

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: December 14, 2023

Agenda item: 8c

Appeal Date: December 14, 2023

Applicant: Sadeer "Sid" Jamil

Address: 1767 Carriage Hill
Commerce, MI 48382

Zoning: R1-D Single Family Residential

Location: 10890 Hillway Drive
White Lake, MI 48386

Property Description

The 0.37-acre (16,204 square feet) parcel identified as 10890 Hillway Drive is located on Sugden Lake and zoned R1-D (Single Family Residential).

Applicant's Proposal

Sadeer "Sid" Jamil, the Applicant, is requesting a post-construction variance to alter a nonconforming building and increase the cubic content of a nonconforming building by completing first-floor and second-floor additions.

Planner's Report

Currently the existing house is nonconforming to setbacks; based on the submitted survey, the building is located 7.1 feet from the west side lot line. A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 29.75-foot deficiency in lot width; the minimum lot width requirement is 80 feet in the R1-D zoning district.

Sometime between 2012 and 2014, the previous property owner constructed an unapproved/unpermitted second-story addition and rear covered patio. The unpermitted work did not conform to the required setback from the west property line. Per the submitted plans, the rear covered patio is proposed to be converted to 288 square feet of living space. Currently, the southwest corner of the covered patio is located 7.3 feet from the west side lot line, encroaching 2.7 feet into the required setback. The second story addition would be 508 square feet in size and encroach approximately 2.8 feet into the west side yard setback.

The submitted architectural plans show a proposed covered porch extending approximately four-six feet (extent of projection not dimensioned/labeled on the plans) off the west side of the building. Section 7.27.vii of the Zoning Ordinance prohibits the Zoning Board of Appeals from granting a variance to permit a setback of less than five feet from a side lot line to ensure access for fire equipment and other emergency vehicles. If the Board decides to approve the request, a condition must be revising the architectural plans to eliminate the proposed covered porch.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$32,240), the maximum extent of improvements cannot exceed \$16,120. The Applicant did not provide a proposed value of work. For reference, the August 2023 Building Valuation Data published by the International Code Council estimates cost of single-family residential construction at \$165.67 per square foot for living areas. A staff estimate for the value of improvement to the nonconforming portion of the building is approximately \$40,000. A variance to exceed the allowed value of improvements by 248% is required.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming structure	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$16,120)	248%	\$23,880 over allowed improvements
3	Article 3.1.6.E	Minimum lot width	80 feet	29.75 feet	50.25 feet

Similar to a pre-construction variance request, for a post-construction variance request the ZBA may approve, approve with conditions, or deny the variance. If the variance is denied, the unapproved/unpermitted additions should be required to be removed from the building.

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Sadeer Jamil from Articles 7.23.A and 7.28.A of the Zoning Ordinance for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, in order to complete additions that would encroach 3 feet into the required west side yard setback and exceed the allowed value of improvements to a nonconforming structure by 248%. A 29.75-foot variance from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- The Applicant shall resubmit architectural plans showing elimination of the proposed covered porch from the west side of the house.
- No mechanical units, including HVAC system or generator, shall be placed in the front yard or closer than five (5) feet to any side yard lot line or rear yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Division.
- An as-built survey shall be required to verify the approved setbacks.

Denial: I move to deny the variances requested by Sadeer Jamil for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, due to the following reason(s):

Postpone: I move to postpone the appeal of Sadeer Jamil *to a date certain or other triggering mechanism* for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated November 14, 2023.
2. Survey dated November 3, 2023.
3. Architectural plans dated September 15, 2023 (revision date November 13, 2023).
4. Letter of denial from the Building Official dated November 7, 2023.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficulty results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION
Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: Sadeer "Sid" Jamil PHONE: 248-345-1174
ADDRESS: 1767 Carriage Hill, Commerce Twp., MI 48382
APPLICANT'S EMAIL ADDRESS: Sid@ArterraLake.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 10890 Hillway Drive PARCEL # 12 - 34352003
CURRENT ZONING: R1-D PARCEL SIZE: 0.37 Acres

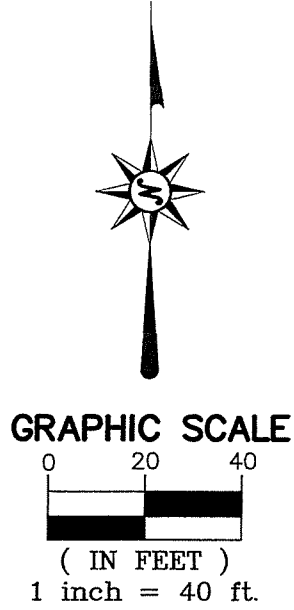
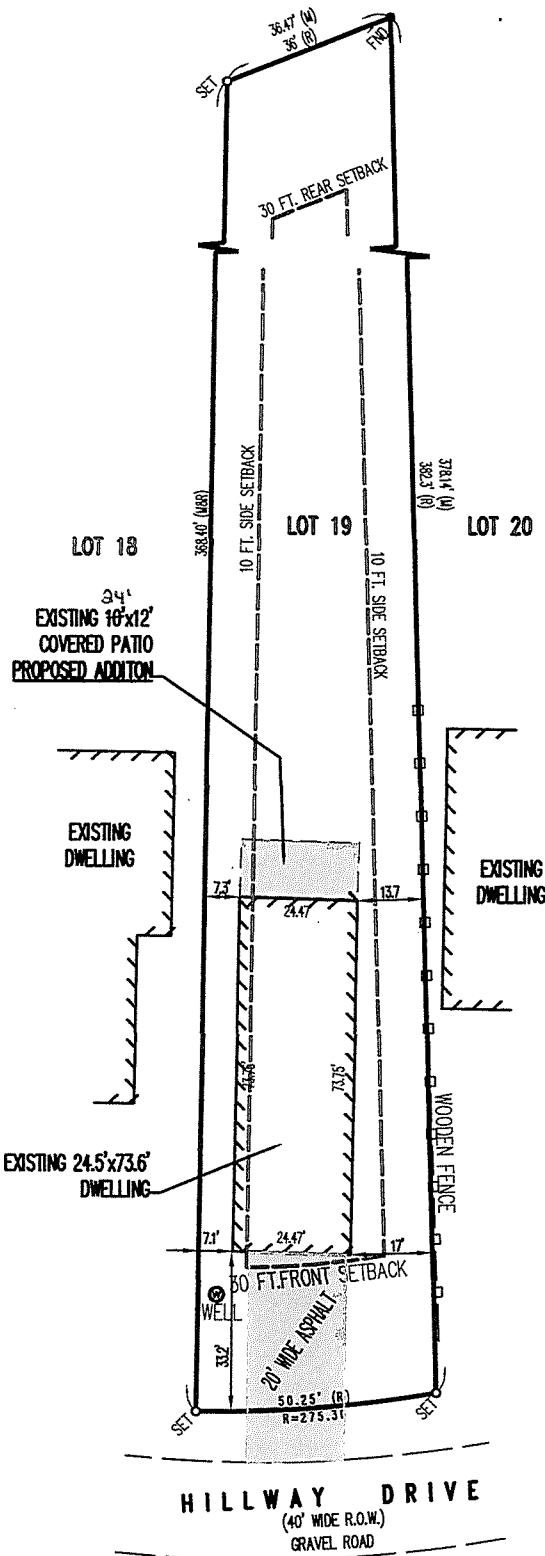
STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Article 3.1.6
VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISTING STRUCTURE: \$ ~~106,610~~ ^{32,240}

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)
APPLICANT'S SIGNATURE: Sadeer Jamil DATE: 11/14/2023

LEGAL DESCRIPTION (AS PROVIDED):

LOTS 19 OF "OAK RIDGE PARK", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 22 ON PAGE 10, TOWNSHIP OF WHITE LAKE, OAKLAND COUNTY, MICHIGAN.



LEGEND

- SET IRON #21585
- FOUND IRON
- ▲ SET WOOD STAKE
- ⊕ SECTION CORNER
- (M) MEASURED
- (R) RECORDED
- O.A. OVERALL DISTANCE
- R/W RIGHT OF WAY
- E-W EAST-WEST

NOTES:

1. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
2. THIS SURVEY WAS PERFORMED FOR THE PURPOSE SHOWN HEREON AND DOES NOT MAKE ANY REPRESENTATION AS TO THE DELINEATION OF ANY JURISDICTIONAL LINES EXCEPT AS SHOWN OR NOTED HEREON.

JOSEPH A WYZYNAJTYS, P.S. NO 21585

PREPARED FOR:
SID & FAITH JAMIL
 10890 HILLWAY DRIVE
 WHITE LAKE TWP, MI 48386

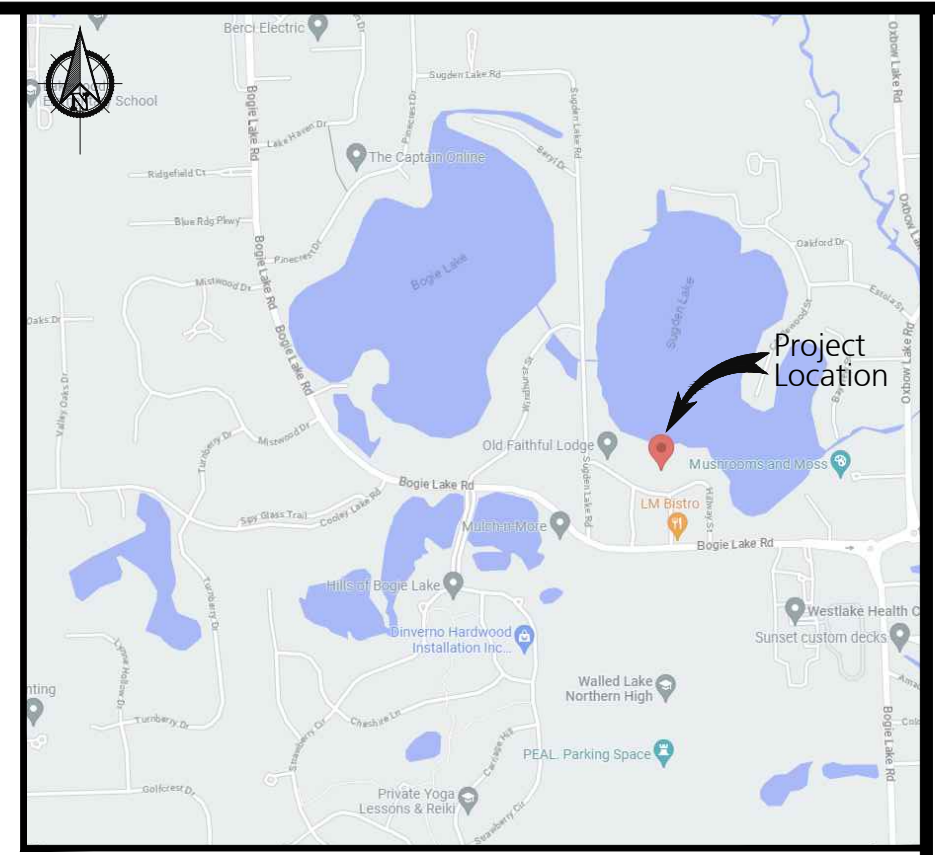
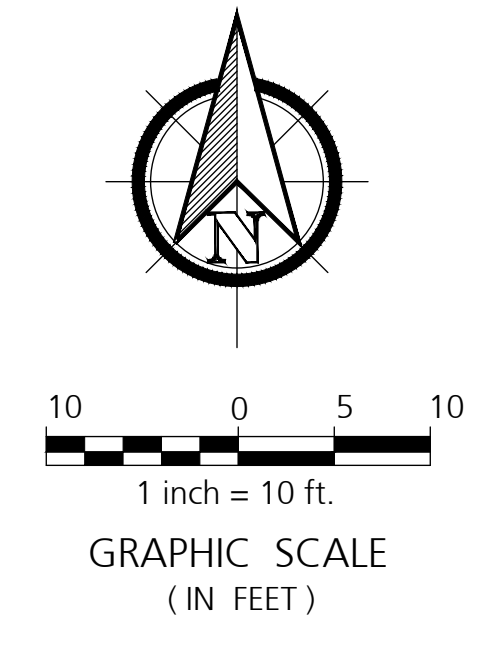
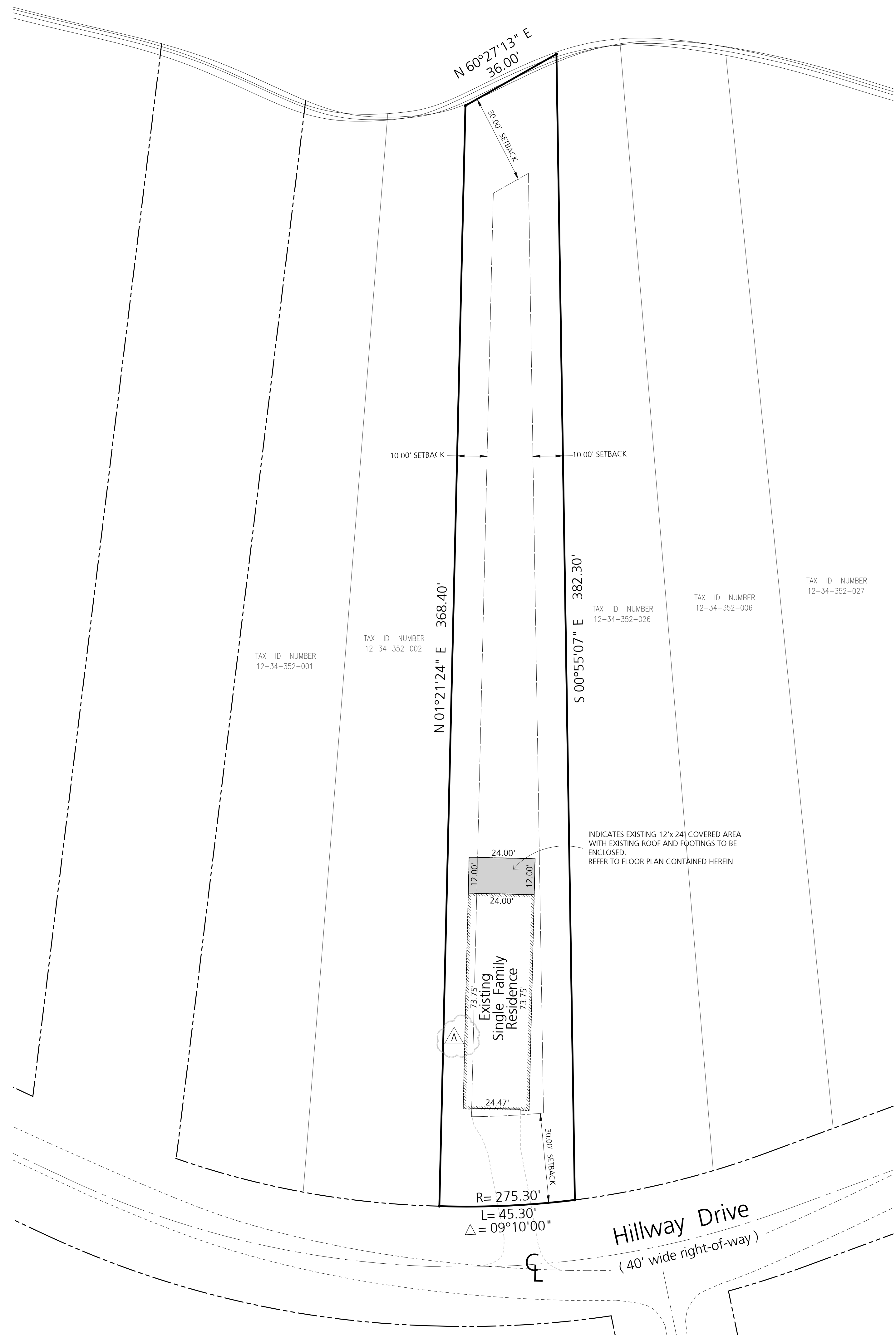
SCALE: 1"=40'	JOB NO. WLAKE 34 SID	DATE: 11.03.2023	REV:
DRN BY: MCS	APPR BY: J.A.W.	PAGE: 1 of 1	

DPS, INC

SURVEYING & ENGINEERING

3189 MANN ROAD, WATERFORD, MI 48329
 17195 SILVER PARKWAY, NO. 153, FENTON, MI 48430
 PHONE: 810.701.9418
 EMAIL: DPSINC14@MSN.COM





Location Map
N.T.S.

Legend

	PROPERTY LINE
	RIGHT OF WAY
	CENTER LINE
	BUILDING SETBACK
	EXISTING RESIDENCE

Site Address
10890 Hillway Drive
White lake Township, MI 48386

Tax ID Number
12-34-352-003

Zoning
R1-D Single Family Residential

Setbacks

FRONT -	30 ft
REAR -	30 ft
SIDES -	10 ft *

* The sum of the two side yard setbacks shall be a minimum of 20 feet for principal buildings without attached garages.

Legal Description
Lot 19,
"Oak Ridge Park" subdivision, as recorded in
Liber 22 of Plats, Page 10, Oakland County
Public Records, Oakland County Michigan

NOTE
REFER TO GROUND SURVEY
PREPARED BY JOSEPH WIZYNAJTY'S, RLS No 21595
FOR ACTUAL LOT DIMENSIONS / ENCROACHMENTS

SHEET INDEX

A-1	PLOT PLAN
A-2	EXISTING FLOOR PLAN / DEMOLITION PLAN
A-3	FLOOR PLANS
A-4	ELEVATIONS
A-5	GENERAL NOTES / WALL SECTION

Arch-a-Tech
CONSULTING ARCHITECTS / ENGINEERS
West End Avenue, Waterford, Michigan 48328
phone: 602.434.6751
email: pweir@consultant.com

Plot Plan

Proprietor:
Sid and Faith Jamil

Project Location:
10890 Hillway Drive
White lake Township, MI 48386

Issued for

preliminary

construction Sept 15, 2023

as - built

drawn _____
designed _____
approved _____

revisions

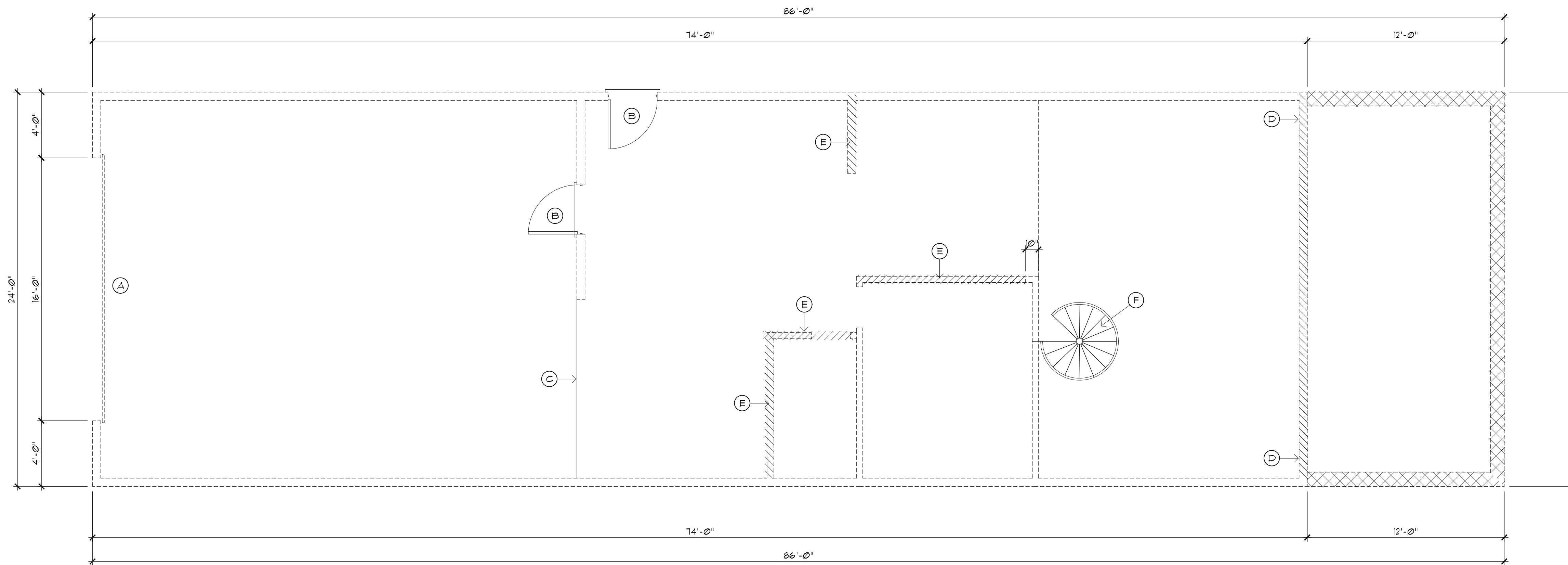
A 11-15-23 REVISE PER OWNER'S REQUEST / TOWNSHIP REVIEW DATED NOVEMBER 1, 2023

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Job No. 23-051

A-1

Sheet 1 of 5



LEGEND

- INDICATES EXISTING WOOD STUD WALL TO REMAIN IN PLACE
- INDICATES EXISTING WOOD STUD WALL TO BE REMOVED
- INDICATES EXISTING FOUNDATION REMAIN IN PLACE

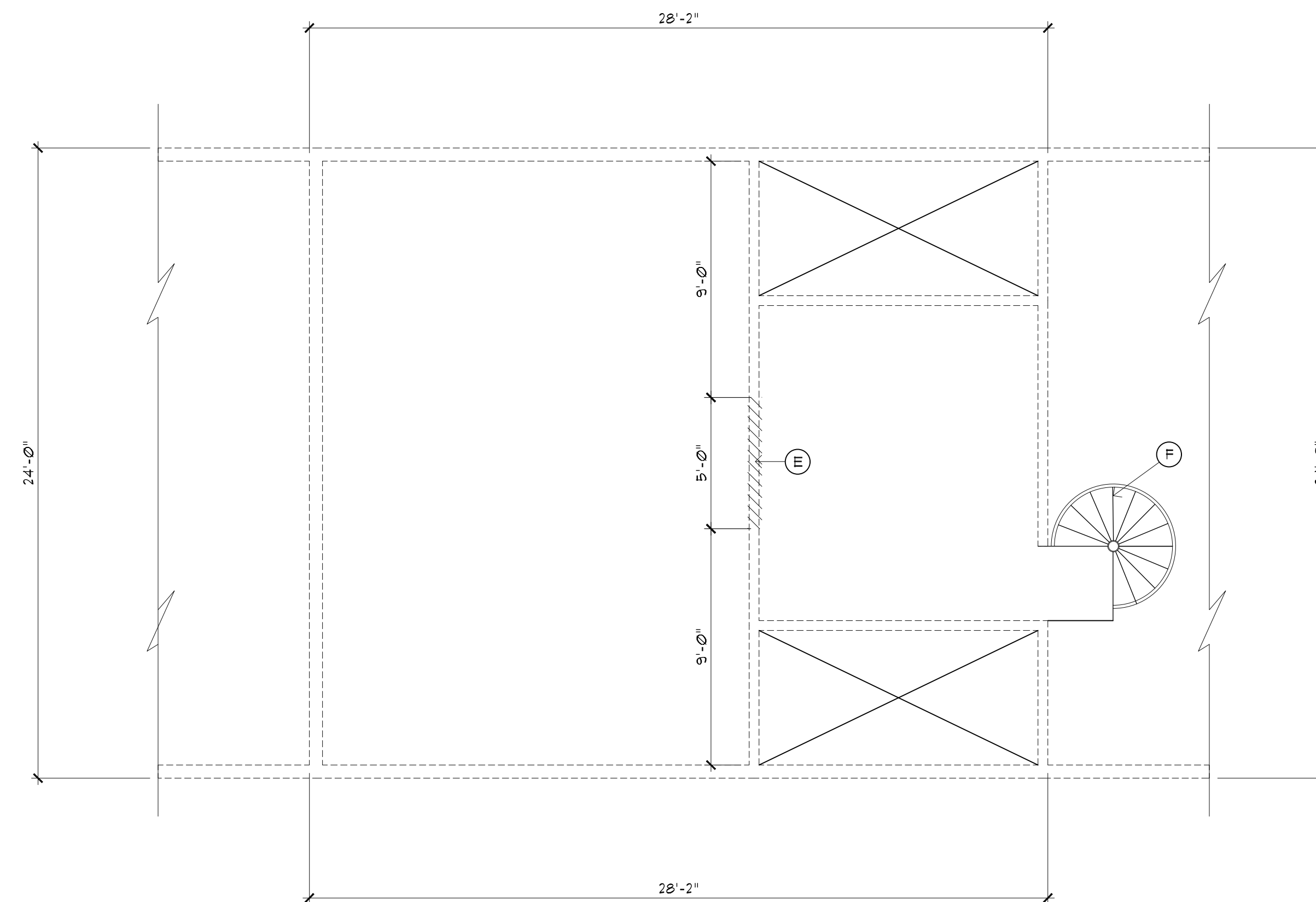
DEMOLITION KEY NOTES:

- (A) INDICATES EXISTING GARAGE DOOR TO BE REPLACED
- (B) INDICATES EXISTING DOOR TO BE REMOVED
- (C) INDICATES 2" DIFFERENCE IN GARAGE FLOOR HEIGHT, REFER TO FLOOR PLAN TO REPAIR
- (D) INDICATES EXTERIOR WOOD STUD PARTITION TO BE REMOVED, CAUTION - BRACE AS REQUIRED
- (E) INDICATES INTERIOR WOOD STUD PARTITION TO BE REMOVED, CAUTION - BRACE AS REQUIRED
- (F) EXISTING SPIRAL STAIRWAY TO BE REMOVED

EXISTING MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

1. ALL DEMOLITION WORK SHOWN HEREIN SHALL COMPLY WITH THE 2015 MICHIGAN BUILDING CODE (M.B.C.), AS AMENDED, TOGETHER WITH ANY AND ALL FEDERAL, STATE, OR LOCAL CODES IN FORCE.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. NO DEMOLITIONS WORK WILL COMMENCE WITHOUT FIELD VERIFICATION AND A SOLUTION AGREED UPON BY OWNER, DESIGNER, CONTRACTOR.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO PERFORM THE WORK SHOWN HEREON.
4. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
5. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS.
6. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT CONFLICTING WITH THE NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL UNUSED UTILITIES.
7. THE CONTRACTOR SHALL REMOVE, DISCONNECT, AND SALVAGE ALL MECHANICAL, ELECTRICAL, AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION.
8. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY.
9. CONTRACTOR SHALL PATCH ALL PENETRATIONS, HOLES, ETC.
10. CONTRACTOR TO REVIEW WITH OWNER REGARDING ALL ITEMS SCHEDULED FOR RELOCATION. SAID ITEMS TO BE REMOVED CAREFULLY, PROTECTED AND STORED.
11. CONTRACTOR SHALL REVIEW WITH OWNER ANY AND ALL ITEMS OF DEMOLITION NOT INDICATED OR SPECIFIED ON DRAWINGS OR SPECIFICATIONS.
12. EXTREME CARE DURING DEMOLITION SO AS NOT TO DAMAGE CONSTRUCTION AND OTHER APPURTENANCES THAT ARE INTENDED TO REMAIN. ANYTHING DAMAGED AT TIME OF WORK IS TO BE REPAIRED AND/OR REPLACED TO MATCH EXISTING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
13. WHEN DEMOLITION TAKES PLACE, SHOULD ANY WORK AFFECT THE INTEGRITY OF THE STRUCTURE, WORK MUST STOP IMMEDIATELY, AND ARCHITECT BE NOTIFIED. UNDER NO CIRCUMSTANCE SHALL REINFORCING OF ANY KIND BE DAMAGED, CUT OR BROKEN.
14. REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, PLUMBING LINES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT. DEMOLISHED LINES ARE TO BE BROUGHT BACK TO PANELS, RISERS, ETC. AND DISCONNECTED OR CAPPED. DO NOT ABANDON IN PLACE.
15. NOTE: WALL REMOVAL INDICATED AT RIGHT, DOES NOT ADDRESS PORTION OF WALL OPENINGS REQUIRED FOR NEW WINDOWS, DOORS, OR ANY OTHER APPURTENANCES REQUIRED TO COMPLETE THE CONCEPT AS DESIGNED. THE DEMOLITION PLAN DOES NOT ADDRESS THE ITEMS REQUIRED TO BE DEMOLISHED TO COMPLETE THE ROOF CONSTRUCTION CONTEMPLATED WITHIN THIS DESIGN.



EXISTING UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Existing Floor Plan
Demolition Plan

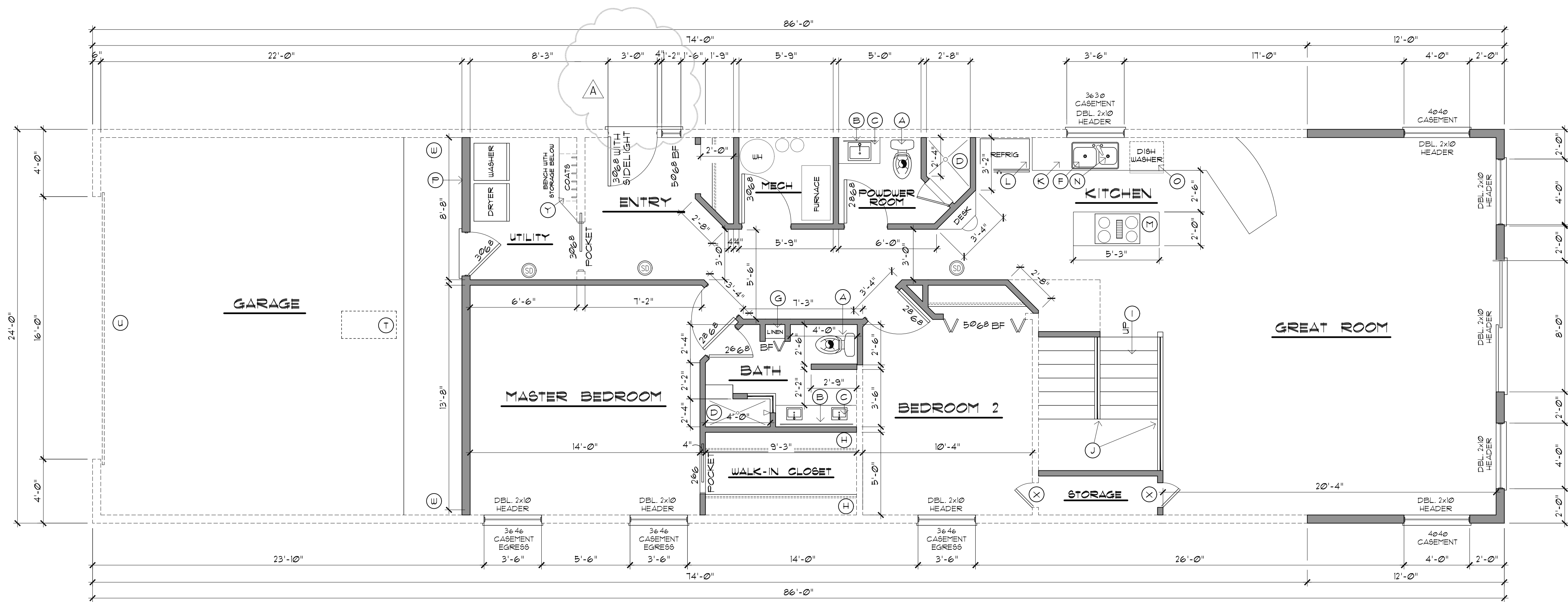
Proprietor:
Sid and Faith Jamil

Project Location:
10890 Hillway Drive
White lake Township, MI 48386

Issued for
 preliminary
 construction Sept 15, 2023
 as - built
 drawn designed approved
 A. Vandelay
 P. Weir

revisions
 A 11-15-23 REVISE PER OWNER'S REQUEST / TOWNSHIP REVIEW DATED NOVEMBER 1, 2023

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AREA TABULATION

UPPER LEVEL	508 sq ft
LOWER LEVEL	1559 sq ft
GARAGE	509 sq ft
TOTAL SQUARE FOOTAGE 2,572 sq ft	

LEGEND

- INDICATES EXISTING WOOD STUD WALL TO REMAIN IN PLACE
- INDICATES NEW FRAME WALL
2" x 6" STUDS @ 16"oc - EXTERIOR
2" x 4" STUDS @ 16"oc - INTERIOR

GENERAL NOTES

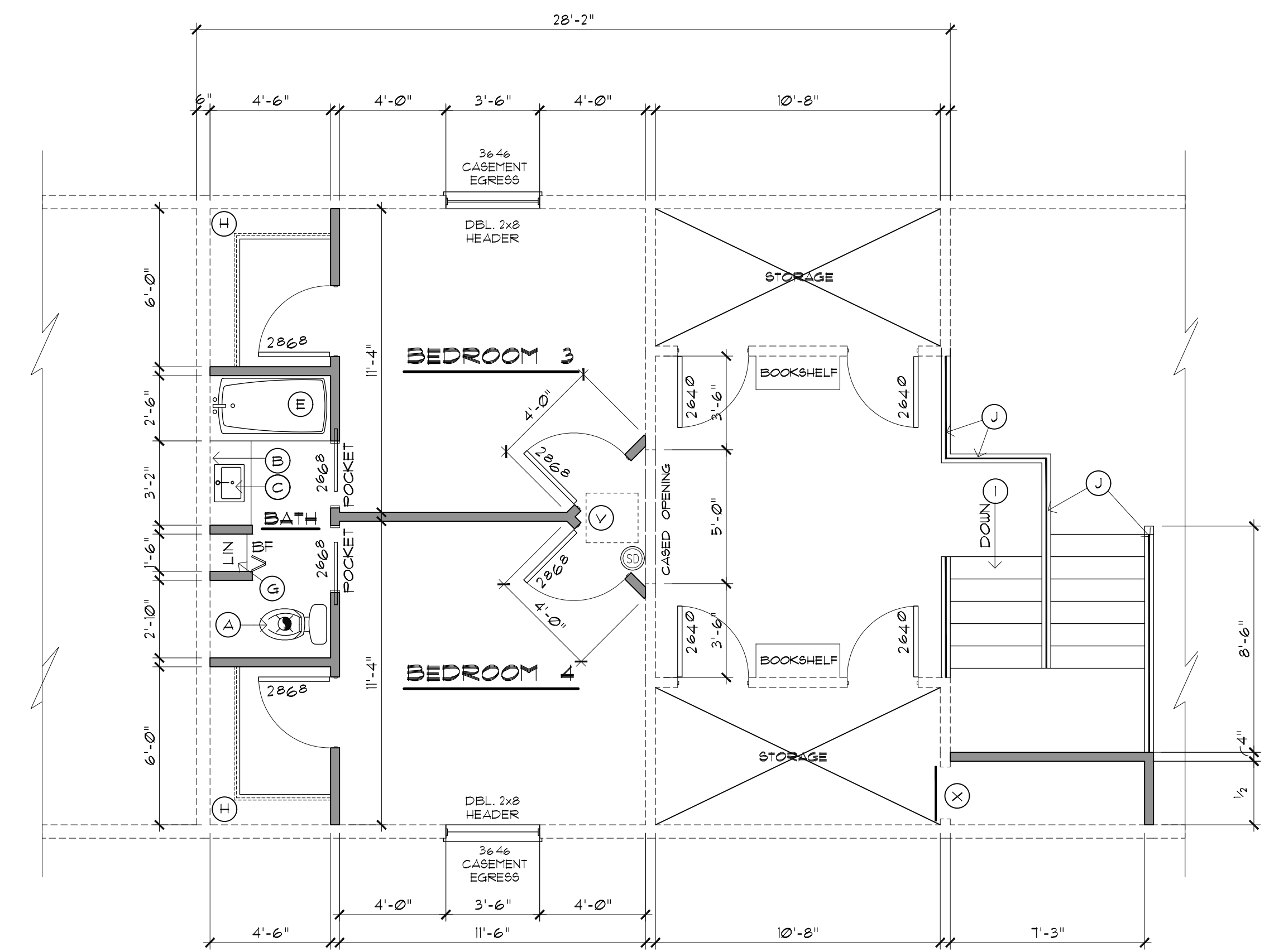
- 1) ALL INTERIOR WALLS ARE TO BE CONSTRUCTED USING 2" x 4" WOOD STUDS @ 16"oc.
- 2) ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED USING 2" x 6" WOOD STUDS @ 16"oc.
- 3) ALL INTERIOR WALLS AND CEILINGS ARE TO HAVE 1/2" DRYWALL, PRIMED FINISH.

ELECTRICAL LEGEND

- LIGHT FIXTURE AND FAN COMBINATION. NOTE: FAN SHALL BE DIRECTLY VENTED OUTDOORS
- CEILING MOUNTED SMOKE / CARBON MONOXIDE DETECTOR
- WALL MOUNTED SMOKE / CARBON MONOXIDE DETECTOR

NOTE
PROVIDE ARC-FAULT CIRCUIT INTERRUPTER ON EACH CIRCUIT

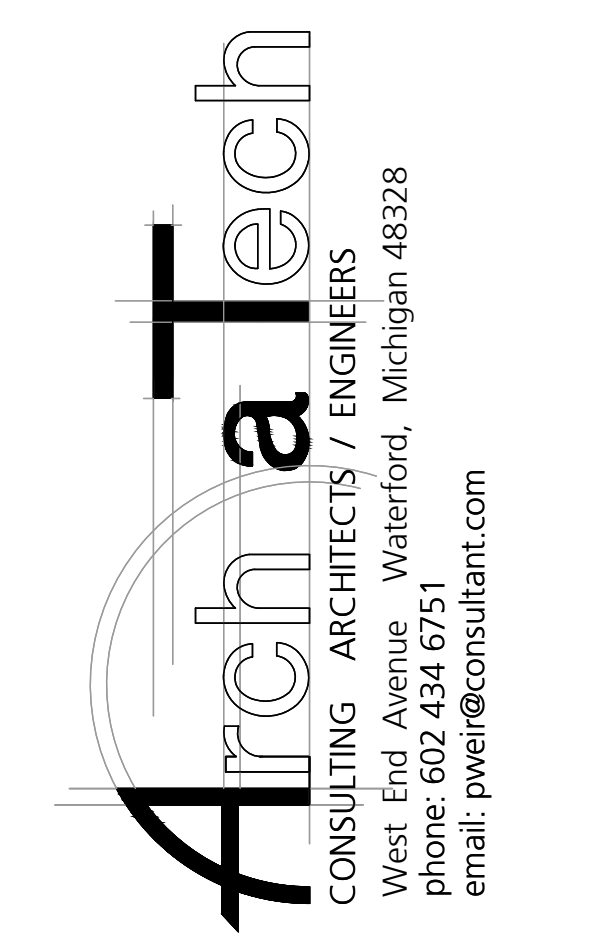
MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES

- (A) PROVIDE WATER CLOSET
- (B) PROVIDE MIRROR
- (C) PROVIDE VANITY
- (D) CERAMIC TILED SHOWER w/ TEMPERED GLASS DOOR
- (E) PROVIDE 4'-6" LONG, PRE-FAB TUB w/ SHOWER
- (F) PROVIDE STAINLESS STEEL KITCHEN SINK
- (G) PROVIDE FIVE (5) EQUAL SHELVES
- (H) PROVIDE CLOTHING ROD WITH VENTED SHELF
- (I) PROVIDE STAIRWAY WITH MIN. 10" TREADS, 16 RISERS
- (J) PROVIDE 36" HIGH HANDRAIL, STYLE AS SELECTED BY OWNER, MAX STILE SPACING TO BE 3"
- (K) INDICATES 24" DEEP BASE CABINETS w/ 36" WIDE COUNTER, STYLE BY OWNER
- (L) PROVIDE CABINET DEPTH REFRIGERATOR
- (M) PROVIDE RANGE w/ DIRECT VENTED RANGE HOOD
- (N) PROVIDE GARBAGE DISPOSAL
- (O) PROVIDE DISHWASHER
- (P) PROVIDE WASHER / DRYER CONNECTION WITH SUPPLY / DRAIN AND VENT
- (Q) NOT USED
- (R) NOT USED
- (S) PROVIDE 2 PIECE(S) 1 3/4" x 11-78" 20E Microllam@LVL
- (T) PROVIDE FULL DOWN ATTIC ACCESS
- (U) EXISTING OVERHEAD GARAGE DOOR TO BE REPLACED, STYLE AS SELECTED BY OWNER
- (V) PROVIDE 24" x 24" ATTIC SCUTTLE, PROVIDE TRIM MOLDINGS
- (W) PROVIDE 2" CONCRETE POUR TO LEVEL FLOOR
- (X) PROVIDE HINGED PANEL ACCESS TO STORAGE BEHIND STAIR
- (Y) PROVIDE 20" HIGH BENCH w/ 24" WIDE HINGED LID FOR STORAGE BELOW, PROVIDE COAT PEGS AS SHOWN



Floor Plans

Proprietor:
Sid and Faith Jamil

Project Location:
10890 Hillway Drive
White lake Township, MI 48386

Issued for

- preliminary
- construction Sept 15, 2023
- as - built

drawn _____ A. Vandelay
designed _____ P. Weir
approved _____

revisions

A	11-15-23	REVISE PER OWNER'S REQUEST / TOWNSHIP REVIEW DATED NOVEMBER 1, 2023
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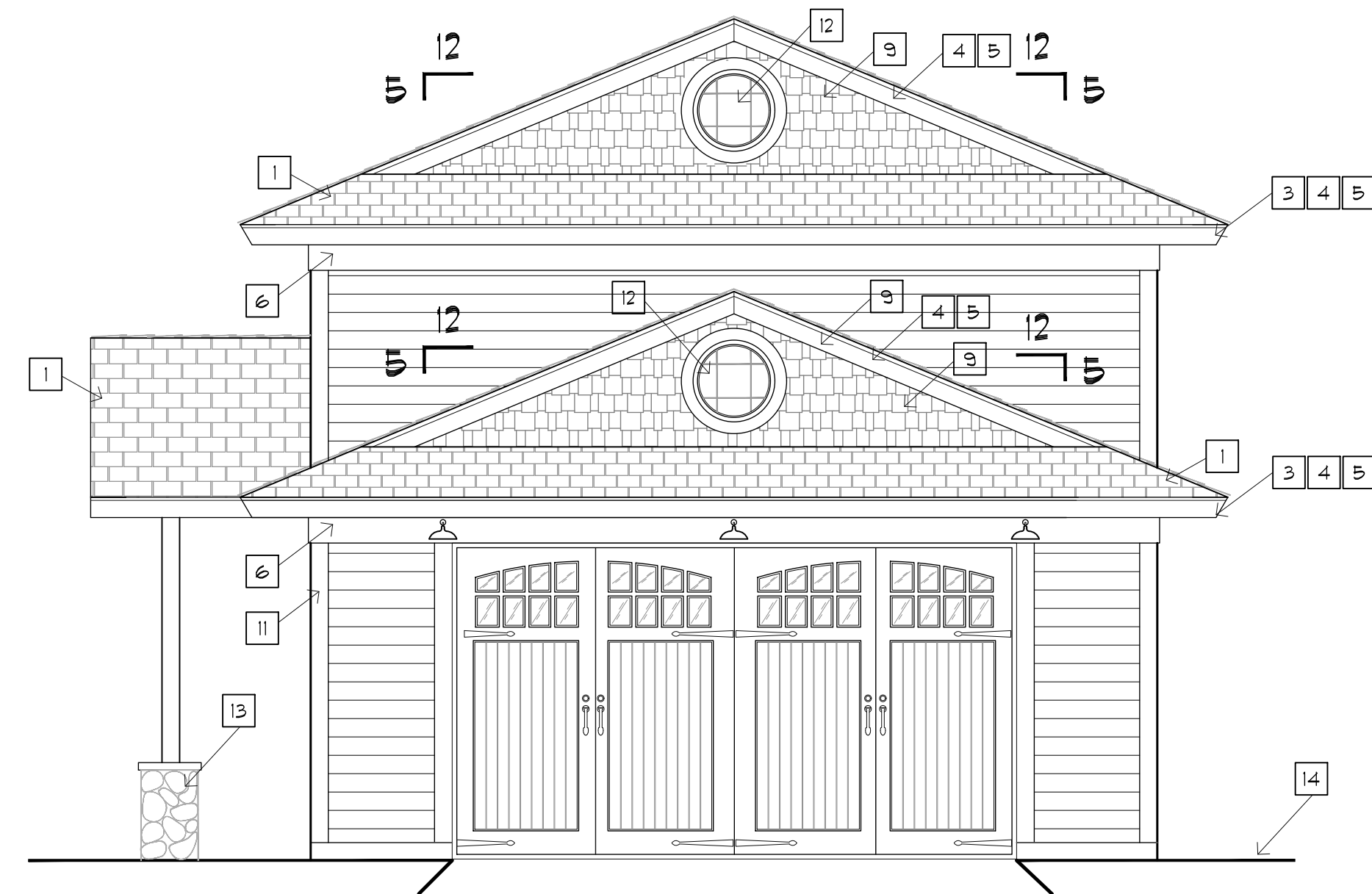
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GENERAL NOTES:

- 1.) ALL SIDING SHALL BE CEMENT BOARD.
- 2.) ALL TRIM, FASCIA, RAKE, RAKE TRIM AND FRIEZE BOARDS SHALL BE COMPOSITE BOARDS
- 3.) ALL STYLES AND COLORS ARE TO BE AS SELECTED BY THE OWNER
- 4.) NOTE THE WINDOWS SHOWN ARE INDICATIVE OF THE EXISTING WINDOWS PURCHASED ON-SITE. WINDOW SIZES, TYPES, AND LOCATIONS MAY BE ALTERED TO ACCOMMODATE THE EXISTING WINDOW STOCK

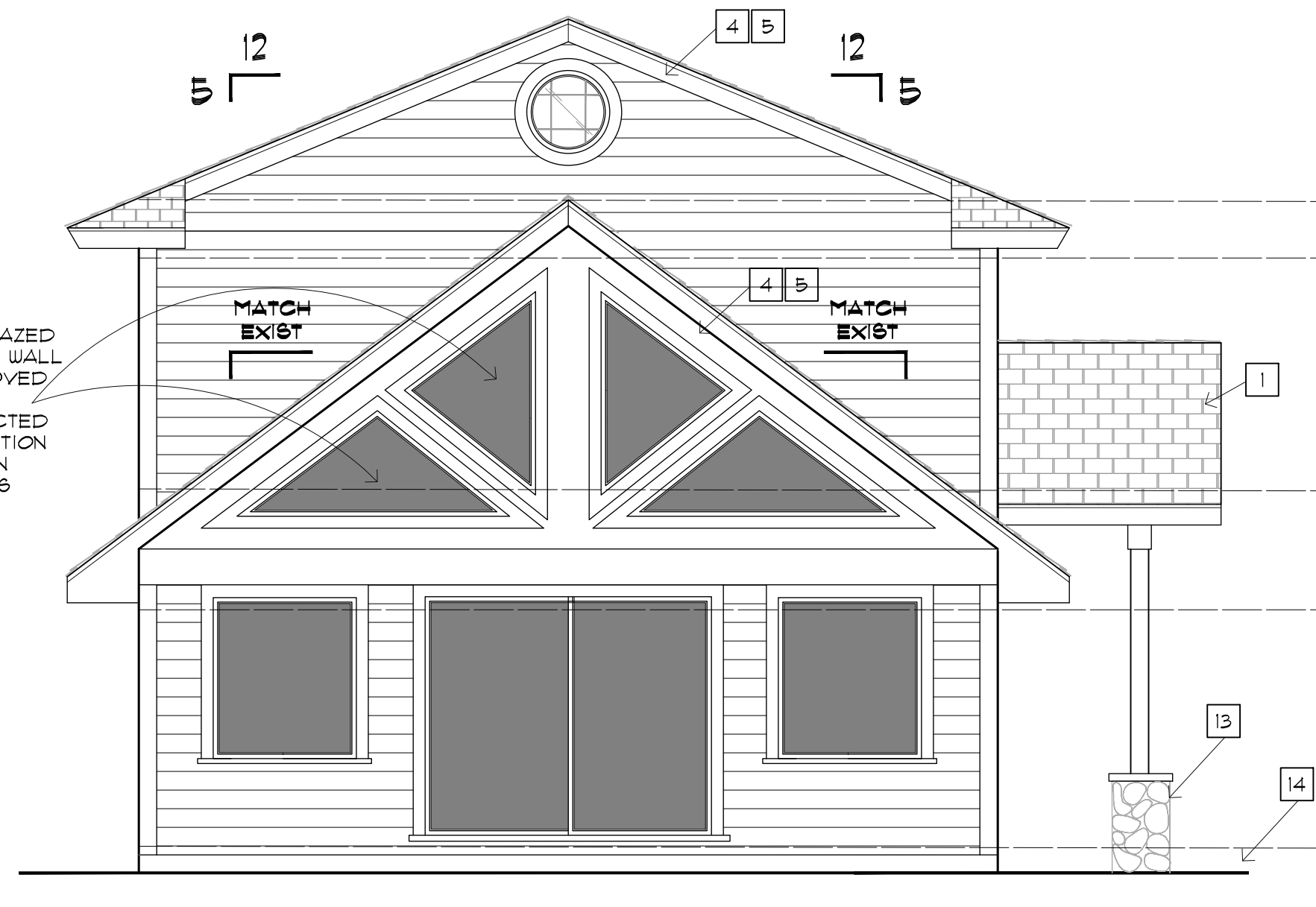
ELEVATION NOTES:

- 1 ASPHALT SHINGLES, COLOR AND STYLE BY OWNER
- 2 RIDGE VENT
- 3 5" CONTINUOUS GUTTER
- 4 METAL DRIP EDGE
- 5 1" x 8" FASCIA
- 6 1" x 6" FRIEZE
- 7 1/2" x 8" LAP SIDING (6" EXPOSURE)
- 8 4" CONCRETE SLAB
- 9 SHAKE SIDING BOARDS (COMPOSITE)
- 10 1" x 4" TRIM
- 11 1" x 6" TRIM
- 12 PROVIDE 16" dia, FIXED ROUND WINDOW
- 13 FAUX FIELD STONE BASE w/ CAP
- 14 FINISH GRADE



SOUTH ELEVATION

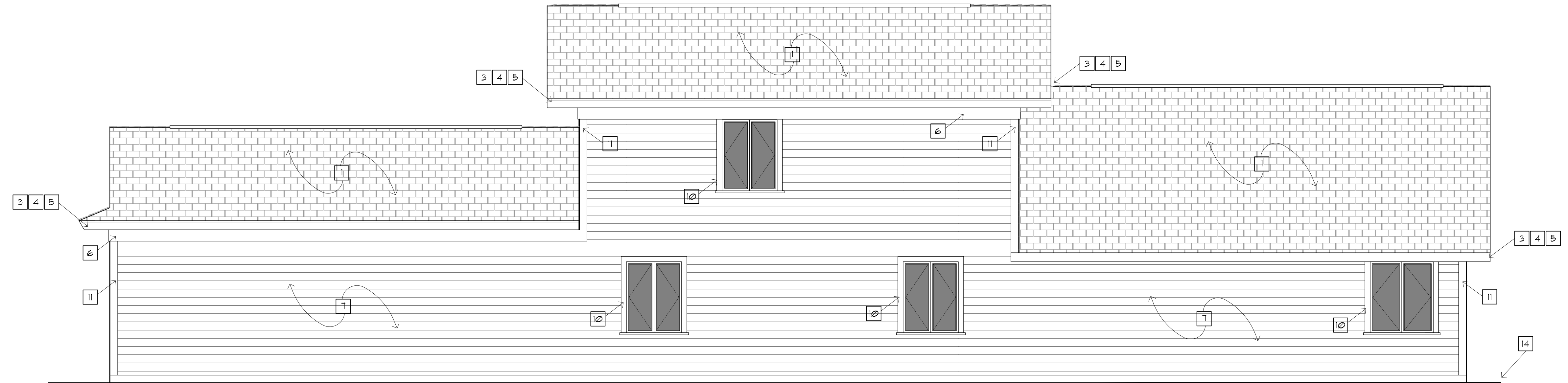
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

DOUBLE TOP PLATE = 10'-0"
 DOOR & WINDOW OPENING HEIGHT = 16'-8"
 UPPER LEVEL FINISH FLOOR = 10'-0"
 DOOR & WINDOW OPENING HEIGHT = 6'-8"
 LOWER FLOOR FINISH FLOOR = 0'-0"
 FINISH FLOOR ELEV = 1009.50



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

Elevations

Proprietor:
 Sid and Faith Jamil

Project Location:
 10890 Hillway Drive
 White lake Township, MI 48386

Issued for
 preliminary
 construction Sept 15, 2023
 as - built
 drawn A. Vandelay
 designed P. Weir
 approved

revisions
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Job No. 23-051

A-4

Sheet 4 of 5

GENERAL SPECIFICATIONS

GENERAL REQUIREMENTS

- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT INCLUDING, BUT NOT LIMITED TO, ALL APPLICABLE STATE, LOCAL AND COUNTY ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING DISCREPANCIES IN THE DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
- ALL DRAWINGS, SPECIFICATIONS AND COPIES OF SAME SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT.
- DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAIL NOTED "TYPICAL" IMPLY THAT ALL CONDITIONS ARE TREATED SIMILARLY.
- ALL DRAWINGS SHALL BE FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE ALL SPECIAL CONDITIONS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, PLUMBING, STRUCTURAL FASTENERS, SLEEVES, ETC.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BRING ALL ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGES RESULTING FROM ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO STARTING THE WORK.
- ALL MANUFACTURERS' PRODUCT SPECIFICATIONS AND/OR WARNINGS FOR PRODUCTS OR MATERIALS USED IN CONSTRUCTION MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE APPROPRIATENESS OF ALL PRODUCTS SUBSTITUTED.
- ALL CODES, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

SITE WORK

- PERFORM ALL WORK IN THIS SECTION IN CONFORMANCE WITH THE FINAL SOILS COMPACTION, GEOLOGICAL REPORTS AND SITE GRADING PLANS APPROVED BY THE OWNER AND BUILDING DEPARTMENT. IN ABSENCE OF THE NECESSARY SUBSURFACE SURVEY, THE CONTRACTOR SHALL PROVIDE A LICENSED SOILS ENGINEER TO INVESTIGATE THE SITE AND SUBMIT A REPORT OF THIS WORK TO THE ARCHITECT. IF A DISCREPANCY FROM THE PRESUMED SOIL BEARING CAPACITY EXISTS, THE CONTRACTOR SHALL NOT PLACE FOUNDATIONS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OR OTHER BUILDER-APPROVED ENGINEERING SOURCE.
- PRESUMPTIVE SOIL BEARING CAPACITY IS 1500 PSF ON UNDISTURBED SOIL. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL. THE BOTTOM OF THE FOOTINGS SHALL BE A MINIMUM OF 4" BELOW FINISHED GRADE.
- NO EXCAVATIONS SHALL BE MADE WHOSE DEPTH BELOW FOOTING IS GREATER THAN 1/2 THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.
- ALL BACKFILL AT STRUCTURES SHALL BE CLEAN GRANULAR FILL IN ACCORDANCE WITH ASTM D-1951.
- ALL SLABS ON GRADE SHALL BEAR ON MECHANICALLY COMPACTED CRUSHED STONE OR SAND CASTING OF SUPPORTING 1000 PSF.
- DO NOT BACKFILL UNTIL CONCRETE HAS CURED. BACKFILL SHALL BE BROUGHT UP EQUALLY ON EACH SIDE OF WALLS, BRACING TO BE PROVIDED BY CONTRACTOR.

CONCRETE

- ALL REINFORCED CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CURRENT ACI-318 STANDARDS.
- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- REINFORCING STEEL SHALL CONFORM TO ASTM A618 GRADE 60 WELDED WIRE FABRIC SHALL BE 6"x6"-10/10 AND CONFORM WITH 6M-185. GLASS REINFORCED CONCRETE MAY BE USED IN PLACE OF WIRE MESH.
- IN ON-GRADE CONCRETE SLABS THE W/IR REINFORCEMENT SHALL BE LOCATED MIDWAY IN THE SLAB THICKNESS.
- ALL EXTERIOR CONCRETE IS TO BE AIR-ENTRAINED.
- PROVIDE REINFORCING BARS AT ROOFING LOCATIONS WHERE INDICATED. BARS SHALL HAVE A MINIMUM OF 3" CONCRETE COVER UNLESS NOTED OTHERWISE.
- PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE.
- WALL SILL PLATES (PT), MIN. OF 2"x6" MEMBERS, FOUNDATION ANCHORAGE SHALL BE PROVIDED BY THE INSTALLATION OF ANCHOR BOLTS OR OTHER APPROVED ANCHORING METHOD. ANCHOR BOLTS SHALL BE A MINIMUM DIAMETER OF 1/2" EMBEDDED IN FOUNDATION TO A DEPTH OF NOT LESS THAN 8" OF POURED CONCRETE AND 15" IN GROUPED UNIT MASONRY. MIN. TWO ANCHOR BOLTS PER SECTION OF PLATE, PLACED 12" FROM THE END OF EACH SECTION OF PLATE, SPACED A MAX. OF 6 FT. ON CENTER FOR 1 AND 2 STORY BUILDINGS AND NOT MORE THAN 4 FT. ON CENTER FOR BUILDINGS OVER 2 STORES IN HGT.
- PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER MEMBRANE COMPLYING WITH ASTM D-2103 WHERE INDICATED ON THE DRAWINGS.
- BEAM ROCKETS WITH A MINIMUM OF 4" BEARING AND HEIGHT AND WIDTH AS REQUIRED BY BEAM. PROVIDE PRESSURE TREATED LUMBER BENEATH FULL BEARING OF WOOD BEAMS BEARING ON CONCRETE OR MASONRY.

METALS, STRUCTURAL & MISCELLANEOUS

- STEEL WORK SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE A.I.S.C. CONNECTIONS SHALL BE BOLTED OR WELDED. BOLTS SHALL CONFORM TO ASTM A 325 AND BE A MINIMUM OF 3/4" DIAMETER UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM A-36. STEEL FOR PIPE COLUMNS SHALL BE OF EQUIVALENT CAPACITY AND WELDABILITY TO CONFORM TO ASTM A501.
- ALL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED OXIDE PINT OR EQUAL.
- ERECTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING FOR STABILITY UNTIL STUD WALLS, FLOOR UNDERLAYMENT, ROOF TRUSSES, FLOOR FRAMING, AND SHEATHING ARE IN PLACE.
- STEEL LINTEL FOR NON-BEARING EXTERIOR MASONRY WALL AND EXTERIOR MASONRY PARTITIONS SHALL BE: FOR EACH 4" THICKNESS OF WALL AND OPENING:
 - LESS THAN 4'-0" USE 1 ANGLE - 3-1/2" X 3-1/2" X 5/16"
 - 4'-0" TO 6'-0" USE 1 ANGLE - 4" X 3-1/2" X 5/16"
 - 6'-0" TO 7'-6" USE 1 ANGLE - 5" X 3-1/2" X 5/16"
 - 7'-0" TO 9'-4" USE 1 ANGLE - 6" X 3-1/2" X 5/16"
- LINTELS IN PAIRS SHALL BE BOLTED TOGETHER WITH 3/4" DIAMETER BOLTS AT 18" O.C. BEARING SHALL BE 6" MINIMUM, BUT NOT LESS THAN 1" FOR EACH FOOT OF SPAN.

CARPENTRY

- ALL WOODS AND WOOD CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS SPECIFIED HEREIN, UNLESS SPECIFICALLY MODIFIED IN THE CONSTRUCTION DOCUMENTS.
 - AMERICAN INSTITUTE OF WOOD CONSTRUCTION STANDARDS MANUAL
 - NATIONAL FOREST PRODUCTS ASSOCIATION: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION
 - WESTERN WOOD PRODUCTS ASSOC.: STANDARD GRADING RULES FOR WESTERN LUMBER
 - TRUSS PLAN INSTITUTE: DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES TIP-74
 - AMERICAN PLYWOOD ASSOCIATION: GUIDE TO PLYWOOD FOR FLOORS, PLYWOOD SHEATHING FOR WALLS AND ROOFS
 - AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS
- ALL STRUCTURAL LUMBER SHALL BE HEM FIR #2 (MINIMUM) STRESS GRADE LUMBER OF 9FF #2 UNLESS NOTED OTHERWISE.
 - F₁=1400 psi F_v=75 psi E=1600000 psi
 - ALL GLUL-T LAMINATED BEAMS SHALL CONFORM TO A.I.T.C. SPECIFICATIONS F₁=2400 psi F_v=165 psi E=1600000 psi
- ALL EXTERIOR IX TRIM TO BE GEORGIA PACIFIC "FRIMETRIM" OR SYNTHETIC WOOD "TREX" OR EQUAL.
- DESIGN FABRICATION AND INSTALLATION OF TRUSSES AND METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS:
 - DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES (ROOF) TIP-85
 - DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED PARALLEL CHORD WOOD TRUSSES (FLOOR) FCT-80
- ALL MEMBERS OF ALL TRUSSES TO BE FABRICATED FROM STRESS GRADE LUMBER HAVING FOLLOWING MINIMUM PROPERTIES: F₁=1400 PSI F_v=75 PSI F_cLL=1100 PSI F_cDI=345 PSI
- THE DESIGN LOADS FOR WOOD TRUSSES ARE AS FOLLOWS:
 - ROOF FLOORS TOP CHORD LIVE + 30 PSF
 - ASSEMBLY AREAS (DECK) TOP CHORD DEAD + 10 PSF + 10 PSF
 - ASSEMBLY AREAS (DECK) BOLT CHORD DEAD + 25 PSF + 50 PSF
 - KITCHEN AREAS ATTIC STORAGE + 20 PSF DL + 10 PSF
 - POINT LOADS - ALL FRONT LOADS, PARTIAL UNIFORM LOADS, OR COMBINATION THEREOF SHALL BE DETERMINED BY THE TRUSS MANUFACTURERS AND ACCOUNTED FOR IN THE DESIGN OF THE TRUSSES. THE TRUSS SYSTEM SHALL BE ENGINEERED TO ACCEPT ALL IMPOSED LOADS AS DICTATED ABOVE.
- HANGERS, FRAMING, ANCHORS AND FASTENERS, PROVIDE AND INSTALL STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED. NAILS TO BE THOSE FURNISHED BY THE MANUFACTURER FOR THIS SPECIFIC USE. "HECKMANN" OR "SIMPSON" CONFORMING TO THE REQUIREMENTS INDICATED SHALL BE PROVIDED. ALL ANGLES AND ANCHORS SHALL BE GALVANIZED.
- USE PRESSURE TREATED LUMBER WHERE LUMBER IS IN CONTACT WITH CONCRETE OR MASONRY.
- ALL HEADERS AT BEARING CONDITIONS SHALL BE SIZED AS SHOWN ON THE CONSTRUCTION DOCUMENTS.
- DOUBLE FLOOR JOISTS UNDER ALL INTERIOR PARTITIONS, RUNNING PARALLEL TO FLOOR FRAMING OR AS SPECIFIED.
- ROOF SHEATHING TO BE AS NOTED ON THE DRAWINGS, EXCEPT AS DESIGNED BY ENG. FLR. 5197.
- FLOOR SHEATHING TO BE 3/4" T & G INTERIOR/EXTERIOR GLUE GLS PLYWOOD, OSB OR EQUAL.
- WALL SHEATHING TO BE AS NOTED ON THE DRAWINGS.
- ALL TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROF. ENG. AND SEALED CALCS. ARE TO BE SUBMITTED FOR APPROVAL.
- PROVIDE CONTINUOUS BLOCKING OR CROSS BRIDGING LINES AT 8'-0" O.C. MAX. SPACING. PROVIDE A MIN OF 1 LINE OF BRIDGE.
- ALL HEADERS AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:

OPENING SIZE	HEADER
UP TO 4'-0"	(2) 2" x 8"
4'-0" TO 6'-0"	(2) 2" x 10"

THERMAL AND MOISTURE PROTECTION

- THE FOLLOWING SPECIFICATION SHALL GOVERN WITH MODIFICATIONS AS SPECIFIED HEREIN: AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) HANDBOOK OF FUNDAMENTALS.
- INSTALL FLASHING AND SHEET METAL IN COMPLIANCE WITH ARCHITECTURAL SHEET METAL MANUAL BY SMACNA. ALUMINUM FLASHING SHALL CONFORM TO ASTM B 209 AND BE MINIMUM 0.016" THICK STANDARD BUILDING SHEET OF PLAN FINISH.
- GALVANIZED STEEL FLASHING SHALL CONFORM TO ASTM A 675, 0.20 % COPPER, 26 GAUGE (0.179") ASTM A 58, DESIGNATION G 90 HOT-DIP GALVANIZED, MILL PHOSPHATIZED.
- BACKPAINT FLASHING 2/BITUMINOUS COATING (OR EQ) WHERE EXPECTED TO BE IN CONTACT WITH CEMENTITIOUS MATERIALS OR DISSIMILAR METALS.
- PROVIDE AND INSTALL FLASHING AT ALL ROOF TO WALL CONDITIONS, PROJECTIONS OF WOOD BEAMS THROUGH EXTERIOR WALLS, EXTERIOR MATERIAL CHANGES (CEILING TO BRICK), AND ELSEWHERE AS REQUIRED TO PROVIDE WATERTIGHT AND WEATHERPROOF PERFORMANCE.
- ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN NO. 28 GALVANIZED SHEET GAUGE CORROSION-RESISTANT METAL OR COPPER AND SHALL EXTEND AT LEAST 11" FROM THE CENTER LINE EACH WAY AND SHALL HAVE THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4".
- ROOF SHINGLES SHALL BE AS SPECIFIED BY OWNER AND SHALL MATCH EXISTING AS CLOSE AS POSSIBLE.
- ENCLOSED ATTIC SPACES AND ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 2/5 OF ONE PERCENT (1%) OF THE HORIZONTALLY PROJECTED ROOF AREA, OR 1/3 OF ONE PERCENT (1%) F AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- PROVIDE AND INSTALL 5-1/2" THICK GLASS FIBER BATT INSULATION WITH AN INSULATION-ONLY VALUE OF R-19 IN ALL EXTERIOR STUD WALLS.
- PROVIDE AND INSTALL 9-1/2" THICK GLASS FIBER BATT 4 BLOUN INSULATION WITH AN INSULATION-ONLY VALUE OF R-30 IN ROOF OR CEILING, CRAWL SPACE, FLOOR JOINT AND IN FLOORS OVER UNHEATED SPACES AS SHOWN ON DRAWINGS.
- PROVIDE RIGID INSULATION EXTRUDED POLYSTYRENE, R-10 IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHERE SHOWN ON DRAWINGS.
- PROVIDE AND INSTALL BATT INSULATION AT WINDOW SHIM SPACES.
- FIT INSULATION TIGHT WITHIN SPACE AND TIGHT TO AND BEHIND MECHANICAL AND ELECTRICAL SERVICES WITHIN THE PLANE AND INSULATION, LEAVE NO GAPS OR VOIDS.
- INSTALL TYPE 15 FELT OR TYVEK OR OTHER APPROVED BUILDING PAPER (PER "UL" STANDARD SPEC 95A REV. 06/1978) UNDER EXTERIOR TRIM AND SIDING, APPLY 90 DEG TO FORM A WALL MEMBRANE, OVERLAP EACH COURSE BELOW 2 INCHES MINIMUM HORIZONTAL JOINTS AND 6 INCHES MINIMUM AT VERTICAL JOINTS.
- PROVIDE SEALANTS AND CAULKING MEETING APPLICABLE SPECIFICATIONS WHERE SHOWN ON THE DRAWINGS AND ELSEWHERE AS REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST MOISTURE AND PASSAGE OF AIR.
- PROVIDE AND INSTALL A 4-MIL POLYETHYLENE VAPOR BARRIER COMPLYING WITH ASTM D 2103 WHERE SHOWN ON THE DRAWINGS.
- GUTTERS AND DOWNSPOUTS AS SELECTED BY BUILDER DOWNSPOUTS AND SPLASH LOCATIONS SHALL BE DETERMINED BY CONTRACTOR (AND APPROVED BY BUILDER) SO AS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE.

DOORS, WINDOWS, AND GLASS

- REFERENCE STANDARDS FOR METAL DOORS, WOOD DOORS AND WINDOWS SHALL BE AS FOLLOWS:
 - A. UNDERWRITER'S LABORATORIES, INC.: BUILDING MATERIALS DIRECTORY.
 - B. NATIONAL FIRE PROTECTION ASSOC.: PAMPHLET NO 80 STANDARD FOR FIRE DOORS AND WINDOWS.
 - C. NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION: 15, 1078: WOOD FLUSH DOORS, 2FOOT
- ASTM E283, ASTM E 331.
- GLAZING IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT SUCH AS FIXED GLASS PANELS, SLIDING GLASS DOORS, TUB ENCLOSURES, AND STORM DOORS SHALL MEET THE REQUIREMENTS SET FORTH IN THE BOCA CODE AND SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS (16 CFR 1201).
- ALL DOORS AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHERSTRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE AIR INFILTRATION STANDARDS OF THE 1971 AMERICAN NATIONAL STANDARDS INSTITUTED ASTM E2283-73 WITH A PRESSURE DIFFERENTIAL OF 151 POUNDS PER SQUARE FOOT AND SHALL BE CERTIFIED AND LABELED.
- PROVIDE WATERPROOF THRESHOLD AT ALL EXTERIOR SWING DOORS.
- PROVIDE DOORS, WINDOWS AND GLAZING SIZES AS INDICATED ON DRAWINGS.
- EXTERIOR ENTRY DOORS (INCLUDING DOOR TO GARAGE) UNLESS OTHERWISE NOTED, SHALL BE 1-3/4" THICK INSULATED UNITS AS SPECIFIED BY BUILDER.
- ALL OPERABLE WINDOWS SHALL HAVE INTEGRAL SCREENS.

FINISHES

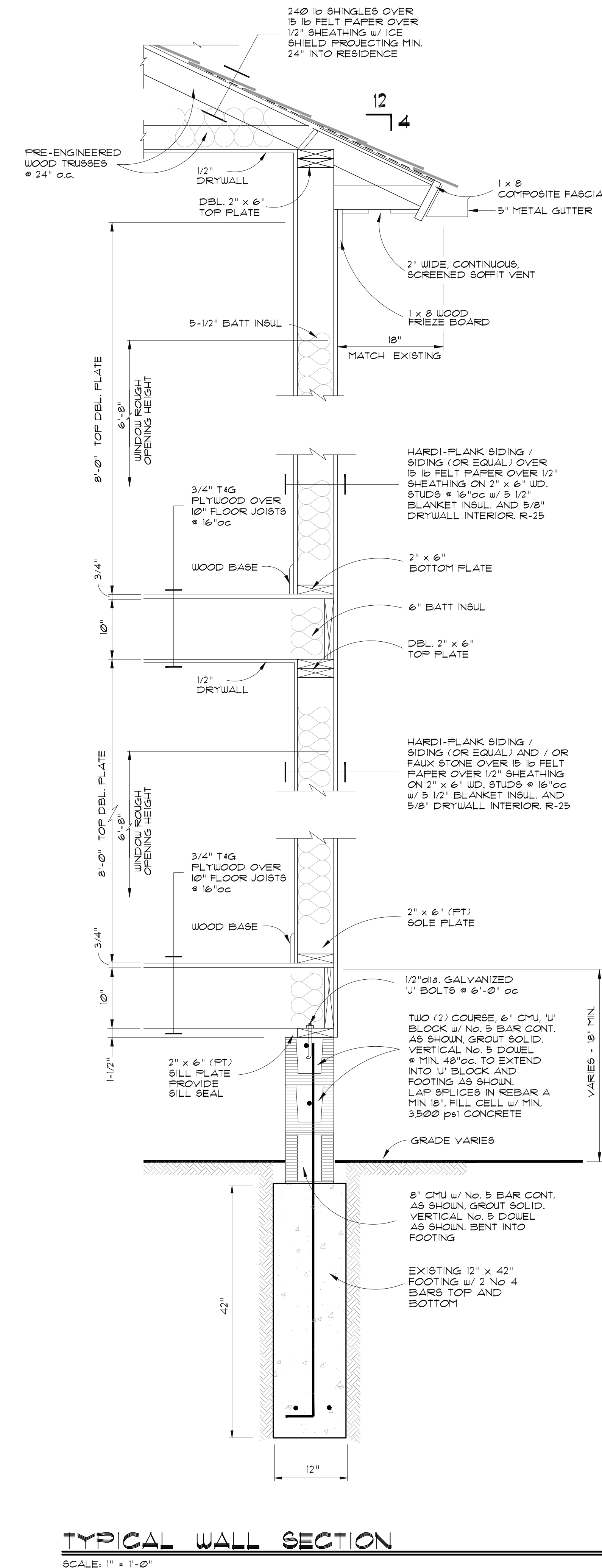
- PROVIDE AND INSTALL GYPSUM WALLBOARD IN ACCORDANCE WITH AMERICAN STANDARDS SPECIFICATIONS FOR THE APPLICATION OF FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION. APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THIS SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.
- ALL EXTERIOR AND INTERIOR SURFACES SHALL RECEIVE THE PAINTER'S FINISH EXCEPT COLOR COORDINATED FACTORY FINISH SURFACES, TOP AND BOTTOM OF ALL DOORS TO BE SEALED AND PAINTED.
- ALL SURFACES TO BE FINISHED SHALL BE CLEAN AND FREE OF FOREIGN MATERIALS (DIRT, GREASE, ASPHALT, RUST, ETC.)
- APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE. APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH OR ROLLER OR BY SPRAY IF PAINT IS FORMULATED FOR SPRAY APPLICATION.
- ALL EXTERIOR AND INTERIOR PAINT SHALL BE AS PERG. BY SHERWIN WILLIAMS PAINT CO. OR APPROVED EQUAL. PROVIDE PAINT AND STAIN FROM SHERWIN WILLIAMS' STANDARD COLOR SELECTIONS OR APPROVED EQUAL.
- PROVIDE AND INSTALL FIRE-RETARDANT GYPSUM WALLBOARD, GRADE X, CLASS 1, 5/8" THICK AT ALL REQUIRED RATED WALLS SUCH AS, BUT NOT LIMITED TO, BEARING, STAIR, FLOOR ASSEMBLIES AND GARAGE WALLS.
- PROVIDE AND INSTALL 5/8" OR REGULAR GYPSUM WALLBOARD 5/8" THICK AT ALL WALLS AND CEILINGS UNLESS OTHERWISE INDICATED ON DRAWINGS OR SPECIFIED. CONTRACTOR SHALL PROVIDE ALL TRIM ACCESSORIES, FINISH SPECIFICATIONS, SEE DIVISION 1, PARAGRAPH 4.

ELECTRICAL

- CONTRACTOR SHALL PROVIDE AND INSTALL ALL LABOR MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL WIRING, RELATED FIXTURES, ELECTRICAL HEAT ELEMENTS AND CONTROL. ALL WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE AND STATE AND LOCAL CODES AND ORDINANCES. SUBCONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES. TERMINAL HOOK-UP IS REQUIRED OF ALL FIXTURES AND APPLIANCES, MOTORS, FANS, AND CONTROLS.
- ELECTRICAL SYSTEM LAYOUTS ARE GENERALLY DIAGRAMMATIC. LOCATION OF OUTLETS AND EQUIPMENT IS APPROXIMATE. EXACT ROUTING OF WIRING, LOCATIONS OF OUTLETS SHALL BE GOVERNED BY STRUCTURAL CONDITIONS AND OBSTRUCTIONS. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION SHALL BE READILY ACCESSIBLE.
- ANY WIRING LOCATED WITH PLANTING AREAS SHALL BE PLACED AT A MINIMUM OF 18 INCHES BELOW FINISH GRADE.
- ALL ELECTRICAL EQUIPMENT, AND BREAKERS SHALL BE PROPERLY LABELED.
- LIGHT CIRCUITS SHALL BE AS PER CODE.
- RECEPTACLE CIRCUITS SHALL BE AS PER CODE.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND LISTED BY UNDERWRITER'S LABORATORIES, INC. AND BEAR THEIR LABEL WHERE STANDARDS HAVE BEEN ESTABLISHED AND THE LABEL SERVICE IS REGULARLY FURNISHED.
- VERIFY AND LOCATE ALL RECEPTACLES PRIOR TO INSTALLATION OF DRYWALL.
- INSTALL RECEPTACLES AS PER CODE.
- INSTALL LIGHT SWITCHES AS PER CODE.
- PROVIDE GFI OUTLETS WHERE REQUIRED BY CODE.
- ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER-PROOF.
- INSTALL RECEPTACLES IN KITCHEN AND BATHROOMS ABOVE WORK TOP UNLESS OTHERWISE NOTE ON PLANS.
- PROVIDE LIGHTING RECEPTACLES PER OWNER'S SELECTION.
- PROVIDE NEW 50A REC-PANEL TO BE TIED TO MAIN PANEL LOCATED IN MAIN RESIDENCE.

CODE COMPLIANCE

- MICHIGAN BUILDING CODE 2015
- MICHIGAN RESIDENTIAL CODE 2015
- MICHIGAN PLUMBING CODE 2015
- MICHIGAN MECHANICAL CODE 2015
- MICHIGAN FUEL GAS CODE 2015
- MICHIGAN ELECTRICAL CODE 2014 (NEC 2014 + PART 8 RULES)
- MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
- MICHIGAN UNIFORM ENERGY CODE 2015 a.) Residential-International Energy Conservation Code 2015 (One and Two Family)
- INTERNATIONAL FIRE CODE 2015



NOTE

BASED ON 1 sqft / 100 sqft of CRAWL SPACE. THE PROPOSED 288 sqft CRAWL SPACE REQUIRES 288 sqft OF OPENING FOR VENTILATION. PROVIDE FOUR (4) 16" x 8" VENTS PROVIDING 288 sqft EACH OR A TOTAL OF 352 sqft of OPENING, COMPLYING WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE

THE PROJECT SHALL COMPLY WITH 2015 EDITION OF "PART 10" MICHIGAN ENERGY CODE BE NEW AND LANE 5 OAKLAND COUNTY, MICHIGAN

General Notes Wall Section

Proprietor:
Sid and Faith Jamil

Project Location:
10890 Hillway Drive
White lake Township, MI 48386

Issued for	
<input type="radio"/> preliminary	
<input checked="" type="radio"/> construction	Sept 15, 2023
<input type="radio"/> as - built	
drawn	
designed	A. Vandelay
approved	P. Weir

revisions	
A	11-15-23 REVISE PER OWNER'S REQUEST / TOWNSHIP REVIEW DATED NOVEMBER 1, 2023

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Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

November 7, 2023

Sadeer Jamil
1767 Carriage Hill
Commerce Twp, MI 48382

RE: Addition at 10890 Hillway Dr

Based on the submitted plans, the proposed 2nd story and converted patio addition do not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft, and minimum lot width of 80 ft.

The existing lot is legal non-conforming with a lot width of 50.25 ft. The existing home has a side yard setback of 7.1 ft. Based on aerial imagery, an unpermitted and unapproved 2nd story addition and rear covered patio were constructed between 2012 and 2014 by the former property owner. The unpermitted structures encroach the east side yard setback by 2.9 ft. The proposed work further expands this nonconformity. Additionally, the submitted building plans indicate a covered side entrance is proposed; however, the site plan does not reflect this. This proposed covered area appears to encroach the west side yard setback line. If this structure is proposed to be added, the site plan would need to be updated to show the proposed covered area and side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the December 14th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than November 14th at 4:30 PM. ***The certified boundary and location survey must show all proposed structures.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township