

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: May 12, 2025

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O'Neil, AICP
Community Development Director

**SUBJECT: Walmart
Planned Business Development Agreement amendment.**
Located on the north side of Highland Road, east of Fisk Road. Identified as 12-14-476015 (9190 Highland Road). Consisting of approximately 13.11 acres. Currently zoned Planned Business (PB).

The above request is now ready for Township Board consideration. The matter was considered by the Planning Commission at their regular meeting on April 17, 2025, at which time the **Planning Commission recommended approval** of the amended planned business development agreement. Please find enclosed the following related documents:

- ☐ Draft Planning Commission meeting minutes of April 17, 2025.
- ☐ Walmart's amended final site plan.
- ☐ Draft second amendment to the Planned Business Development Agreement.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
APRIL 17, 2025**

CALL TO ORDER

Chairperson Carlock called the meeting to order at 6:30 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

T. Joseph Seward
Pete Meagher
Mona Sevic
Robert Seeley, Vice Chair
Debby Dehart

Absent:

Merrie Carlock, Chairperson
Scott Ruggles, Township Board Liaison

Others:

Sean O'Neil, Community Development Director
Andrew Littman, Staff Planner
Matteo Passalacqua, Carlisle Wortman
Mike Leuffgen, DLZ
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

MOTION by Commissioner Seward, seconded by Commissioner Meagher, to approve the agenda as presented. The motion carried with a voice vote: (5 yes votes).

APPROVAL OF MINUTES

A. March 6, 2025

MOTION by Commissioner Seward, seconded by Commissioner Sevic, to approve the minutes as presented. The motion carried with a voice vote: (5 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

Ethan Klein, 225 Oxbow Lake Road, spoke in favor of amending the ordinance to allow smaller class two animals in single-family residential zoning districts.

Mary Earley, 5925 Pine Ridge Court, spoke against farm animals in single-family residential zoning districts.

The call to the public was closed at 6:35 P.M.

PUBLIC HEARING

A. White Lake Motors

located on the south side of Highland Road, west of Pontiac Lake Road. Identified as 12-13-455-024 (8285 Highland Road). Consisting of approximately 6.1 acres

Requests: **Preliminary site plan approval recommendation, special land use approval, final site plan approval**

Matteo Passalacqua reviewed his letter.

Commissioner Sevic asked Mr. Passalacqua if the parking lot islands would have landscaping. Mr. Passalacqua confirmed.

Commissioner Dehart asked Mr. Passalacqua why the number of trees is reduced on the plan. Mr. Passalacqua said that due to the size of the site, there may not be room for more tree plantings.

Commissioner Dehart asked Mr. Passalacqua if the existing buildings would remain in the rear of the site. Mr. Passalacqua confirmed.

Commissioner Seeley asked staff how many variances are being requested. Staff Planner Littman said the applicant requested three, but a fourth variance may be required for the parking lot landscape trees.

Mr. Leuffgen reviewed his report.

Commissioner Meagher asked about cross-access to the site to the west. Director O'Neil said the cross-access would pose a safety issue; the cross-access between the two sites would be in the rear.

Commissioner Seeley asked if there would be green space between the sidewalk and M-59. Mr. Leuffgen said yes, the majority will have 8' of green space, there is a bump out area that will reduce a smaller area to 5'.

Director O'Neil said the site currently is an eyesore, and while the proposed use isn't ideal, it's sometimes necessary to look at economic development as well. He stated other than the applicant, he has not received any calls with interest in the property.

Commissioner Sevic asked where a gateway sign would potentially go. Mr. Passalacqua said an easement could be developed into the northeast area of the site for a gateway sign. There is no current discussion between the Township and the applicant for a gateway sign on the property.

Bob Emerine, Seiber Keast Lehner, design engineer, said the tree number was reduced due to site constraints. The curbing is omitted due to the condition of the pavement on the site. The site will be milled with a new 2" asphalt laid down. There are low spots on the site, and a significant amount of storm sewer drains would need to be added for curbing. He said there are not a lot of places for the shrubs, and shrubs will be planted around the perimeter of the building. He acknowledged the pathway setback along M-59, the greenbelt will be 8'. He suggested narrowing the sidewalk in the bump out area

to allow for more green space. There is a pump on the rear side of Building one that provides sanitary sewer services for both Buildings 1 and 2. The abandoned septic tank will be inspected as well.

Commissioner Dehart asked Mr. Emerine what type of roof would be used. Mr. Emerine said it will be a fake façade in front of the peaked roof.

Commissioner Seeley asked if the lighting would be off after hours. Mark Shamoun, owner, said some of the lighting will be on for safety purposes, but it will not be bright lights on at night.

Commissioner Seward asked if the rear facades would be improved. Mr. Shamoun said they will be painted, but not as improved as the front facades.

Commissioner Seward asked Mr. Shamoun how many cars would be on the property. Mr. Shamoun said, depending on the time of year, there will be around 180 cars for sale on the lot.

Commissioner Seward asked Mr. Emerine could more trees could be placed in the parking lot since it was going to be reconstructed. Mr. Emerine said the parking lot will be covered in new asphalt, and the pavement will be reduced with a 20' greenspace buffer around the edges of the property.

Commissioner Seward asked the applicant about the timber aesthetic for the building. Mr. Shamoun said the front façade will have a wood-grain metal, the material will be easy to maintain, and still feel contemporary.

Commissioner Meagher said the side building facades and the front façade of building two need more improvement visually.

Commissioner Sevic asked if the only façade with windows would be on the front of building one. Mr. Shamoun confirmed.

Commissioner Dehart asked Mr. Shamoun if building two would remain as is. Mr. Shamoun confirmed.

Commissioner Dehart said she is impressed with Carter Lumber's care of their site. She said she would like to see more greenery on the site. Mr. Shamoun said that once the front lawn area is installed, it will hide a lot of the building facades.

Commissioner Seeley opened the public hearing at 7:29 P.M.

Salvador Pena, 1861 Carla Hills, expressed concerns about the driveway location from a safety standpoint.

Mr. Emerine said he has received comments from MDOT about the width of the drive and handicap parking. The two comments were the only two MDOT gave.

Commissioner Seeley closed the public hearing at 7:32 P.M.

MOTION by Commissioner Seward, seconded by Commissioner Dehart, to recommend denial of the preliminary site plan as requested by White Lake Motors, identified as 12-13-455-024 (8285 Highland Road), due to the inconsistencies with the Master Plan, the plan is significantly different than what was proposed a year ago. The motion carried with a voice vote: (4 yes votes). (Seward/yes, Dehart/yes, Sevic/yes, Seeley/yes, Meagher/no).

MOTION by Commissioner Meagher, seconded by Commissioner Dehart, to postpone the special land use requested by White Lake Motors, identified as 12-13-455-024 (8285 Highland Road). The motion carried with a voice vote: (5 yes votes). (Meagher/yes, Dehart/yes, Seeley/yes, Seward/yes, Sevic/yes)

MOTION by Commission Meagher, seconded by Commissioner Seward, to postpone approval of the final site plan requested by White Lake Motors, identified as 12-13-455-024 (8285 Highland Road). The motion carried with a voice vote: (5 yes votes). (Sevic/yes, Seward/yes, Seeley/yes, Dehart/yes, Meagher/yes).

CONTINUING BUSINESS

None.

NEW BUSINESS

- A. Walmart**
located on the north side of Highland Road, east of Fisk Road. Identified as 12-14-476-015 (9190 Highland Road). Consisting of approximately 13.11 acres
Requests: **Amended final site plan approval and approval recommendation of the amended PBD agreement**

MOTION by Commissioner Seward, seconded by Commissioner Dehart, to excuse Commissioner Sevic due to her employment with the applicant. The motion carried with a voice vote: (5 yes votes). (Seward/yes, Dehart/yes, Seeley/yes, Meagher/yes, Sevic/yes)

Staff Planner Littman reviewed his letter.

Commissioner Meagher asked staff for clarification regarding parking. Staff Planner Littman said the applicant is requesting a total of 630 parking spaces. Director O'Neil said the parking issue is procedural, and there is a development agreement that will reflect the parking changes.

Commissioner Dehart asked staff for clarification on the size of the expansion. Staff Planner Littman said the expansion will be about 4,000 sq. ft. Director O'Neil said the materials used for the expansion will be consistent with the materials used on the building currently.

Mr. Leuffgen said stormwater runoff will not be increased, and there is nothing major that will hold up the project from an engineering standpoint. Staff Planner Littman added that the dumpsters will be located from the north garden center to the west building wall.

Kim Cooper, CESO, was present. She said the dumpsters are currently located in the rear of the garden center and will be relocated to the very rear of the building. The dumpsters will be put to the east of the palette storage, and will be in a screened enclosure. She added that the total parking on the site currently is 626 spaces, and after the expansion, there will be a proposed 670 spaces. The original site plan approved a higher number of parking spaces than what currently exists. Asphalt areas will not be increased, and restriping will be on areas that were originally approved with the site plan.

Director O'Neil noted that improvements should be made to the stucco on the exterior side of the garden center.

MOTION by Commissioner Meagher, seconded by Commissioner Dehart, to approve the amended final site for Walmart, identified as 12-14-476-015 (9190 Highland Road), subject to staff comments being addressed, and for the brick façade to be updated on the exterior garden center, and for larger size elevations to be submitted. The motion carried with a voice vote: (4 yes votes). (Meagher/yes, Seeley/yes, Dehart/yes, Seward/yes).

MOTION by Commission Meagher, seconded by Commissioner Dehart, to recommend the Township Board approve the amended PBD agreement for Walmart, identified as 12-14-476-015 (9190 Highland Road). The motion carried with a voice vote: (4 yes votes). (Seward/yes, Seeley/yes, Dehart/yes, Meagher/yes).

OTHER BUSINESS

None.

LIAISON'S REPORT

Staff Planner Littman stated the ZBA met last month; one residential case was approved, and one commercial case was postponed.

DIRECTOR'S REPORT

Director O'Neil said the grant portion of the Stanley Park Phase 1 construction is underway now. The park is currently closed. Foundations will be done at the Civic Center site by the end of the month. The bond funding has officially been secured. The Civic Center completion date is looking more like September 2026. The Elizabeth Lake turnabout light poles have been replaced. 9101 Highland will most likely be before the Planning Commission in May 2025.

COMMUNICATIONS

NEXT MEETING DATE: May 1, 2025

ADJOURNMENT

MOTION by Commissioner Sevic, seconded by Commissioner Seward to adjourn at 8:16 P.M. The motion carried with a voice vote: (5 yes votes).

DRAFT

White Lake, MI
Store No. 2700-02

**SECOND AMENDMENT TO WHITE LAKE MARKETPLACE
PLANNED BUSINESS DISTRICT DEVELOPMENT AGREEMENT**

This Second Amendment to White Lake Marketplace Planned Business District Development Agreement (this "Second Amendment") is made this day of ____, 2025, by and among the **CHARTER TOWNSHIP OF WHITE LAKE**, whose address is 7525 Highland Road, White Lake Township, Michigan 48383 ("Township") and **WAL-MART REAL ESTATE BUSINESS TRUST**, a Delaware statutory trust, whose address is 2001 S.E. 10th Street, Bentonville, Arkansas 72716-0550 ("Wal-Mart").

RECITALS

A. The Township and Ramco-Gershenson Properties, L.P. ("Ramco") entered into that certain White Lake Marketplace Planned Business District Development Agreement dated June 26, 1998 (the "Agreement") and as amended by that certain Amendment to White Lake Marketplace Planned Business District Development Agreement, by and among, the Township, Pontiac Mall Limited Partnership, a Michigan limited partnership (as successor-in-interest to Ramco) ("Pontiac Mall") and Wal-Mart dated July 18, 2009 (the "First Amendment"), pertaining to approximately 39.515 acres of real property situated in the Township of White Lake, Oakland County, Michigan, being more particularly described in Exhibit A to the Agreement, and attached hereto as **Exhibit A** for ease of reference (the "Property").

B. Pontiac Mall is the developer of the Property and retains control over the common elements within the Property known as the White Lake Marketplace Shopping Center.

C. Wal-Mart is the fee owner of a portion of the Property, more particularly described in **Exhibit B**, attached hereto and incorporated herein by reference ("Wal-Mart Parcel").

D. Wal-Mart requested a further amendment to the Agreement and the approved site plan, as it pertains to the Wal-Mart Parcel only, for approval to expand its existing building to allow space for Wal-Mart's Online Pickup & Delivery use, which use involves customers placing an online order and choosing one of two options: (a) "pickup," where they can drive to their local store, park in designated pickup spots at the store, and have their order loaded into their vehicle by

an associate, or (b) “delivery,” where a local, third-party driver picks the order up at the store and brings the order directly to the customer's location.

E. On _____, 2025, after providing notice as required by law, a public hearing on Wal-Mart’s application for this Second Amendment to the Agreement and amendment to the approved site plan, was held before the Planning Commission. The Planning Commission did not receive objections to the requested amendments.

F. The Planning Commission considered and recommended Township Board approve Wal-Mart’s proposed Second Amendment to the Agreement and amendment to the approved site plan, to develop the Wal-Mart Parcel, subject to certain conditions.

G. On _____, 2025, the Township Board considered and approved this Second Amendment to the Agreement and amendment to the approved site plan for the building expansion pursuant to those certain Final Site Plans and construction related plans, prepared by CESO, Inc., dated _____ and final Elevations prepared by _____, dated _____, 2024 and which a final sign plan prepared by _____ dated _____, 2024 and last revised _____, 2024 as all of such plans were approved by the Township in connection with Wal-Mart’s expansion and are attached hereto as **Exhibit C** (collectively, the "Expansion Plans")

H. Wal-Mart accepts any and all risks associated with the Township’s approval of this Second Amendment, including the Expansion Plans, and agrees to release and hold the Township harmless from any and all claims, liabilities, causes of action, damages, judgments, attorney fees, court costs, and expenses asserted by any owner or occupant of any portion of Property against the Township which arise out of or are related to the Township’s approval of the Second Amendment and Expansion Plans.

I. The Township desires to ensure that the Wal-Mart expansion that is the subject of this Second Amendment is developed and used in accordance with the Township approved site plans, the Expansion Plans, applicable ordinances, laws, regulations and standards.

NOW THEREFORE, for good and valuable consideration, the receipt and adequacy of which is hereby acknowledged, the parties agree as follows:

1. References. All references in the Agreement to the “Plans,” “Development Plans,” “Site Plans”, and all other plans are hereby amended to include the Expansion Plans, attached as Exhibit C to this Second Amendment.

2. Exhibits. The exhibits attached hereto and the recital paragraphs set forth above, are hereby incorporated into this Second Amendment by this reference as though fully set forth herein.

3. Agreement. The parties acknowledge and agree that, except as expressly set forth in the First Amendment and this Second Amendment; all of terms, conditions and obligations contained in the Agreement remain unchanged and are in full force and effect

4. Miscellaneous. All capitalized terms not defined in this Second Amendment shall have the same meaning ascribed to those terms in the Agreement, as amended. Except as expressly amended

or modified herein, all of the other terms and provisions of the Agreement and the First Amendment are, and shall, remain in full force and effect and are hereby ratified and confirmed by the parties hereto. This Second Amendment shall be binding upon the parties hereto, their respective successors and assigns and shall run with the Wal-Mart Parcel. In the event of any conflict between the terms of this Second Amendment and the terms of the Agreement, as amended by the First Amendment, the terms of this Second Amendment shall govern and control. In the event of any conflict between the terms of this Second Amendment and the terms of Township Zoning Ordinance, as amended, the terms of this Second Amendment shall govern and control. This Second Amendment may be executed in several counterparts, each of which may be deemed an original, and all of such counterparts together shall constitute one and the same Second Amendment. An executed copy or copies of this Second Amendment sent by or on behalf of one party via facsimile to the other party or its representative(s) shall have the same force and effect as an originally executed copy delivered to the other party or its representative(s).

5. Recording. This Second Amendment to the Agreement shall be recorded with the Oakland County Register of Deeds against the Wal-Mart Parcel described in the attached Exhibit B.

[The remainder of this page intentionally left blank. Signatures start on next page.]

IN WITNESS WHEREOF, the parties have executed this Second Amendment as of the date set out on the first page of this Amendment.

CHARTER TOWNSHIP OF WHITE LAKE

By: _____

Its: _____ Supervisor

and

By: _____

Its: _____ Clerk

STATE OF MICHIGAN)
)SS:
COUNTY OF OAKLAND)

Before me, the undersigned, a Notary Public, in and for said County and State, on this ____ day of _____, 2025 personally appeared _____, the _____ and _____, the _____ of the Charter Township of White Lake, and acknowledged the execution of the foregoing for and on behalf of said Township.

Notary Public
_____, County, _____
Acting in _____ County
My Commission Expires: _____

[Signatures continue on following page]

WAL-MART REAL ESTATE BUSINESS TRUST,
a Delaware statutory trust

By: _____
Name: _____
Title: _____

STATE OF ARKANSAS)
)SS:
COUNTY OF BENTON)

Before me, the undersigned, a Notary Public, in and for said County and State, on this ____ day of _____, 2025 personally appeared _____, for Wal-Mart Real Estate Business Trust, a Delaware statutory trust, and acknowledged the execution of the foregoing for and on behalf of said trust.

Notary Public

County, _____
Acting in _____ County
My Commission Expires: _____

Exhibits

Exhibit A - Legal Description of Property
Exhibit B – Legal Description of Wal-Mart Parcel
Exhibit C – Expansion Plans

Drafted by:

Dawda, PLC
Attn. Dana Kreis Glencer, Esq. And Tyler D. Tennent, Esq.
39533 Woodward Avenue, Suite 200
Bloomfield Hills, Michigan 48304

and

Rosati Schultz Joppich & Amtsbuechler, PC
Attn. Lisa J. Hamameh, Esq.
27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331

When Recorded Return to:

White Lake Township
Attn. Township Clerk
7525 Highland Road
White Lake, Michigan 48383



BASIS OF BEARINGS
NAD 83 (2011), OHIO NORTH / SOUTH
Derived from GPS Observations

GRAPHIC SCALE (IN FEET)

SCHEDULE B - SECTION II

- (See surveyor notes for Title Commitment information.)
Items 1 - 7, 27-28, and 33 - 35 are not survey related.
8. Terms, conditions and provisions contained in Notice of Commencement recorded in Liber 59072, page 208 of Oakland County Records.
NO EASEMENTS CONTAINED IN THE DOCUMENT, THE SURVEYED PROPERTY IS DESCRIBED.
9. Easement as disclosed by Instrument recorded in Liber 18771, page 887, Oakland County Records.
EASEMENT IS NOT LOCATED ON THE SURVEYED PROPERTY
10. Easement as disclosed by Instrument recorded in Liber 18771, page 894, Oakland County Records.
EASEMENT IS NOT LOCATED ON THE SURVEYED PROPERTY
11. Easement as disclosed by Instrument recorded in Liber 18772, page 13, Oakland County Records.
BLANKET EASEMENTS DO AFFECT THE SURVEYED PROPERTY, BUT CANNOT BE PLOTTED
12. Easement as disclosed by Instrument recorded in Liber 41341, page 500, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY AS SHOWN
13. Easement as disclosed by Instrument recorded in Liber 18856, page 156, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY AS SHOWN
14. Easement as disclosed by Instrument recorded in Liber 26257, page 885, Oakland County Records.
THE PARENT TRACT OF THE SURVEYED PROPERTY IS DESCRIBED, THE DOCUMENT REFERENCES THE ITEM 13 DOCUMENT ABOVE
15. Easement as disclosed by Instrument recorded in Liber 19467, page 200, Oakland County Records.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN
16. Easement as disclosed by Instrument recorded in Liber 21744, page 626, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY, BUT ARE VACATED BY DOCUMENT IN ITEM 17 BELOW.
17. Easement as disclosed by Instrument recorded in Liber 41394, page 242, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY AS SHOWN
18. Easement as disclosed by Instrument recorded in Liber 44585, page 605, Oakland County Records.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN
19. Easement as disclosed by Instrument recorded in Liber 21744, page 632, Oakland County Records.
EASEMENT AFFECTS THE SURVEYED PROPERTY, LEGAL DESCRIPTION CORRECTED IN ITEM 20 BELOW, LOCATION PER THIS DOCUMENT IS NOT SHOWN.
20. Easement as disclosed by Instrument recorded in Liber 22106, page 94, Oakland County Records.
EASEMENT AFFECTS THE SURVEYED PROPERTY, EASEMENT AREA PER THIS DOCUMENT VACATED BY ITEM 21 BELOW, LOCATION PER THIS DOCUMENT IS NOT SHOWN.
21. Easement as disclosed by Instrument recorded in Liber 41394, page 253, Oakland County Records.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN
22. Terms, conditions and provisions contained in Affidavit recorded in Liber 21834, page 548 of Oakland County Records.
SURVEYED PROPERTY IS DESCRIBED, EASEMENTS APPEAR TO AFFECT SURVEYED PROPERTY, BUT DOCUMENT PROVIDES NO LEGAL DESCRIPTION FOR EASEMENTS
23. Easement as disclosed by Instrument recorded in Liber 22626, page 639, Oakland County Records.
SURVEYED PROPERTY IS DESCRIBED, EASEMENTS ARE BLANKET IN NATURE
24. Easement as disclosed by Instrument recorded in Liber 21775, page 244, Oakland County Records.
EASEMENT IS NOT ON THE SURVEYED PROPERTY AS SHOWN
25. Easement as disclosed by Instrument recorded in Liber 22626, page 673, Oakland County Records.
EASEMENTS DESCRIBED ARE BLANKET IN NATURE, THE SURVEYED PROPERTY IS PART OF THE LANDS DESCRIBED IN RECORD DOCUMENT
26. Easement as disclosed by Instrument recorded in Liber 23148, page 836, Oakland County Records.
EASEMENTS DESCRIBED ARE BLANKET IN NATURE, THE SURVEYED PROPERTY IS PART OF THE LANDS DESCRIBED IN RECORD DOCUMENT
29. Easement as disclosed by Instrument recorded in Liber 41341, page 522, Oakland County Records.
EASEMENT ADJOINS THE SURVEYED PROPERTY AS SHOWN
30. Easement as disclosed by Instrument recorded in Liber 41341, page 538, Oakland County Records.
EASEMENT IS NOT ON THE SURVEYED PROPERTY AS SHOWN
31. Easement as disclosed by Instrument recorded in Liber 42302, page 403, Oakland County Records.
NOT ON THE SURVEYED PROPERTY AS SHOWN
32. Easement as disclosed by Instrument recorded in Liber 42351, page 692, Oakland County Records.
NOT ON THE SURVEYED PROPERTY AS SHOWN, APPEARS TO BE A RE-RECORDING OF DOCUMENT IN ITEM 31 ABOVE.

EXHIBIT "C" LEGAL DESCRIPTION

(See surveyor notes for Title Commitment information.)

LAND SITUATED IN THE TOWNSHIP OF WHITE LAKE, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

PREMISES 1:

PART OF THE SOUTHEAST 1/4 OF SECTION 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 76.19 FEET ALONG THE EAST LINE OF SECTION 14 TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE 14-59 - HIGHLAND ROAD, 100 FEET THENCE ALONG SAID RIGHT OF WAY LINE ON A CURVE TO THE RIGHT, 108.62 FEET; SAID CURVE HAVING A RADIUS OF 3,869.72 FEET, CENTRAL ANGLE OF 01 DEGREES 36 MINUTES 30 SECONDS AND A LONG CHORD BEARING OF NORTH 86 DEGREES 08 MINUTES 40 SECONDS EAST, 108.62 FEET; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 217.17 FEET; THENCE SOUTH 87 DEGREES 14 MINUTES 36 SECONDS WEST, 108.57 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 14; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 109.43 FEET ALONG SAID LINE; THENCE NORTH 56 DEGREES 15 MINUTES 07 SECONDS WEST, 109.52 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 05 SECONDS WEST, 75.00 FEET; THENCE NORTH 01 DEGREES 31 MINUTES 55 SECONDS WEST, 293.04 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 286.13 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 206.13 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 345.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 596.50 FEET TO THE PROPOSED EAST 43 FOOT RIGHT OF WAY LINE OF RELOCATED FISK ROAD; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 538.42 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 545.08 FEET; THENCE NORTH 88 DEGREES 19 MINUTES 57 SECONDS EAST, 60.11 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 344.50 FEET TO THE POINT OF BEGINNING.

ALSO:
PREMISES 2:
PART OF THE SOUTHEAST 1/4 OF SECTION 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF A SAID SECTION 14; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 76.19 FEET ALONG THE EAST LINE OF SECTION 14 TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 14-59 HIGHLAND ROAD (100 FEET RW); THENCE ALONG SAID RIGHT-OF-WAY LINE ON A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 108.62 FEET, WITH A RADIUS OF 3869.72 FEET, WITH A DELTA ANGLE OF 01 DEGREES 36 MINUTES 30 SECONDS AND HAVING A CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 08 MINUTES 40 SECONDS EAST, 108.62 FEET; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 217.17 FEET; THENCE SOUTH 87 DEGREES 14 MINUTES 36 SECONDS WEST, 108.57 FEET; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 109.43 FEET; THENCE NORTH 56 DEGREES 15 MINUTES 07 SECONDS WEST, 109.52 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 05 SECONDS WEST, 75.00 FEET; THENCE NORTH 01 DEGREES 31 MINUTES 55 SECONDS WEST, 293.04 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 286.13 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 206.13 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 345.00 FEET; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS WEST, 344.50 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 596.50 FEET TO THE POINT OF BEGINNING FOR THE FOLLOWING DESCRIBED TRACT OF LAND; THENCE NORTH 87 DEGREES 45 MINUTES 00 SECONDS WEST, 548.42 FEET; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS WEST, 113.84 FEET; THENCE NORTH 87 DEGREES 45 MINUTES 00 SECONDS EAST, 653.20 FEET; THENCE SOUTH 02 DEGREES 15 MINUTES 00 SECONDS EAST, 113.83 FEET; THENCE SOUTH 87 DEGREES 45 MINUTES 00 SECONDS WEST, 107.94 FEET TO THE POINT OF BEGINNING.

TOPOGRAPHIC LEGEND

- | | |
|----------------------|----------------------------|
| Electric Box | Light Pole |
| Electric Transformer | Power Pole |
| Gas Meter | Gas Valve |
| Cleanout | Fire Hydrant |
| Sanitary Manhole | Water Valve |
| Storm Manhole | Catch Basin |
| Yard Drain | End Storm Drain |
| Structure Number | Sign |
| W | Water Line |
| UG | Underground Electric |
| UGT | Underground Communications |
| OWL | Overhead Utility Line |
| STM | Storm Sewer |
| SAN | Sanitary Sewer |
| X | Handrail |
| X | Fence Line |

SURVEY MONUMENT LEGEND

- 5/8" Iron Pin Set w/ice CESCO, Inc
- Iron Pin Found as Described
- PK Nail/Mag Nail Found
- Mag Nail Set

SURVEYOR NOTES:

- Horizontal Datum - U.S. State Plane, NAD83 Michigan South (2113), international foot, established from using the Michigan Real Time Network (RTN) provided by the Michigan Department of Transportation. Coordinates taken to ground at latitude N42°39'41.22143", longitude W83°28'07.98045", project height 857.897', ground scale factor 1.0001265664901.
- The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - 811 ticket numbers: 2024051403020 & 2024051403085.
- Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Numbers 26125C0337F & 26125C0336F, effective date: 9/29/2006 published by the Federal Emergency Management Agency.
- There are 604 regular and 21 handicapped accessible marked parking spaces in the detailed topo area of the surveyed property.
- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon were obtained through a certified title search conducted by Devon Title, A Stewart Company, File Number 20104517 and bearing an effective date of March 18, 2024.
- Direct access to the subject parcel is available via S. Centerville Road (Michigan State Route 66), being a public right-of-way.
- A zoning report was not provided at the time of survey.
- No evidence of recent earth movement, building construction, or building additions observed on the surveyed property at the time of the fieldwork.
- No changes to street right-of-way lines were provided to the surveyor at the time of this survey.

SURVEYOR'S CERTIFICATION:

To: (i) Wal-Mart Estate Business Trust, a Delaware Business Trust
(ii) Devon Title Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19 & 20 of Table A thereof. The fieldwork was completed on 6/31/2024.

Date of Plat or Map: June 6/20, 2024

Robert Matko, PE PS Michigan PS #4001054055
matko@cesoinc.com
13060 S. U.S. Hwy 27, Suite D
DeWitt, Michigan 48820
(517) 212-4188



Wal-Mart
Store 2700

9190 Highland Road
Section 14, Town 3 North, Range 8 East
White Lake Township, Oakland County, Michigan

Revisions / Submissions

ID	Description	Date
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Project Number: 763515

Scale: 1" = 50'

Drawn By: RSL

Checked By: RLC

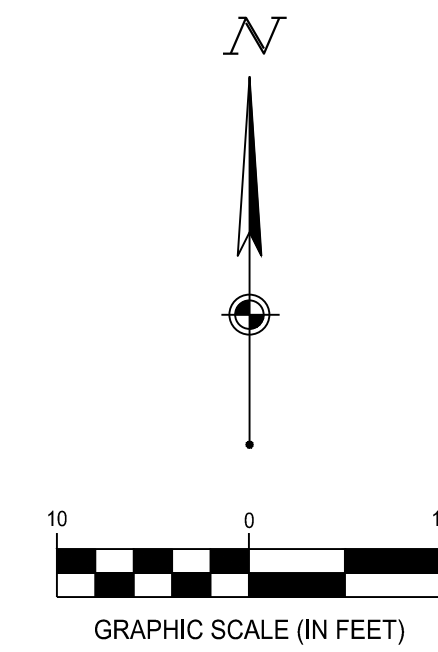
Date: 6/20/2024

Issue: Survey

Drawing Title:




ALTA / NSPS Land

Title Survey



BENCHMARK























Vertical Curve: NAVD88
derived from GPS Observations

BM "A": 	Chiseled "square" on the north side of a light pole base located 40' east of the northeast corner of Your Fit Club. Elevation = 974.28'
BM "C": 	Railroad spike in the north side of a power pole 120' south of the north entrance to the White Lake Mobile Home Park, power pole is 35' west of the back of curb and Fish Road. Elevation = 973.11'
BM "E": 	Cross notch set on the northwest corner of raised concrete slab at the northwest corner of site securing electric box to lift station. Elevation = 972.03'

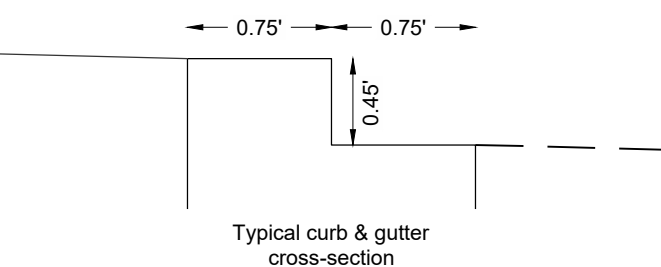
SURVEYOR NOTES:

1. Horizontal Datum - U.S. State Plane, NAD83 Michigan State Plane (2113), international foot, established from using the Michigan Real Time Network (RTN) provided by the Michigan Department of Transportation. Coordinates taken to be 43° 00' 00" N latitude and 83° 22' 00" W longitude. UTM 18QAD, 984045 project height 857,897, ground scale factor 1.0001265664901.
2. The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are as shown and as indicated on the drawings. Longitude and latitude: 81111 numbers: 2024051403020 & 2024051403085.
3. Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 26125C0337 & 26125C0336F, effective date: 12/29/2006 published by the Federal Emergency Management Agency.
4. There are 38 regular and 0 ADA accessible marked parking spaces in the detailed lot plan of the survey property.

TOPOGRAPHIC LEGEND

	Electric Box (Access)		Light Pole
	Cleanout		Gas Line Marker
	Sanitary Manhole		Gas Valve
	Storm Manhole		Bollard
	Curb Inlet		Sign
	End Storm Drain		Benchmark Set
	Structure Number		
	Gas Line		
	Water Line		
	Underground Electric		
	Underground Communications		
	Overhead Utility Line(s)		
	Storm Sewer		
	Sanitary Sewer		
	Fence Line		
	Handrail		

Storm Structure Chart	Sanitary Structure Chart
Curb inlet 50055	MH 10103
grate = 970.29'	rim = +9.53'
12" hdpe (N) = 963.70'	8" inv (n+se) = 951.53'
Curb inlet 50050	MH 10406
grate = 970.44'	rim = 971.02'
12" hdpe (S) = 966.25'	8" inv (n+se) = 952.65'
12" hdpe (N) = 966.24'	
Curb inlet 50046	
grate = 963.77'	
12" hdpe (S) = 965.62'	
12" hdpe (N) = 964.03'	



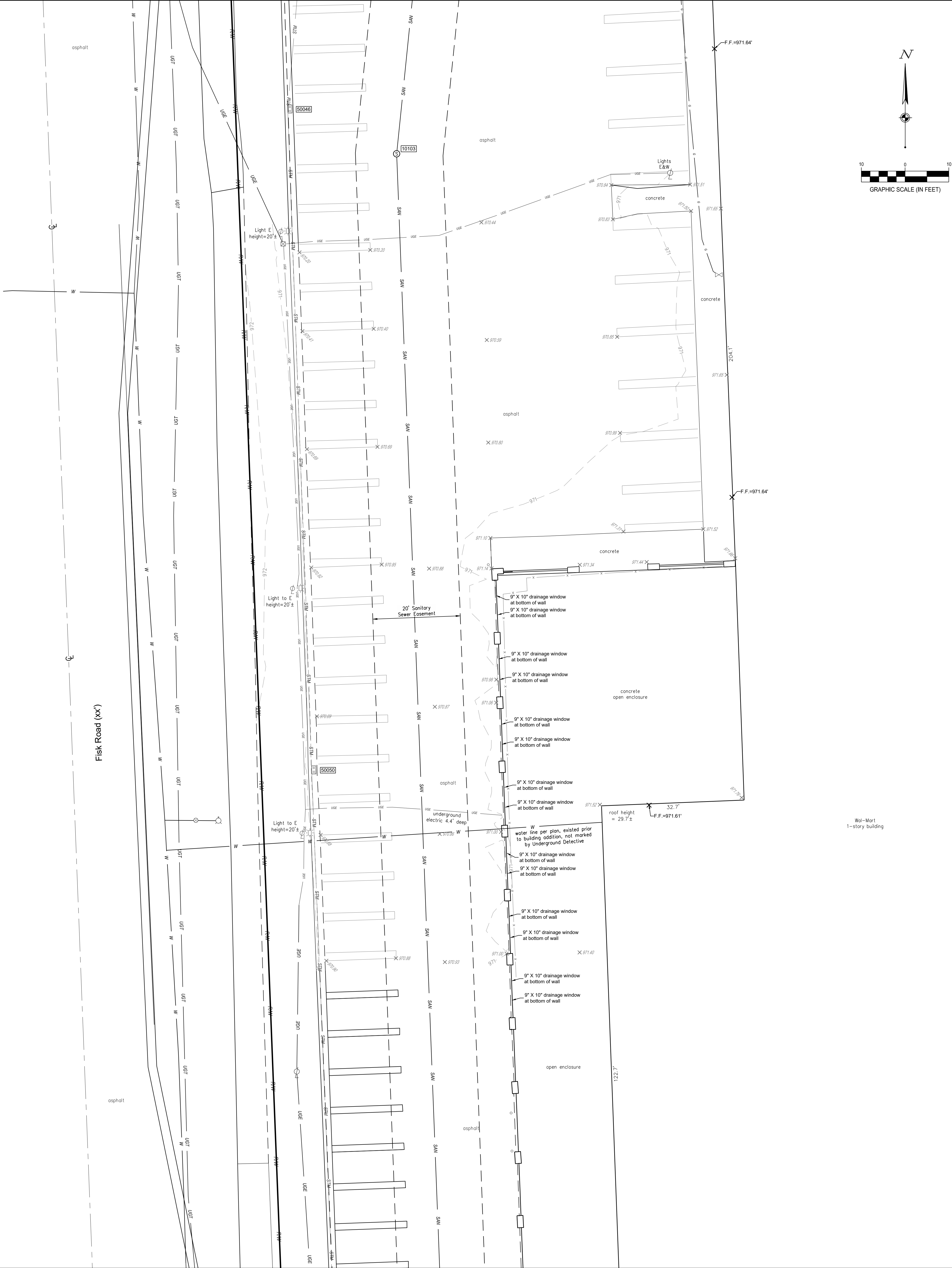
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Wal-Mart
Store 2700

9190 Highland Road
Section 14, Town 3 North, Range 8 East
White Lake Township, Oakland County, Michigan

Revisions / Submissions		
ID	Description	Date
© 2024 CESCO, INC.		
Project Number:	763515	
Scale:	1" = 10'	
Drawn By:	RSL	
Checked By:	RLC	
Date:	6/20/2024	
Issue:	Survey	

Drawing Title:
**Detailed Topographic
Survey**



BENCHMARK
Vertical Datum: NAVD88
derived from GPS Observations

BM "A": Chiseled "square" on the north side of a light pole base located 40'± east of the northeast corner of Your Fit Club. Elevation = 974.28'

BM "C": Railroad spike in the north side of a power pole 120'± south of the north entrance to the White Lake Mobile Home Park, power pole is 35'± west of the back of curb and Fisk Road. Elevation = 973.11'

BM "E": Cross notch set on the northwest corner of raised concrete slab at the northwest corner of site securing electric box to lift station. Elevation = 972.03'

- SURVEYOR NOTES:**
- Horizontal Datum - U.S. State Plane, NAD83 Michigan South (2113), international foot, established from using the Michigan Real Time Network (RTN) provided by the Michigan Department of Transportation. Coordinates taken to ground at latitude N42°39'41.22143", longitude W83°28'07.98045", project height 857.897', ground scale factor 1.00012656804901.
 - The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - 811 ticket numbers: 2024051403020 & 2024051403085.
 - Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Numbers 26125C0337F & 26125C0336F, effective date: 9/29/2006 published by the Federal Emergency Management Agency.
 - There are 38 regular and 0 ADA accessible marked parking spaces in the detailed topo area of the surveyed property.

TOPOGRAPHIC LEGEND

Electric Box (Access)	Light Pole
Cleanout	Gas Line Marker
Sanitary Manhole	Gas Valve
Storm Manhole	Bollard
Curb Inlet	Sign
End Storm Drain	
Structure Number	

Strom Structure Chart

G	Gas Line
W	Water Line
UGE	Underground Electric
UGT	Underground Communications
OAL	Overhead Utility Line(s)
STM	Storm Sewer
SAV	Sanitary Sewer
X	Fence Line
Handrail	

Sanitary Structure Chart

MH 10003	rim = 970.03'
8" inv (n+s) = 951.53'	
MH 10406	rim = 971.02'
8" inv (n+s) = 952.65'	

CESO
3001 Regis Rd., Suite 200
Mansfield, OH 44842
Phone: 937.435.8544 Fax: 937.208.4825
WWW.CESOINC.COM

Wal-Mart Store 2700

White Lake, MI
1234 STREET RD.
CITY, STATE ZIP

Revisions / Submissions

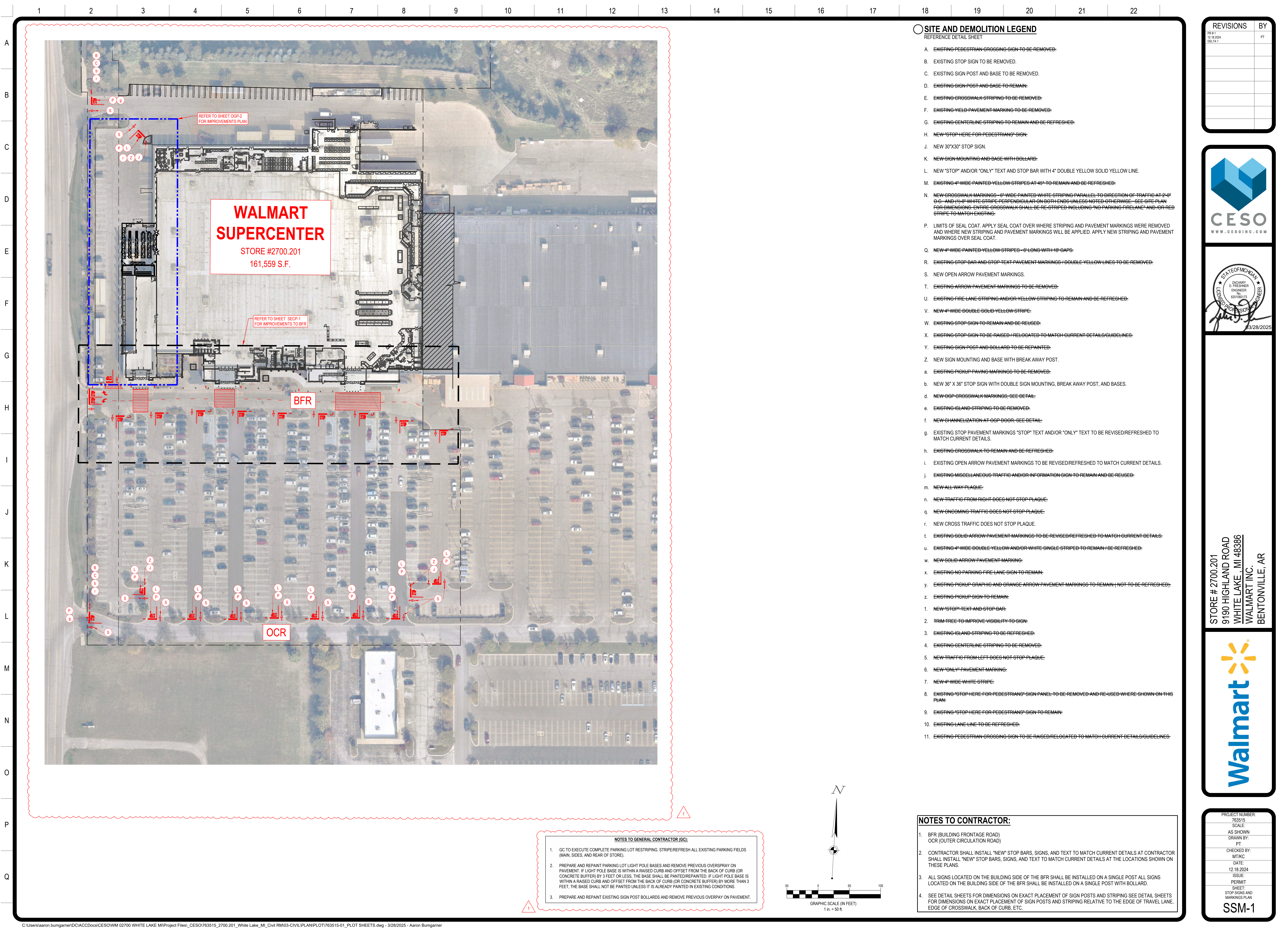
ID	Description	Date
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© 2024 CESO, INC.

Project Number: 763515
Scale: 1" = 10'
Drawn By: RSL
Checked By: RLC
Date: 6/7/2024
Issue: Survey

Drawing Title:
Detailed Topographic Survey

2 of 2



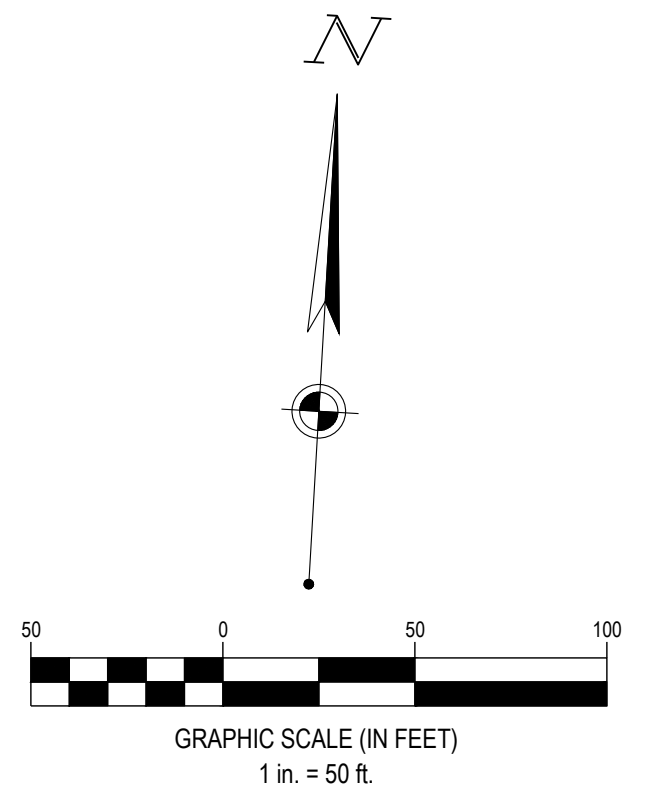
WALMART
SUPERCENTER
STORE #2700.201
161,559 S.F.

BFR

OCR

NOTES TO GENERAL CONTRACTOR (GC):

- GC TO EXECUTE COMPLETE PARKING LOT RESTRIPIING, STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDES, AND REAR OF STORE).
- PREPARE AND REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY 3 FEET OR LESS, THE BASE SHALL BE PAINTED/REPAINTED. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY MORE THAN 3 FEET, THE BASE SHALL NOT BE PAINTED UNLESS IT IS ALREADY PAINTED IN EXISTING CONDITIONS.
- PREPARE AND REPAINT EXISTING SIGN POST BOLLARDS AND REMOVE PREVIOUS OVERLAY ON PAVEMENT.



SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- A. EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - B. EXISTING STOP SIGN TO BE REMOVED.
 - C. EXISTING SIGN POST AND BASE TO BE REMOVED.
 - D. EXISTING SIGN POST AND BASE TO REMAIN.
 - E. EXISTING CROSSWALK STRIPING TO BE REMOVED.
 - F. EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - G. EXISTING CENTERLINE STRIPING TO REMAIN AND BE REFRESHED.
 - H. NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - J. NEW 30"X30" STOP SIGN.
 - K. NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - L. NEW "STOP" AND/OR "ONLY" TEXT AND STOP BAR WITH 4" DOUBLE YELLOW SOLID YELLOW LINE.
 - M. EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN AND BE REFRESHED.
 - N. NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1) 8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED INCLUDING "NO PARKING FIRELANE" AND/OR RED STRIPE TO MATCH EXISTING.
 - P. LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - Q. NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
 - R. EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW LINES TO BE REMOVED.
 - S. NEW OPEN ARROW PAVEMENT MARKINGS.
 - T. EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - U. EXISTING FIRE LANE STRIPING AND/OR YELLOW STRIPING TO REMAIN AND BE REFRESHED.
 - V. NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - W. EXISTING STOP SIGN TO REMAIN AND BE REUSED.
 - X. EXISTING STOP SIGN TO BE RAISED / RELOCATED TO MATCH CURRENT DETAILS/GUIDELINES.
 - Y. EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
 - Z. NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - a. EXISTING PICKUP PAVING MARKINGS TO BE REMOVED.
 - b. NEW 36" X 36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POST, AND BASES.
 - d. NEW OGP CROSSWALK MARKINGS, SEE DETAIL.
 - e. EXISTING ISLAND STRIPING TO BE REMOVED.
 - f. NEW CHANNELIZATION AT OGP DOOR-SEE DETAIL.
 - g. EXISTING STOP PAVEMENT MARKINGS "STOP" TEXT AND/OR "ONLY" TEXT TO BE REVISED/REFRESHED TO MATCH CURRENT DETAILS.
 - h. EXISTING CROSSWALK TO REMAIN AND BE REFRESHED.
 - i. EXISTING OPEN ARROW PAVEMENT MARKINGS TO BE REVISED/REFRESHED TO MATCH CURRENT DETAILS.
 - j. EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN AND BE REUSED.
 - m. NEW ALL WAY PLAQUE.
 - n. NEW TRAFFIC FROM RIGHT DOES NOT STOP PLAQUE.
 - q. NEW ONGOING TRAFFIC DOES NOT STOP PLAQUE.
 - r. NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
 - t. EXISTING SOLID ARROW PAVEMENT MARKINGS TO BE REVISED/REFRESHED TO MATCH CURRENT DETAILS.
 - u. EXISTING 4" WIDE DOUBLE YELLOW AND/OR WHITE SINGLE STRIPED TO REMAIN / BE REFRESHED.
 - w. NEW SOLID ARROW PAVEMENT MARKING.
 - x. EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
 - y. EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO REMAIN (NOT TO BE REFRESHED).
 - z. EXISTING PICKUP SIGN TO REMAIN.
 - 1. NEW "STOP" TEXT AND STOP BAR.
 - 2. TRIM TREE TO IMPROVE VISIBILITY TO SIGN.
 - 3. EXISTING ISLAND STRIPING TO BE REFRESHED.
 - 4. EXISTING CENTERLINE STRIPING TO BE REMOVED.
 - 5. NEW TRAFFIC FROM LEFT DOES NOT STOP PLAQUE.
 - 6. NEW "ONLY" PAVEMENT MARKING.
 - 7. NEW 4" WIDE WHITE STRIPE.
 - 8. EXISTING "STOP HERE FOR PEDESTRIANS" SIGN PANEL TO BE REMOVED AND RE-USED WHERE SHOWN ON THIS PLAN.
 - 9. EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN.
 - 10. EXISTING LANE LINE TO BE REFRESHED.
 - 11. EXISTING PEDESTRIAN CROSSING SIGN TO BE RAISED/RELOCATED TO MATCH CURRENT DETAILS/GUIDELINES.

NOTES TO CONTRACTOR:

- BFR (BUILDING FRONTAGE ROAD)
OCR (OUTER CIRCULATION ROAD)
- CONTRACTOR SHALL INSTALL "NEW" STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT CONTRACTOR SHALL INSTALL "NEW" STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
- SEE DETAIL SHEETS FOR DIMENSIONS ON EXACT PLACEMENT OF SIGN POSTS AND STRIPING SEE DETAIL SHEETS FOR DIMENSIONS ON EXACT PLACEMENT OF SIGN POSTS AND STRIPING RELATIVE TO THE EDGE OF TRAVEL LANE, EDGE OF CROSSWALK, BACK OF CURB, ETC.

REVISIONS	BY
PR #1 12/18/2024 DELTA 1	PT



CESO
WWW.CESOINC.COM

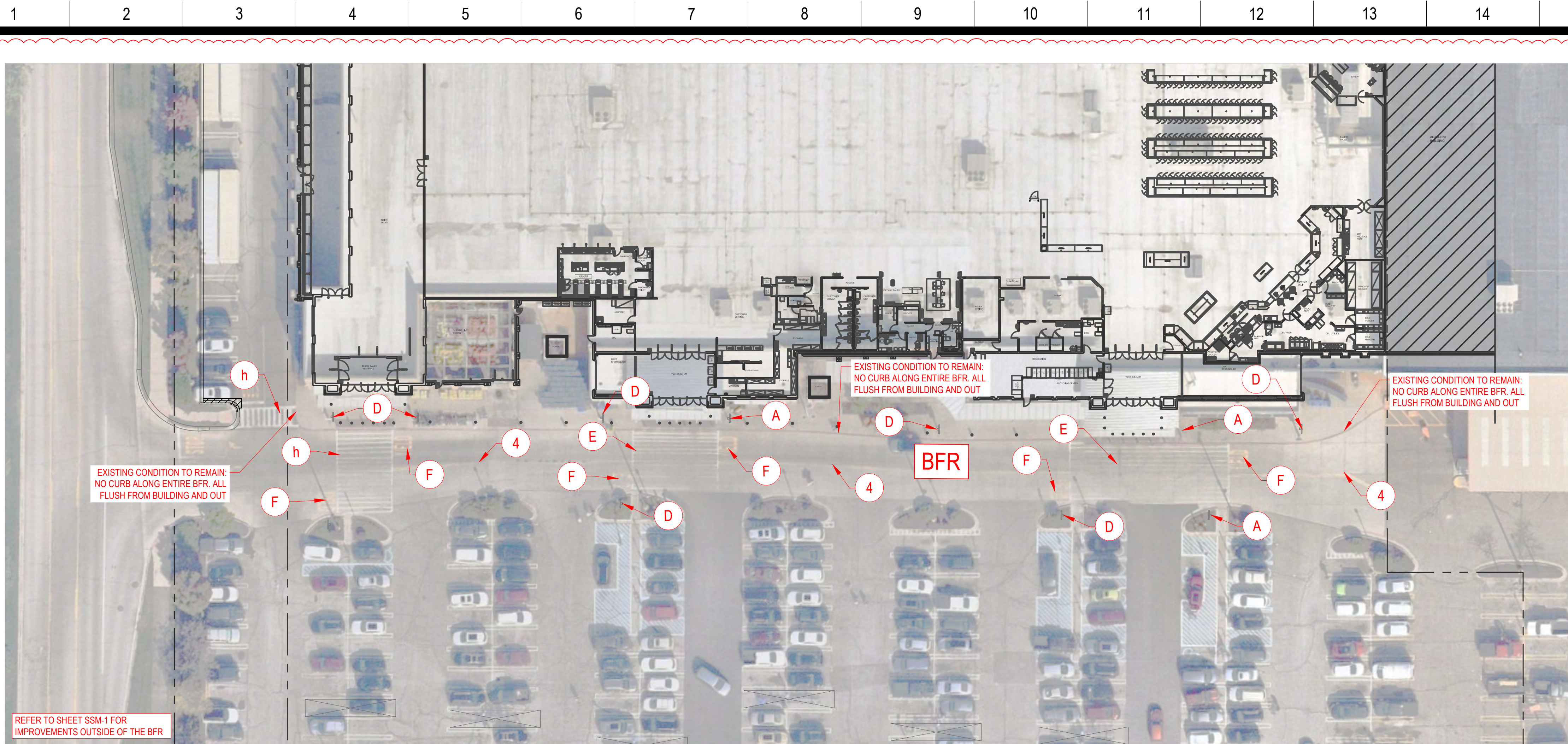


3/28/2025

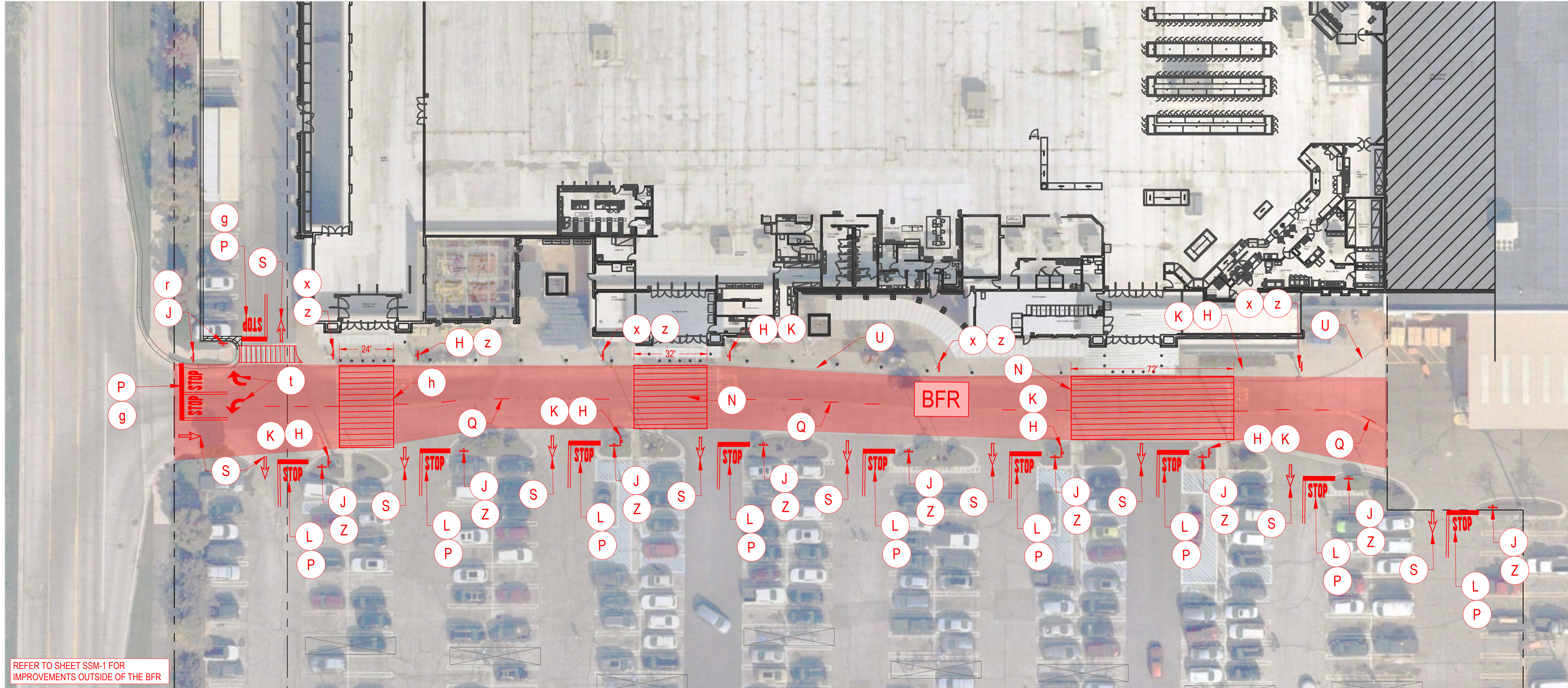
STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12/18/2024
ISSUE: PERMIT
SHEET: STOP SIGNS AND MARKINGS PLAN
SSM-1

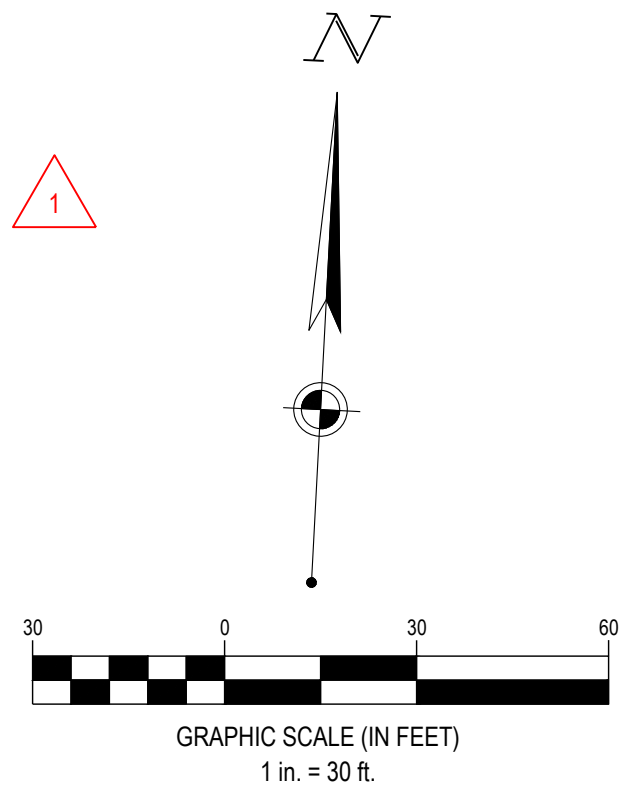


DEMOLITION PLAN



SITE PLAN

- NOTES TO GENERAL CONTRACTOR (GC):
- GC TO EXECUTE COMPLETE PARKING LOT RESTRIPIING. STRIPER/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDES, AND REAR OF STORE).
 - PREPARE AND REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY 3 FEET OR LESS, THE BASE SHALL BE PAINTED/REPAINTED. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY MORE THAN 3 FEET, THE BASE SHALL NOT BE PAINTED UNLESS IT IS ALREADY PAINTED IN EXISTING CONDITIONS.
 - PREPARE AND REPAINT EXISTING SIGN POST BOLLARDS AND REMOVE PREVIOUS OVERPAY ON PAVEMENT.



SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

- EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- EXISTING STOP SIGN TO BE REMOVED.
- EXISTING SIGN POST AND BASE TO BE REMOVED.
- EXISTING SIGN POST AND BASE TO REMAIN.
- EXISTING CROSSWALK STRIPING TO BE REMOVED.
- EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- EXISTING CENTERLINE STRIPING TO REMAIN AND BE REFRESHED.
- NEW "STOP HERE FOR PEDESTRIANS" SIGN.
- NEW 30"x30" STOP SIGN.
- NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- NEW "STOP" AND/OR "ONLY" TEXT AND STOP BAR WITH 4" DOUBLE YELLOW SOLID YELLOW LINE.
- EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN AND BE REFRESHED.
- NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED INCLUDING "NO PARKING FIRELANE" AND/OR RED STRIPE TO MATCH EXISTING.
- LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' GAPS.
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- NEW OPEN ARROW PAVEMENT MARKINGS.
- EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- EXISTING FIRE LANE STRIPING AND/OR YELLOW STRIPING TO REMAIN AND BE REFRESHED.
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- EXISTING STOP SIGN TO BE RAISED / RELOCATED TO MATCH CURRENT DETAILS/GUIDELINES.
- EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
- NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- EXISTING PICKUP PAVING MARKINGS TO BE REMOVED.
- NEW 36" X 36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POST, AND BASES.
- NEW OGP CROSSWALK MARKINGS-SEE DETAIL.
- EXISTING ISLAND STRIPING TO BE REMOVED.
- NEW CHANNELIZATION AT OGP DOOR-SEE DETAIL.
- EXISTING STOP PAVEMENT MARKINGS "STOP" TEXT AND/OR "ONLY" TEXT TO BE REVISED/REFRESHED TO MATCH CURRENT DETAILS.
- EXISTING CROSSWALK TO REMAIN AND BE REFRESHED.
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- EXISTING CENTERLINE STRIPING TO BE REMOVED.
- NEW TRAFFIC FROM LEFT DOES NOT STOP PLAQUE.
- NEW "ONLY" PAVEMENT MARKING.
- NEW 4" WIDE WHITE STRIPE.
- EXISTING "STOP HERE FOR PEDESTRIANS" SIGN PANEL TO BE REMOVED AND RE-USED WHERE SHOWN ON THIS PLAN.
- EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN.
- EXISTING LANE LINE TO BE REFRESHED.
- EXISTING PEDESTRIAN CROSSING SIGN TO BE RAISED/RELOCATED TO MATCH CURRENT DETAILS/GUIDELINES.

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

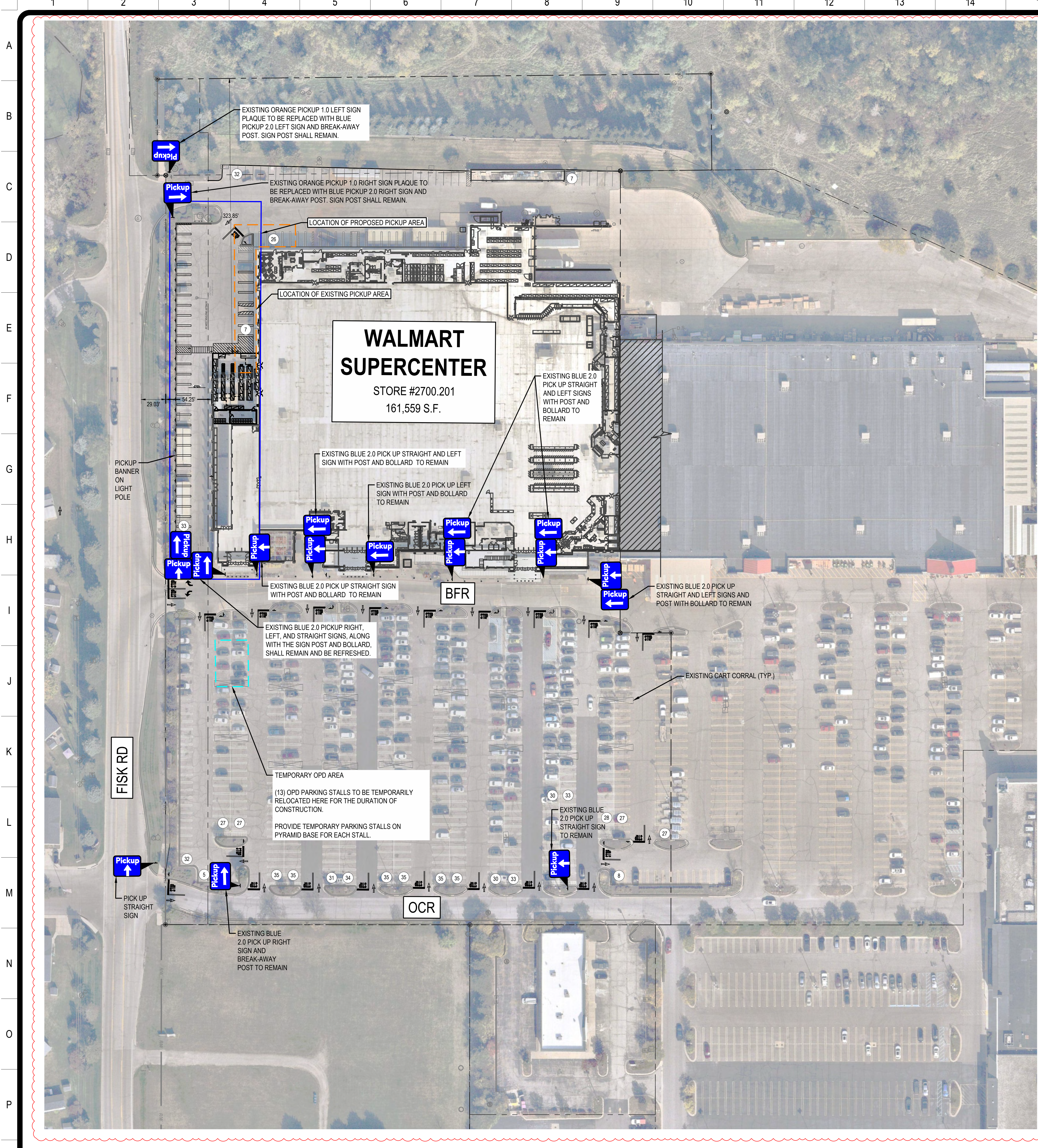
REVISIONS	BY
PR #1 12.18.2024 DELTA 1	PT



STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12.18.2024
ISSUE: PERMIT
SHEET: DEMOLITION & SITE CONSTRUCTION PLAN
SECP-1



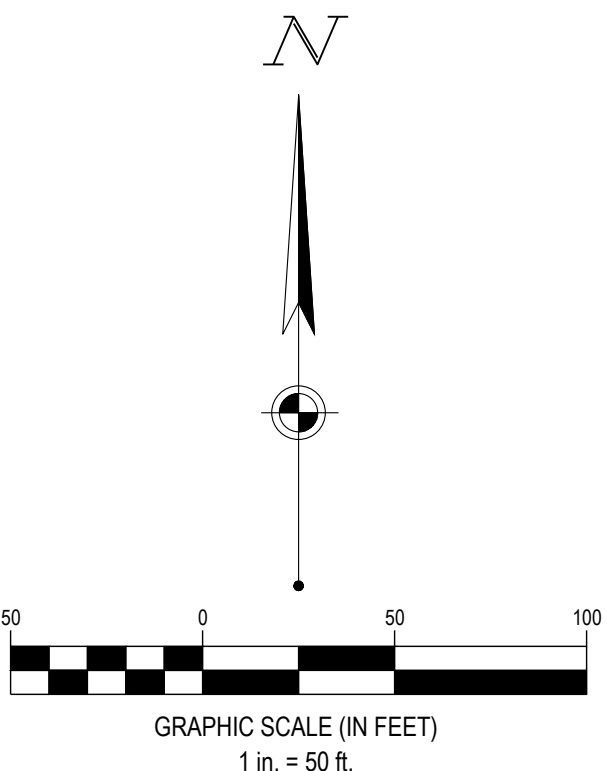
PICKUP DIRECTIONAL
SIGNAGE PLAN

(IMAGE BASED ON GEOMAGE AERIAL)

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	
WAITING SPACES RIGHT	18 X 24	
WAITING SPACES AHEAD	18 X 24	
RESERVED WAITING	18 X 24	
PICKUP LEFT PHARMACY RIGHT	18 X 24	
PICKUP LEFT PHARMACY LEFT	18 X 24	
STOP THANKS FOR ORDERING	18 X 36	
PICKUP HOURS	18 X 36	
RESERVED	18 X 36	
PHONE NUMBER	8 X 18	
VERTICAL PICKUP	18 X 36	
PICKUP LEFT	18 X 24	7
PICKUP STRAIGHT	18 X 24	8
PICKUP RIGHT	18 X 24	3
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	1
TEMPORARY PARKING SIGN WITH PYRAMID BASE	24 X 60	

NOTES TO CONTRACTOR:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP'S CURRENT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION, 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT MISS DIG AT 800-482-7171, 72 HOURS IN ADVANCE OF CONSTRUCTION, FOR EXISTING UNDERGROUND UTILITY LOCATIONS.
- IN ORDER TO VERIFY COMPLIANCE WITH APPROVED PLANS, FULL-TIME CONSTRUCTION OBSERVATION WILL GENERALLY BE REQUIRED DURING ALL PHASES OF UNDERGROUND SITE CONSTRUCTION INCLUDING INSTALLATION OF SANITARY SEWER, STORM SEWERS, DRAINS, WATERMANS AND APPURTENANCES AS WELL AS PRIVATE STREET CURBING AND PAVING CONSTRUCTION. INTERMITTENT OBSERVATIONS WILL BE MADE FOR SITE GRADING, PARKING LOT CURBING AND PAVING, RETAINING WALL CONSTRUCTION AND OTHER SURFACE ACTIVITY.



CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

- BM "A": Chiseled "square" on the north side of a light pole base located 40'-2" east of the northeast corner of Your Fit Club. Elevation = 974.28'
- BM "C": Railroad spike in the north side of a power pole 120'-s south of the north entrance to the White Lake Mobile Home Park, power pole is 35'-s west of the back of curb and Fisk Road. Elevation = 973.11'
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CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

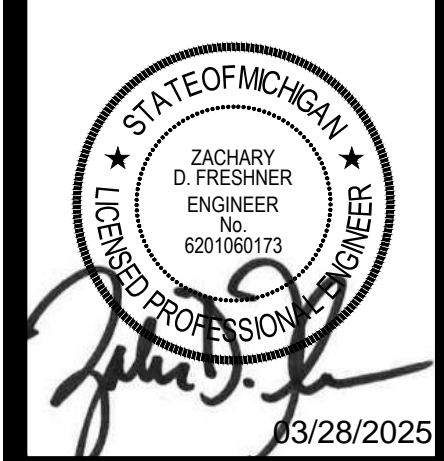
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THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATION TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.



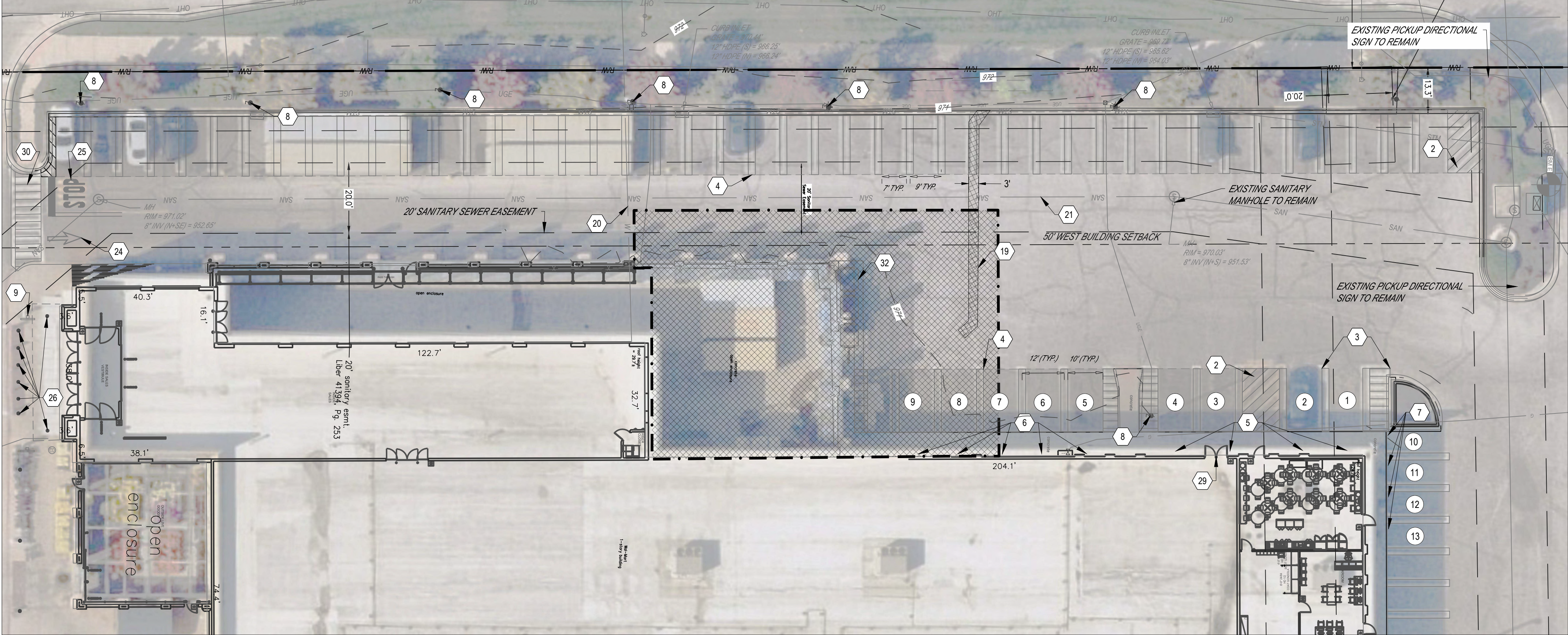
REVISIONS	BY
PR #1 12/18/2024 DELTA 1	PT



STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12/18/2024
ISSUE: PERMIT
SHEET: PICK DIRECTIONAL SIGNAGE PLAN
OGP-1



DEMOLITION PLAN
SCALE: 1" = 20'

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES. OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
- PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

ALL VALUES BELOW ARE APPROXIMATE

SITE ANALYSIS TABLE		
	EXISTING	PROPOSED
TOTAL BUILDING AREA	156,838 S.F.	161,559 S.F.
USABLE FLOOR AREA (SHOWN FOR AHJ PARKING REQUIREMENT)	125,470 S.F.	129,247 S.F.
AHJ REQUIRED PARKING (PER WHITE LAKE TOWNSHIP)	565 SPACES	582 SPACES
AHJ REQUIRED PARKING RATIO	4.50 /1000 S.F.	4.50 /1000 S.F.
AHJ PROVIDED PARKING RATIO (BASED ON USABLE FLOOR AREA)	4.99 /1000 S.F.	5.18 /1000 S.F.
CUSTOMER AND ASSOCIATE PARKING	592 SPACES	609 SPACES
ACCESSIBLE PARKING	21 SPACES	21 SPACES
PICKUP PARKING	13 SPACES	40 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	16 CORRALS / 32 SPACES	16 CORRALS / 32 SPACES
TOTAL PARKING EXCLUDING PICKUP STALLS	613 SPACES	630 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	3.91 /1000 S.F.	3.90 /1000 S.F.
TOTAL PARKING INCLUDING PICKUP STALLS	626 SPACES	670 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	3.99 /1000 S.F.	4.15 /1000 S.F.

WHITE LAKE TOWNSHIP PARKING REQUIREMENTS:
THERE SHALL BE 4.5 PARKING SPACES PER 1,000 SQUARE FEET OF USABLE FLOOR AREA (PER ARTICLE 5 - ZONING CODE - SECTION 5.11). USABLE FLOOR AREA IS DETERMINED TO BE 80% OF THE GROSS FLOOR AREA.

EXISTING PARKING RATIO MEETS AHJ PARKING CODE REQUIREMENTS.
PROPOSED PROJECT MEETS AHJ PARKING CODE REQUIREMENTS.

ECR AGREEMENTS:

AN ECR EXISTS FOR THIS LOCATION.
WALMART, DEVELOPER AND HOME DEPOT AGREE THAT AT ALL TIMES THERE SHALL BE INDEPENDENTLY MAINTAINED ON ITS TRACT PARKING AREA SUFFICIENT TO ACCOMMODATE NOT FEWER THAN 4.8 CAR SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF FLOOR AREA OF BUILDING LOCATED ON SUCH TRACT, EXCEPT THAT IF PARKING SPACES ARE LOST AS A RESULT OF A CONDEMNATION, SUCH RATIO SHALL BE DECREASED TO FOUR (4.0) CAR SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF FLOOR AREA OF BUILDINGS LOCATED ON SUCH TRACT. NO PARTY MAY RELY ON ANOTHER PARTY'S TRACT IN DETERMINING WHETHER THERE IS SUFFICIENT PARKING ON THEIR RESPECTIVE TRACT TO COMPLY WITH ALL LOCAL PARKING CODES, ORDINANCES AND REGULATIONS.

OGP IMPROVEMENT PLAN

(IMAGE BASED ON GEOIMAGE AERIAL)

GENERAL IMPROVEMENT NOTES:

- ALL EXISTING UTILITIES SHALL REMAIN.
- ALL EXISTING TREES SHALL REMAIN.
- ALL EXISTING PAVEMENT, CURBS, AND PAVEMENT MARKINGS SHALL REMAIN UNLESS NOTED OTHERWISE ON THIS PLAN.
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CODED NOTES:

- PROPOSED DOUBLE DOOR WITH OVERHEAD CANOPY. REFER TO ARCHITECTURAL PLANS.
- EXISTING CROSSWALK / STRIPED PAVEMENT MARKING TO BE REMOVED.
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- EXISTING R1-5b SIGN WITH POST AND BOLLARD TO REMAIN.
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- PROPOSED PARKING SPACE PAVEMENT MARKINGS.
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- PROPOSED DOWNSPOUT CONNECTION TO PROPOSED CANOPY COLUMN. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 6" STORM DOWNSPOUT COLLECTOR (MINIMUM 1.00% SLOPE) AND STORM SEWER CLEANOUT. CONNECT PROPOSED DOWNSPOUT COLLECTOR INTO EXISTING STORM LINE. REFER TO NOTE 14 ON SHEET OGP-3.1 FOR THE ALLOWABLE DOWNSPOUT PIPE MATERIALS.
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- EXISTING DUMPSTERS TO BE RELOCATED. REFER TO ARCH. PLANS FOR ENCLOSURE DETAILS AND LOCATION.

EXISTING FEATURES LEGEND

— G —	PROPERTY BOUNDARY
— W —	GAS LINE
— UGE —	WATER LINE
— UGT —	UNDERGROUND ELECTRIC
— CHL —	UNDERGROUND TELE
— STM —	OVERHEAD LINE
— SAN —	STORM SEWER
—	SANITARY SEWER

⊠	WATER METER	⊙	STORM CATCH BASIN
⊗	WATER VALVE	⊠	STORM INLET BASIN
⊕	POWER/TELE POLE	⊙	STORM MANHOLE
⊖	POWER POLE	⊙	STORM CLEANOUT
⊞	ELECTRIC BOX	⊙	SANITARY CLEANOUT
⊟	LIGHT POLE	⊙	TRAFFIC MANHOLE
⊠	GAS METER	⊙	TELEPHONE POLE

IMPROVEMENTS LEGEND

EXISTING

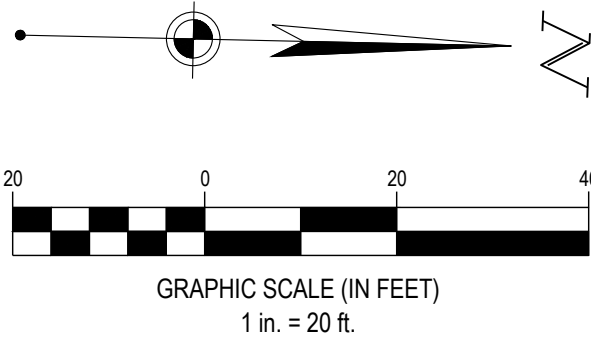
REFER TO ALTA / NSPS SURVEY FOR FULL EXISTING FEATURES LEGEND

EXISTING PICKUP SPACE COUNT

EXISTING SIGN

DEMOLITION LEGEND

—	SAWCUT LINE
—	PAVEMENT DEMO
—	AREA OF PARKING STALL MARKINGS REMOVAL



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derived from GPS Observations

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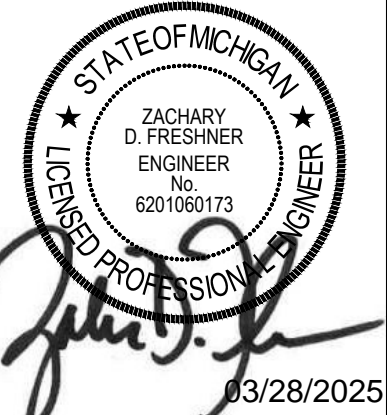
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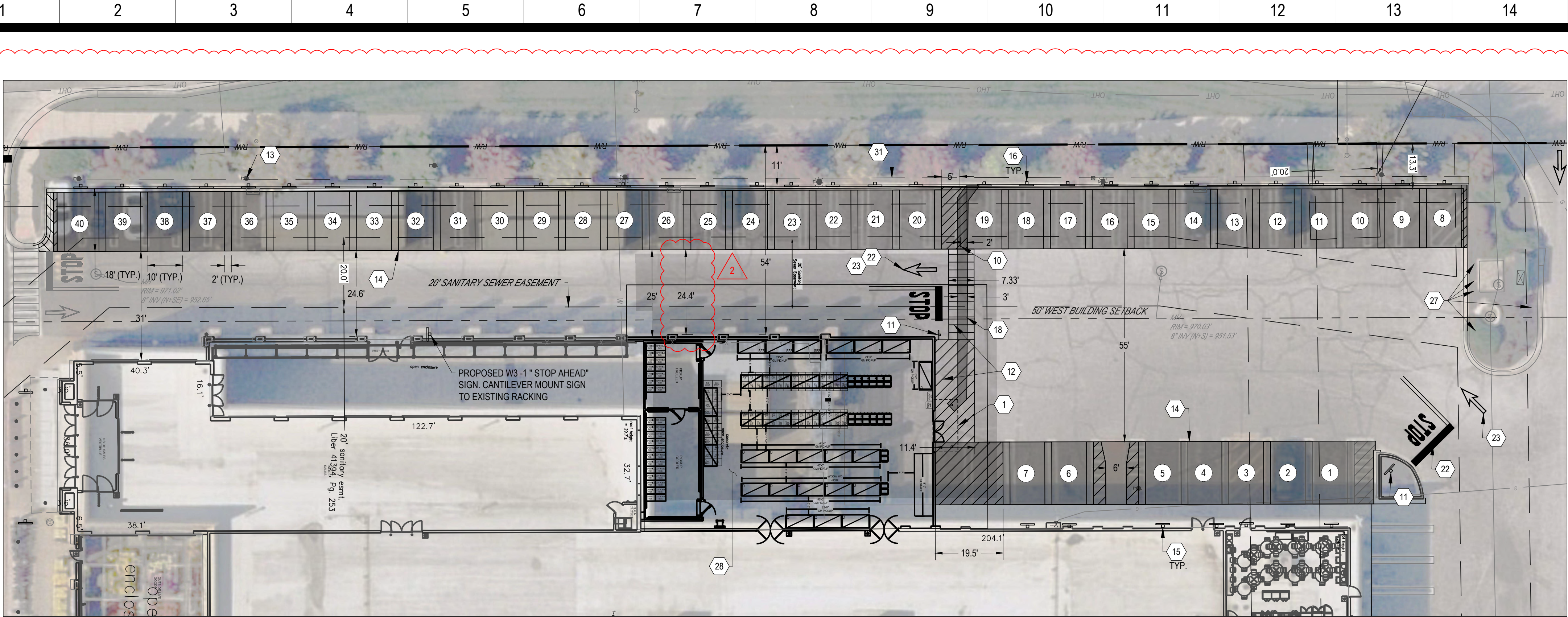
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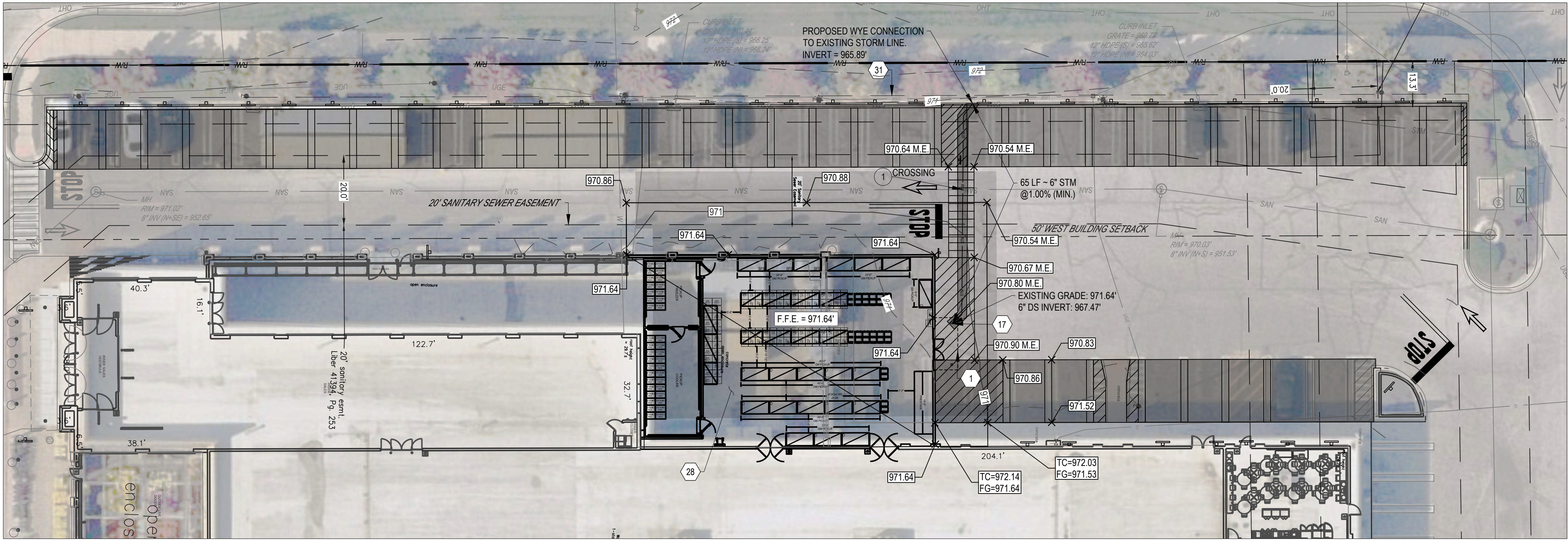
STORE # 2700.201
9190 HIGHLAND ROAD
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PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12/18/2024
ISSUE: PERMIT
SHEET: OGP IMPROVEMENT PLAN
OGP-2.0



SITE PLAN
SCALE: 1" = 20'



GRADING AND UTILITY PLAN
SCALE: 1" = 20'

OGP IMPROVEMENT PLAN

(IMAGE BASED ON GEOMIMAGE AERIAL)

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- GAS LINE
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- UNDERGROUND ELECTRIC
- UNDERGROUND TELE
- OVERHEAD LINE
- STORM SEWER
- SANITARY SEWER

- WATER METER
- WATER VALVE
- POWER/TELE POLE
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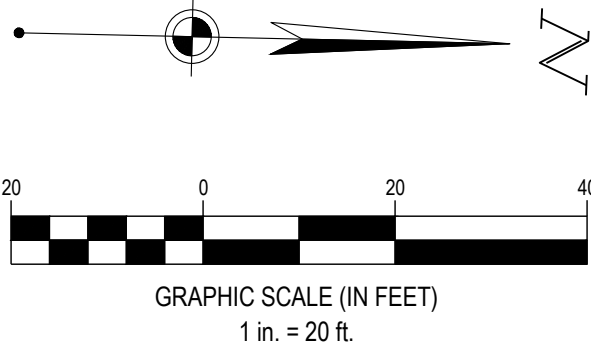
EXISTING

REFER TO ALTA / NSPS SURVEY FOR FULL EXISTING FEATURES LEGEND

IMPROVEMENTS LEGEND

PROPOSED

- NEW PICKUP SPACE COUNT
- SIGN
- PAVEMENT MARKING LINE
- AREA OF NEW PARKING SPACES
- PROPOSED ASPHALT PAVEMENT
- MAJOR CONTOUR
- MINOR CONTOUR
- FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION



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SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MICHIGAN UTILITIES PROTECTION SERVICE AT 811 OR 800-482-7171 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATION TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

REVISIONS	BY
PR #1 12.18.2024 DELTA 1	PT



STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12.18.2024
ISSUE: PERMIT
SHEET: OGP IMPROVEMENT PLAN
OGP-2.1

12.13.14.15.16.17.18.19.20.21.22

GENERAL NOTES

GRADING NOTES

UTILITY NOTES

SITE NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

2. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.

6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.

7. MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).

8. COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.

9. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.

10. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.

11. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.

12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.

13. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

14. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS III, IV, V	ASTM C-76	ASTM C443	ASTM C1479	WITHIN R/W, COVER VARIES WITH PIPE CLASS
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

15. ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.

16. ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND DOT STANDARDS.

17. ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.

18. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

19. THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.

20. WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.

2

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.

4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.

5. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.

7. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

8. UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.

9. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.

10. UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE WLT STORM SEWER DETAILS SHEET.

11. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.

12. CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.

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WALMART INC.

BENTONVILLE, AR

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OGP-2.2

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CHECKED: _____										DATE: 10/10/2018										
REVISIONS		MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE										
			FIRST ISSUE	08/16/95		REVISE	10-03-02		REVISE	06-01-07										
			ADD SS-1	06-17-96		REVISE	12-17-03		UPDATED TITLE BLOCK	04/30/13										
			NEW BAR GRATE	11-03-97		SEC REFERENCE	05-17-04													



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**STORM SEWER
STANDARD DETAILS**

JOB NO. _____

DATE ISSUED
08/16/95

SHEET NO. _____