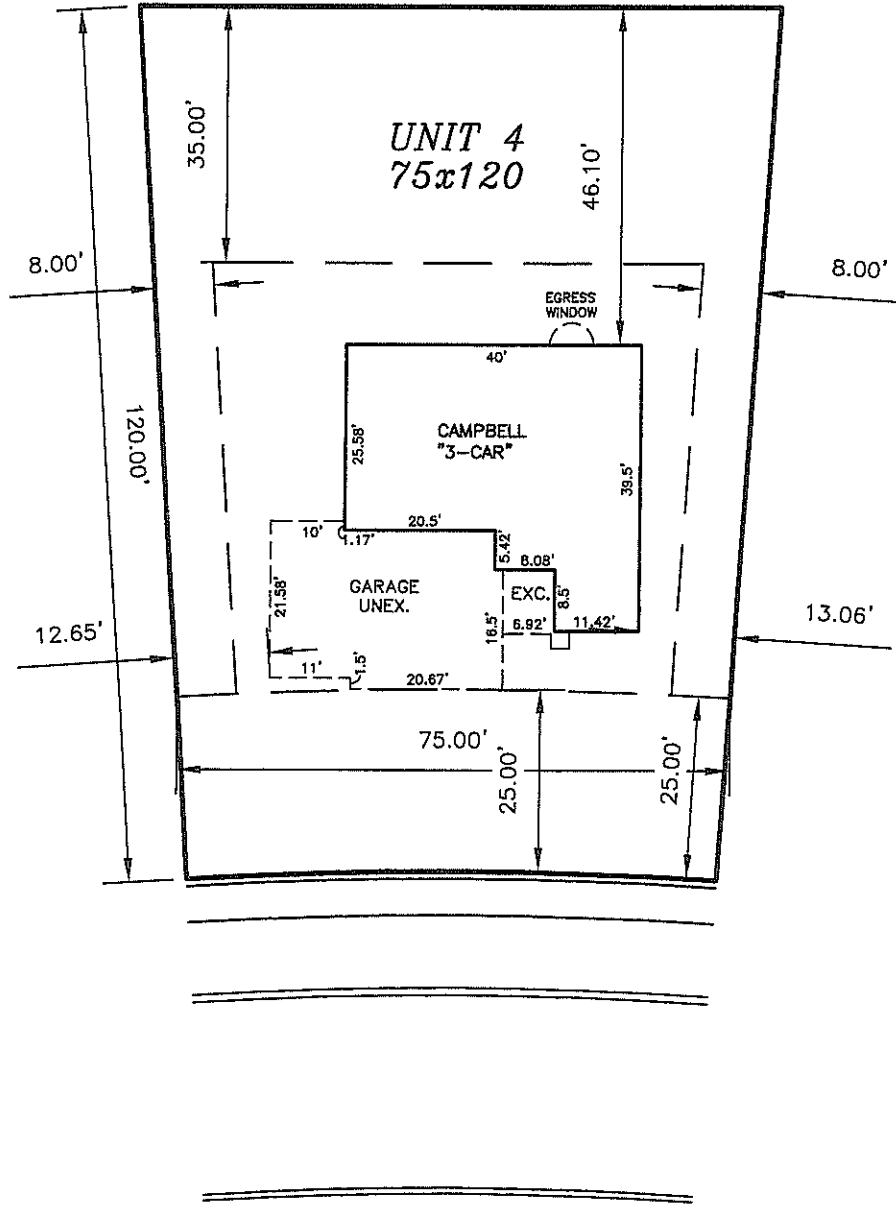
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	UNIT 4 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	
CHECK-FOR-FIT		SCALE: 1" = 20' DATE: 9-20-2022 DRAWN BY: JL LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334		DRAWING NO. 2 OF 10


LOT AREA = 9,464 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,843 S.F.
 LOT COVERAGE = 19.47%



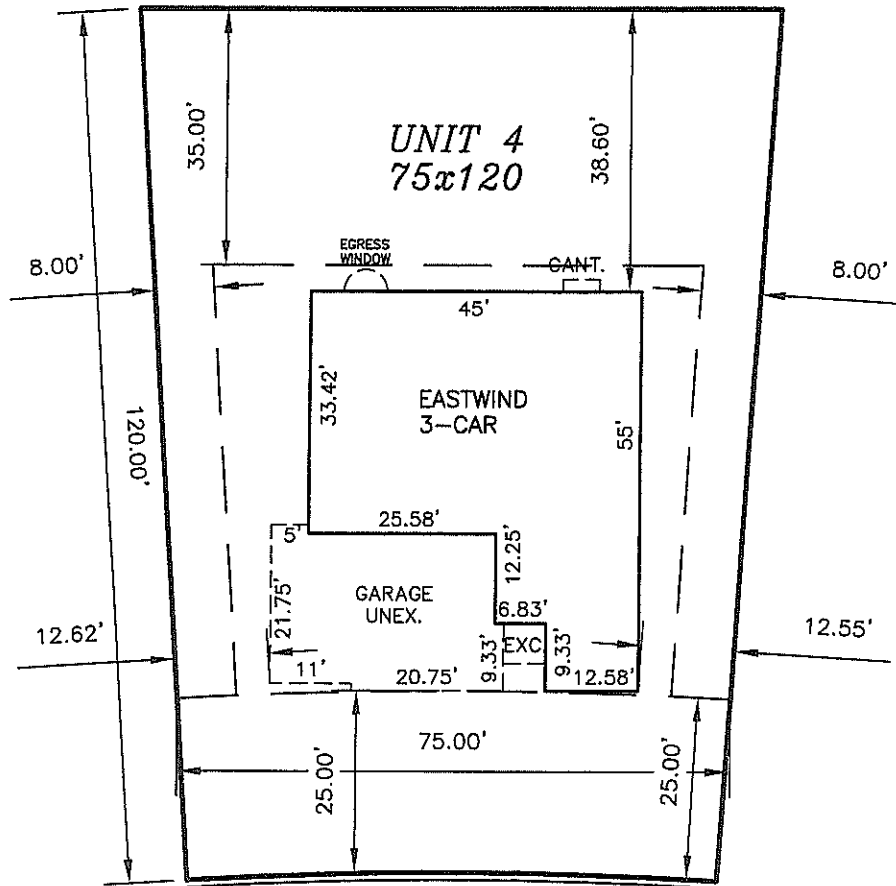
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	SCALE: 1" = 20' DATE: 9-20-2022
UNIT 4 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	DRAWN BY: JL LDCS # 22-C4F-XX
CHECK-FOR-FIT	DRAWING NO. 3 OF 10
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	


LOT AREA = 9,464 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,976 S.F.
 LOT COVERAGE = 20.88%



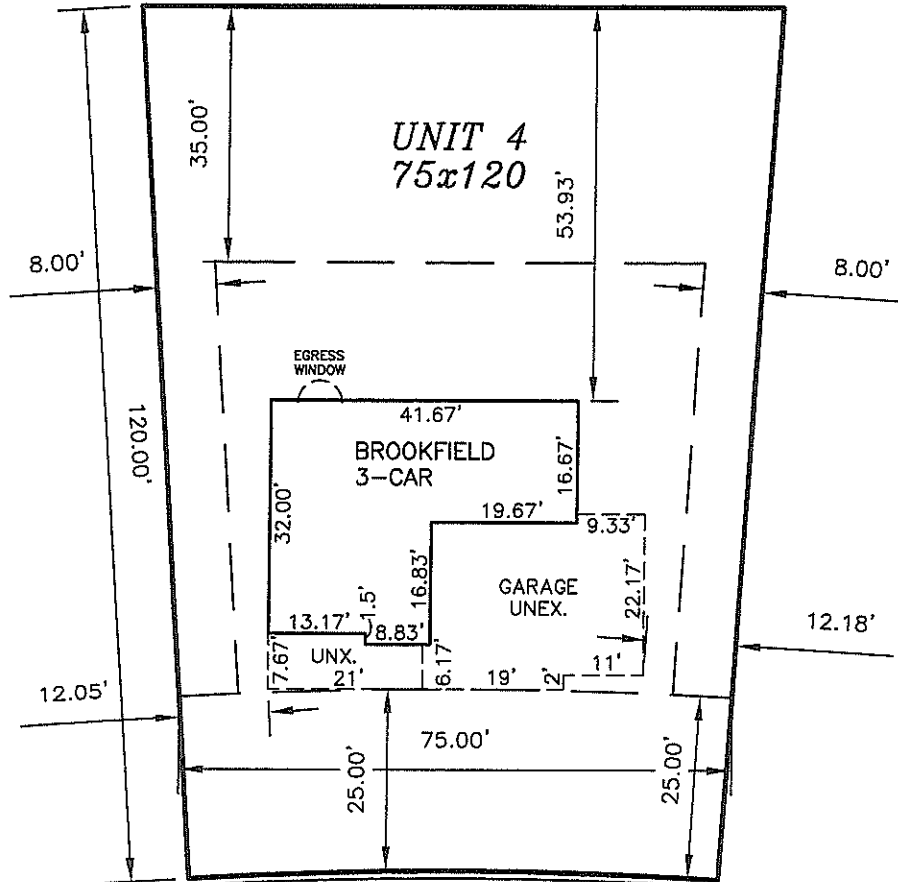
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	UNIT 4 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN
CHECK-FOR-FIT	DRAWN BY: JL LDOS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 6 OF 10


LOT AREA = 9,464 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,556 S.F.
 LOT COVERAGE = 27.01%



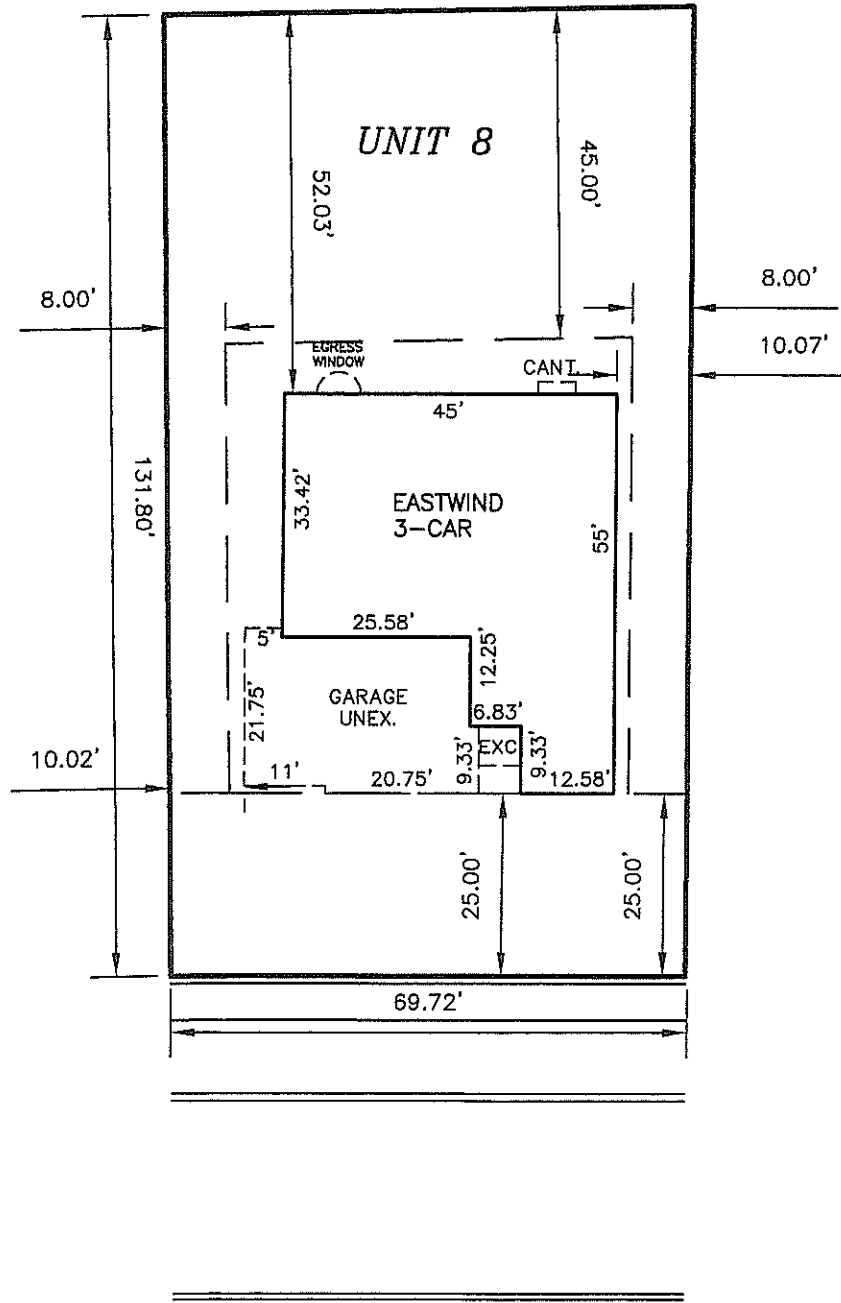
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350
	FAX: (586)868-2351
UNIT 4 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	SCALE: 1" = 20'
CHECK-FOR-FIT	DATE: 9-20-2022
	DRAWN BY: JL
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	LDCS # 22-C4F-XX DRAWING NO. 8 OF 10


LOT AREA = 9,464 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,856 S.F.
 LOT COVERAGE = 19.61%



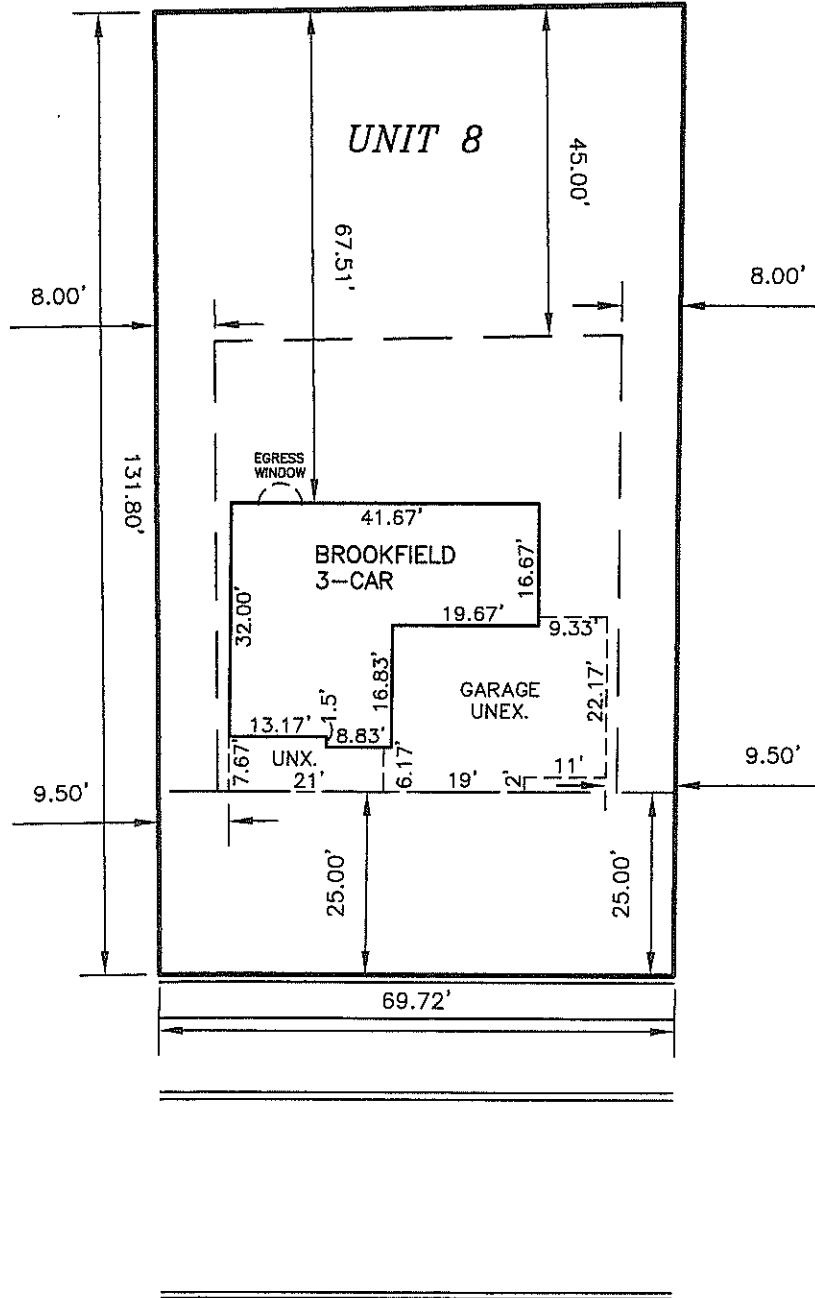
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	FAX: (586)868-2351
UNIT 4 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	SCALE: 1" = 20'
CHECK-FOR-FIT	DATE: 8-20-2022
	DRAWN BY: JL
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	LDCS # 22-C4F-XX
	DRAWING NO. 10 OF 10


LOT AREA = 9,367 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,556 S.F.
 LOT COVERAGE = 27.29%



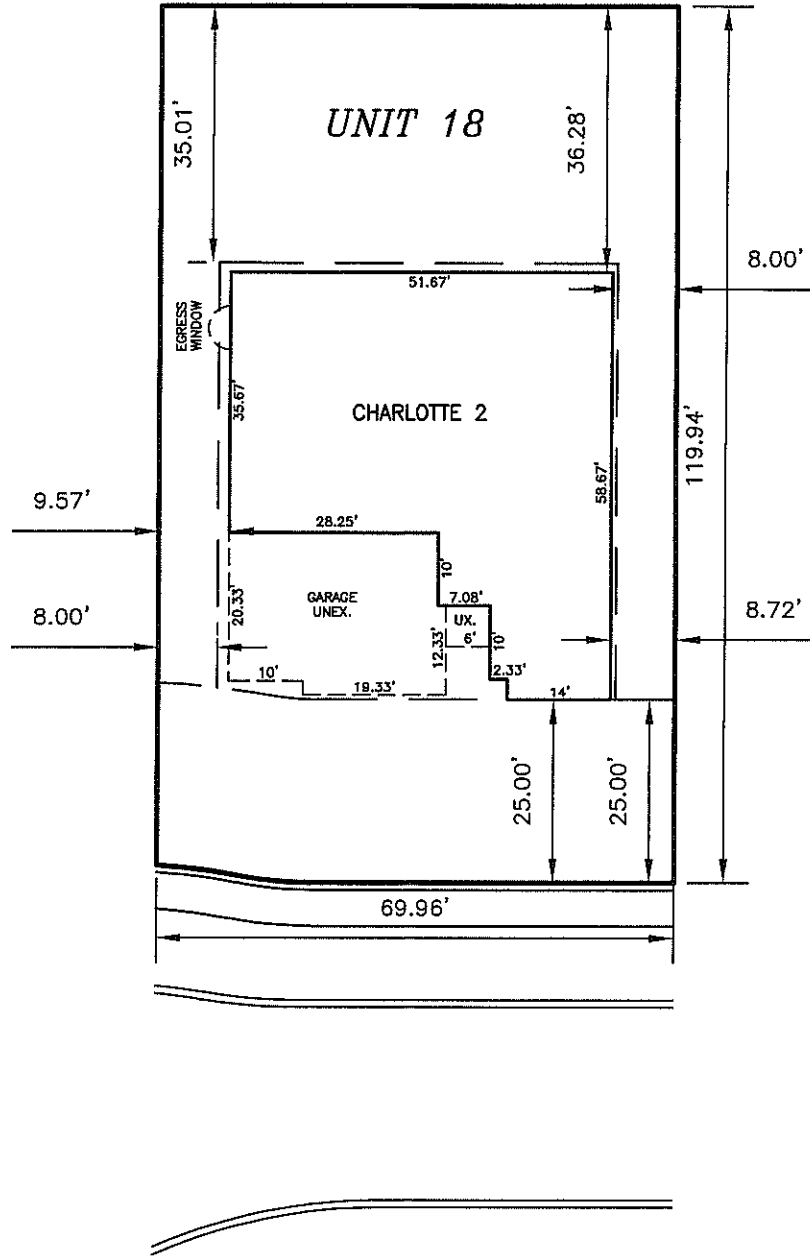
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	SCALE: 1" = 20' DATE: 9-20-2022 DRAWN BY: JL LDOS # 22-C4F-XX
UNIT 8 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	CHECK-FOR-FIT
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 8 OF 10


LOT AREA = 9,367 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,856 S.F.
 LOT COVERAGE = 19.81%



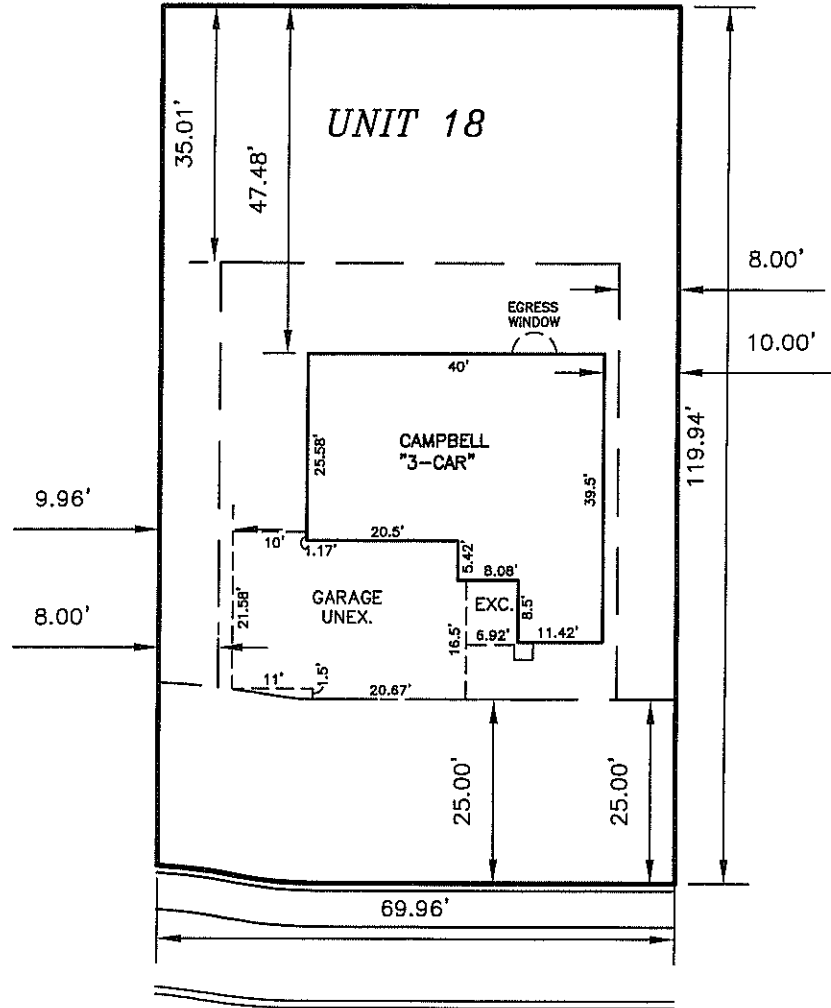
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	UNIT 8 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN
CHECK-FOR-FIT WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 10 OF 10


LOT AREA = 8,370 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,941 S.F.
 LOT COVERAGE = 35.14%



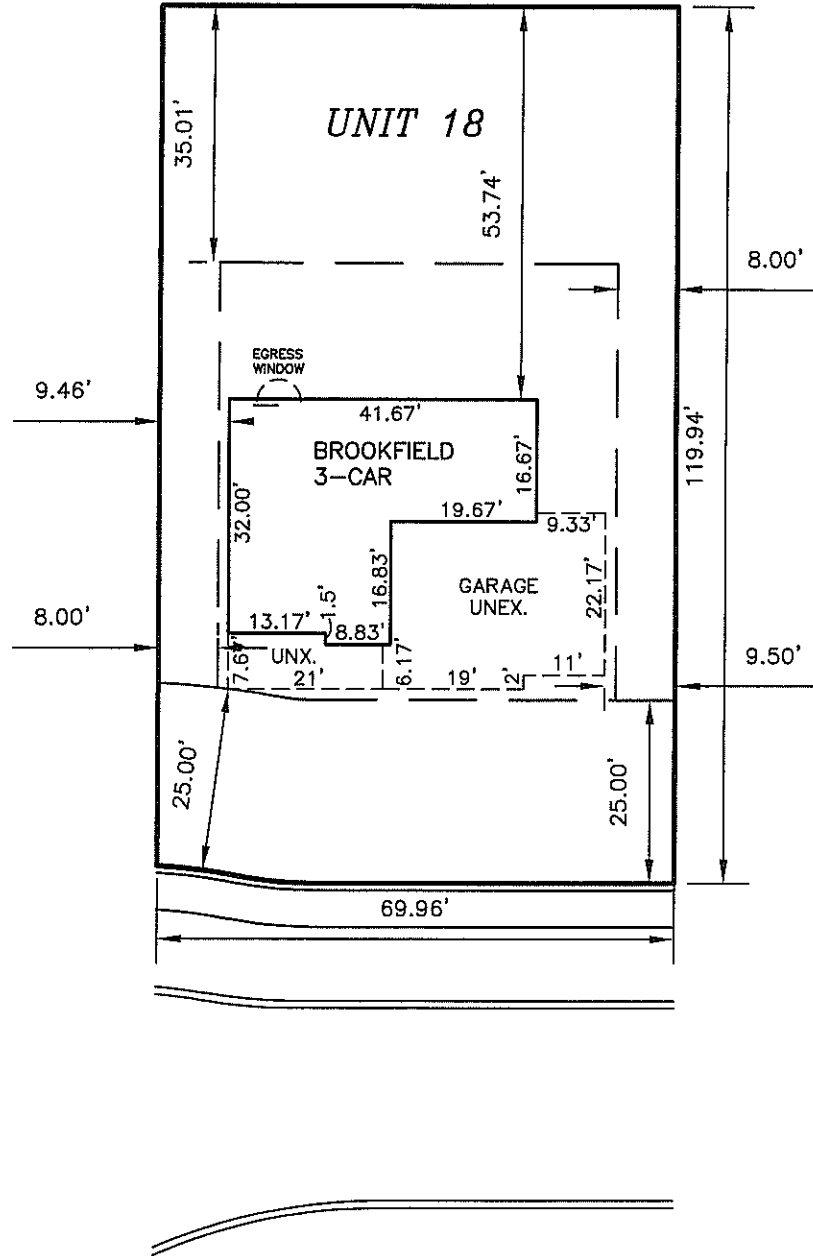
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UNIT 18 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	
CHECK-FOR-FIT	
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 2 OF 10


LOT AREA = 8,370 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,976 S.F.
 LOT COVERAGE = 23.61%



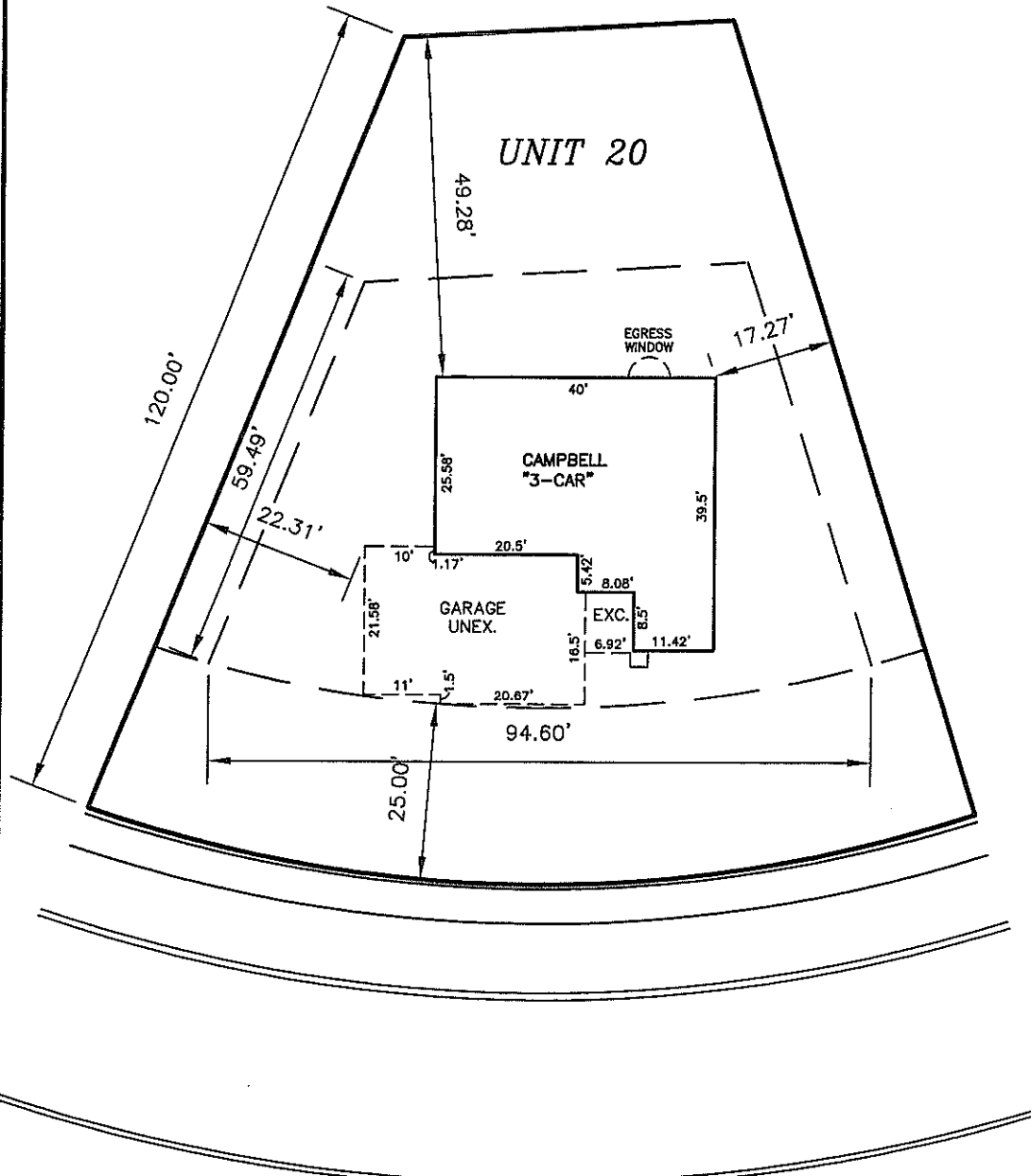
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	SCALE: 1" = 20' DATE: 9-20-2022
UNIT 18 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	DRAWN BY: JL
CHECK-FOR-FIT	LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 6 OF 10


LOT AREA = 8,370 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,856 S.F.
 LOT COVERAGE = 22.17%



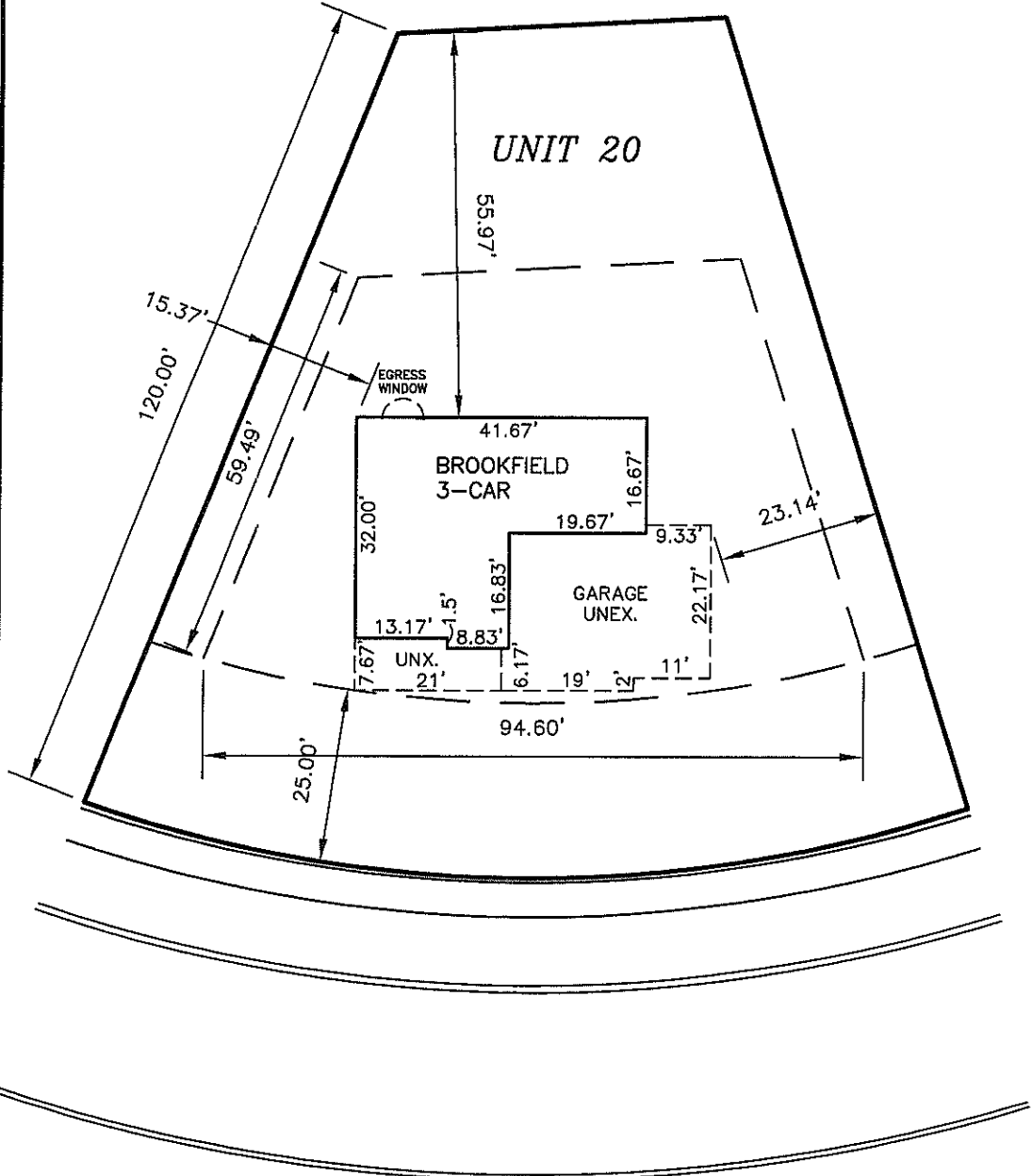
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	SCALE: 1" = 20' DATE: 9-20-2022
UNIT 18 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	DRAWN BY: JL
CHECK-FOR-FIT	LDCS # 22-CAF-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 10 OF 10


LOT AREA = 10,718 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,976 S.F.
 LOT COVERAGE = 18.44%



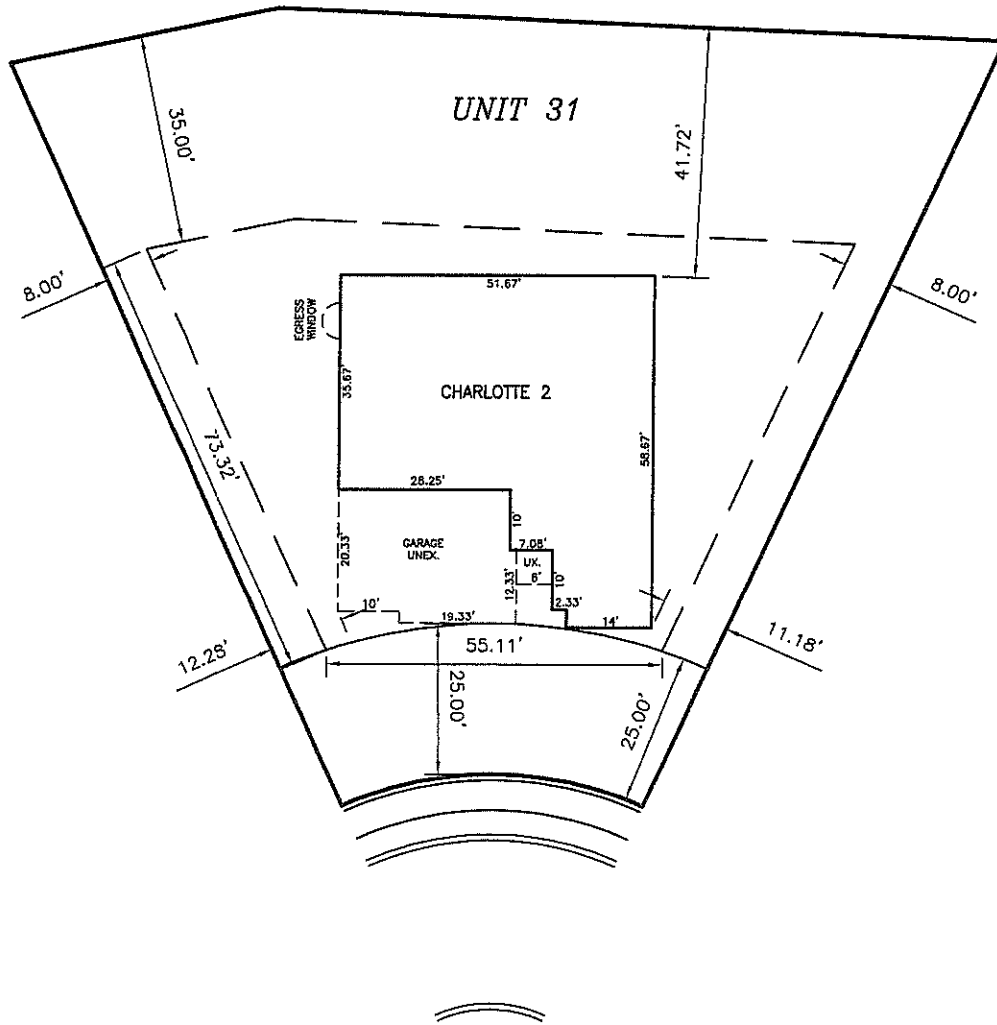
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	FAX: (586)868-2351
UNIT 20 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	SCALE: 1" = 20'
CHECK-FOR-FTT	DATE: 9-20-2022
	DRAWN BY: JL
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	LDOS # 22-C4F-XX DRAWING NO. 6 OF 10


LOT AREA = 10,718 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,856 S.F.
 LOT COVERAGE = 17.32%



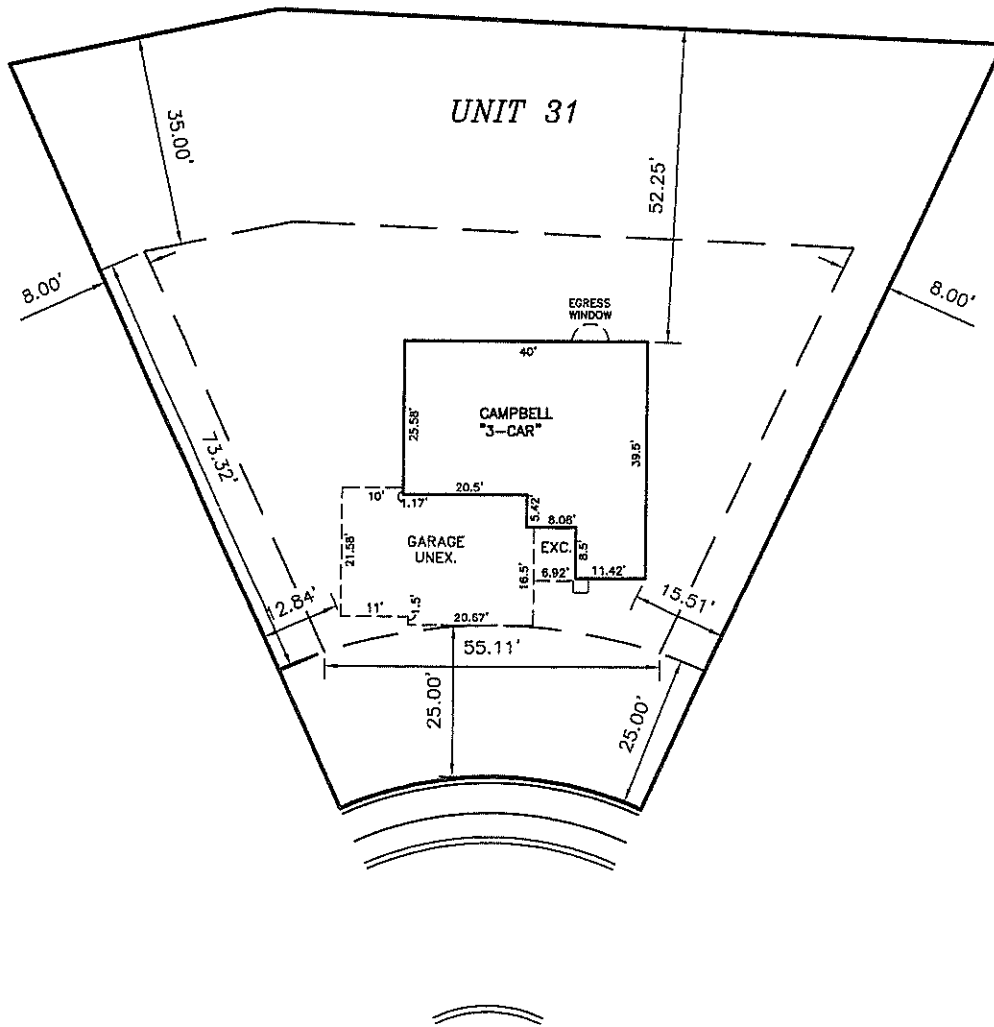
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UNIT 20 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	DRAWN BY: JL
CHECK-FOR-FIT	LDCS # 22-C4F-XX
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 10 OF 10


LOT AREA = 13,816 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,941 S.F.
 LOT COVERAGE = 21.29%



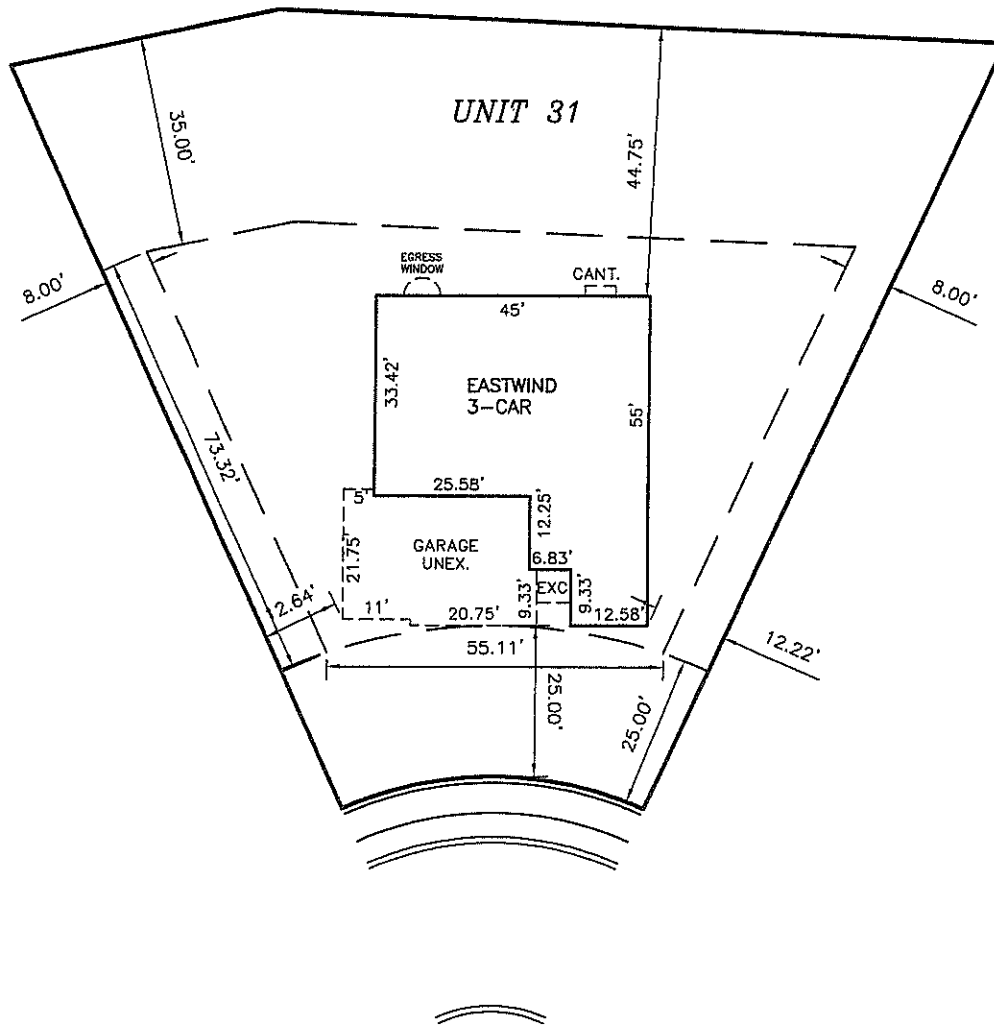
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	SCALE: 1" = 20' DATE: 9-20-2022 DRAWN BY: JL LDCS # 22-C4F-XX
UNIT 31 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	
CHECK-FOR-FIT	
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 2 OF 10


LOT AREA = 13,816 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,976 S.F.
 LOT COVERAGE = 14.30%



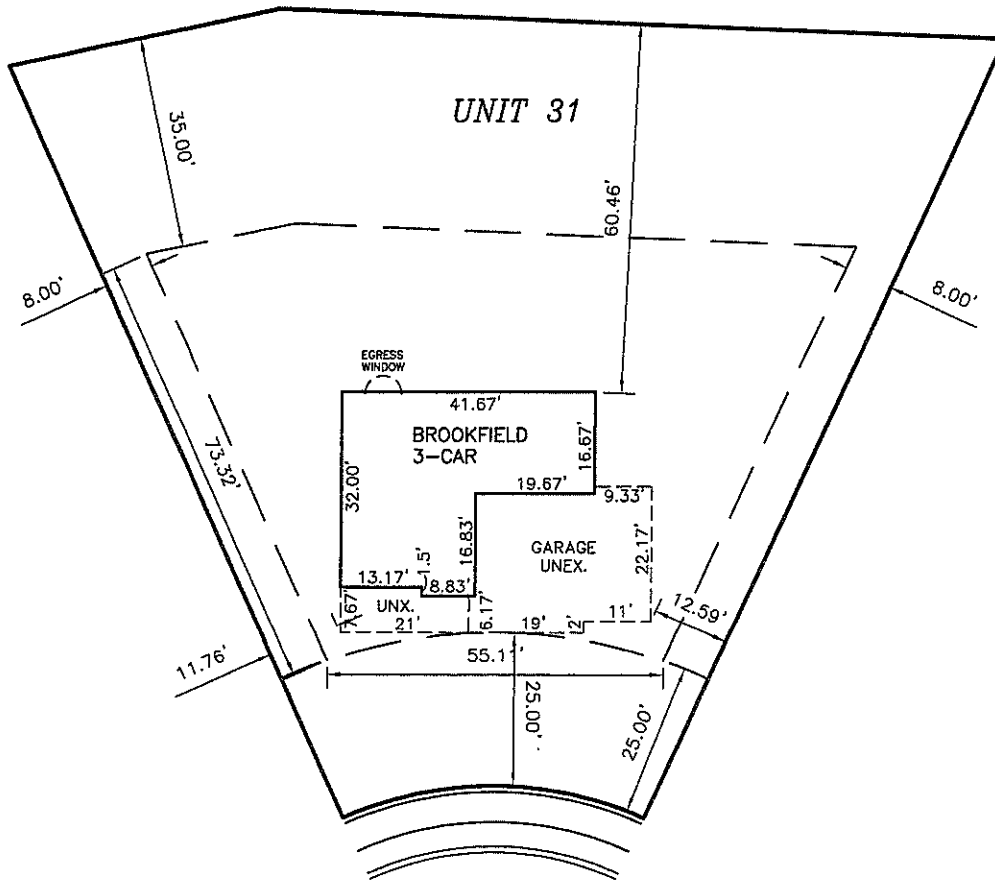
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	UNIT 31 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN
CHECK-FOR-FIT	DRAWN BY: J.L. LDOS # 22-C4F-1X
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY. FARMINGTON HILLS, MI 48334	DRAWING NO. 6 OF 10


LOT AREA = 13,816 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,556 S.F.
 LOT COVERAGE = 18.50%



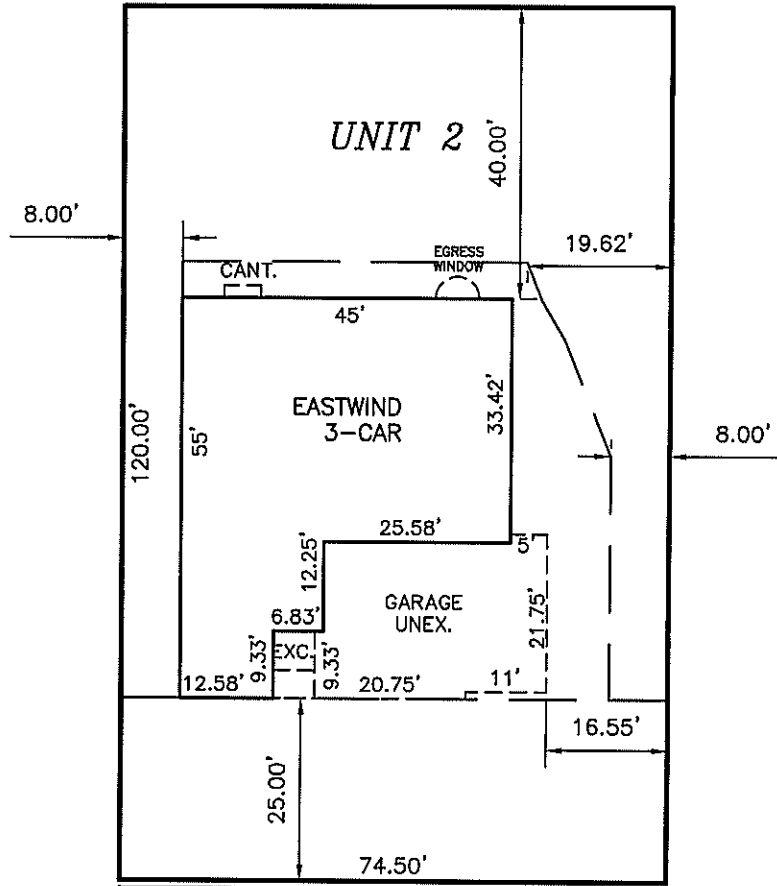
 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	UNIT 31 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN
CHECK-FOR-FIT	DRAWING NO. 8 OF 10
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	


LOT AREA = 13,816 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 1,856 S.F.
 LOT COVERAGE = 13.43%



 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351
	SCALE: 1" = 20' DATE: 8-20-2022 DRAWN BY: JL LDCS # 22-CAF-XX
UNIT 31 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	
CHECK-FOR-FIT	
WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY. FARMINGTON HILLS, MI 48334	DRAWING NO. 10 OF 10

LOT AREA = 8,955 S.F.
 HOUSE FOOTPRINT AREA (INCLUDING GARAGE) = 2,556 S.F.
 LOT COVERAGE = 28.54%



 LAND DEVELOPMENT CONSULTING SERVICES, INC. 46600 ROMEO PLANK, SUITE 2 MACOMB, MI 48044	PHONE: (586)868-2350 FAX: (586)868-2351	
	UNIT 2 THE AVALON HIGHLAND ROAD, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN	SCALE: 1" = 20' DATE: 9-29-2022
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WHITE LAKE HILL, L.L.C. 31550 NORTHWESTERN HWY, FARMINGTON HILLS, MI 48334	DRAWING NO. 1	



ABERDEEN

First Level	1,182 sf
Second Level	1,091 sf
Total	2,273 sf

THE CRAFTSMAN

Craftsman architecture has been one of America's most iconic styles for decades. The historic design includes an array of distinctive porches, gables, siding materials and stately rooflines.

THE NEXT GENERATION OF STYLE

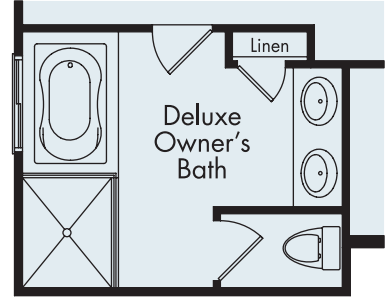
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ABERDEEN

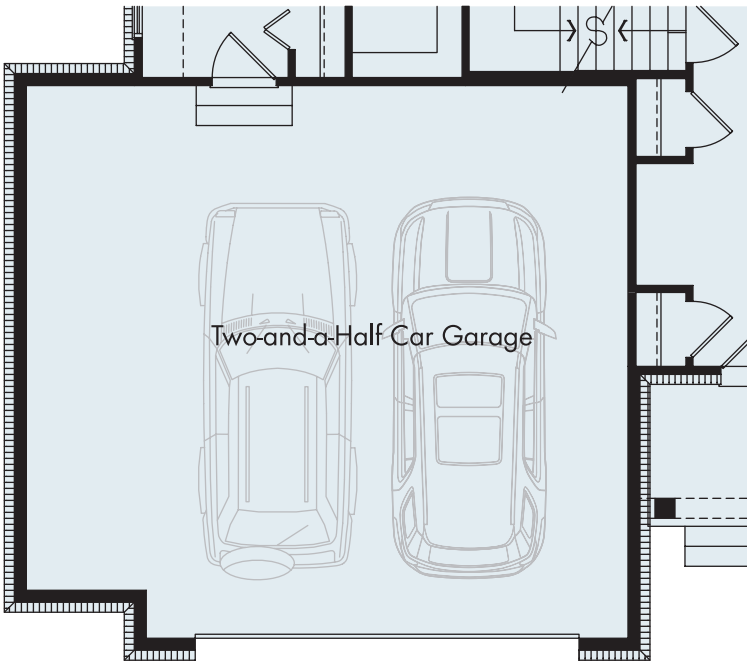
First Level 1,182 sf
 Second Level 1,091 sf
 Total 2,273 sf



The Aberdeen is designed for entertaining and flexible family living. There's smart space for everything — main-floor study, a mud room with an optional bench, island kitchen with walk-in pantry, large family room with fireplace, and options for a covered porch or harvest room off the dining area. Upstairs, there's a convenient laundry room, private wing with an elegant owner's suite, complete with its own luxurious bath and walk-in closet. There are also options for an oversized 2.5-car or 3-car garage.



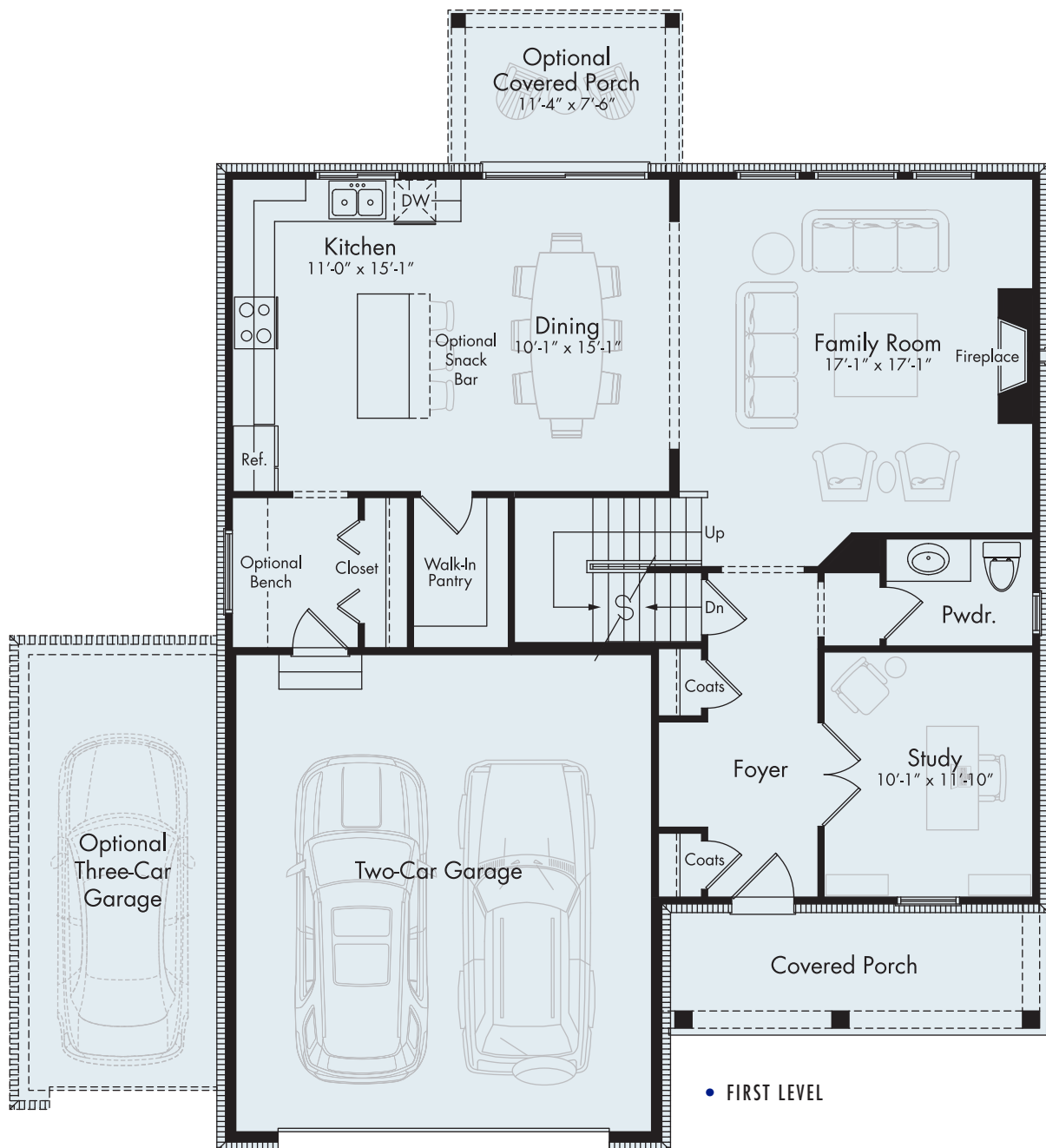
• OPTIONAL DELUXE OWNER'S BATH



• OPTIONAL TWO-AND-A-HALF CAR GARAGE



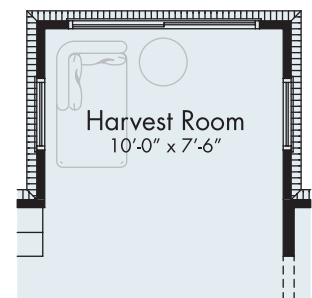
• SECOND LEVEL



• FIRST LEVEL



• OPTIONAL EXPANDED DINING ROOM



• OPTIONAL HARVEST ROOM

The Wide Choice of Elevations Create a Varied and Appealing Streetscape in Your Neighborhood



THE FRENCH ECLECTIC

American soldiers returned home in the mid-1920's with romantic thoughts of French architecture. This timeless, eclectic style showcases rich exterior materials with tall, steeply pitched roofs, dormers and shutters.



THE FARMHOUSE

Modern farmhouse architecture evokes feelings of warmth and comfort. This historic style combines clean lines with rustic touches to provide a relaxed level of sophistication.



THE TRADITIONAL

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BERKSHIRE

First Level 1,653 sf

THE CRAFTSMAN

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THE NEXT GENERATION OF STYLE

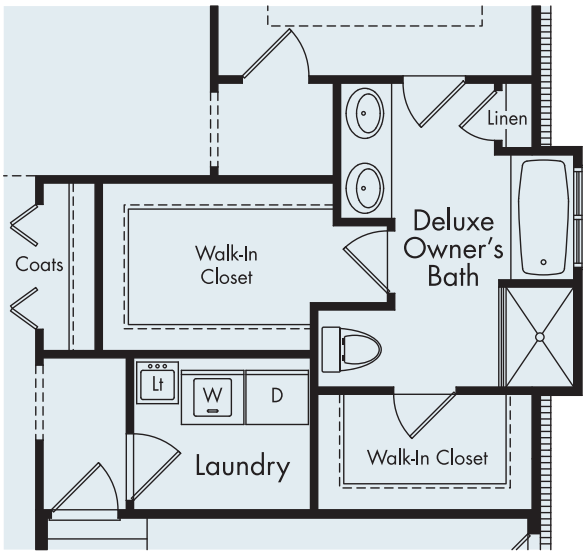
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BERKSHIRE

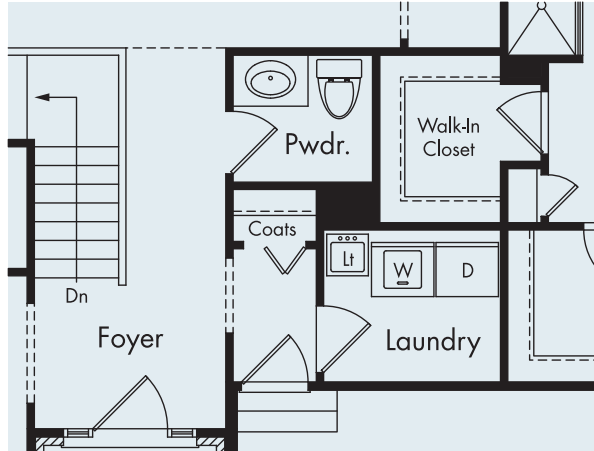
First Level 1,653 sf



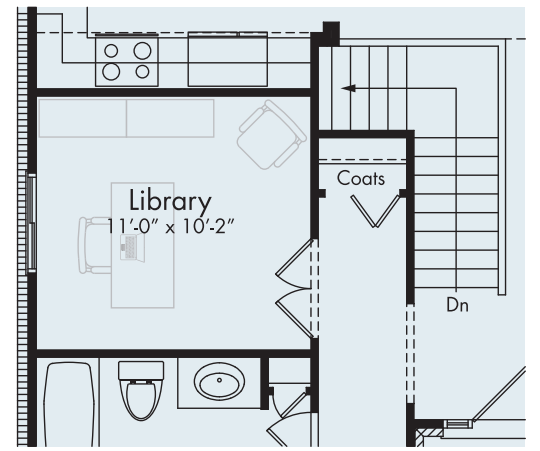
We designed the Berkshire to offer modern, single-level living with a casual touch. The kitchen, family room and dining area have all been brought together to create an open flow for relaxed family times and lively entertaining. Whether you were unwinding in the family room or gathering in the spacious island kitchen, you'll love the natural sunlight that comes in from all the windows in the main living area. The owner's suite showcases the stepped ceiling, spacious private bath and twin walk-in closets. Another wing at the front of the home contains two spacious bedrooms with walk-in closets and access to a second full bath.



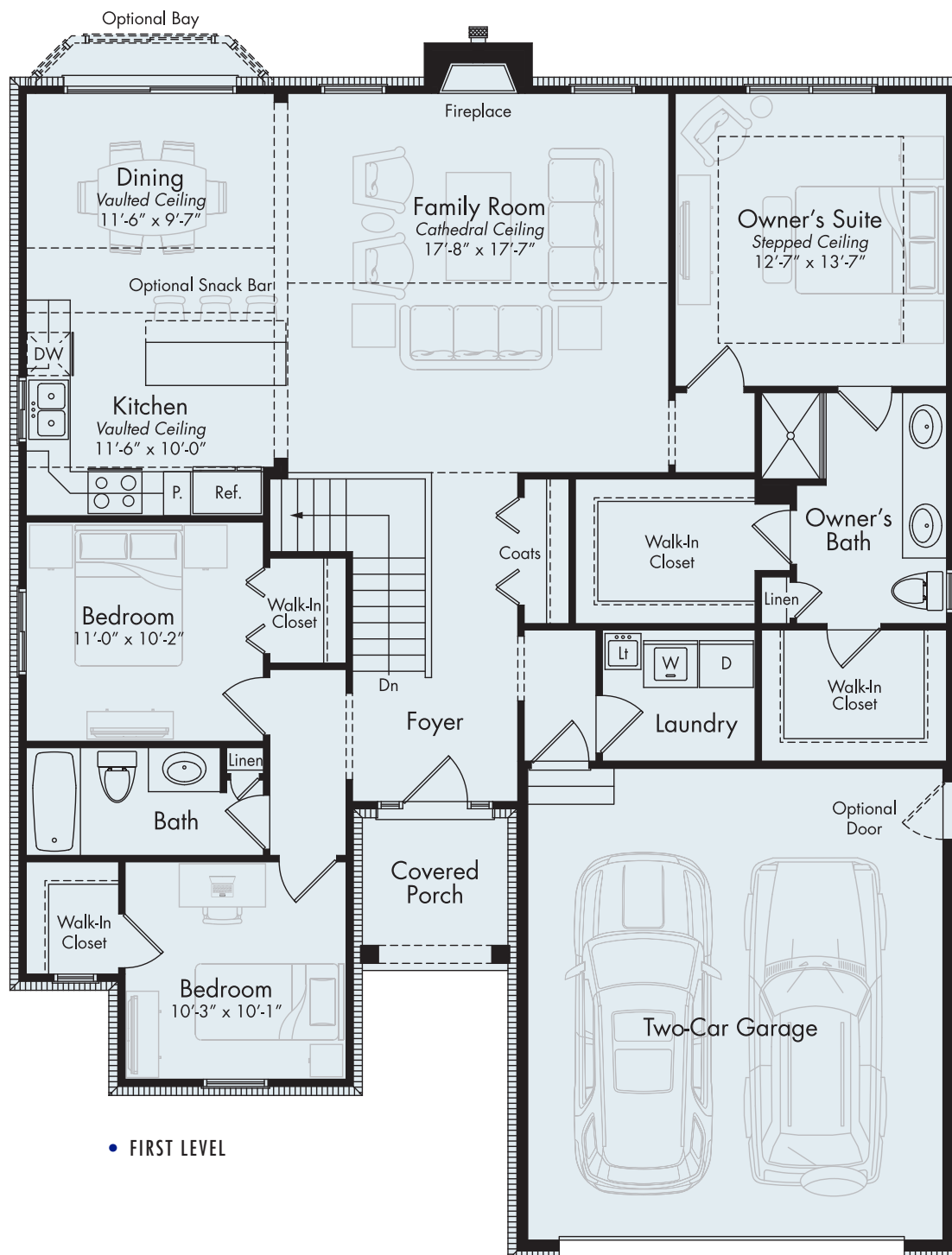
• OPTIONAL DELUXE OWNER'S BATH



• OPTIONAL POWDER ROOM



• OPTIONAL LIBRARY



• FIRST LEVEL

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BURBANK

First Level	1,332 sf
Second Level	1,160 sf
Total	2,492 sf

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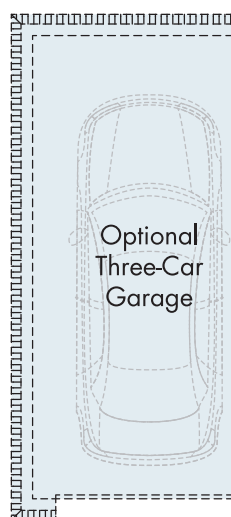
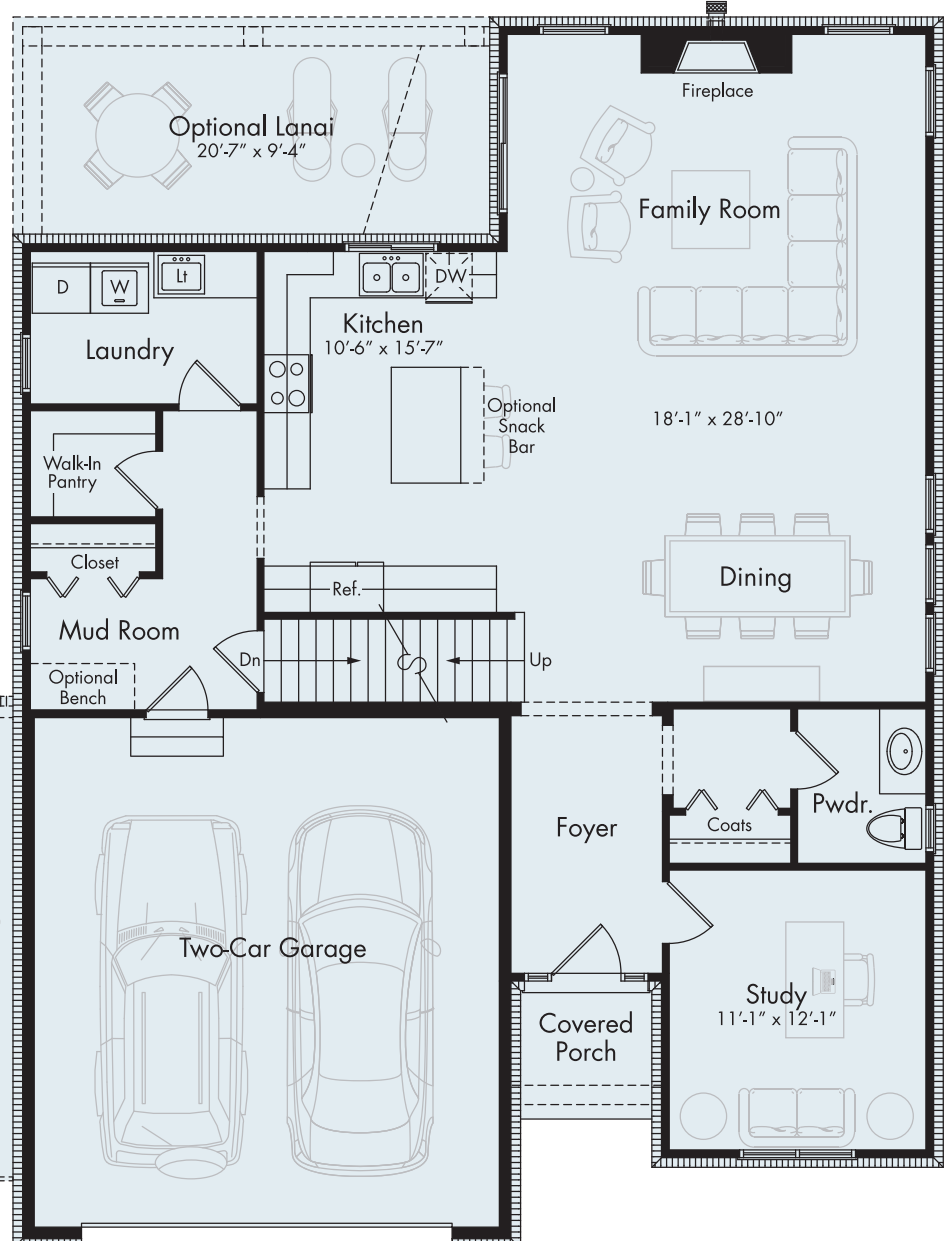
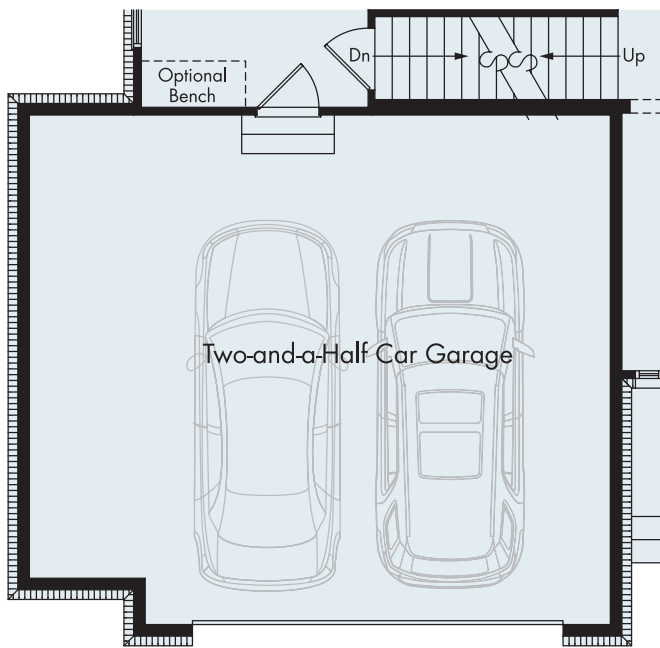
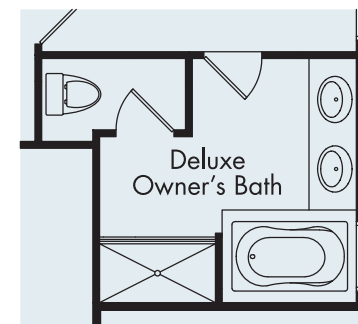
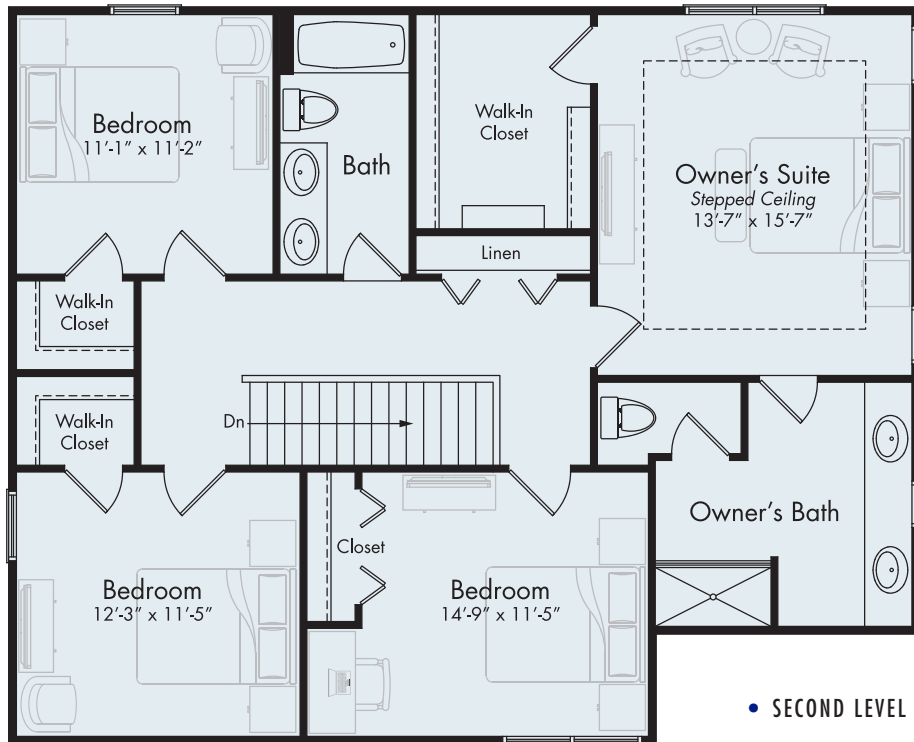
BURBANK

First Level 1,332 sf
 Second Level 1,160 sf
 Total 2,492 sf



The two-story Burbank is a stunning open concept plan with an L-shaped living area that includes the family room, oversized dining room and enormous island kitchen. The optional lanai vastly increases the living space and brings the outdoors into this spacious home. The main floor also includes a secluded study, guest closet, powder room, mud room, walk-in pantry and laundry room. No convenience was overlooked, including the option of a 2.5- or 3-car garage.

Upstairs, the owner's suite features a stepped ceiling, spacious bath with an optional whirlpool tub and oversized walk-in closet. Three more large bedrooms share a central bath with double sinks. No convenience was overlooked, including the option of a 2.5- or 3-car garage.



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CAMPBELL

First Level	1,217 sf
Second Level	1,402 sf
Total	2,619 sf

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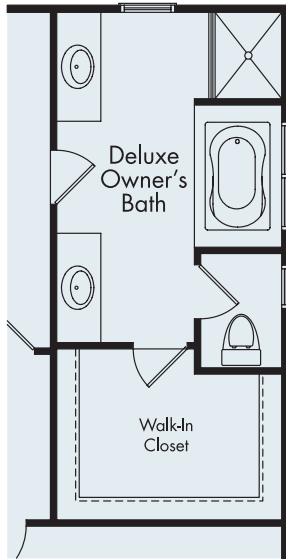
CAMPBELL

First Level 1,217 sf
 Second Level 1,402 sf
 Total 2,619 sf

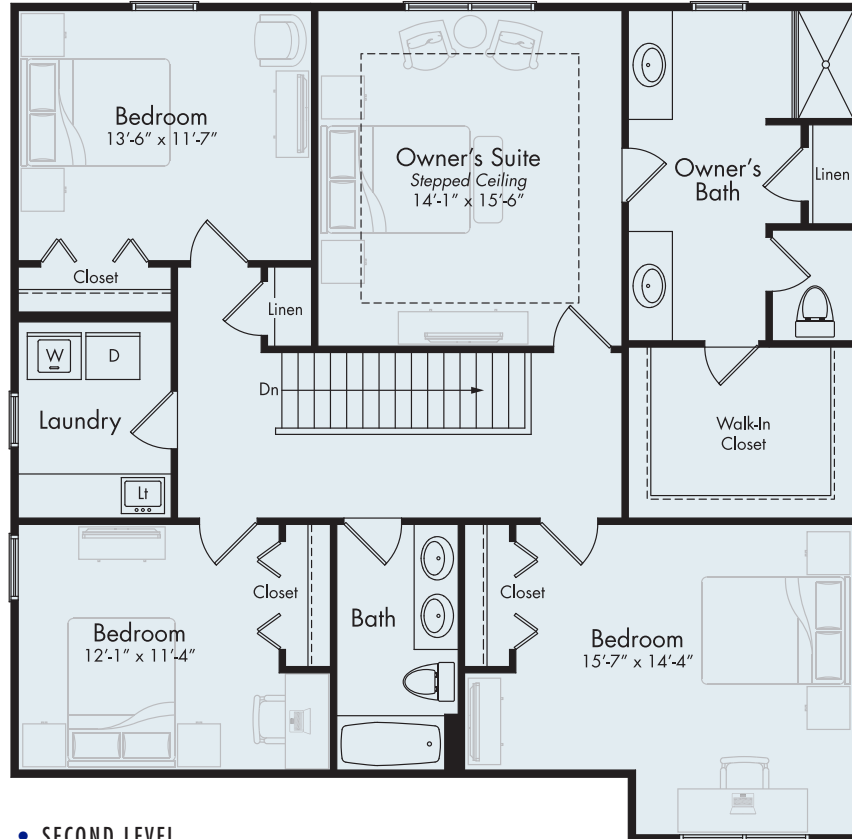


The four-bedroom Campbell is an ideal family home with two spacious levels. The foyer opens to reveal the family room with its centered fireplace and triple windows. This sunny dining room with its sliding glass doorwall can extend outdoors for an optional covered porch. The U-shaped kitchen is centered on a convenient island with snack bar seating. The main floor also includes a secluded study, powder room, mud room and walk-in pantry.

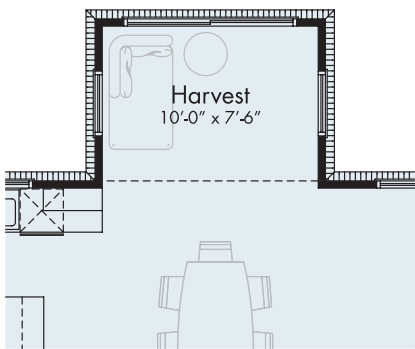
The upper level showcases the owner's suite with stepped ceiling, spacious bath with twin vanities, and large walk-in closet. There is also an option to include a whirlpool tub. There are three more bedrooms on the second floor along with a full bath and oversized laundry room.



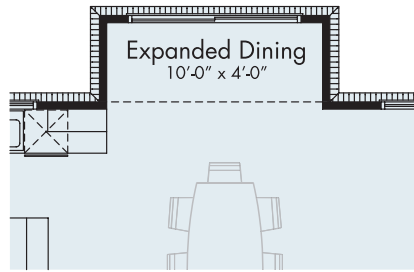
• OPTIONAL DELUXE OWNER'S BATH



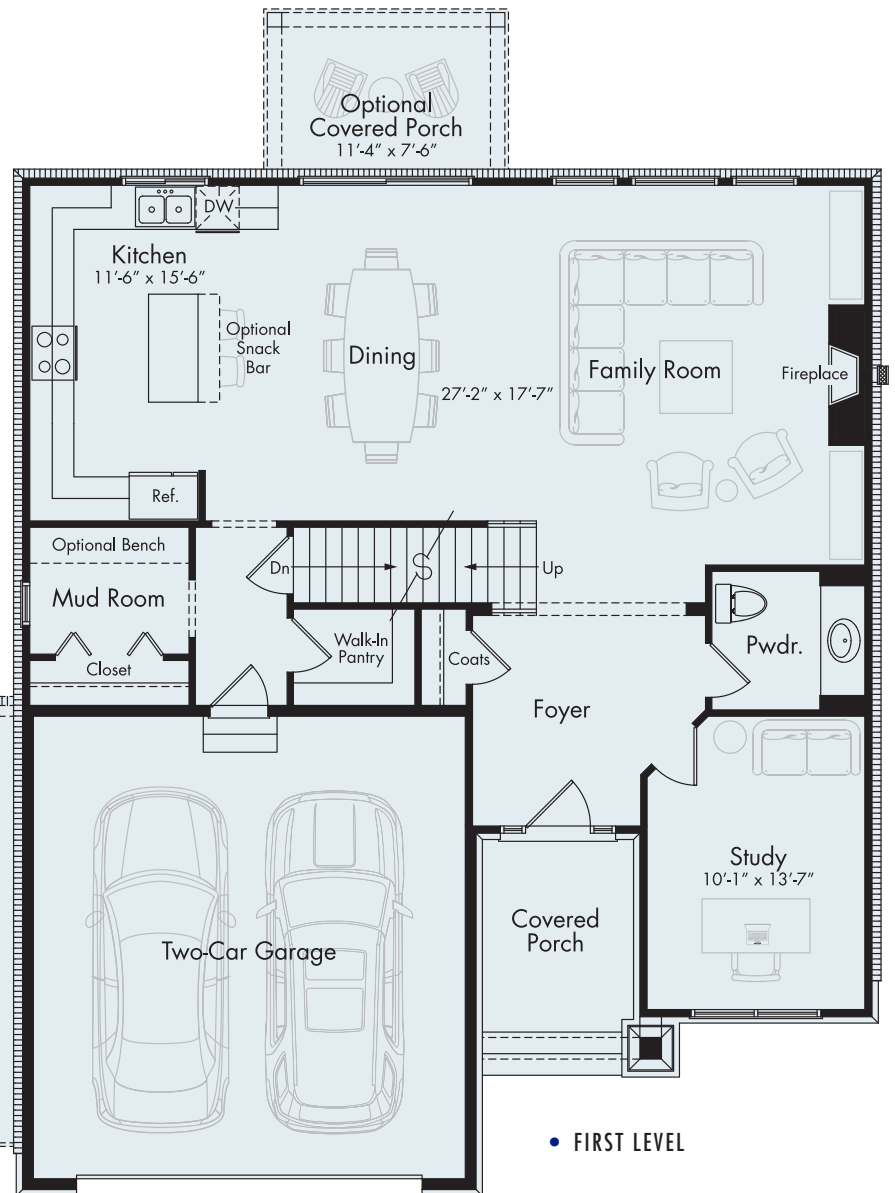
• SECOND LEVEL



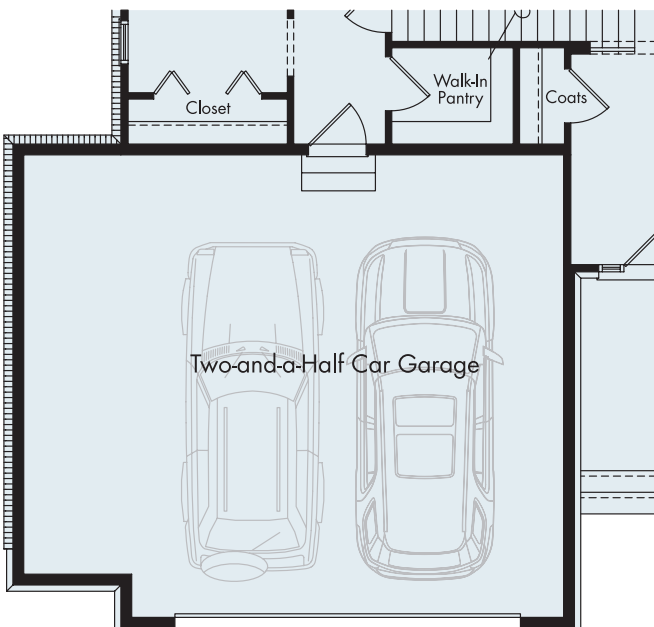
• OPTIONAL HARVEST ROOM



• OPTIONAL EXPANDED DINING ROOM



• FIRST LEVEL



• OPTIONAL TWO-AND-A-HALF CAR GARAGE

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CYPRESS

First Level 1,539 sf

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THE NEXT GENERATION OF STYLE

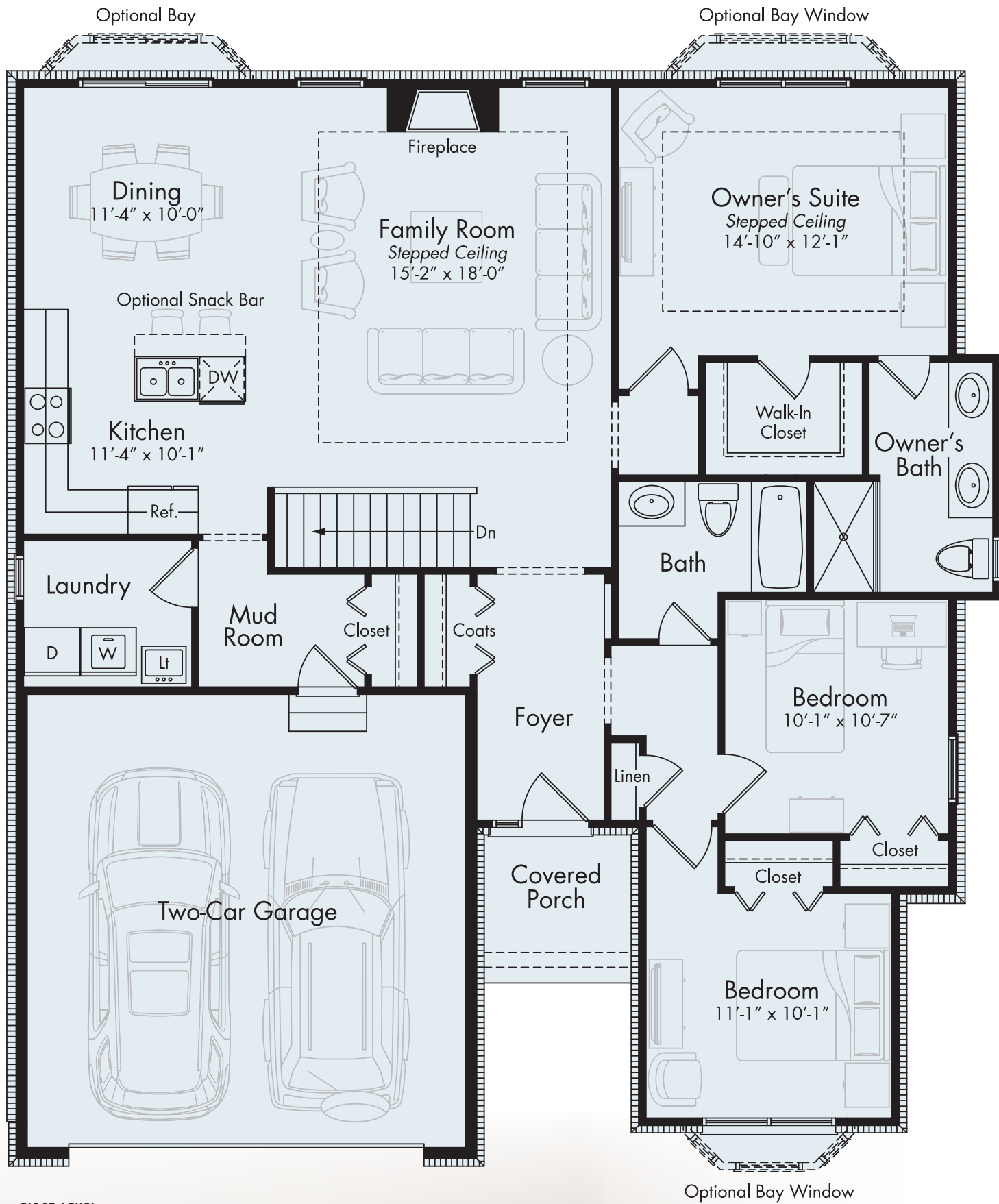
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CYPRESS

First Level 1,539 sf



If you're looking for the perfect ranch floor plan with no wasted space, then the Cypress is ideal for you! The open island kitchen, dining area with its optional bay window, and family room with a cozy fireplace, will keep your family together and enhance the connections during special times hosted at your home. The Cypress also keeps privacy in mind with the elegant owner's suite and two additional bedrooms and a full bath nicely separated from the living space. The 2-car garage opens to a large mud room with a closet and adjacent laundry room.



• FIRST LEVEL



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DAVENPORT

First Level	1,411 sf
Second Level	1,293 sf
Total	2,704 sf

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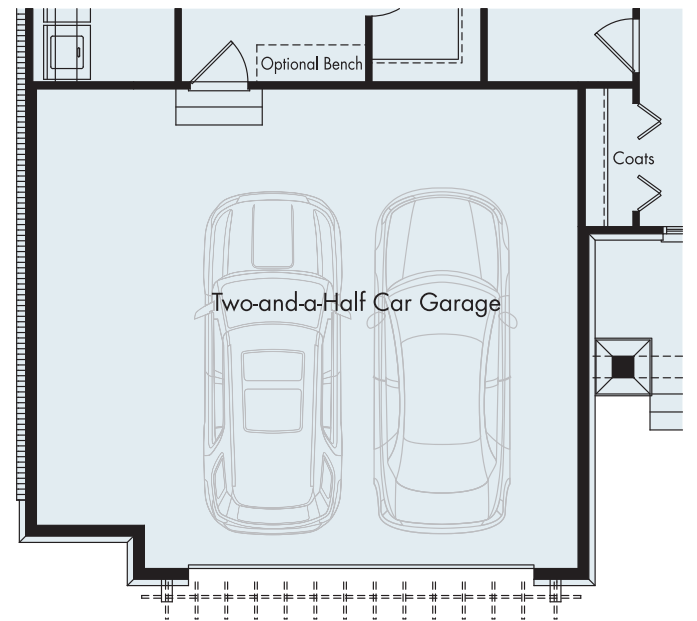
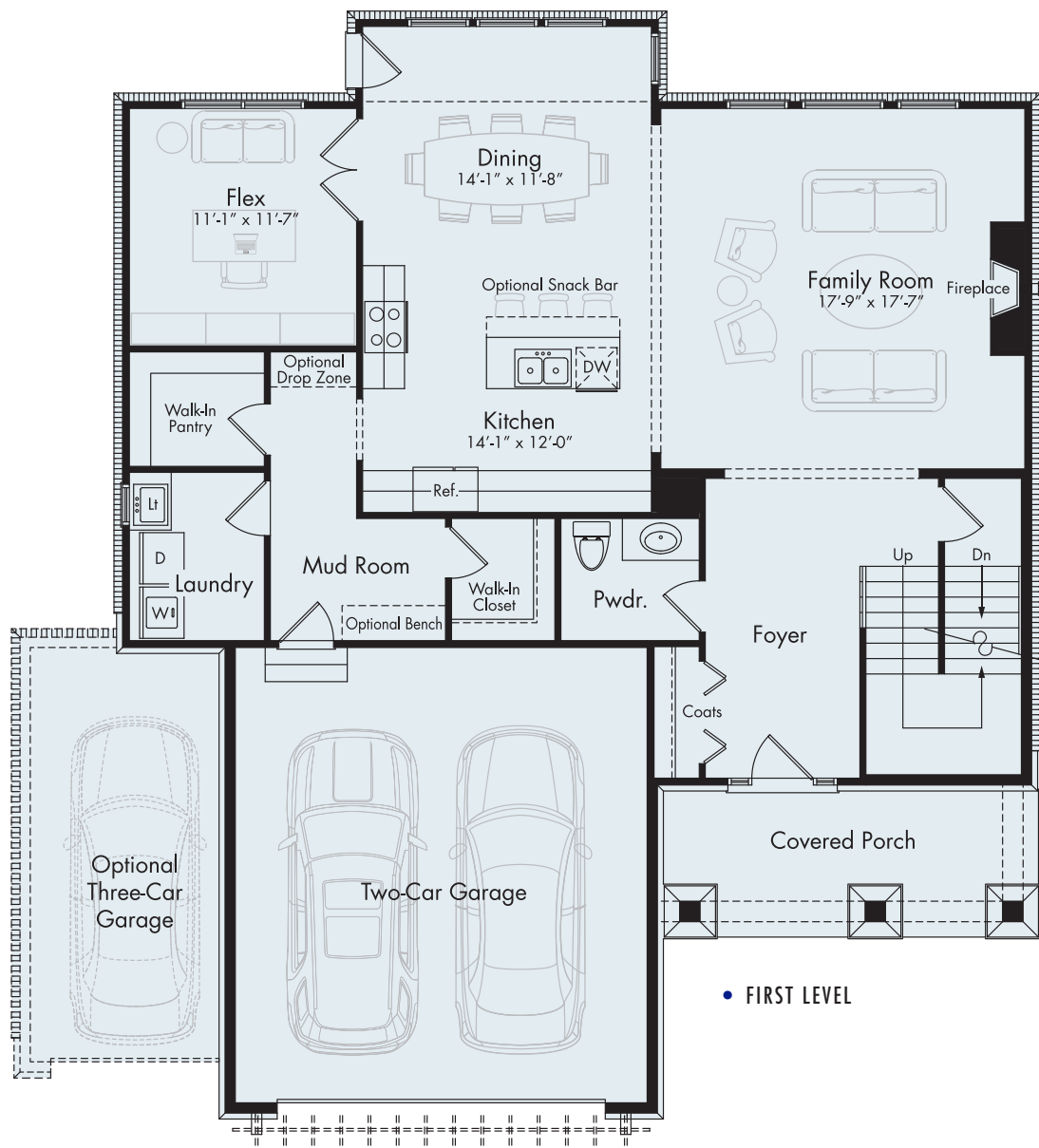
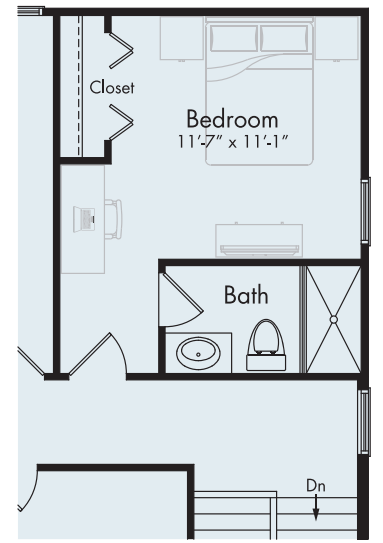
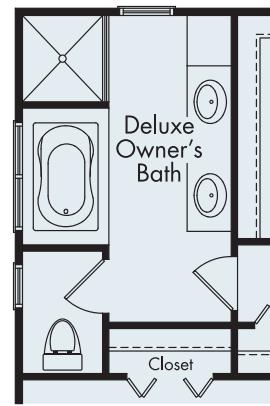
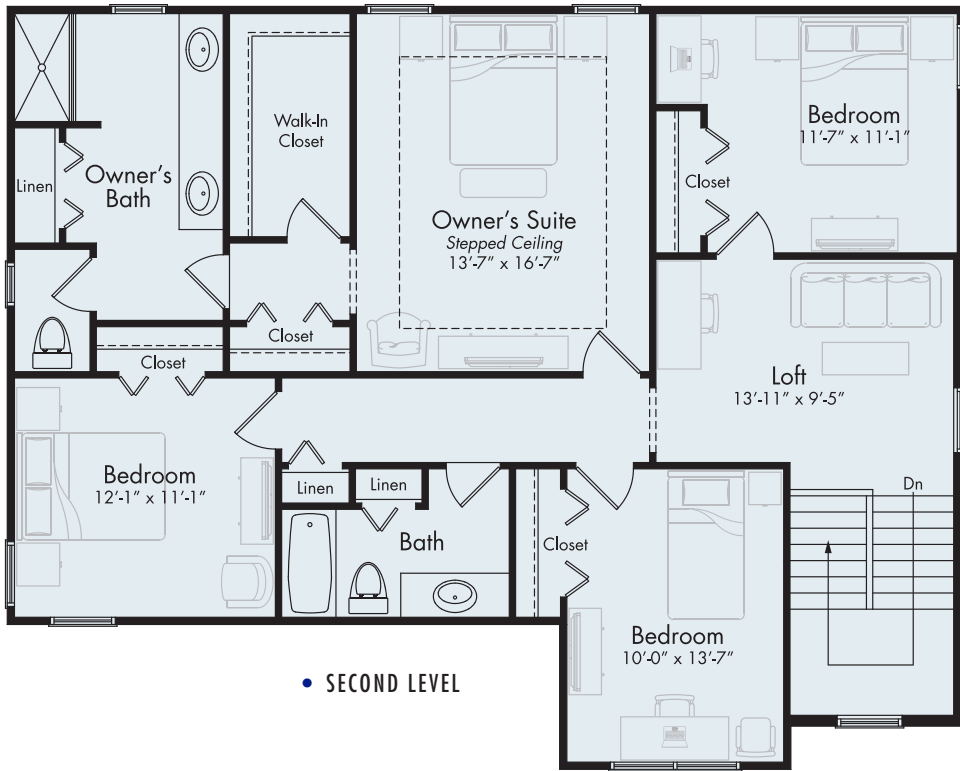
DAVENPORT

First Level 1,411 sf
 Second Level 1,293 sf
 Total 2,704 sf



Fall in love with the spacious open flow of the Davenport's main floor living area. The Davenport offers an imaginatively designed two-story home with an inviting central family room with a cozy fireplace and triple windows. The adjoining kitchen is a dream with lots of counter space and a functional island with optional snack bar seating. The dining room is extended beyond the balance of the room with triple windows and a French door. A flex-room is a pleasant surprise off this area with its double doors and double window. The first floor also offers a powder room, mud room, laundry and walk-in pantry.

The second floor showcases four bedrooms including the owner's suite with its stepped ceiling, plenty of closet space and an elegant bath with the option of a spa tub and stall shower. There is an option for a second bedroom suite with a full bath on this level or a large loft as the standard. A covered front porch adds a distinctive touch to the home as well as an optional 2.5-car or 3-car garage.



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EASTWIND

First Level 1,848 sf

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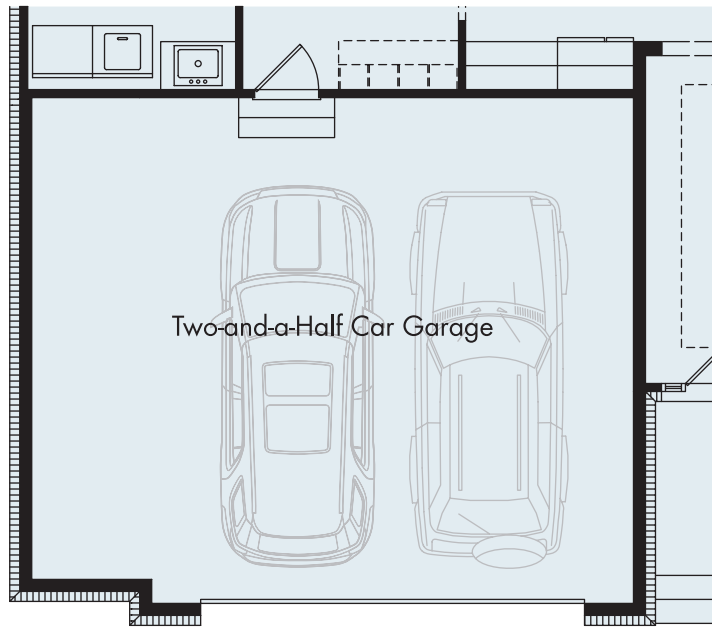
EASTWIND

First Level 1,848 sf

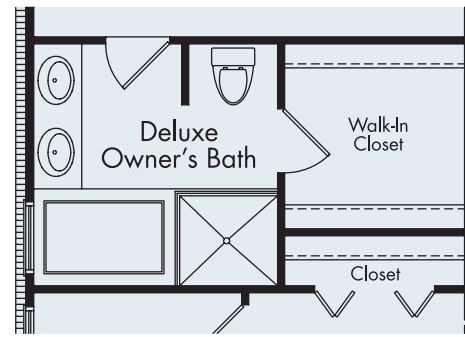


Love the open layouts offered by modern ranch designs, but want more space? The Eastwind is the floor plan for you – with no wasted space. The kitchen, with its oversized island, is the heart of the home with the adjoining dining and family room and a cozy fireplace, abundant windows and stepped ceiling. This creative space will keep your guests well entertained during special occasions.

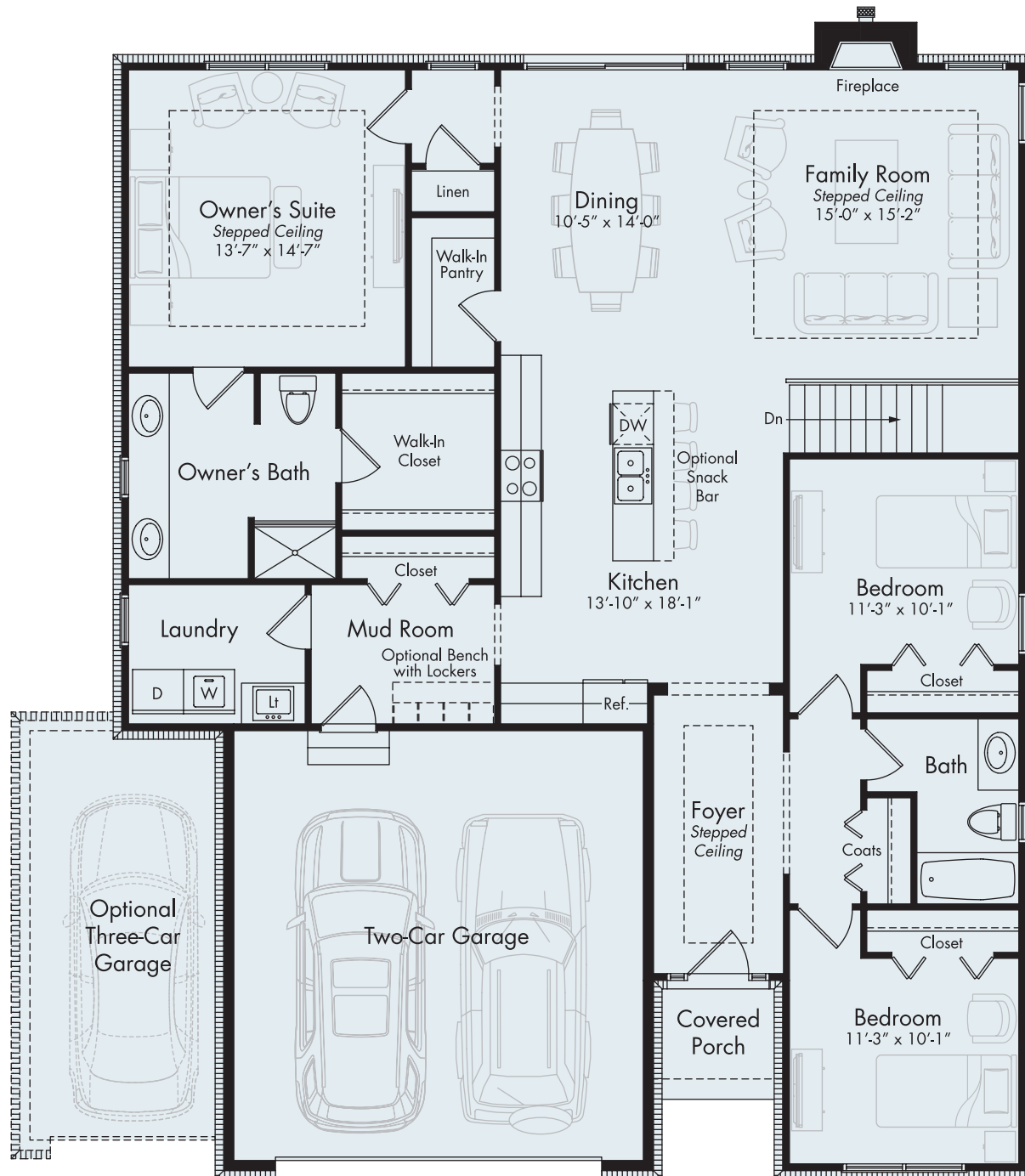
Two bedrooms are tucked away off the foyer with a central bath to share. An owner's suite offers an extra measure of privacy and elegance with its stepped ceiling, spacious bath and an optional soaking tub and large walk-in closet. The garage offers options for 2.5-cars and 3-cars, opens to a mud room with optional bench and lockers and a central laundry room.



• OPTIONAL TWO-AND-A-HALF CAR GARAGE



• OPTIONAL DELUXE OWNER'S BATH



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EVANSTON IV

First Level	797 sf
Second Level	1,139 sf
Total	1,936 sf

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EVANSTON IV

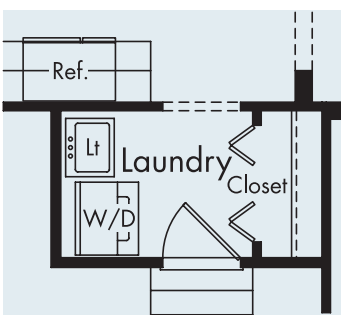
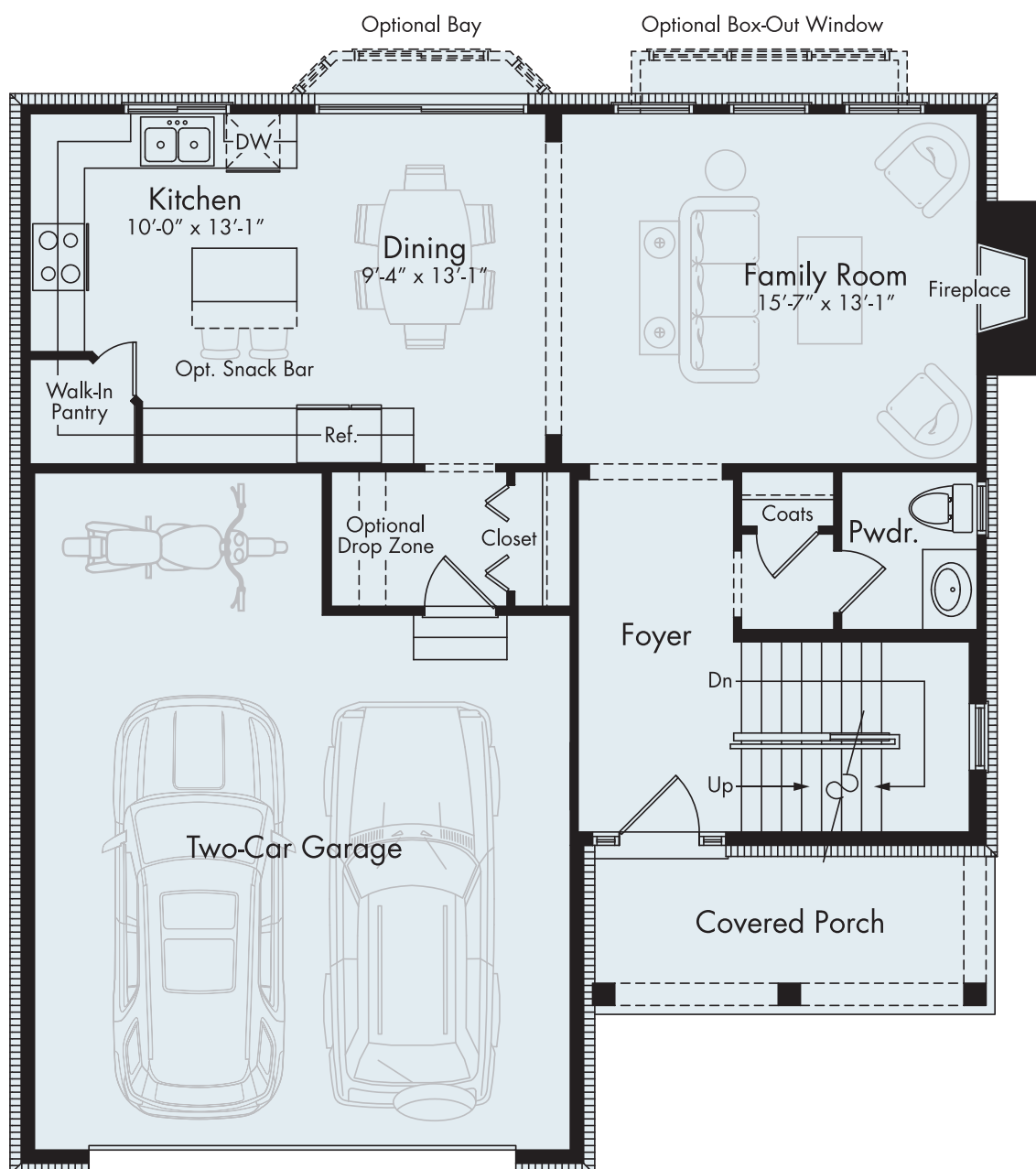
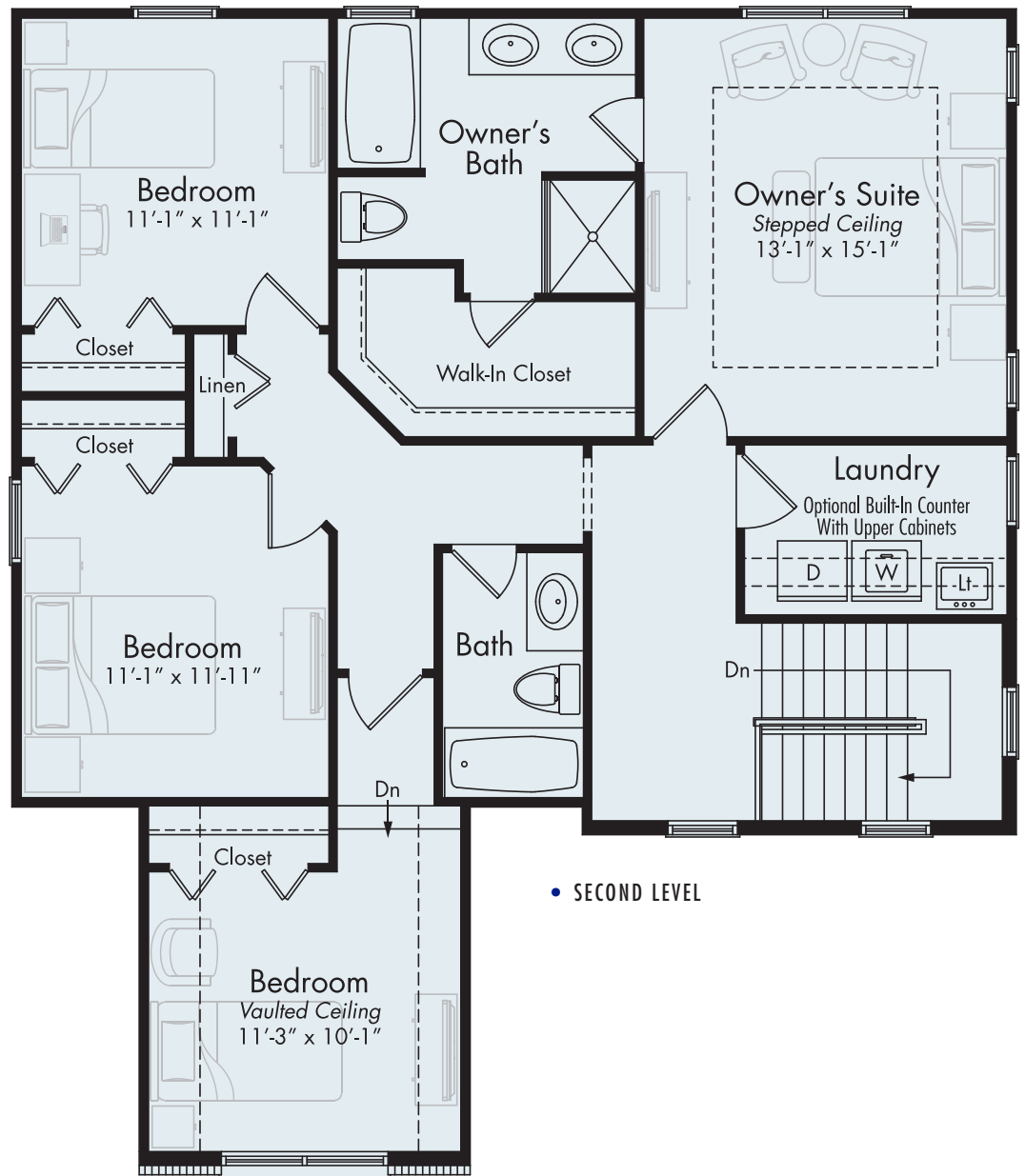
First Level 797 sf
 Second Level 1,139 sf
 Total 1,936 sf



This home is a two-story masterpiece. Featuring a charming front porch with columns, the Evanston IV opens to a large foyer with a guest closet and powder room. The huge U-shaped kitchen, a dining area and family room are bathed in sunlight from lots of windows and sliding glass doorwall with options for a bay and box-out windows to further enhance the open feeling.

Upstairs, the owner's suite boasts a stepped ceiling, elegant bath with separate tub, shower and walk-in closet. There are three more bedrooms on the second floor, along with a central bath and convenient laundry room.

The garage opens to an optional drop zone or second laundry area.



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WASHINGTON

First Level	1,147 sf
Second Level	1,092 sf
Total	2,239 sf

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WASHINGTON

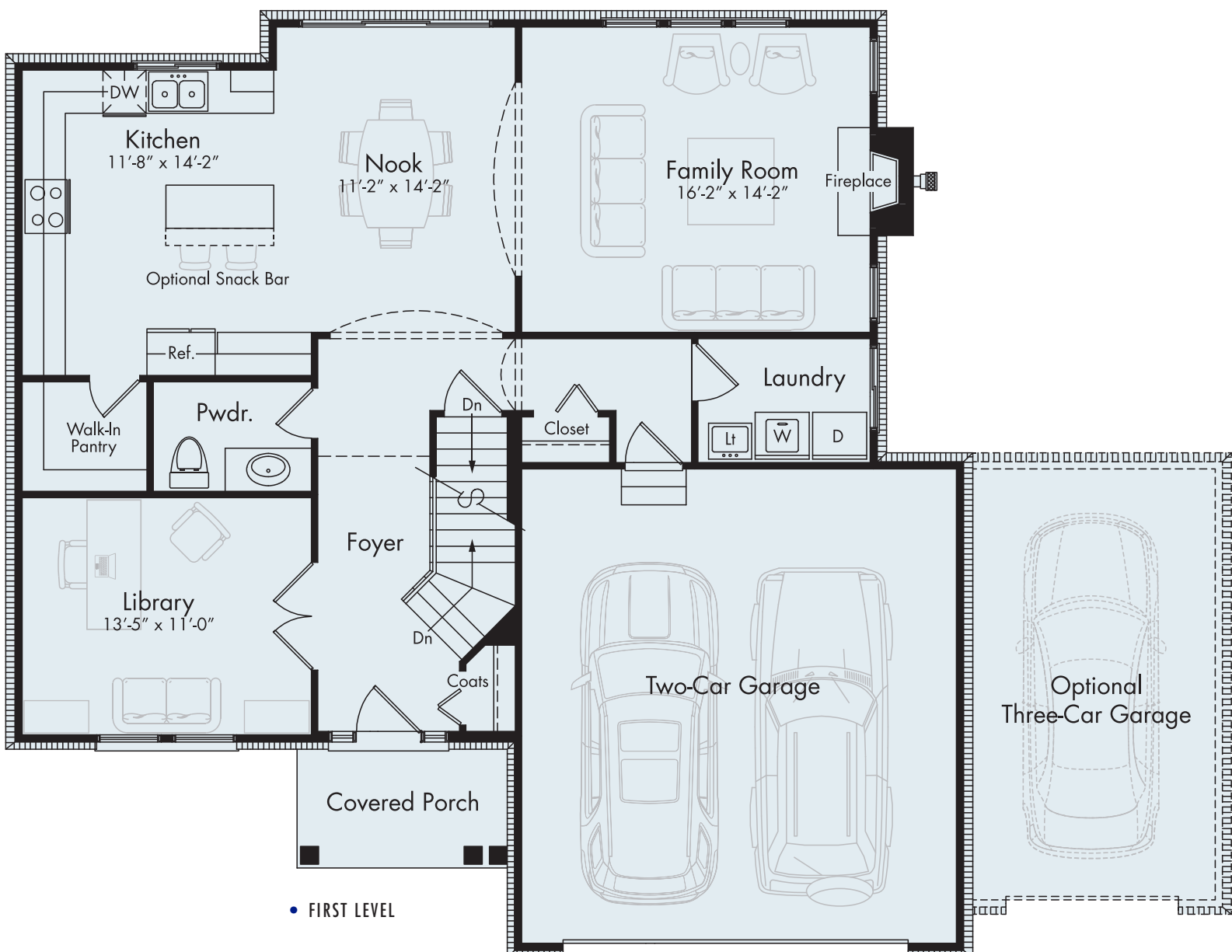
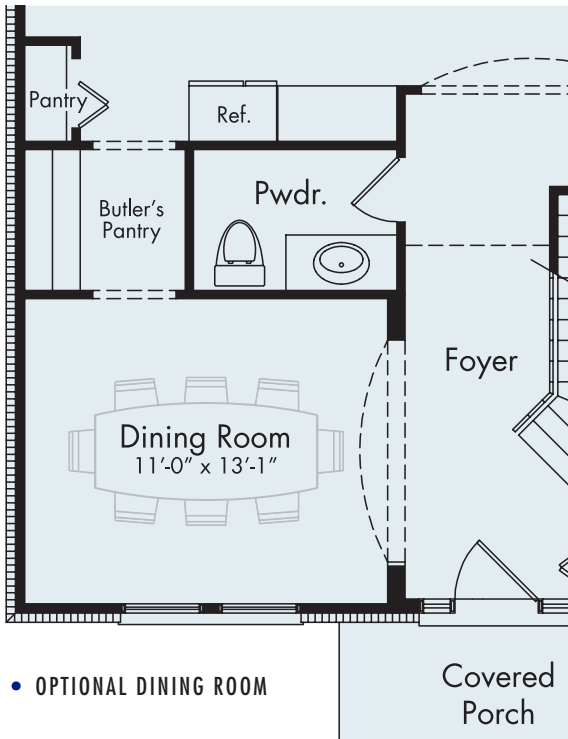
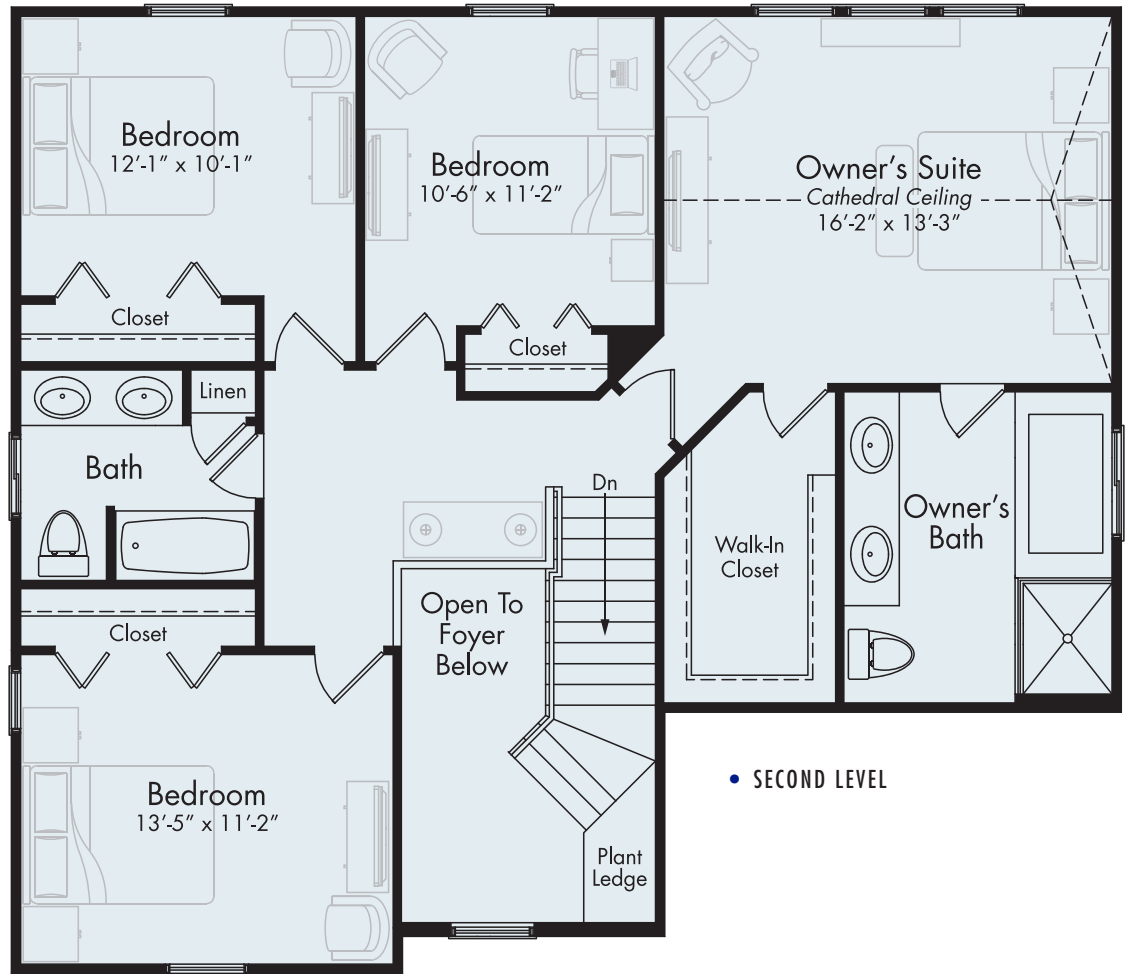
First Level 1,147 sf
 Second Level 1,092 sf
 Total 2,239 sf



The Washington is a very unique floor plan that lives large thanks to its two-story foyer and very open, flowing first floor living area. The foyer opens to a cozy library or optional formal dining room with butler's pantry. The spacious island kitchen, dining nook and family room keep the family connected and engaged.

The second level owner's suite offers a cathedral ceiling, triple windows and an elegant spa bath with separate tub and shower. Three additional bedrooms share a central bath and space for a study station.

A 2-car or optional 3-car garage leads to a mud room and convenient laundry. You'll love this home from the moment you enter from the covered porch.



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