

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: February 7, 2022

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O'Neil, AICP
Community Development Director

**SUBJECT: Szott Jeep Dealership Renovation
Final site plan amendment and planned business development
agreement amendment.**
Property described as parcel number 12-20-427-011 (6700 Highland Road) located on the south side of Highland Road, east of Bogie Lake Road, consisting of approximately 13.7 acres, currently zoned (PB) Planned Business.

The above request is now ready for Township Board Consideration. The matter was considered by the Planning Commission at their regular meeting of February 3, 2022 at which time the **Planning Commission recommended conditional approval** of final site plan amendment and planned business development agreement amendment.

Please find enclosed the following related documents:

- Draft minutes from the Planning Commission meeting held on February 3, 2022.
- Review letter prepared by the Township Community Development Director, Sean O'Neil and Staff Planner Justin Quagliata dated January 27, 2022.
- Planning Commission meeting minutes from August 21, 2014.
- Township Board meeting minutes from September 16, 2014.
- Planning Commission meeting minutes from December 4, 2014.
- Township Board meeting minutes from December 16, 2014.
- Site plan application dated January 12, 2022.
- Architectural plans for proposed modifications (revision date February 3, 2022).
- Current Szott PBD agreement dated July 14, 2015

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION**

Township Annex, 7527 Highland Road
White Lake, MI 48383
February 3, 2022 @ 7:00 PM

CALL TO ORDER

Vice-Chairperson Seward called the meeting to order at 7:00 PM and led the Pledge of Allegiance. Roll was called.

ROLL CALL

Merrie Carlock
Mark Fine
Debby Dehart
Robert Seeley
T. Joseph Seward
Matt Slicker

Absent: Steve Anderson
Scott Ruggles
Pete Meagher

Also Present: Sean O'Neil, Community Development Director
Justin Quagliata, Staff Planner
Mike Leuffgen, DLZ
Lisa Kane, Recording Secretary

Visitors: 10+ members of the public were present

APPROVAL OF AGENDA

Commissioner Carlock moved to approve the agenda of the February 3, 2022 Planning Commission Meeting.

Commissioner Seeley supported and the MOTION CARRIED with a voice vote: 6 yes votes.

APPROVAL OF MINUTES

- a. Regular meeting minutes of January 20, 2022

Commissioner Carlock moved to approve the minutes of January 20, 2022. Commissioner Dehart supported and the MOTION CARRIED with a voice vote: 6 yes votes.

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

No members of the public spoke.

PUBLIC HEARING

None.

CONTINUING BUSINESS

A. Comfort Care White Lake

Property described as parcel number 12-36-176-002, located on the west side of Union Lake Road, between Hutchins Road and Cooley Lake Road, consisting of approximately 8.7 acres.

Request:

i) Rezoning (from (LB) Local Business to Planned Development (PD))

ii) Preliminary site plan approval

Applicant: Comfort Care, LLC
4180 Tittabawassee Road
Saginaw, MI 48604

Mr. Quagliata re-introduced the project to the Planning Commission. Most of the requested site plan revisions were made; however, the applicant will still need multiple waivers. The applicant was reminded the community benefit should be commensurate with the waivers requested and might not be site specific but benefit the community at large. Building materials were discussed at the last meeting and it was recommended the front facade have a change in the building plane every 60 feet but no changes have been made.

Commissioner Seeley inquired if parking was adequate and what the zoning is of other facilities similar to this. Mr. Quagliata stated the parking does meet the Township requirements and other facilities' zoning is Planned Development and RM-2.

Commissioner Dehart inquired about the south access and the impact on the neighboring residence. Commissioner Carlock expressed concern about the rear setback and how close it is to the residence. Mr. Quagliata explained options such as an extensive landform buffer or a screen wall.

Commissioner Carlock inquired if anyone had communication with the homeowners to the rear. Director O'Neil spoke with the homeowners; they are satisfied with the gravel driveway leading to their home being paved and did indicate concern about the mature trees at the property line. There was discussion of the waivers requested for the greenbelt and the other waivers at the front of the building.

Director O'Neil spoke with the Fire Department, as they have not provided a letter, they indicated they are satisfied with the site plan. Commissioner Seeley inquired if call volume has been considered by the Fire Department. Director O'Neil stated there are a number of items they will need some flexibility on but there needs to be community benefit to offset those requests.

Discussion about the size of the building, whether it met the Master Plan for density, and what the community benefit would be.

Mr. Leuffgen reported on two engineering review letters. From January 27, 2022, for the preliminary site plan review, there is concern over items A & B; emergency access and secondary access are dependent on the West Valley project progressing. They propose a separate emergency outlet to Union Lake Road that would be gated and not open to daily use, if West Valley does not progress. Item C; access must be maintained to the easement for the neighbor's residential driveway. Item D; the retaining wall close to the mature trees on the neighboring property has been addressed. Item E; storm sewer separation needs to be addressed at final site plan. Item F; storm water detention plans, as designed, rely on West Valley progress. West Valley needs to alter their plan to accommodate the discharge. An alternative if West Valley does not progress would be a retention pond, but that changes the size of the pond. Item G; in regards to the watermain connection, the best-case scenario would tie into West Valley. If they cannot connect to the West Valley watermain a separate connection on Union Lake Road would require a high-pressure reducing valve.

Mr. Quagliata stated all engineering comments would need to be a condition of site plan approval, and they may need to be addressed in revised plans which could require a return to the Planning Commission; it would depend on the magnitude of the change to the site plan. Any change to the development agreement would have to be presented to the Township Board.

Commissioner Dehart inquired if the retaining wall could be moved to not disturb the drip line of the trees on the neighboring property and what is the neighbor's recourse if the trees die due to the disruption. Mr. Quagliata explained the options.

Commissioner Slicker inquired if the neighboring property was on septic and if so, would it have the opportunity to tie into sewer. Mr. Leuffgen stated it would be cost prohibitive to bring sewer to the rear of the property.

Mr. Leuffgen introduced the engineering review dated February 3, 2022 regarding the review of the traffic study. Existing traffic on Union Lake Road was contrasted for this site developed as retail versus this project. The proposed project has much less impact than the commercial use. The traffic study did not meet criteria to support a left-turn lane or right-turn taper. The applicant would apply to the Road Commission for Oakland County for the approach and work in the right-of-way.

Applicants present: Doug Boehm, Owner & Executive Director of Comfort Care
John Costa, Architect
Rudy Quaderer, Engineer

Mr. Boehm presented the proposed facility would include 70 units, comprised of 30 independent living units and 40 assisted living/memory care units. They would offer 24/7 care including meals, activities, and services for all residents.

Discussion about the community benefit offered and if it is commensurate with waivers being requested.

Commissioner Slicker expressed concern about the applicant contacting the neighboring property owner. Mr. Boehm stated they could contact the neighbor regarding the landscape buffer between the properties.

Commissioner Fine has concerns about the landscape screening for the front of the building along Union Lake Road.

Mr. Costa gave an overview of what the building will look like. Vice-Chairperson Seward has concerns about the front of the building not meeting what was asked for. Discussion regarding the road elevation and the lack of changes since the last presentation. Staff Planner Quagliata stated there is an inconsistency in the site plan and the architectural plan for the porch dimensions.

Director O'Neil expressed concerns there are multiple issues not addressed and this project is not ready to be presented to the Township Board. Remaining concerns include the size of the building, the density, and the project is contingent on West Valley.

Mr. Quaderer stated they are aware their plans will change if West Valley does not proceed. In regards to the landscaping at the adjoining property, they are willing to adjust the landscaping should the homeowner prefer more trees.

Discussion regarding the size of the building, how it affects the density and waivers being requested.

Commissioner Seeley moved to table the rezoning from LB Local Business to PD Planned Development and the preliminary site plan for the property described as parcel number 12-36-176-002, located on the west side of Union Lake Road, between Hutchins Road and Cooley Lake Road, consisting of approximately 8.7 acres.

**Commissioner Fine supported, and the MOTION CARRIED with a roll call votes (6 yes votes):
(Carlock/yes, Dehart/yes, Fine/yes, Seeley/yes, Seward/yes, Slicker/yes)**

B. Oxbow Lake Private Launch Association

Property described as parcel number 12-22-279-004, (10193 Highland Road) located on the south side of Highland Road between Lakeside Drive and Hilltop Drive, consisting of approximately 1.9 acres.

Request:

i) Rezoning (from Local Business (LB) to Planned Development (PD))

ii) Preliminary site plan approval

Applicant: Oxbow Lake Private Launch Association, Inc.
10835 Oxbow Lakeshore Drive
White Lake, MI 48386

Mr. Quagliata re-introduced the project, indicating changes to the preliminary site plan include paving part of the driveway twenty feet past the proposed gate. Waivers are requested for not installing sidewalks on Highland Road and Lakeside Drive, and fence waivers. The applicant has offered to reimburse the Township if it installs sidewalks in the future. Offering a 3,077-square foot easement to the Township for a pocket park was the proposed community benefit. No signage was proposed but the applicant is requesting "no fueling" signage which could be allowed within the fenced area and not visible from the street.

Director O'Neil explained how the community benefit needs to be weighed depending on the project.

Commissioner Slicker inquired what was the interest in this area by the Parks & Rec Committee. Commissioner Carlock explained the Parks & Rec Committee was interested in installing a walking path and gazebo.

Mr. Leuffgen introduced the engineering review dated January 14, 2022. Most items have been addressed. The site geometry and turning radius template has been provided, boat launch crosses under electrical lines that need adequate clearance and while DTE said it did not have any concerns the applicant should provide written documentation to confirm.

Frank Bowers of 10185 Lakeside Drive, representing the Applicant, presented the public benefit consisted of three elements: public safety; Knox box will give access to first responders for the lake not just the site, the easement for the pocket park and the beautification of the site. The proposed fence will not block any view of the lake.

Commissioner Fine moved to recommend approval to the Township Board, subject to getting final site plan approval, the rezoning from LB Local Business to PD Planned Development for the property described as parcel number 12-22-279-004, (10193 Highland Road) located on the south side of Highland Road between Lakeside Drive and Hilltop Drive, consisting of approximately 1.9 acres.

Commissioner Carlock supported, and the MOTION CARRIED with a roll call votes (6 yes votes): (Carlock/yes, Dehart/yes, Fine/yes, Seeley/yes, Seward/yes, Slicker/yes)

Commissioner Fine moved to recommend approval to the Township Board, subject to the applicant addressing all of the staff and consultant comments and recommendations and subject to rezoning approval, the preliminary site plan for the property described as parcel number 12-22-279-004, (10193 Highland Road) located on the south side of Highland Road between Lakeside Drive and Hilltop Drive, consisting of approximately 1.9 acres.

Commissioner Slicker supported, and the motion carried with a roll call vote (6 yes votes): (Carlock/yes, Dehart/yes, Fine/yes, Seeley/yes, Seward/yes, Slicker/yes)

C. Szott Automotive Group

Property described as parcel number 12-20-427-011 (6700 Highland Road), located on the south side of Highland Road, east of Bogie Lake Road, consisting of approximately 10.2 acres and zoned Planned Business (PB).

Request:

i) Amended final site plan approval

ii) Amended planned business development agreement approval

Applicant: Partners in Architecture, PLC
65 Market Street
Mount Clemens, MI 48043

Mr. Quagliata introduced the request for an amendment to the final site plan approved in 2014 and planned business development agreement approved in 2014, for modifications to the exterior facade of the Szott dealership. This would include installation of new wall signs and a new monument sign along Highland Road. The current planned business development agreement does not allow minor modifications. The modifications include painting, new metal panels, and new wall signs that would reduce the overall square footage of sign area. The applicant is requesting a waiver for LED lighting that would not be in compliance with the Township ordinance; staff recommends removing the LED lighting. The height of the proposed monument sign would remain the same as the current pylon sign, however the size of the sign area would be reduced. This sign would require a waiver from the masonry base requirement.

Commissioner Dehart has concerns with the LED lighting proposed and with the height of the monument sign.

Applicants present: David Gasson of Partners in Architecture Design Group
Thad Szott owner of Szott Automotive

Mr. Gasson gave a description of the proposed modifications to enhance the Jeep brand and increase aesthetic appeal. He believes this will add curb appeal. The LED lighting compliments the overall material changes and defines the building's three sections.

Commissioner Carlock inquired about the materials used and expressed concern over the LED light strips. Discussion about the materials used and which panels were being painted, as well as the levels of the LED lighting.

Director O'Neil stated this would have been considered administratively if it were allowed in the current planned business development agreement, with exception of the lighting. Staff will request the Township Board allow minor modifications in the planned business development agreement modification.

Discussion about requesting a reduction of height of the monument sign or adding landscaping around it to make it appear shorter.

Mr. Szott stated this design is directly from the CEO of Jeep, and he is concerned about the LED lighting being denied. He believes the LED accent lighting is soft and appealing. This will be the only Jeep stand-alone dealership in the midwest. Szott is dependent on participating in the campaign to be allowed to sell electric vehicles and to have access to new technology being available to dealerships who do participate.

Mr. Szott mentioned the community benefit the dealership has brought to the Township with their partnership with the Police and Fire Departments, West Oakland Transportation Authority, and the Huron Valley School District.

Commissioner Seeley asked if the lighting is on all night. Mr. Szott stated the lighting is on during the night and it is soft and appealing. Staff Planner Quagliata stated corporate brand standards often do not coexist with zoning ordinances.

Commissioner Fine moved to approve the amendment of the final site plan, subject to the monument sign base having landscaping to obscure the height and the removal of the LED accent light strips for the property described as parcel number 12-20-427-011 (6700 Highland Road), located on the south side of Highland Road, east of Bogie Lake Road, consisting of approximately 10.2 acres and zoned Planned Business (PB). Commissioner Carlock supported, and the MOTION FAILED with a roll call votes (2 yes votes, 4 no votes): (Carlock/yes, Dehart/no, Fine/yes, Seeley/no, Seward/no, Slicker/no)

Vice-Chairperson Seward moved to approve the amendment of the final site plan subject to the monument sign being brought into compliance with the Township's zoning ordinance and the removal of the LED accent light strips for the property described as parcel number 12-20-427-011 (6700 Highland Road), located on the south side of Highland Road, east of Bogie Lake Road, consisting of approximately 10.2 acres and zoned Planned Business (PB). Commissioner Dehart supported, and the MOTION CARRIED with a roll call votes (5 yes votes): (Carlock/yes, Dehart/yes, Fine/yes, Seeley/no, Seward/yes, Slicker/yes)

Commissioner Seward moved to recommend approval to the Township Board the planned business development agreement amendment subject to the comments and recommendations of staff and consultants and to include the allowance of minor modification be addressed administratively, for the property described as parcel number 12-20-427-011 (6700 Highland Road), located on the south side of Highland Road, east of Bogie Lake Road, consisting of approximately 10.2 acres and zoned Planned Business (PB).

Commissioner Dehart supported, and the motion carried with a roll call vote (6 yes votes): (Carlock/yes, Dehart/yes, Fine/yes, Seeley/yes, Seward/yes, Slicker/yes)

NEW BUSINESS

None.

OTHER BUSINESS

A. Lake Pointe & West Valley final site plan extension request

Director O'Neil introduced the extension requests of Lake Pointe and West Valley final site plans. Extensions would grant Lake Pointe approval to May 6, 2023 and West Valley approval to March 18, 2023.

Clif Seiber, representing the Applicant, explained the request for extension will give them time to coordinate with Comfort Care for emergency access and for the watermain loop.

Commissioner Seeley moved to approve the extension requests of the final site plans for Lake Pointe & West Valley.

Commissioner Dehart supported, and the motion carried with a roll call vote (6 yes votes): (Carlock/yes, Dehart/yes, Fine/yes, Seeley/yes, Seward/yes, Slicker/yes)

LIAISON'S REPORT

Commissioner Dehart: Zoning Board of Appeals had three cases, one was approved, one was approved with modifications, and one was denied.

Commissioner Carlock: The Parks & Rec Committee has not met since the last Planning Commission meeting.

PLANNING CONSULTANT'S REPORT

No report.

DIRECTOR'S REPORT

Director O'Neil is seeking Request for Proposals for both the Land Use Master Plan and Parks Master Plan. Director O'Neil thanked Mr. Quagliata for his help with preparing those requests. The Civic Center Development Committee met with River Caddis who provided conceptual layouts which will be presented at next Thursday's special Board meeting. The Board will vote on the professional services agreement amendment.

COMMUNICATIONS

Nothing to share.

NEXT MEETING DATES: February 17, 2022
March 3, 2022

ADJOURNMENT

Commissioner Fine moved to adjourn the meeting at 9:43 PM. Commissioner Slicker supported and the MOTION CARRIED with a voice vote: 6 yes votes.

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O'Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: January 27, 2022

RE: Szott Jeep Dealership Renovation
Final site plan and planned business development agreement

Partners in Architecture PLC, on behalf of Szott Automotive Group, has requested an amendment to the final site plan (FSP) and planned business development (PBD) agreement to modify the exterior facade of the dealership, including installation of new wall signs. A new freestanding sign along Highland Road (M-59) is also proposed. The approximately 13.7-acre property, addressed as 6700 Highland Road (Parcel Number 12-20-427-011), is located on the south side of Highland Road, east of Bogie Lake Road and zoned PB (Planned Business).

The current PBD agreement was entered into when the applicant expanded the dealership to include separate new and used car showrooms and a larger service department. On August 21, 2014 the Planning Commission considered both the FSP and PBD agreement; the FSP was approved and the PBD agreement was recommended for consideration to the Township Board. On September 16, 2014 the Township Board considered and approved the agreement with conditions. On December 4, 2014 the Planning Commission considered an amendment to the PBD agreement for the project signage and recommended approval to the Township Board. On December 16, 2014 the Township Board considered and approved the PBD agreement amendment for the project signage. The PBD agreement was executed on July 14, 2015.

The proposed exterior modification includes painting the existing concrete masonry unit (CMU), installation of new aluminum composite metal (ACM) panels, painting existing ACM panels, and relocation of wall-mounted light fixtures. The line of the existing parapet would be lowered (at the main entrance to the building); the top of the parapet elevation would match the existing adjacent parapet level. A 5'-2^{1/8}" metal canopy is proposed to project off the north facade over the main entrance of the building. Metal canopies (a 2' canopy and a 2'-3" canopy) are proposed to project off the north facade over the services lanes.

While not represented in the application as a proposed modification, the proposed high-polished ACM trim would contain two-inch integrated continuous LED lighting along the north and part of the west elevations. A lighting (photometric) plan and specifications for the proposed lights were not provided. As the proposed LED lighting would attract attention to the building, the zoning ordinance considers the lighting prohibited signage. A waiver to install the LED lighting would be required. Staff does not recommend approval of the LED lighting. No other businesses in the Township have similar lighting, and any application for a variance made by a business (not located in a PB or PD zoning district) for similar lighting would likely be denied by the Zoning Board of Appeals. Staff does not support this deviation from the zoning ordinance and recommends as a condition of approval the plans be revised to remove the trim LED lighting.

Signs

When the Planning Commission recommended approval of the wall signage to the Township Board in 2014, the motion included a provision to allow six wall signs totaling 207 square feet. When the Township Board approved the project signage in 2014, its motion only referenced the freestanding sign. The wall signage approval was not incorporated into the PBD agreement. There are currently seven wall signs on the building totaling 240.27 square feet in size. Following is a list of the proposed wall signs:

- “Jeep” – 28.64 square feet
- “Szott M-59” – 27.54 square feet
- “Service” (quantity: 2) – 8.38 square feet each
- “Express Lane” – 11 square feet
- “Body Shop” – 10.10 square feet
- “Certified” (existing sign to remain) – 15.6 square feet
- “Pre-Owned” (existing sign to remain) – 19.6 square feet

Total: 120.86 square feet; 8 wall signs.

The freestanding sign approved in 2014 received waivers for height, setback, size, and sign type (pylon). Currently the sign is 20-feet-tall and 53.5 square feet (approved up to 55 square feet). The proposed monument sign would be 20-feet-tall, 48.3 square feet in size, and setback approximately 23’-9” from the Highland Road right-of-way line.

PBD Agreement Amendment

The applicant has not yet prepared the amendment to the PBD agreement. All plans associated with this project would be incorporated as an exhibit to the agreement. The Planning Commission could recommend approval of the amendment to the PBD agreement to allow the proposed modifications, conditioned on staff and consultants’ approval of the agreement.

Planning Commission Options

The Planning Commission has the option to approve, approve with conditions, or deny the amended final site plan and recommend approval, approval with modifications, or denial of the PBD agreement amendment to the Township Board.

Attachments:

1. Planning Commission meeting minutes from August 21, 2014.
2. Township Board meeting minutes from September 16, 2014.
3. Planning Commission meeting minutes from December 4, 2014.
4. Township Board meeting minutes from December 16, 2014.
5. Site plan application dated January 12, 2022.
6. Architectural plans for proposed modifications (revision date February 3, 2022).
7. Current Szott PBD agreement dated July 14, 2015.

Gregory R. Baroni, Supervisor
Terry Lilley, Clerk
Mike Roman, Treasurer



Trustees
Carol J. Burkard
Scott Ruggles
Andrea C. Voorheis
Rik Kowall

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

WHITE LAKE TOWNSHIP PLANNING COMMISSION

Regular Meeting
7525 Highland Road
White Lake, MI 48383
August 21, 2014 @ 7:00 p.m.

Mr. Meagher called the meeting to order at 7:05 p.m. and led the Pledge of Allegiance. Roll was called: Mr. Kowall and Mr. Lewsley were excused.

ROLL CALL: Steve Anderson
Matt Carr
Debby Dehart, Secretary
Rik Kowall, Board Liaison - Excused
David Lewsley - Excused
Peter Meagher, Chairperson
Gail Novak-Phelps
David Pegg

Also Present: Jason Iacoangeli, AICP, Staff Planner
Jill Bahm, Township Consultant
Greg Gucwa, Township Engineer
Lynn Hinton, Recording Secretary

Visitors: 3

Approval of Agenda

Ms. Novak-Phelps moved to approve the agenda as presented. Mr. Anderson supported and the MOTION CARRIED with a voice vote. (6 yes votes)

Approval of Minutes

a. August 7, 2014

Mr. Anderson moved to approve the minutes of August 7, 2014 as submitted. Mr. Pegg supported and the MOTION CARRIED with a voice vote. (6 yes votes)

Call to the Public (for items not on the agenda)

Mr. Meagher opened the discussion for public comment on items not listed on the agenda, but none was offered.

Old Business:

a. File No. 13-016 – Szott Building Expansion
Location: Located on the south side of Highland Road east of Bogie Lake Road,

58 currently zoned (PB) Planned Business, identified as parcel numbers 12-21-
59 301-030 and 12-20-427-005, consisting of approximately 13.70 acres.

60 Request: 1) Final Site Plan Approval
61 2) Planned Business Development Agreement

62 Applicant: Szott M-59 Chrysler Jeep
63 Mr. Tom Szott
64 6700 Highland Road
65 White Lake, MI 48383
66

67 Mr. Iacoangeli reported that some of the items referenced in the Director's report have since been
68 addressed by the applicant, i.e., the need for a wetland delineation with regard to the storm water basin
69 location. Mike McAdams, the township Environmental Engineer has verified what the applicant has
70 presented and noted that the applicant's plan for the storm water basin will not impact the wetlands on the
71 site.

72
73 Mr. Iacoangeli added that Police Chief Kline would like the applicant to address the issue with trucks or
74 cars being delivered and unloaded at certain times on M-59 during peak hours. He'd like this remedied to
75 have the eastern drive brought down to grade for the trucks to get in and out of the site easier so that
76 traffic is not affected. The developers have agreed to address this concern.
77

78 Clearzoning has recommended approval of the final site plan subject to the 2 parcels being combined into
79 1 parcel via the Assessor's office, and this should be a contingency upon final approval.
80

81 Ms. Bahm stated she is in agreement with comments about the lots being combined. In addition, the
82 applicant's plans should show barrier-free parking spaces. There is also a concern with light poles, which
83 should be 100 ft. from the property line, but they feel the light will not interfere or impact the site
84 negatively and a statement to this effect can be added into the development agreement. Lastly, they
85 would like to see the wetland and landscape elevations provided. Clearzoning is recommending approval
86 subject to the applicant addressing these issues.
87

88 Mr. Gucwa stated he is recommending approval subject to improvements to their current storm water
89 plan. He will work with them on this. He would like to see the basin re-graded and the center dyke
90 brought up a little for more balance.
91

92 Andy Andre, representing Szott, confirmed that the wetlands issue has been resolved. He added that the
93 lot combination has been filed with the Township Assessor, who is filing with the county this week. With
94 regard to the Police Chief's issue, they will re-grade the eastern driveway and work with J&A to make
95 sure it works operationally.
96

97 Mr. Andre continued that lighting has been a critical issue in the past and they are proposing using LED
98 lighting, which will keep levels at a minimum. It was noted that the lights would be on timers to turn off at
99 11:00 pm. Landscaping was also a concern and the previous plan met the minimum criteria. Due to the
100 nature of the business and being in a highly visible location, the eastern area has been concentrated on
101 with a heavily landscaped buffer in addition to landscaping being provided along the M-59 frontage. They
102 feel they have exceeded the requirements now.
103

104 He agrees that the basin can be worked out with elevation and they will continue to work with Mr. Gucwa.
105

106 Mr. Anderson indicated that what helps him with landscaping plans is actual color renditions of the layout
107 and design. Mr. Andre did not have anything with him this evening, but stated there is a mix of
108 evergreens, deciduous trees and hearty, broad-leafed trees that will not go bare in the winter.
109

110 **Ms. Novak-Phelps moved in File 13-016 to recommend to the Township Board to grant Final Site**
111 **Plan approval of the Szott Building Expansion contingent upon comments and review from the**
112 **consultants and the Community Development Director, grading the eastern drive, combining the 2**
113 **parcels, obtaining the wetlands delineation, and a successful agreement with any outstanding**
114 **issues with the consultants. Mr. Anderson supported and the motion carried with a roll call vote.**
115 **Pegg – yes; Anderson – yes; Carr – yes; Meagher – yes; Dehart – yes; Novak-Phelps - yes. (6 yes**
116 **votes)**

117
118 Ms. Novak-Phelps moved in File 13-016 to recommend to the Township Board to approve the
119 Planned Business Development Agreement for the Szott Building Expansion to include
120 consultants recommendations, but waiving Article 6 relating to requirements for a traffic study
121 and community impact statement. Mr. Anderson supported and the motion carried with a roll call
122 vote. Anderson – yes; Novak-Phelps – yes; Anderson – yes; Carr – yes; Meagher – yes; Dehart –
123 yes. (6 yes votes)
124

125 b. Review and discussion of the draft 2015-2020 Capital Improvement Plan (CIP)
126

127 Mr. Iacoangeli asked the commission to review this prior to the public hearing on September 4. Not many
128 items have changed since the previous plan, other than dollar amounts for Parks & Rec new projects.
129 Items completed are listed in the history, including the purchase of the fire pumper trucks and senior
130 shuttle bus purchased during the last project cycle. He asked the commissioners to notify him of any
131 grammatical errors.
132

133 **Liaison's Report**
134

135 Mr. Kowall was not present to give a report.
136

137 **Consultant's Report**
138

139 Ms. Bahm distributed copies of Clearzoning's Monthly Planning Brief. She indicated that they've created
140 a new mapping tool online where people can now click on a specific parcel and it shows the zoning
141 classification and provides a link to the township website.
142

143 Ms. Bahm also introduced the idea of the township developing a "Complete Streets" ordinance or
144 resolution, at which Mr. Birchler will discuss at a later date. This document would give the township more
145 stake in the game with road agencies over future improvements to M-59 by providing a planning transport
146 network for all its users.
147

148 Mr. Carr stated that he has had informal talks with some of the board members regarding the appearance
149 of the M-59 corridor with the overgrowth of grass and lack of maintenance. He referenced Highland
150 Township's Beautification Committee and questioned whether the creation of a Complete Streets
151 ordinance would allow us to have more say on how the corridor in White Lake is maintained. Ms. Bahm
152 responded that the township needs options and opportunities, and this would move it in that direction.
153

154 Mr. Iacoangeli added that the Complete Streets is a currently a component of the Master Plan and the
155 township has an alert plan with MDOT and the RCOC for at-grade signal crossings. There are projects
156 the township listed, but we don't have a formal Complete Streets plan. The Parks & Rec's pathway plan
157 and the M-59 are also components of the Master Plan. This could be a stand-alone document, but the
158 township would need to get public input through a visioning process.
159

160 Ms. Dehart questioned whether a Complete Streets plan would help the township get grants. Ms. Bahm
161 responded that the granting agency might ask if there is planning documentation. By having this plan in
162 place, projects have more probability of being successful. Mr. Iacoangeli added that road agencies have
163 told the township that they want these types of plans shared with them. Without anything on file, MDOT
164 and RCOC would design things to their standard. This document would at least get consideration from
165 those agencies before starting their projects.
166

167 **Director's Report**
168

169 Mr. Iacoangeli had nothing further to add.
170

171 **Other Business**
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173 a. Election of Vice-Chairperson
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175 Mr. Anderson requested this be on the agenda at the next meeting.

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Communications:

Next meeting dates:

- Regular Meeting – September 4, 2014
- Regular Meeting – September 18, 2014

Adjournment

Mr. Anderson moved to adjourn the meeting at 8:10 p.m. Ms. Novak-Phelps supported and the MOTION CARRIED with a unanimous voice vote. (6 yes votes)

CHARTER TOWNSHIP OF WHITE LAKE

Approved Minutes of the Regular Board of Trustees Meeting

September 16, 2014

Supervisor Baroni called the meeting to order at 7:00 p.m.

Supervisor Baroni led the Pledge of Allegiance.

Clerk Lilley called the roll:

Present: Greg Baroni, Supervisor
Terry Lilley, Clerk
Mike Roman, Treasurer
Carol Burkard, Trustee
Rik Kowall, Trustee
Andrea Voorheis, Trustee

Absent: Scott Ruggles, Trustee

Also Present: Lisa Hamameh, Attorney
Sean O'Neill, Planning Director
Cathy Derocher, Deputy Clerk
Amy Bertin, Recording Secretary

Clerk Lilley made the following changes to the Agenda: Add 5D, Treasurer's Report.; following 8J, Job Description, a motion needs to be made to promote the position to the proposed pay scale; Remove Item 8G.

It was MOVED by Clerk Lilley, SUPPORTED by Trustee Burkard to approve the amendments to the Agenda. The MOTION PASSED by a voice vote (6 yes votes).

PUBLIC COMMENTS

Doug Hanks, 10115 Joanna K. He handed out some envelopes to the Board. It is a very serious matter. He would urge that all of them look at it immediately. There is a letter and a CD in the envelope. Their action is required and he would like to hear from someone on the Board within a couple of weeks.

Larry Ostrowski, Library Director, White Lake Township. He thanked all the Board members who helped out in making the Fisk Farm Festival so successful this year. It was great weather and good turnout. The Township should take a lot of pride in that event.

Supervisor Baroni announced that coming up within the next couple of weeks is a North Oakland County Storyteller's tailgate event at the Fisk Farm. Also, at the end of the month of October

for Halloween there will be a Spooky Victorian Funeral at the Farm.

Clerk Lilley added that on October 2, the Oakland County Chapter of MTA, the Michigan Township Association, has invited all of the candidates that will be running in the November election to the Fisk Farm from 3:30 to 5:30 in the afternoon. Anyone who would like to participate in it or meet any of the candidates, please come.

CONSENT AGENDA

- A. LIST OF BILLS**
- B. REVENUE AND EXPENSES**
- C. DEPARTMENT REPORTS**
 - 1. COMMUNITY DEVELOPMENT**
 - 2. FIRE DEPARTMENT**
 - 3. POLICE REPORT**
 - 4. WATER REPORT**

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Voorheis to approve the Consent Agenda. The **MOTION PASSED** by a voice vote (6 yes votes).

PRESENTATION

A. SWEARING IN OF OFFICER BEDNAR (POLICE DEPT.)

Chief Kline introduced Officer Bednar with the swearing in being performed by Clerk Lilley. Off. Bednar joined the Michigan Army National Guard and is currently serving in the First Battalion 125th Infantry. He deployed to Northern Afghanistan in January 2012, saw some combat and returned home in October 2012. He attended Macomb Community College completing his Associate's degree in 2013, and the Police Academy in May of 2014. After completing the lengthy testing and interview process, he was the number one candidate on our list.

B. SWEARING IN AND PROMOTION OF JASON CREAN TO LIEUTENANT (FIRE DEPT.)

Chief Gurka introduced Jason Crean who was formally sworn in to the rank of Lieutenant by Clerk Lilley. Lt. Crean formerly served on the Hazardous Materials Team which involves a lot of technical knowledge and training. He is currently a member of the Technical Rescue Team which is a specialized team county wide that deals with situations that get beyond the realm and ability of an ordinary fire department to handle. He also is just about to complete his Bachelor's degree and assisted with a Grant for our department where we are receiving \$400,000 over a period of several years to have a recruitment and training coordinator.

C. PAPPAS FINANCIAL PRESENTATION ON MEDICARE ADVANTAGE PRODUCTS

Vikki Getner from Pappas Financial gave a brief presentation highlighting the benefits of the Medicare Advantage Program. She distributed to the Board some materials outlining a comparison between the Township's current retiree plan and the Medicare plan. It includes a Medicare plan plus some additional benefits with rates substantially lower than what the Township is currently paying. This plan does cover prescription drugs and some dental and vision. It is more of a copay program so a copay will be paid for every service that you have instead of just dealing with the 80/20 rule.

It was MOVED by Clerk Lilley, SUPPORTED by Treasurer Roman to approve Cathy Derocher and Vikki Getner meeting with the current retirees to discuss the Medicare Advantage Plan. The MOTION PASSED by a voice vote (6 yes votes).

D. ARCHITECTURAL & ENGINEERING SERVICES FOR CHMP FOR TOWNSHIP OFFICES

Greg Mason, Vice President of CHMP Architects and Engineers, came before the Board tonight to present a study for the Board to consider before making improvements and changes to the Township Offices. They are a municipal architect and engineering firm and have been in business since 1968. They have a team of experts who assess the building and make recommendations on planning and energy improvements, having knowledge and experience in LEED. He showed a series of slides depicting a sampling of previous jobs their company has worked on. Included within the study will be project understanding, project description, an actual work plan with Phase I broken down into Tasks 1 thru 9, Phase II are services such as how to fund the project and finally a fee schedule.

It was MOVED by Treasurer Roman, SUPPORTED by Trustee Burkard to approve the amount of \$19,500, plus out of pocket costs, for CHMP to complete a study for improvements to the White Lake Township Offices. The MOTION PASSED by a voice vote (6 yes votes).

MINUTES

A. AUGUST 19, 2014

It was MOVED by Treasurer Roman, SUPPORTED by Trustee Kowall to approve the Minutes for August 19, 2014. The MOTION PASSED by a voice vote (6 yes votes).

NEW BUSINESS

A. RESOLUTION #14-033, APPROVAL OF NON UNION HEALTHCARE & WAGE

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Trustee Burkard to approve Resolution #14-033, Approval of Non Union Healthcare & Wage Package, with the following changes on Page 2, the 2% pay raise from 2014 be paid retroactive to January 1, 2014; the \$500 'Bonus' wording be changed to read 'Healthcare Allowance'. The **MOTION PASSED** by a voice vote (6 yes votes).

B. RESOLUTION #14-034, APPROVE SALE OF PROPERTY

Trustee Burkard commented for the record that the property was originally purchased with the intentions of building onto that site a township complex. It would be a thought to have any money from the sale of property be put towards any improvements or changes to the Township Hall.

Trustee Kowall suggested it be requested of Redwood to share their discovery with the Township such as soil borings, wetland delineations, and environmental reports which could be used as a marketing tool in the future should it become necessary.

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Burkard to approve Resolution #14-034, Sale of M-59 Vacant Property, Sidwell #12-20-401-003 to Redwood Acquisition LLC and to authorize the Township Supervisor to sign the Purchase Agreement with amendment to Page 2, Item 3 adding the language 'Except as it relates to the purchase price'. The **MOTION PASSED** by a roll call vote (Kowall-yes; Voorheis-yes; Burkard-yes; Roman-no w/comment that any changes should come before the entire Board; Lilley-yes; Baroni-yes).

C. RESOLUTION #14-032, CAPITAL IMPROVEMENT PLAN 2015-2020.

Trustee Burkard questioned if the Master Plan is calling for White Lake to be considered a walkable community whether monies are being set aside towards that goal. The Board should consider it as a line item. When people hear a walkable community they expect pathways, not just parks. Parks and Rec should go for a millage and specifically say it is for walkable, bikeable pathways.

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Kowall to approve Resolution #14-032, Capital Improvement Plan 2015-2020. The **MOTION PASSED** by a voice vote (6 yes votes).

D. WATER DEPARTMENT 2014 VEHICLE REPLACEMENT

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Burkard to approve the Water Department's request to purchase a new 2015 Transit 250 Van in the amount of \$23,469; the Sewer Dept. to purchase from the Water Dept. the GMC Sonoma Truck for \$500. The **MOTION PASSED** by a voice vote (6 yes votes).

E. SZOTT BUILDING EXPANSION, FILE NO. 13-016

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Burkard to approve the Szott Planned Development Agreement with the following recommendations: 1. that the Community Impact Study and Traffic Study be waived as there are no additional curb cuts required; 2. Approval of deviation from the current zoning ordinance as to the height and location of light poles; 3. Allow two weeks for the completion of the Planned Development Agreement; 4. To allow grading on the site to proceed only after the grading Pre Con; 5. If the Planned Development Agreement is not completed in two weeks, the applicant will be required to post a letter of credit or cash bond for 4.29 acres at \$5,000 an acre in order to complete the grading of the site until all items of the Planned Development Agreement have been completed. At the grading pre con the following will be required, the grading plan, the soil erosion permit, the insurance certificate and \$1000 inspection fee posted); 6. Compliance with the consultant's recommendations. The **MOTION PASSED** by a voice vote (6 yes votes).

F. WHITE LAKE TWP. & MAFF TENTATIVE AGREEMENT RE: HEALTHCARE

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Trustee Voorheis to approve the Tentative Healthcare Agreement between White Lake Township and the Michigan Association of Firefighters. The **MOTION PASSED** by a voice vote (6 yes votes).

**H. PARKS AND REC RECOMMENDATION: HISTORICAL FISK FARM PARK
MASTER PLAN**

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Treasurer Roman to authorize the Community Development Department to undertake the planning process during the winter of 2014-2015 to facilitate the needs of both the Parks and Rec Committee and those of the Historical Society. The **MOTION PASSED** by a voice vote (6 yes votes).

I. FIRE DEPARTMENT REQUEST FOR FLOOR REPAIR

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Kowall to approve the Fire Department request for Performance Floor Coating Systems to resurface the floors at the fire station in the amount of \$4496. The **MOTION PASSED** by a voice vote (6 yes votes).

J. APPROVAL OF JOB DESCRIPTION (POLICE DEPT.)

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Voorheis to approve the job description of Executive Secretary for the Police Department. The **MOTION PASSED** by a voice vote (6 yes votes).

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Clerk Lilley to approve the position of Executive Secretary starting at the 6 month salary amount of \$42,623. The **MOTION PASSED**

by a voice vote (6 yes votes).

K. APPROVAL TO ACCEPT OFFER TO SELL LOT #16, RIVERDALE SUB

It was moved by Trustee Kowall, SUPPORTED by Trustee Burkard to approve the sale of Lot #16 in the Riverdale Sub. The MOTION PASSED by a voice vote (6 yes votes).

EXECUTIVE SESSION

**A. APPROVAL TO RECESS INTO CLOSED SESSION TO DISCUSS
ATTORNEY/CLIENT PRIVILEGE**

It was MOVED by Clerk Lilley, SUPPORTED by Treasurer Roman to Adjourn into Executive Session. The MOTION PASSED by a roll call vote (Kowall-yes; Voorheis-yes; Burkard-yes; Roman-yes; Lilley-yes; Baroni-yes).

It was MOVED by Clerk Lilley, SUPPORTED by Trustee Burkard to return to Open Session. The MOTION PASSED by a roll call vote (Kowall-yes; Voorheis-yes; Burkard-yes; Roman-yes; Lilley-yes; Baroni-yes).


It was MOVED by Trustee Kowall, SUPPORTED by Trustee Burkard to authorize the Supervisor to discuss compensation with Mr. Sweeney for his role as WOCCA cable representative. The MOTION PASSED by a voice vote (6 yes votes).

It was MOVED by Trustee Kowall, SUPPORTED by Trustee Burkard to authorize the Supervisor to proceed as required with litigation. The MOTION PASSED by a voice vote (6 yes votes).

It was MOVED by Clerk Lilley, SUPPORTED by Treasurer Roman to adjourn the meeting. The MOTION PASSED by a voice vote (6 yes votes).

The meeting was adjourned into Executive Session at 10:15 p.m.

I, Terry Lilley, the duly elected and qualified Clerk of the Charter Township of White Lake, County of Oakland, State of Michigan, hereby certify that the foregoing is a true copy of the September 16, 2014 regular board meeting minutes.



Terry Lilley, Clerk
White Lake Township
Oakland County, Michigan

Gregory R. Baroni, Supervisor
Terry Lilley, Clerk
Mike Roman, Treasurer



Trustees
Carol J. Burkard
Scott Ruggles
Andrea C. Voorheis
Rik Kowall

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

WHITE LAKE TOWNSHIP PLANNING COMMISSION

Regular Meeting
7525 Highland Road
White Lake, MI 48383
December 4, 2014 @ 7:00 p.m.

Mr. Meagher called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance. Roll was called by Debby Dehart, Secretary: Mr. Kowall and Ms. Hinton were excused.

ROLL CALL: Steve Anderson
Matt Carr
Debby Dehart, Secretary
Mark Fine
Rhonda Grubb
Rik Kowall, Board Liaison - Excused
David Lewsley
Peter Meagher, Chairperson
Gail Novak-Phelps – Vice Chairperson

Also Present: Sean O'Neil, AICP, Community Development Director
Jill Bahm, Township Consultant
Greg Gucwa, Township Engineer
Lynn Hinton, Recording Secretary – Excused
Dawn Brotherton – Acting Recording Secretary

Visitors: 4

Approval of Agenda

Ms. Novak-Phelps moved to approve the agenda as presented. Mr. Anderson supported and the MOTION CARRIED with a voice vote. (8 yes votes)

Approval of Minutes

a. November 20, 2014

Mr. Carr moved to approve the minutes of November 20, 2014 as presented. Ms. Dehart supported and the MOTION CARRIED with a voice vote. (8 yes votes)

Call to the Public (for items not on the agenda)

Mr. Meagher opened the discussion for public comment on items not listed on the agenda, but none was offered.

Public Hearing:

Mr. Meagher declared there is no public hearing.

59 **Continuing Business**

- 60
- 61 a. File No. **13-016 Szott Building Expansion**
- 62 Location: Located on the south side of Highland Road (M-59) and east
63 of Bogie Lake Road, currently zoned (PB) Planned Business
64 District, identified as parcel number 12-20-427-011,
65 consisting of approximately 13.70 acres.
- 66 Request: **1) Amended Planned Business Development Agreement**
- 67 Applicant: Szott M-59 Chrysler Jeep
68 Mr. Tom Szott
69 6700 Highland Road
70 White Lake, MI 48383
71

72 Mr. O'Neil opened the discussion with some background information in the Szott packet and the fact
73 that we only needed to talk about the signage issues that haven't been cleared up yet. In particular:

- 74 1. Type of sign – post pylon or monument. Our ordinance states that all new businesses
75 have a monument sign and/or a wall sign. Therefore, the issue is the style of the sign and
76 trying to come to an agreement that will satisfy both Chrysler and Mr. Szott. They are
77 asking for an eight foot sign (needs board approval for anything over six feet). Reference
78 was made to the businesses that have post pylon signs, but they are older businesses
79 and their signs have been grandfathered in.
- 80 2. The number and total sign area of the wall signs. Mr. O'Neil stated that even though
81 Chrysler is one entity, Mr. Szott has various types of businesses under one roof and
82 would like to request 5 more signs and 7 additional square feet.
83

84 The floor was open for discussion. All agree that the sign should be a monument sign, whether a new
85 design or a revised version of the one in the packet. The sign that is presently there is a non-
86 conforming one and Chrysler wants to remove it. Questions arose as to the new signage visibility - if it
87 were to be a monument, and with the car display in front of the building - it may be difficult to see a
88 monument sign. However, the sign will be located in area N-01 (which is on the map in the packet),
89 on the east side of the driveway and the height of the sign can be larger.
90

91 Ms. Bahm suggested that Chrysler may have a set design for a monument sign just like the prepared
92 post pylon sign in our packet. Since they have various dealerships, they should have designs for both
93 types of signs.
94

95 Mr. O'Neil feels that the Planning Commission is going toward a monument sign and will work out on
96 the administrative side some options to present to the Township Board in a couple of weeks.
97

98 **Mr. Lewsley moved in File 13-016, Szott Building Expansion that the Planning Commission**
99 **recommend Township Board approval of the amended planned business development**
100 **agreement, subject to the recommendations and conditions of the Township Attorney,**
101 **Township Planning Consultant, Township Engineer; and with respect to signage in particular,**
102 **recommend the Township Board allow the wall sign plans to include the 6 proposed signs of**
103 **the applicant to total 207 square feet and, with regard to the street sign, we recommend that**
104 **the Board approve use of a monument sign and pedestal up to 13 feet, base at street level**
105 **being 6 ½ feet X 8 ½ feet, that allows the applicant to incorporate the standard Chrysler brand**
106 **sign on a monument and leave it to the Township Planning staff to finalize the details of the**
107 **base and composition of the structure (being approximately 52 square feet) with the applicant.**
108 **The motion carried with a roll call vote: Anderson – yes; Carr – yes; Fine – yes; Grubb – yes,**
109 **Lewsley – yes; Meagher – yes; Novak-Phelps – yes; Dehart – yes. (8 yes votes)**
110

111 **New Business**

- 112
- 113 a. Presentation by Mr. Robert Lambert.
- 114 Location: 825 Oxbow Lake Rd. Located on the northeast side of Oxbow
115 Lake Road, currently zoned residential, identified as parcel
116 numbers 12-34-201-002 and 12-34-201-003, consisting of
117 approximately 5 acres.

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Mr. Lambert presented an idea for this particular property to be rezoned for a wedding barn. The business purpose, if purchased by him, is to host weddings and receptions year round. There will need to be renovations to the present barn and adjacent buildings, plus landscaping for sound buffering, and an area created for parking. There was much discussion with pros and cons, and the consensus was that the idea was worthwhile, but with the property being in a residential area, it may not be feasible because of the possible noise levels. Can he find another piece of property, with a barn, that is not so densely populated?

b. Consideration of the Planning Commission By-Laws

Mr. O'Neil provided copies of the changes that were made to the by-laws.

On page 3, first paragraph, it was suggested changing to one who owns real property in the township. The paragraph now reads, "All members shall be qualified electors and residents of the Township, except that one member may be an individual who is not a qualified elector of the Township, but who owns real property within White Lake Township".

On page 4, Section 3.1, A – Election – strike out Chairperson, and change to "not eligible to serve as an officer".

Mr. Lewsley made a motion to approve the amended by-laws, subject to the changes made. Ms. Novak-Phelps supported and the motion was carried with a roll call vote: Anderson – yes; Carr – yes; Fine – yes; Grubb – yes; Lewsley – yes; Meagher – yes; Novak-Phelps – yes; Dehart – yes; (8 yes votes)

c. Approval of the 2015 Planning Commission meeting Dates

Mr. Anderson moved to approve the meeting dates for 2015. Mr. Fine supported and the MOTION CARRIED with a voice vote (8 yes votes)

Liaison's Report

No report due to excused absence of Mr. Kowall.

Ms. Novak-Phelps stated that there was no ZBA meeting due to Thanksgiving.

Mr. Carr stated that there was no Parks and Rec meeting.

Consultant's Report

Ms. Bahm will review and provide guidelines to Mr. O'Neil on the proposed wedding barn at 825 Oxbow Lake Rd. identified as parcel numbers 12-34-201-002 and 12-34-201-003.

Director's Report

Mr. O'Neil noted that the agenda for the next meeting on December 18 will have the Kroger site plan. Planning on K-Mart being torn down, new Kroger replacing and Kroger will vacate their present location. Kroger will build a gas station behind the present Kroger. The new Kroger will be about the same size as the Commerce Kroger. Hallmark will be leaving. Arby's will also need to connect to public utilities along with the new Kroger in order to stay open for business. Would also like to see smaller retailers on outlots in front of Kroger to take up some of the parking lot. The Board will likely be supportive of this new Kroger.

176 The land across the street (to the west) has been sold and various retailers are going to be coming in.
177 Though not in traditional form, this area of the Township will effectively become White Lake's downtown.

178
179 Gin Mill is now open and has been since December 2 – was not able to fit a monument sign, but the wall
180 sign is good and very visible.

181
182 Andover Park off of Cedar Island West and Bogie Lake Rd. is in the planning stages, but they need more
183 improvements than they want to present at this point. Mr. O'Neil told them their plan was not a good one.
184 They may still want to go before the Planning Commission.

185
186 **Communications:**

187
188 **Next meeting dates:**

- 189
190
 - Regular Meeting – December 18, 2014
 - Regular Meeting – January 1, 2015 – cancelled.
 - Regular Meeting – January 15, 2015.

193
194 **Other Business:**

195
196 Mr. Fine wanted to note that he is still listed in the Zoning Board as an alternate on the website.

197
198 **Adjournment**

199
200 **Mr. Anderson moved to adjourn the meeting at 8:30 p.m. Ms. Novak-Phelps supported and the**
201 **MOTION CARRIED with a unanimous voice vote. (8 yes votes)**

CHARTER TOWNSHIP OF WHITE LAKE

Approved Minutes of the Regular Board of Trustees Meeting

December 16, 2014

Supervisor Baroni called the meeting to order at 7:00 p.m.

Supervisor Baroni led the Pledge of Allegiance.

Clerk Lilley called the roll:

Present: Greg Baroni, Supervisor
Terry Lilley, Clerk
Mike Roman, Treasurer
Rik Kowall, Trustee
Scott Ruggles, Trustee
Andrea Voorheis, Trustee (late)

Absent: Carol Burkard, Trustee

Also Present: Lisa Hamameh, Attorney
Sean O'Neill, Planning Director
Amy Bertin, Recording Secretary

Clerk Lilley made the following amendments to the Agenda. Add Item 5G, Treasurer's Report; Item 9O, Correction to previous motion for Fire Chief's Salary; Item 5D, Amendments to Budget Amendments; Item 9A, add Fireworks rain date of 2-21-15; Item 9F, Correction to Resolution #14-043; Item 9M, add Resolution #14-045.

It was MOVED by Clerk Lilley, SUPPORTED by Trustee Kowall to amend the Agenda as follows: Add Item 5D, Amendments to Budget Amendments; Item 5G, Treasurer's Report; Item 9A, Fireworks rain date 2-21-15; Item 9F, Correction to Resolution #14-043; Item 9M, add Resolution #14-045; Item 9O, Correction to motion for Fire Chief's Salary. The MOTION PASSED by a voice vote (5 yes votes).

PUBLIC COMMENTS

Thomas Johnson, 9136 Buckingham, White Lake Township. There is an ongoing problem at 2010 Kingston. He has spoken to ordinance officers and township officials concerning this problem before. The current resident isn't concerned with letters, phone calls or citations. An ordinance has been violated. If the Township can't enforce the ordinances, they are useless.

Larry Ostrowski, Director, White Lake Township Library. He acknowledged the Township for their participation in the Fisk Farm tree lighting event. It has blossomed into a major event. The Township should take a lot of pride in how it has grown. He received many positive

comments regarding it. Also, he submitted a grant for White Lake to participate in an event called the Inside Out Art Event with the Detroit Institute of Arts. Only 15 communities are selected to participate. Sometime in April there will be eight locations within the township displaying the art work.

Jean Philippe Loew, 247 Rosario Lane. His parents came from France to visit for the Christmas holidays. He found it embarrassing to explain the amount of iron in his tap water to them. He wondered when the iron filtration station was going to be functional in his area and was told hopefully by this coming fall.

Supervisor Baroni also commented that the Christmas tree lighting event was exceptional, with over 2000 guests participating. This year there was a nativity scene with live farm animals, a band and choir from the middle school and crafts in the barn for the children. There is a committee that meets each year to plan the event and they already have ideas to make it bigger and better next year.

CONSENT AGENDA

- A. LIST OF BILLS**
- B. REVENUE AND EXPENSES**
- C. DEPARTMENT REPORTS**
 - 1. COMMUNITY DEVELOPMENT**
 - 2. FIRE DEPARTMENT**
 - 3. POLICE REPORT**
 - 4. OVERTIME REPORT**
- D. BUDGET AMENDMENTS**
- E. BOARD OF REVIEW APPOINTMENTS**
- F. PLANNING AND ZONING BOARD OF APPEALS APPOINTMENTS**
- G. TREASURER'S REPORT**

Supervisor Baroni announced the names of board appointees and their tenure. Board of Review Appointments, Nick Grabowski, Gerald Jessup, Kim McFadden, 2015-2017. Zoning Board Appointments, David Walz and Nick Schillack, reappointed for a 3-year term to expire December 18, 2017. Planning Commission, Rhonda Grubb and Mark Fine, reappointed for a 3-year term to expire December 18, 2017.

It was MOVED by Clerk Lilley, SUPPORTED by Treasurer Roman to approve the Consent Agenda with the addition of Treasurer's Report and two Budget Amendments. The MOTION PASSED by a voice vote (5 yes votes).

MINUTES

A. NOVEMBER 18, 2014

It was **MOVED** by Trustee Ruggles, **SUPPORTED** by Trustee Kowall to approve the Minutes for November 18, 2014. The **MOTION PASSED** by a voice vote (5 yes votes).

PRESENTATION

A. WELLHEAD PROTECTION AWARDS

Supervisor Baroni presented an aware certificate to the following people: Paul Shearlock, Water Dept.; Dawn Brotherton, Water Dept. employee; Matt Maher, County Health Dept. Official; Rik Kowall, Trustee; Sean O'Neil, Planning Director; Mike McAdams, Sewer Director; Christopher Donias; Scott Ruggles, Trustee. This committee is comprised of a group of volunteers whose goal is to protect public water supply systems which use ground water from potential sources of contamination.

B. ITC PRESENTATION

The presentation was not given as the spokesperson did not appear this evening.

OLD BUSINESS

A. SECOND READING, ORDINANCE 129, FEE ORDINANCE

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Trustee Kowall to approve Ordinance No. 129, Fee Ordinance. The **MOTION PASSED** by a voice vote (5 yes votes).

NEW BUSINESS

A. FIREWORKS (ALPINE VALLEY)

It was **MOVED** by Trustee Kowall, **SUPPORTED** by Treasurer Roman to approve the permit for Fireworks (Alpine Valley), adding a rain date of 2-21-15. The **MOTION PASSED** by a voice vote (5 yes votes).

B. APPROVAL OF SENIOR ADVISORY BOARD AND WAIVING MASSAGE LICENSE FEE (DUBLIN)

Clerk Lilley noted that the Township Board approves all of the senior advisory appointments but we don't have to approve who is elected as officers.

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Treasurer Roman to approve waiving the massage fee for the Dublin Senior Center. The **MOTION PASSED** by a voice vote (5 yes votes).

C. 2015-2017, ROAD COMMISSION ANNUAL PERMIT APPLICATION (MAINTENANCE)

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Ruggles to approve the 2015-2017, Road Commission Annual Permit Application (Maintenance). The **MOTION PASSED** by a voice vote (5 yes votes).

D. 2015-2017, ROAD COMMISSION ANNUAL PERMIT APPLICATION (COMMUNITY EVENT)

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Kowall to approve the 2015-2017, Road Commission Annual Permit Application (Community Event). The **MOTION PASSED** by a voice vote (5 yes votes).

E. REQUEST TO PURCHASE FIRE HOSE

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Trustee Kowall to approve purchase of Fire Hose for a total cost not to exceed \$7200. The **MOTION PASSED** by a voice vote (5 yes votes).

F. RESOLUTION #14-043, 2011-2015 RESIDENTIAL REFUSE COLLECTION

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Treasurer Roman to approve Resolution #14-043, 2011-2015 Residential Refuse Collection with the addition of the corrected copy. The **MOTION PASSED** by a voice vote (5 yes votes).

G. RESOLUTION #14-044, FEDERAL POVERTY GUIDELINES

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Trustee Ruggles, to approve Resolution #14-044, Federal Poverty Guidelines, The **MOTION PASSED** by a voice vote (5 yes votes).

H. SUBSTITUTE BUILDING INSPECTOR/PART TIME (BUILDING DEPT.)

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Treasurer Roman, to increase the current part-time fee for Building Inspections to \$30 per inspection. The **MOTION PASSED** by a voice vote (5 yes votes).

I. REQUEST TO PURCHASE SECONDARY WEAPON (TASER) (POLICE DEPT.)

It was **MOVED** by Trustee Kowall, **SUPPORTED** by Treasurer Roman to approve the Request to Purchase Secondary Weapon (Taser) (Police Dept.) for a total cost not to exceed \$9,000. The **MOTION PASSED** by a voice vote (5 yes votes).

J. PONTIAC LAKE GATEWAY REZONING

It was **MOVED** by Trustee Ruggles, **SUPPORTED** by Trustee Kowall to approve the Pontiac Lake Gateway Rezoning, File No. 14-021. The **MOTION PASSED** by a voice vote (5 yes votes).

K. SZOTT BUILDING EXPANSION, FILE NO 13-016

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Clerk Lilley to approve the Requested Amendment to the Planned Business Development Agreement for Szott Building Expansion, File No. 13-016 to allow installation of a Series 5 Pylon Sign not to exceed 55 sq. ft. The **MOTION PASSED** by a voice vote (5 yes votes).

L. LEASE AGREEMENT FOR 7440 HIGHLAND ROAD

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Treasurer Roman to approve the Lease Agreement for \$1 (one) dollar for 7440 Highland Road, authorizing Supervisor Baroni to negotiate the remaining terms and sign the agreement. The **MOTION PASSED** by a voice vote (5 yes votes).

M. UNIFORM VIDEO SERVICE LOCAL FRANCHISE AGREEMENT

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Ruggles to approve Resolution #14-045, Uniform Video Service Local Franchise Agreement. The **MOTION PASSED** by a voice vote (6 yes votes).

(Trustee Andrea Voorheis is now present.)

N. RESOLUTION #14-041, 2015 BOARD MEETING DATES

It was **MOVED** by Treasurer Roman, **SUPPORTED** by Trustee Kowall to approve Resolution #14-041, 2015 Board Meeting Dates. The **MOTION PASSED** by a voice vote (6 yes votes).

O. AMEND PREVIOUS MOTION FOR FIRE CHIEF'S SALARY

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Kowall to approve an amendment to a previous motion regarding the Fire Chief's salary changing it to a three-year rather than four-year level. The **MOTION PASSED** by a voice vote (6 yes votes).

EXECUTIVE SESSION

A. APPROVAL TO RECESS INTO CLOSED SESSION TO CONSIDER ATTORNEY/CLIENT PRIVILEGE COMMUNICATION PURSUANT TO SECTION 8 OF THE OPEN MEETINGS ACT

It was **MOVED** by Clerk Lilley, **SUPPORTED** by Trustee Kowall to adjourn into Executive Session to discuss strategy in connection with pending litigation, White Lake versus Ciurlik Enterprises, pursuant to MCL 15.268 Item E and attorney/client privilege communication pursuant MCL

15.268 Item H. The MOTION PASSED by a roll call vote (Voorheis-yes; Kowall-yes; Roman-yes; Baroni-yes; Lilley-yes; Ruggles-yes).

It was MOVED by Clerk Lilley, SUPPORTED by Trustee Voorheis to adjourn into Executive Session to consider the purchase of property pursuant to MCL 15.268 Item D. The MOTION PASSED by a roll call vote (Ruggles-yes; Lilley-yes; Baroni-yes; Roman-yes; Kowall-yes; Voorheis-yes).

It was MOVED by Clerk Lilley, SUPPORTED by Trustee Kowall to adjourn into Executive Session to consider attorney/client privilege communication pursuant to MCL 15.268 Item H. The MOTION PASSED by a roll call vote (Lilley-yes; Ruggles-yes; Kowall-yes; Roman-yes; Voorheis-yes; Baroni-yes).

The meeting was adjourned into Executive Session at 8:21 p.m.

It was MOVED by Trustee Kowall, SUPPORTED by Trustee Voorheis to proceed as discussed regarding White Lake versus Ciurlik Enterprises in Executive Session. The MOTION PASSED by a roll call vote (Lilley-yes; Ruggles-yes; Kowall-yes; Roman-yes; Voorheis-yes; Baroni-yes).

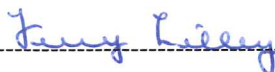
It was MOVED by Trustee Kowall, SUPPORTED by Treasurer Roman to proceed as discussed regarding property purchase in Executive Session. The MOTION PASSED by a roll call vote (Lilley-yes; Ruggles-yes; Kowall-yes; Roman-yes; Voorheis-yes; Baroni-yes).

It was MOVED by Trustee Kowall, SUPPORTED by Treasurer Roman to proceed as discussed regarding attorney/client privilege communication in Executive Session. The MOTION PASSED by a roll call vote (Lilley-yes; Ruggles-yes; Kowall-yes; Roman-yes; Voorheis-yes; Baroni-yes).

It was MOVED by Treasurer Roman, SUPPORTED by Trustee Kowall to adjourn meeting. The MOTION PASSED by a voice vote (6 yes votes).

Meeting adjourned at 10:06 P.M.

I, Terry Lilley, the duly elected and qualified Clerk of the Charter Township of White Lake, County of Oakland, State of Michigan, hereby certify that the foregoing is a true copy of the December 16, 2014 regular board meeting minutes.



Terry Lilley, Clerk
White Lake Township
Oakland County, Michigan

CHARTER TOWNSHIP OF WHITE LAKE

SITE PLAN AND PLAT REVIEW APPLICATION

White Lake Township Community development Department, 7525 Highland Road, White Lake Michigan 48383 (248)698.3300 x163

APPLICANT AND PROPERTY INFORMATION

Applicant: Meagan Zablocki, PARTNERS in Architecture, PLC
Phone: 586-469-3600 Fax:
Address: 65 Market Street, Mt Clemens, MI 48043
(Street) (City) (State) (Zip)
Applicant's Legal Interest in Property: Property Owner's Architect
Property Owner: Szott Automotive Group Phone: 248-889-8989
Address: 6700 Highland Road, White Lake Charter Township, MI 48383
(Street) (City) (State) (Zip)

PROJECT INFORMATION

Project Name: Szott M59 Jeep Dealership Renovation Parcel I.D. No.: 12-20-427-011
Proposed Use: Renovation of existing facade and interior finishes Current Zoning: PB Planned Business Interior Renovation Area: Approx. 7,250 SF
Existing Use: Dealership Parcel Size: 10.2 acres Floor Area / No. of Units: 43,100 SF

TYPE OF DEVELOPMENT

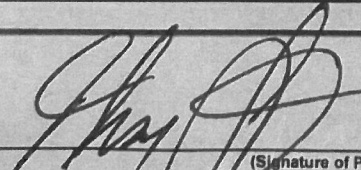
Subdivision Site Condominium Commercial
 Multiple Family Special Land Use Industrial
 Adult Entertainment

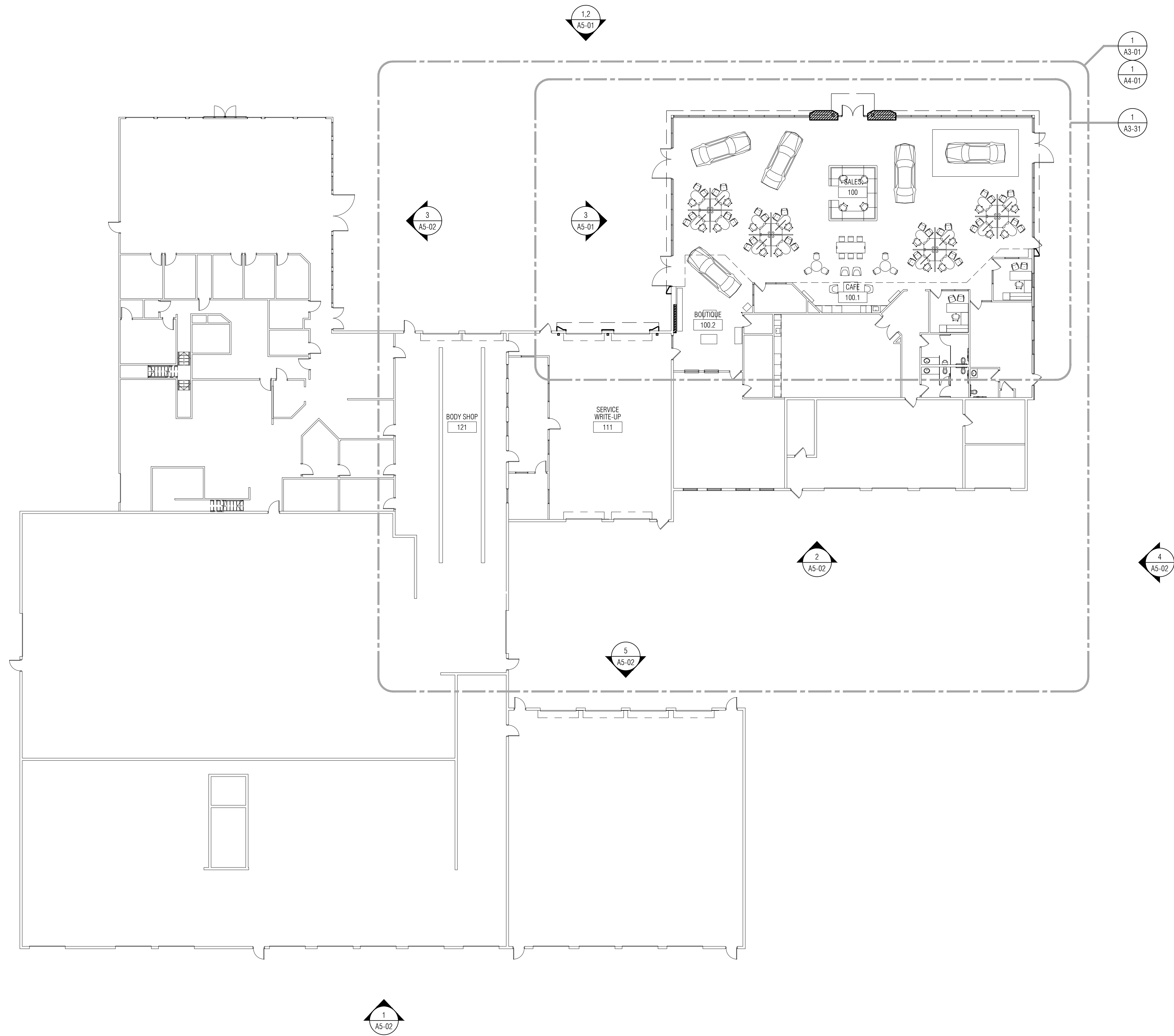
SITE PLAN SUBMITTAL CHECKLIST

- PDF File and One Paper Copy (sealed) as required by Zoning Ordinance 58
- Application Review Fees

* PLANS WILL NOT BE ACCEPTED UNLESS FOLDED *

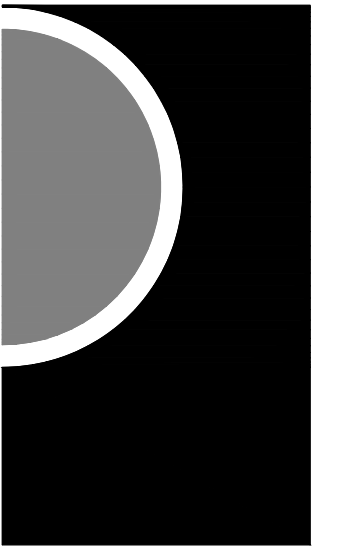
REQUIRED SIGNATURES

 (Signature of Property Owner) 1-12-2022 (Date)
Meagan Zablocki (Signature of Applicant) 1-12-2022 (Date)



1 Composite Floor Plan
1/16" = 1'-0"

PARTNERS



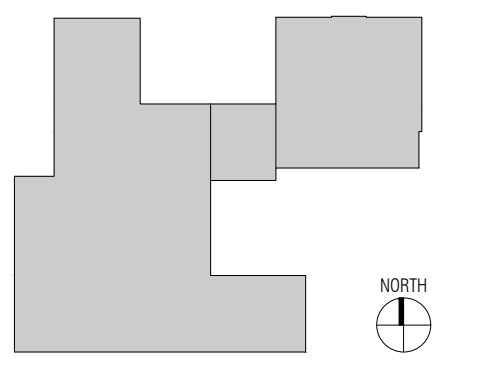
PARTNERS in Architecture, PLC
65 MARKET STREET
MOUNT CLEMENS, MI 48043
P 586.469.3600

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CONSULTANT

KEY PLAN



OWNER

Szott Automotive Group

PROJECT NAME

Szott M59 Jeep Dealership Renovation

6700 Highland Road
White Lake Charter Township, 48383

PROJECT NO.

21-108

ISSUES / REVISIONS

FCA 50% Review	06/10/2021
FCA 100% Review	11/08/2021
CM Review	12/06/2021
CM Review - Rev. 1	01/04/2022
Township Review	01/07/2022
Planning Commission	02/03/2022

DRAWN BY

MNZ

CHECKED BY

LJM

APPROVED BY

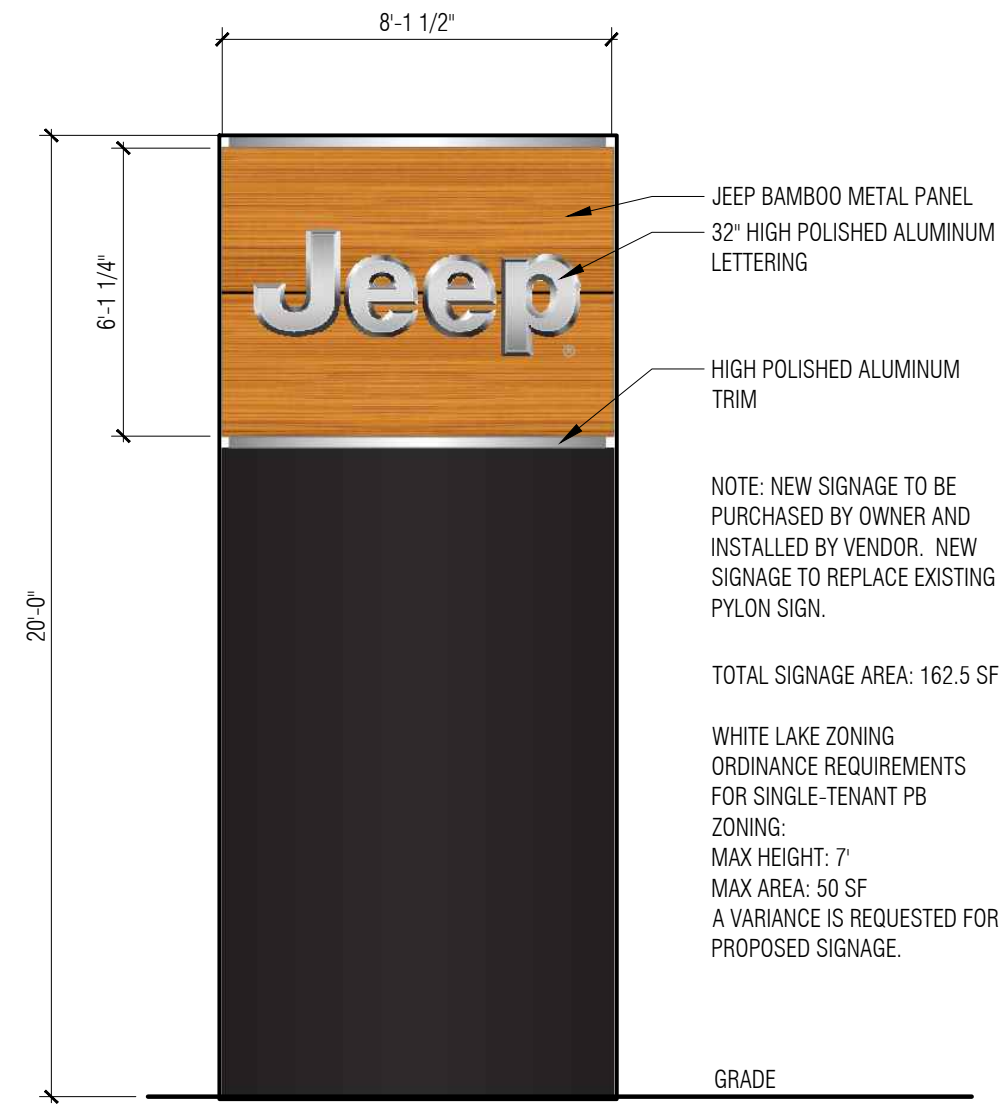
DWG

SHEET NAME

COMPOSITE FLOOR PLAN

SHEET NO.

A0-04



JEEP BAMBOO METAL PANEL
32" HIGH POLISHED ALUMINUM LETTERING

HIGH POLISHED ALUMINUM TRIM

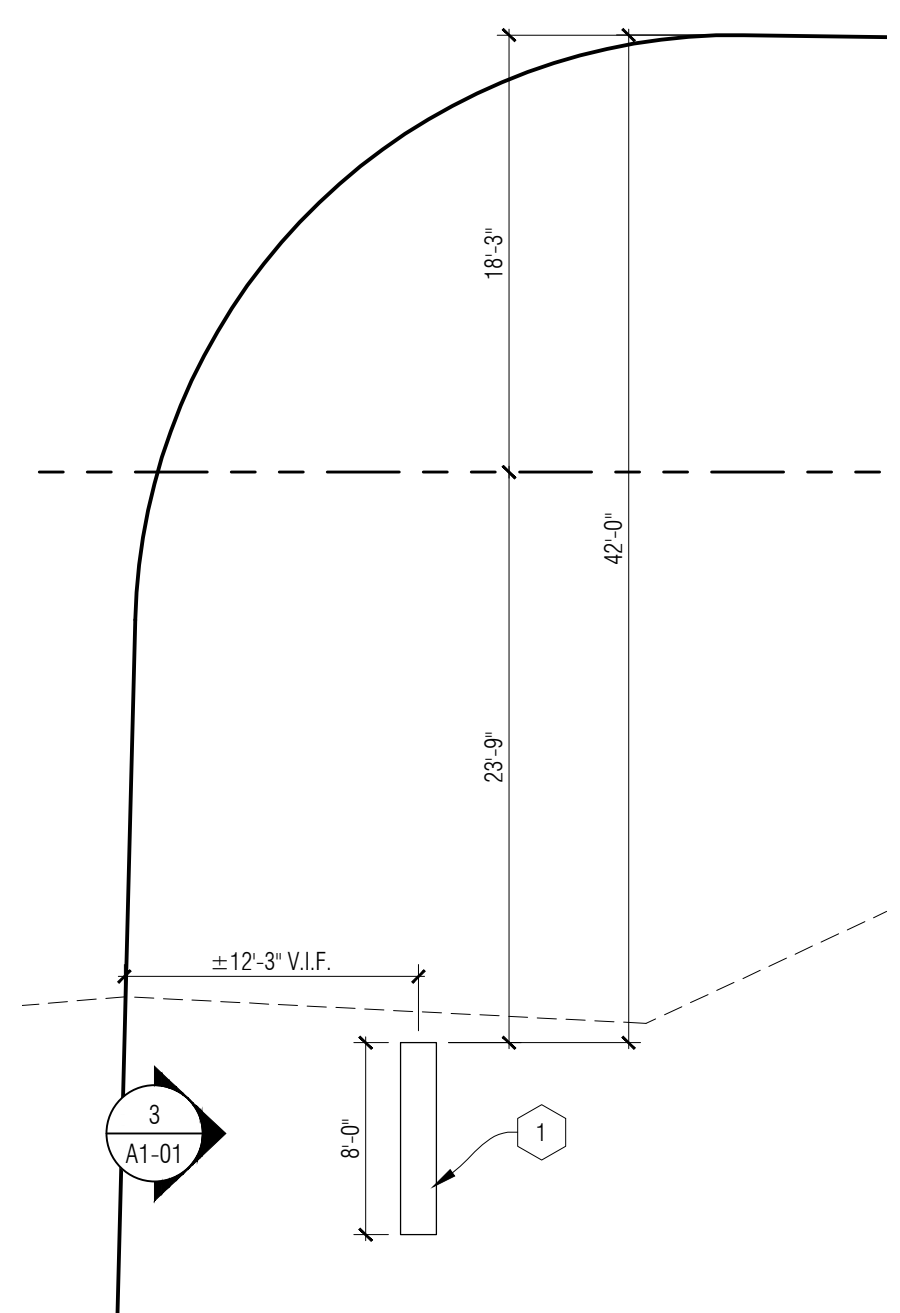
NOTE: NEW SIGNAGE TO BE PURCHASED BY OWNER AND INSTALLED BY VENDOR. NEW SIGNAGE TO REPLACE EXISTING PYLON SIGN.

TOTAL SIGNAGE AREA: 162.5 SF

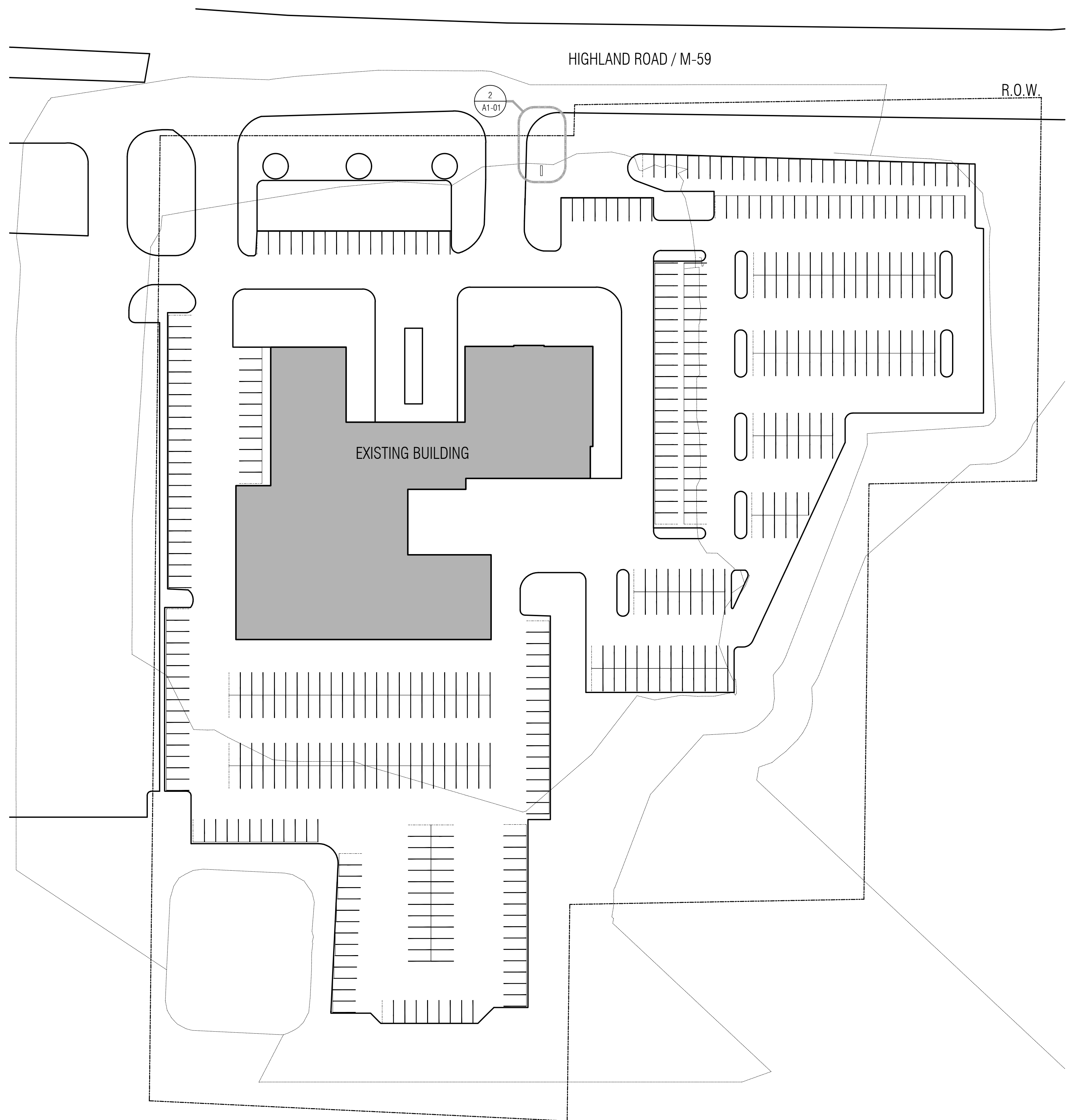
WHITE LAKE ZONING ORDINANCE REQUIREMENTS FOR SINGLE-TENANT PB ZONING:
MAX HEIGHT: 7'
MAX AREA: 50 SF
A VARIANCE IS REQUESTED FOR PROPOSED SIGNAGE.

GRADE

3
A1-01 Signage Elevation
1/4" = 1'-0"



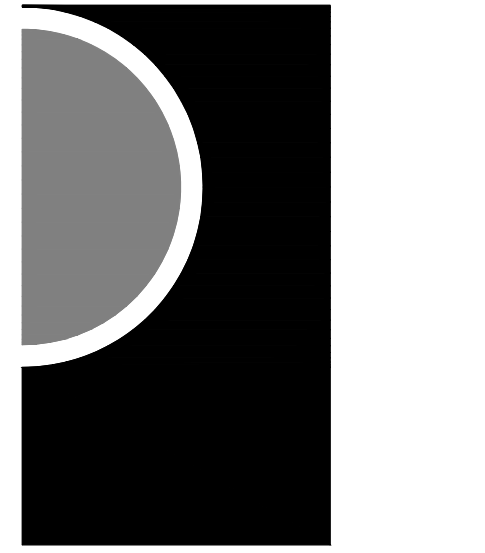
2
A1-01 Enlarged Signage Plan
1/8" = 1'-0"



1
Site Plan
1" = 50'-0"

SITE PLAN GENERAL NOTES:
A. DRAWING ISSUED FOR REFERENCE

SITE PLAN KEY NOTES:
1 REMOVE EXISTING CHRYSLER PYLON SIGN. NEW MONUMENT SIGN TO BE PURCHASED BY OWNER AND INSTALLED BY VENDOR.

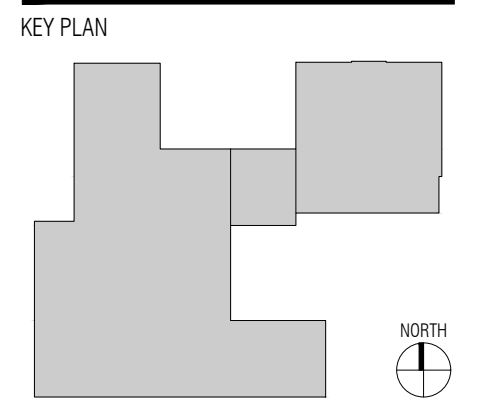


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CONSULTANT



OWNER

Szott Automotive Group

PROJECT NAME

Szott M59 Jeep Dealership Renovation

6700 Highland Road
White Lake Charter Township, 48383

PROJECT NO.

21-108

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LJM

APPROVED BY

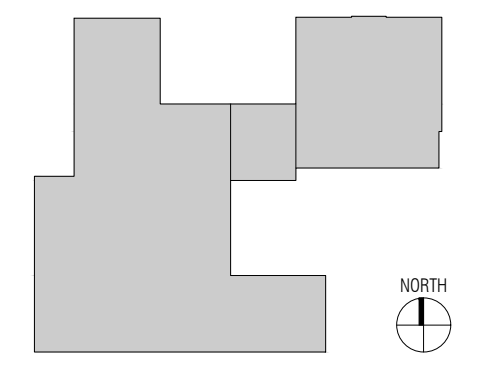
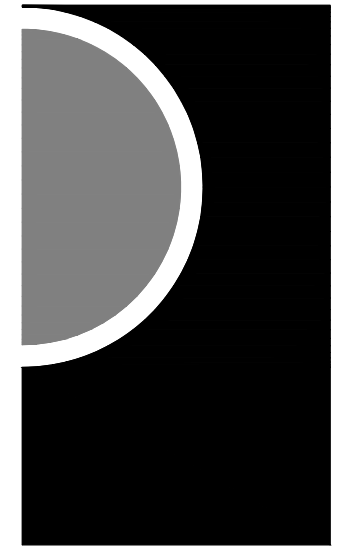
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SHEET NAME

SITE PLAN

SHEET NO.

A1-01



FCA 50% Review	06/10/2021
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Township Review	01/07/2021
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NOTE: ALL ACM PANELS TO BE INSTALLED BY A STELLANTIS APPROVED FABRICATOR

- 25 WALL SCUPPER FOR CANOPY ROOF DRAIN CONDUIT - REFER TO PLUMBING. SCUPPER TO BE PROVIDED BY PLUMBING CONTRACTOR AND INSTALLED BY METAL PANEL CONTRACTOR. PROVIDE CONTINUOUS SEALANT AT PERIMETER OF SCUPPER TO MATCH ADJ. ACM PANELS.
- 26 AREA OF EXISTING METAL PANEL PYLON TO BE DEMOLISHED. REFER TO PLAN DETAILS AND WALL SECTIONS FOR EXISTING CONSTRUCTION TO REMAIN.
- 27 AREA OF EXISTING METAL PANELS AND WALL CONSTRUCTION TO BE DEMOLISHED. REFER TO PLAN DETAILS AND WALL SECTIONS FOR EXISTING CONSTRUCTION TO REMAIN.

- 16 EXISTING CMU WALL - PAINT (PNT-11)
- 17 EXISTING CMU WALL - PAINT (PNT-12)
- 18 EXISTING CORRUGATED METAL SIDING - PAINT (PNT-10)
- 19 EXISTING EXTERIOR LIGHTING FIXTURE. REMOVE AND SALVAGE FOR REINSTALLATION WHEN PAINTING COMPLETE (TYP). REINSTALL IN SAME LOCATION U.O.N.
- 20 EXISTING MECHANICAL LOUVERS - PAINT TO MATCH ADJACENT SIDING
- 21 OUTLINE OF BUILDING BEYOND
- 22 EXISTING ENTRANCE DOOR - PREP SURFACE FOR NEW FINISH AND REPAINT (PNT-13)
- 23 MODIFY EXISTING CMU BASE AS REQ'D FOR NEW WORK - REFER TO PLAN DETAILS
- 24 VINYL ADDRESS LETTERING AT INTERIOR SURFACE OF GLAZING.

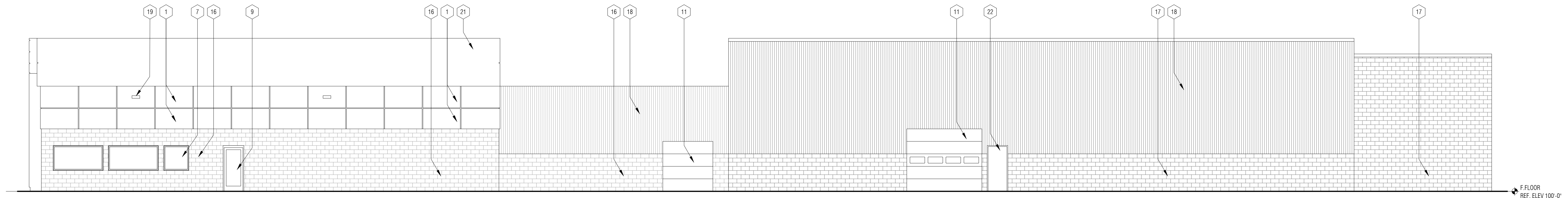
- 6 HIGH POLISHED ACM TRIM W. 2" INTEGRATED CONTINUOUS LED LIGHT (COORD. POWER) - REFER TO ELEC
- 7 EXISTING STOREFRONT SYSTEM TO REMAIN (TYP.)
- 8 EXISTING STOREFRONT CORNER MULLION. SCARIFY SURFACE AND PAINT ALL EXPOSED FACES COMPLETE. (PNT-10)
- 9 EXISTING ENTRANCE DOOR TO REMAIN
- 10 EXISTING CMU BASE COURSE TO REMAIN
- 11 EXISTING OVERHEAD DOOR TO REMAIN
- 12 NEW SIGNAGE BY FCA VENDOR
- 13 LOCATION OF REINSTALLED EXTERIOR LIGHTING FIXTURE
- 14 NEW HIGH POLISHED ACM TRIM (ACM-3)
- 15 LINE OF EXISTING PARAPET TO BE LOWERED. TOP OF PARAPET ELEVATION TO MATCH EXISTING ADJACENT PARAPET LEVEL - REFER TO WALL SECTIONS

EXTERIOR ELEVATIONS GENERAL NOTES:

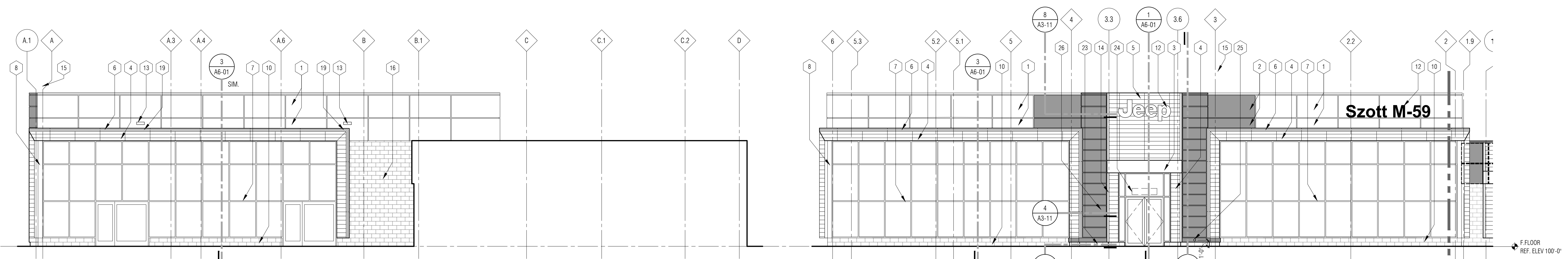
- A. REFER TO MATERIAL FINISH / COLOR SCHEDULE ON SHEET A0-03
- B. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS.

EXTERIOR ELEVATIONS KEY NOTES:

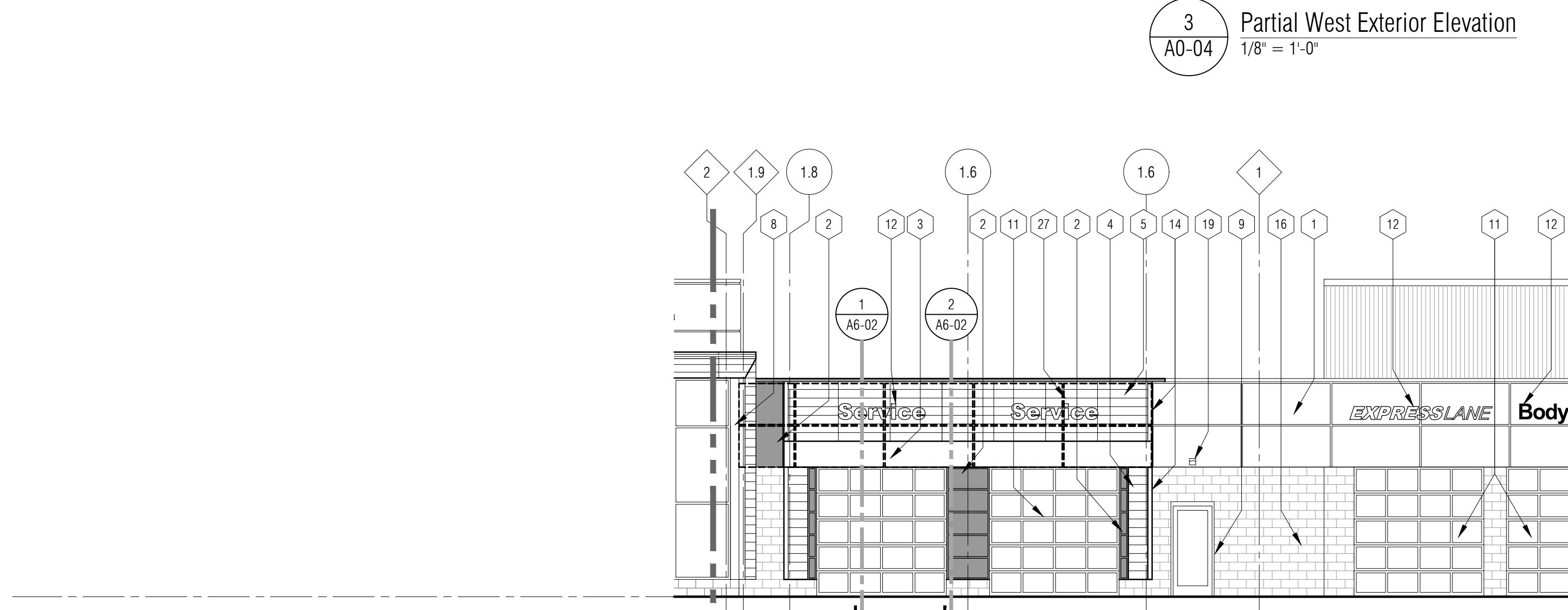
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- 2 NEW ALUMINUM COMPOSITE METAL PANELS (ACM-1)
- 3 ACM FINISHED CANOPY CANTILEVERED FROM BUILDING FACE (ACM-3)
- 4 NEW ACM CHAMFER (ACM-2) - REFER TO WALL SECTIONS
- 5 NEW ACM (ACM-2)



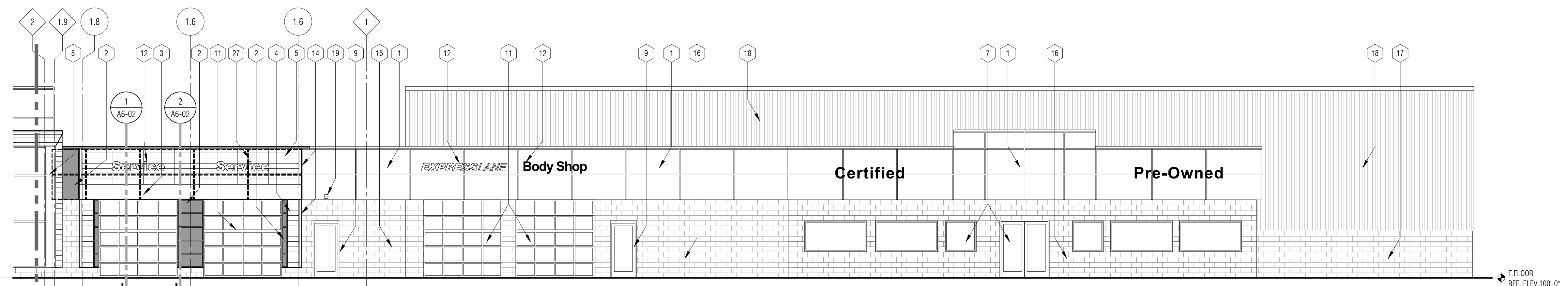
4 West Exterior Elevation
A0-04
1/8" = 1'-0"



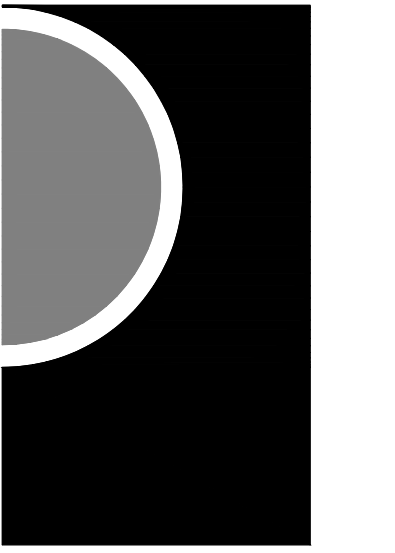
2 North Exterior Elevation Cont.
A0-04
1/8" = 1'-0"



3 Partial West Exterior Elevation
A0-04
1/8" = 1'-0"



1 North Exterior Elevation
A0-04
1/8" = 1'-0"



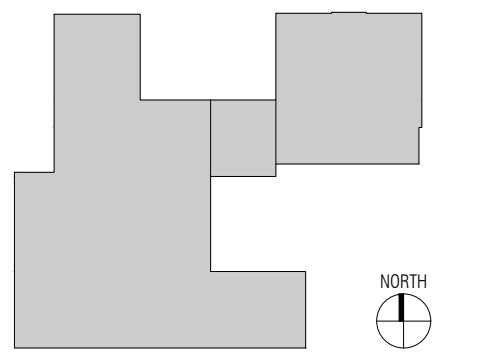
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CONSULTANT

KEY PLAN



OWNER

Scott Automotive Group

PROJECT NAME

Scott M59 Jeep Dealership Renovation

6700 Highland Road
White Lake Charter Township, 48383

PROJECT NO.

21-108

ISSUES / REVISIONS

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Planning Commission	02/03/2022

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MNZ

CHECKED BY

LJM

APPROVED BY

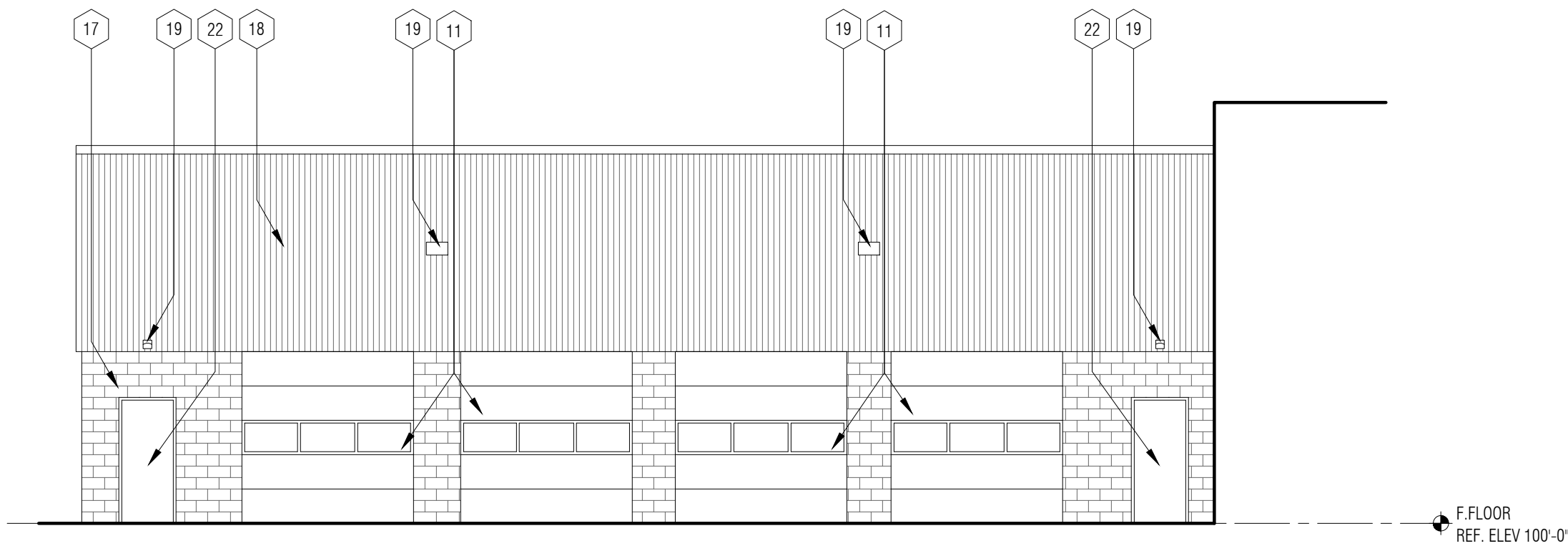
DWG

SHEET NAME

EXTERIOR ELEVATIONS

SHEET NO.

A5-02



5 Partial North Exterior Elevation
A0-04
1/8" = 1'-0"

NOTE: ALL ACM PANELS TO BE INSTALLED BY A STELLANTIS APPROVED FABRICATOR

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- 18 EXISTING CORRUGATED METAL SIDING - PAINT (PNT-10)
- 19 EXISTING EXTERIOR LIGHTING FIXTURE. REMOVE AND SALVAGE FOR REINSTALLATION WHEN PAINTING COMPLETE (TYP). REINSTALL IN SAME LOCATION U.O.N.
- 20 EXISTING MECHANICAL LOUVERS - PAINT TO MATCH ADJACENT SIDING
- 21 OUTLINE OF BUILDING BEYOND
- 22 EXISTING ENTRANCE DOOR - PREP SURFACE FOR NEW FINISH AND REPAINT (PNT-13)
- 23 MODIFY EXISTING CMU BASE AS REQ'D FOR NEW WORK - REFER TO PLAN DETAILS
- 24 VINYL ADDRESS LETTERING AT INTERIOR SURFACE OF GLAZING.

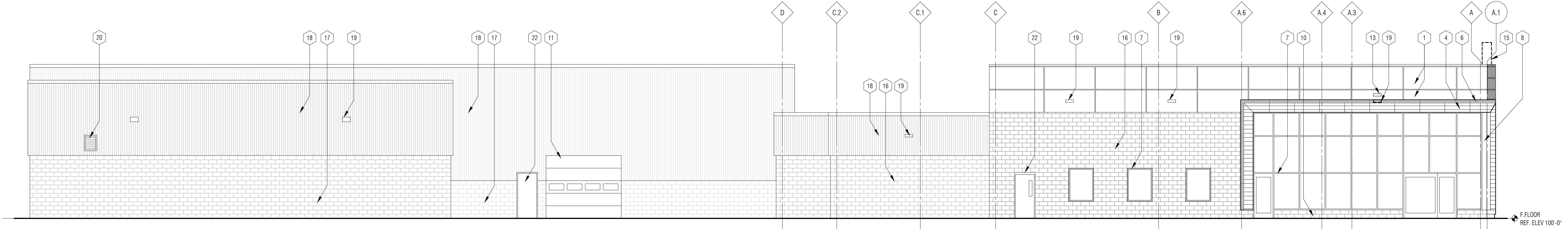
- 6 HIGH POLISHED ACM TRIM W. 2" INTEGRATED CONTINUOUS LED LIGHT (COORD. POWER) - REFER TO ELEC
- 7 EXISTING STOREFRONT SYSTEM TO REMAIN (TYP.)
- 8 EXISTING STOREFRONT CORNER MULLION. SCARIFY SURFACE AND PAINT ALL EXPOSED FACES COMPLETE. (PNT-10)
- 9 EXISTING ENTRANCE DOOR TO REMAIN
- 10 EXISTING CMU BASE COURSE TO REMAIN
- 11 EXISTING OVERHEAD DOOR TO REMAIN
- 12 NEW SIGNAGE BY FCA VENDOR
- 13 LOCATION OF REINSTALLED EXTERIOR LIGHTING FIXTURE
- 14 NEW HIGH POLISHED ACM TRIM (ACM-3)
- 15 LINE OF EXISTING PARAPET TO BE LOWERED. TOP OF PARAPET ELEVATION TO MATCH EXISTING ADJACENT PARAPET LEVEL - REFER TO WALL SECTIONS

EXTERIOR ELEVATIONS GENERAL NOTES:

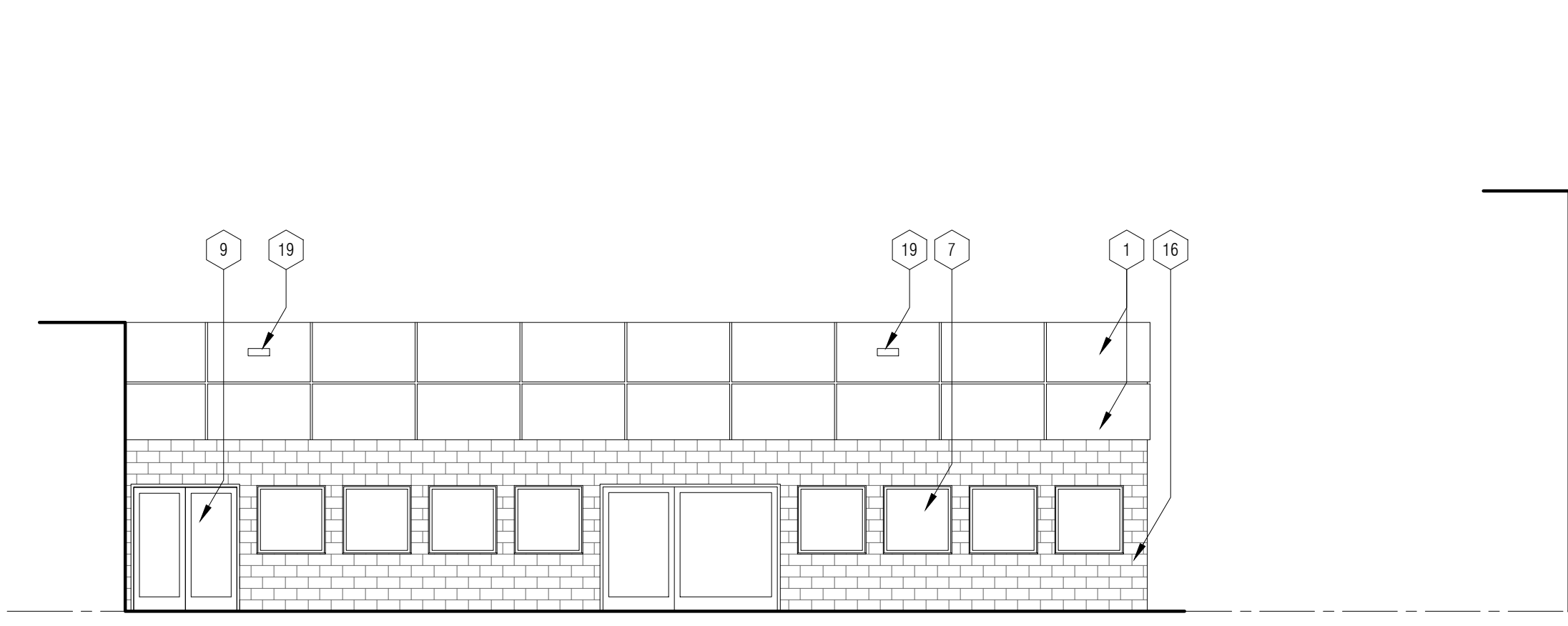
- A. REFER TO MATERIAL FINISH / COLOR SCHEDULE ON SHEET A0-03
- B. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS.

EXTERIOR ELEVATIONS KEY NOTES:

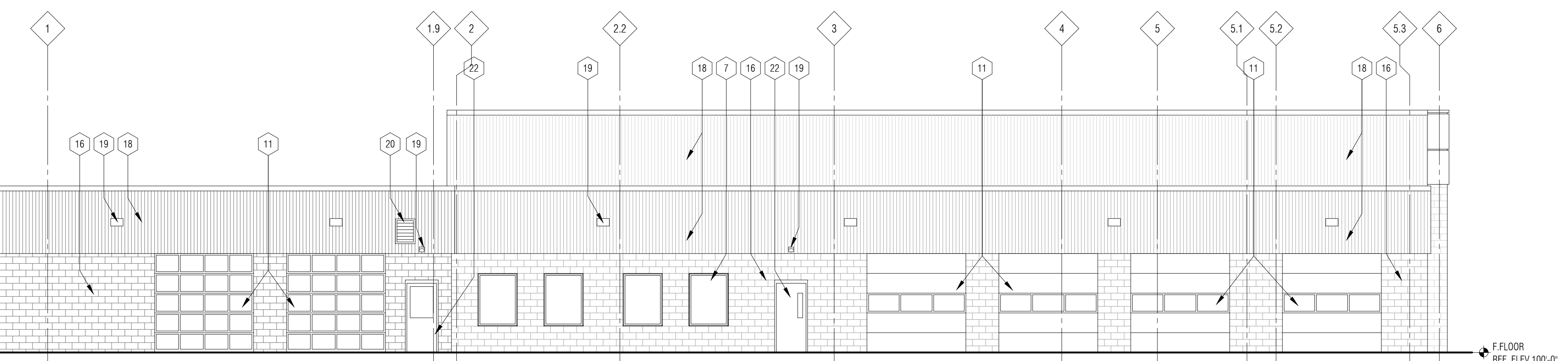
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- 5 NEW ACM (ACM-2)



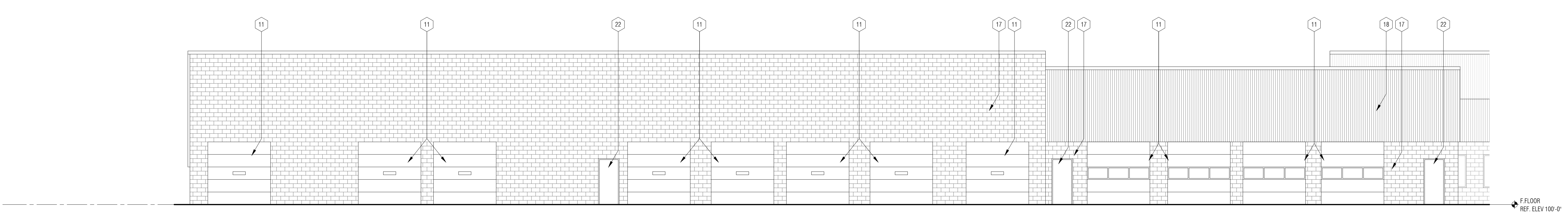
4 East Exterior Elevation
A0-04
1/8" = 1'-0"



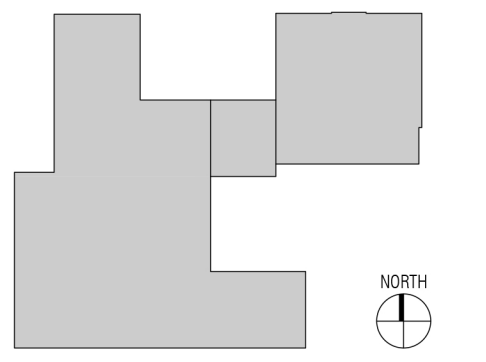
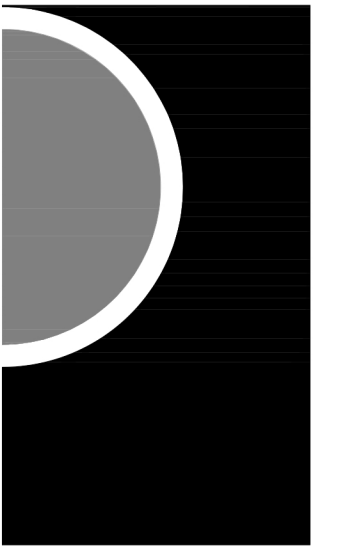
3 Partial East Exterior Elevation
A0-03
1/8" = 1'-0"



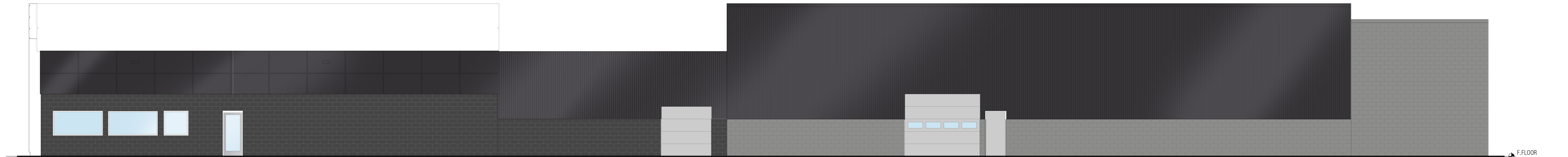
2 Partial South Exterior Elevation
A0-04
1/8" = 1'-0"



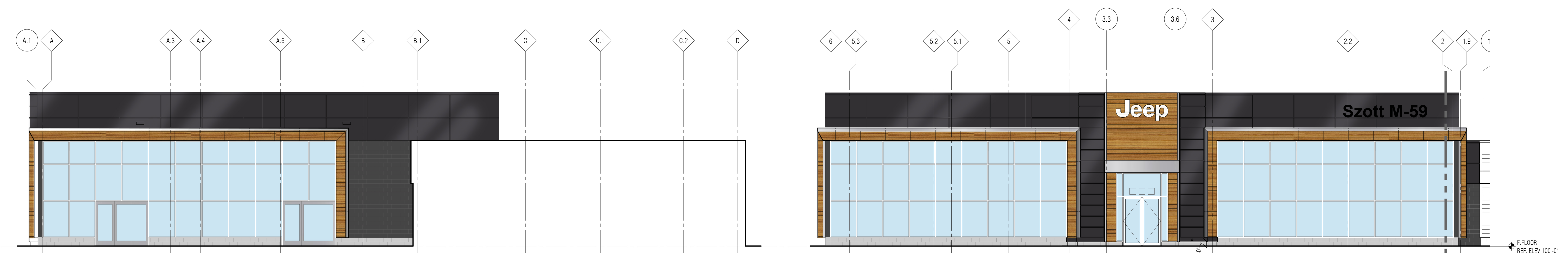
1 Partial South Exterior Elevation
A0-04
1/8" = 1'-0"



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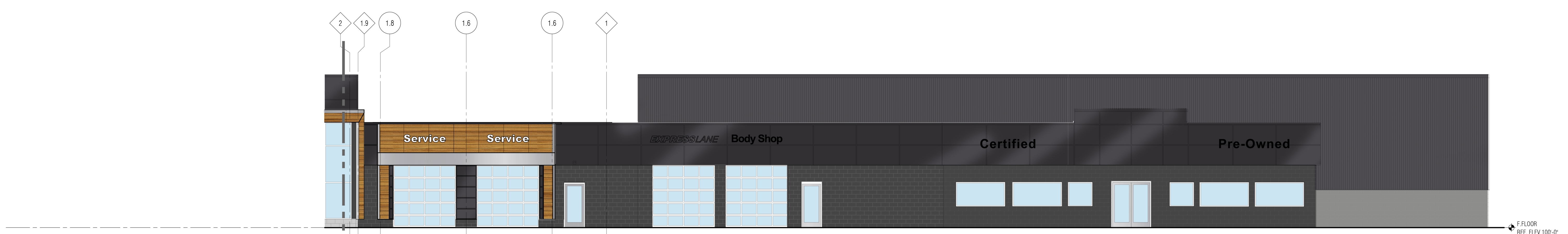


4 West Exterior Elevation
A0-04 1/8" = 1'-0"

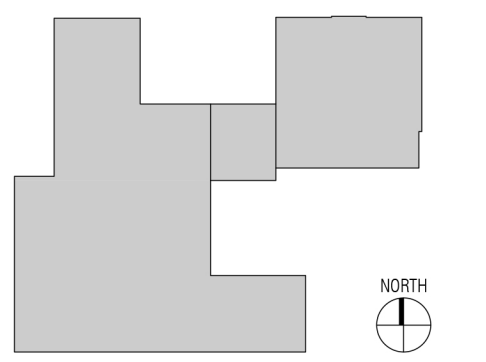
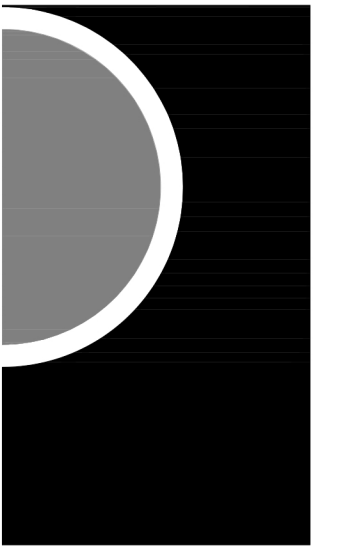


3 Partial West Exterior Elevation
A0-04 1/8" = 1'-0"

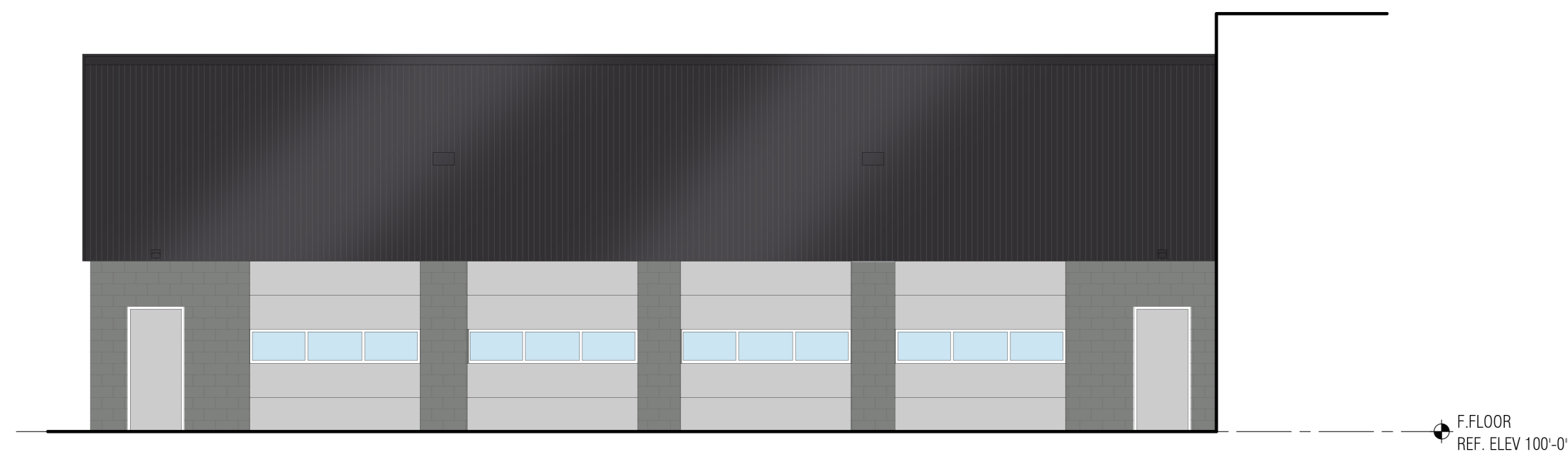
2 North Exterior Elevation Cont.
A0-04 1/8" = 1'-0"



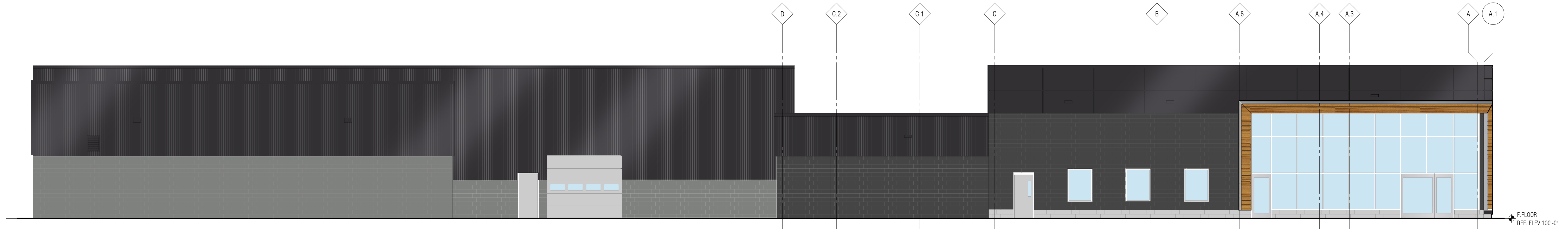
1 North Exterior Elevation
A0-04 1/8" = 1'-0"



FCA 50% Review	06/10/2021
FCA 100% Review	11/08/2021
CM Review	12/06/2021
CM Review - Rev. 1	01/04/2022
Township Review	01/07/2022
Planning Commission	02/03/2022



5 Partial North Exterior Elevation
A0-04 1/8" = 1'-0"



4 East Exterior Elevation
A0-04 1/8" = 1'-0"

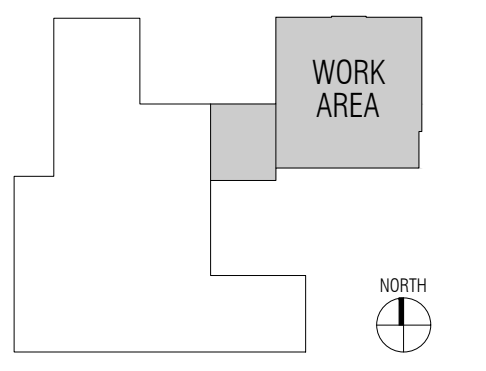
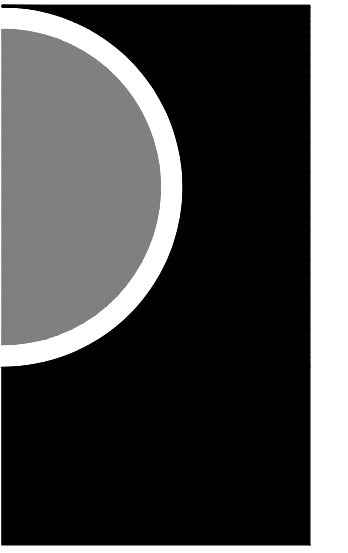


3 Partial East Exterior Elevation
A0-03 1/8" = 1'-0"

2 Partial South Exterior Elevation
A0-04 1/8" = 1'-0"



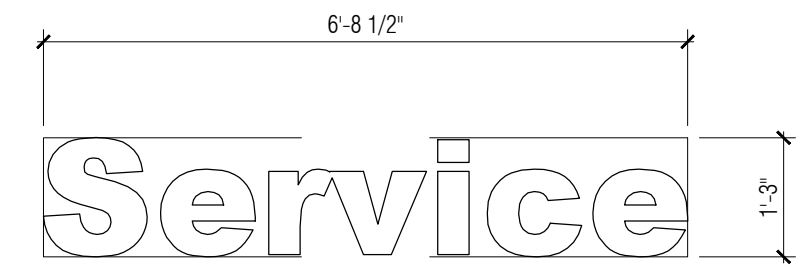
1 Partial South Exterior Elevation
A0-04 1/8" = 1'-0"



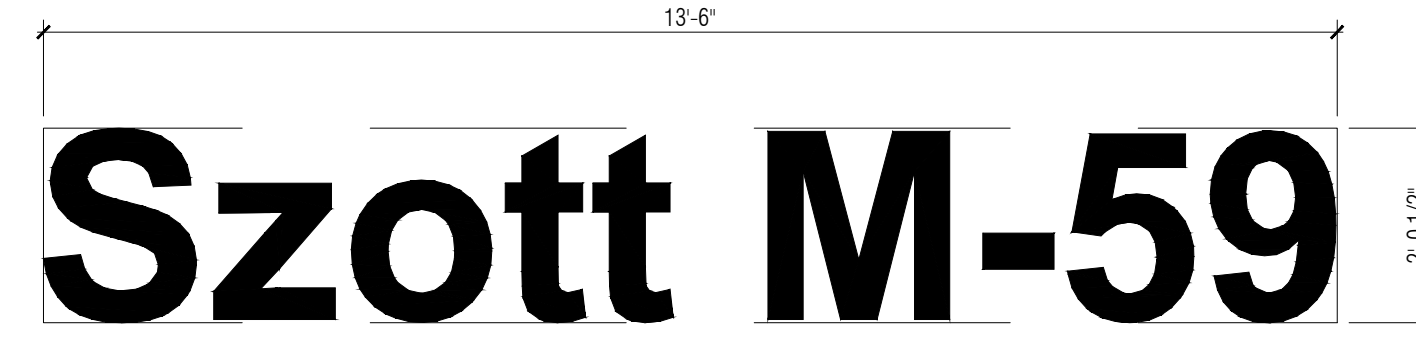
Wall Signage Schedule			
SIGN NUMBER	QUANTITY	SIGN DESCRIPTION	SIGN AREA
1	1	JEOP PYLON	28.64 SF
2	1	SZOTT M-59	27.54 SF
3	2	SERVICE	8.38 SF
4	1	EXPRESS	11.00 SF
5	1	BODY SHOP	10.10 SF
TOTAL = 85.66 = 85.7 SF BUILDING SIGNAGE			

Wall Signage Notes:

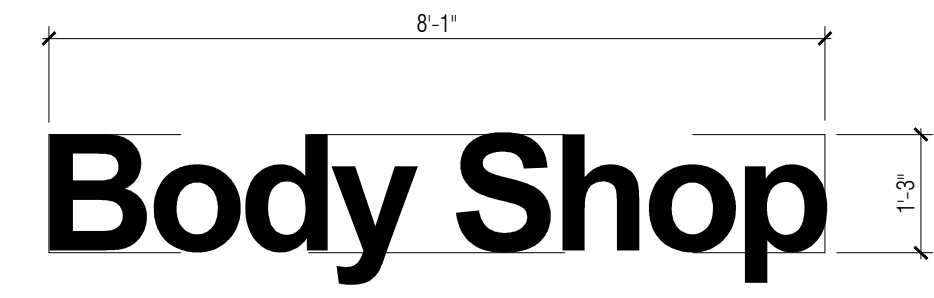
A. EXISTING ZONING IS PB-PLANNED BUSINESS
 B. WHITE LAKE ZONING ORDINANCE REQUIREMENTS:
 - TOTAL AREA OF SIGNAGE NOT TO EXCEED 15% OF FRONT FACADE FOR BUILDINGS SET BACK MIN. 100FT FROM R.O.W. (5-12). EXISTING BUILDING IS SET BACK 165' FROM R.O.W. WITH TOTAL FRONT FACADE AREA OF 5,100 SF. PROPOSED NEW AND EXISTING SIGNAGE TO REMAIN TOTAL 2% OF FRONT FACADE AREA.
 - BUILDINGS WITH MIN. 250' OF FRONTAGE PERMITTED TOTAL OF 3 SIGNS (5-12). VARIANCE REQUESTED ALLOWING TOTAL OF (8) SIGNS.



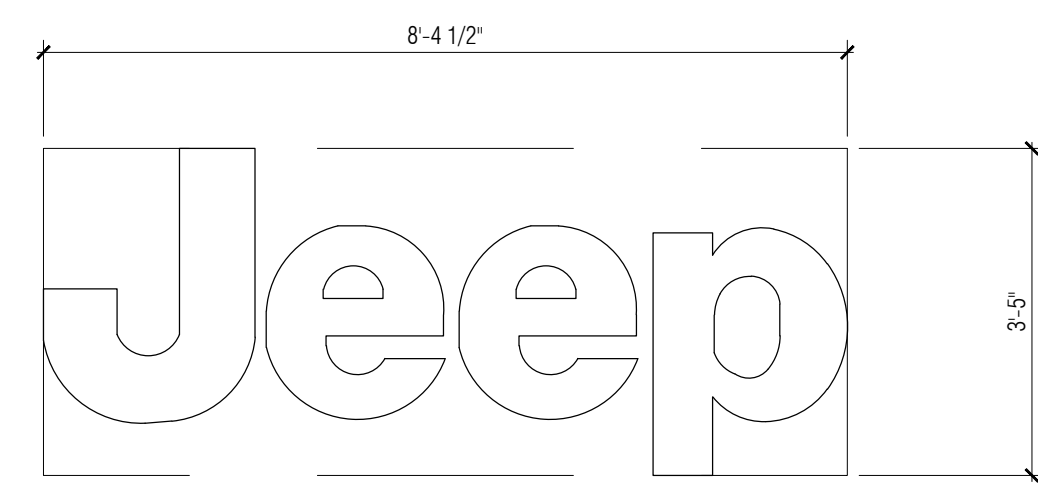
4 Sign 3: Service Lanes (Qty. 2)
A5-03 1/2" = 1'-0"



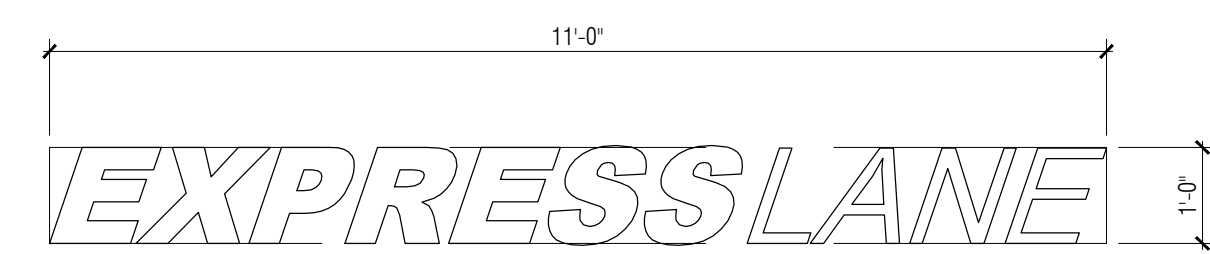
3 Sign 2: Szott M-59 (Qty. 1)
A5-03 1/2" = 1'-0"



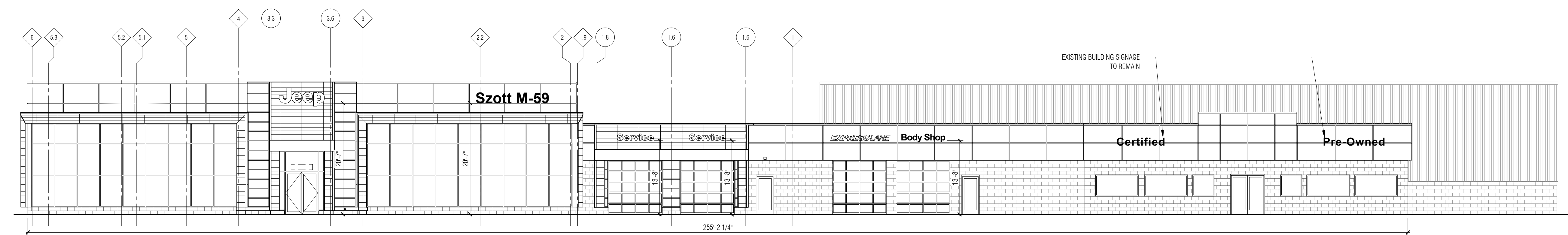
6 Sign 5: Body Shop (Qty. 1)
A5-03 1/2" = 1'-0"



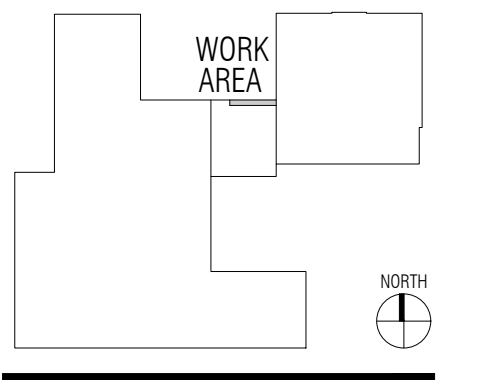
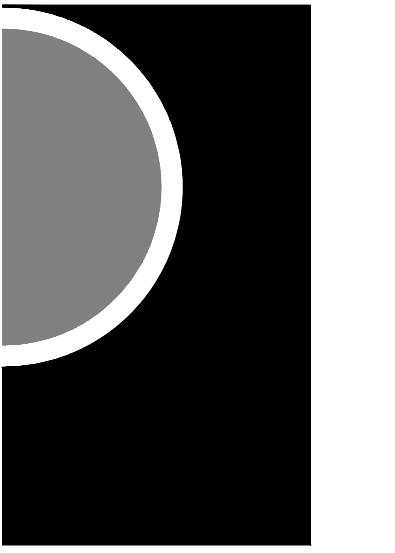
2 Sign 1: Jeep Pylon (Qty. 1)
A5-03 1/2" = 1'-0"



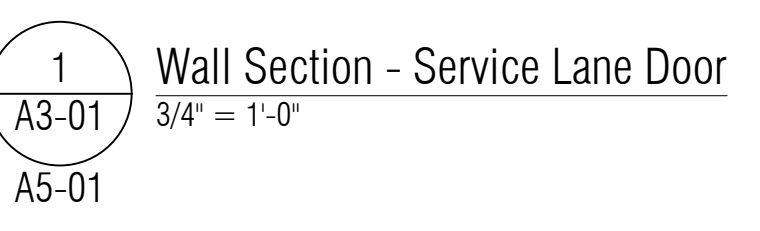
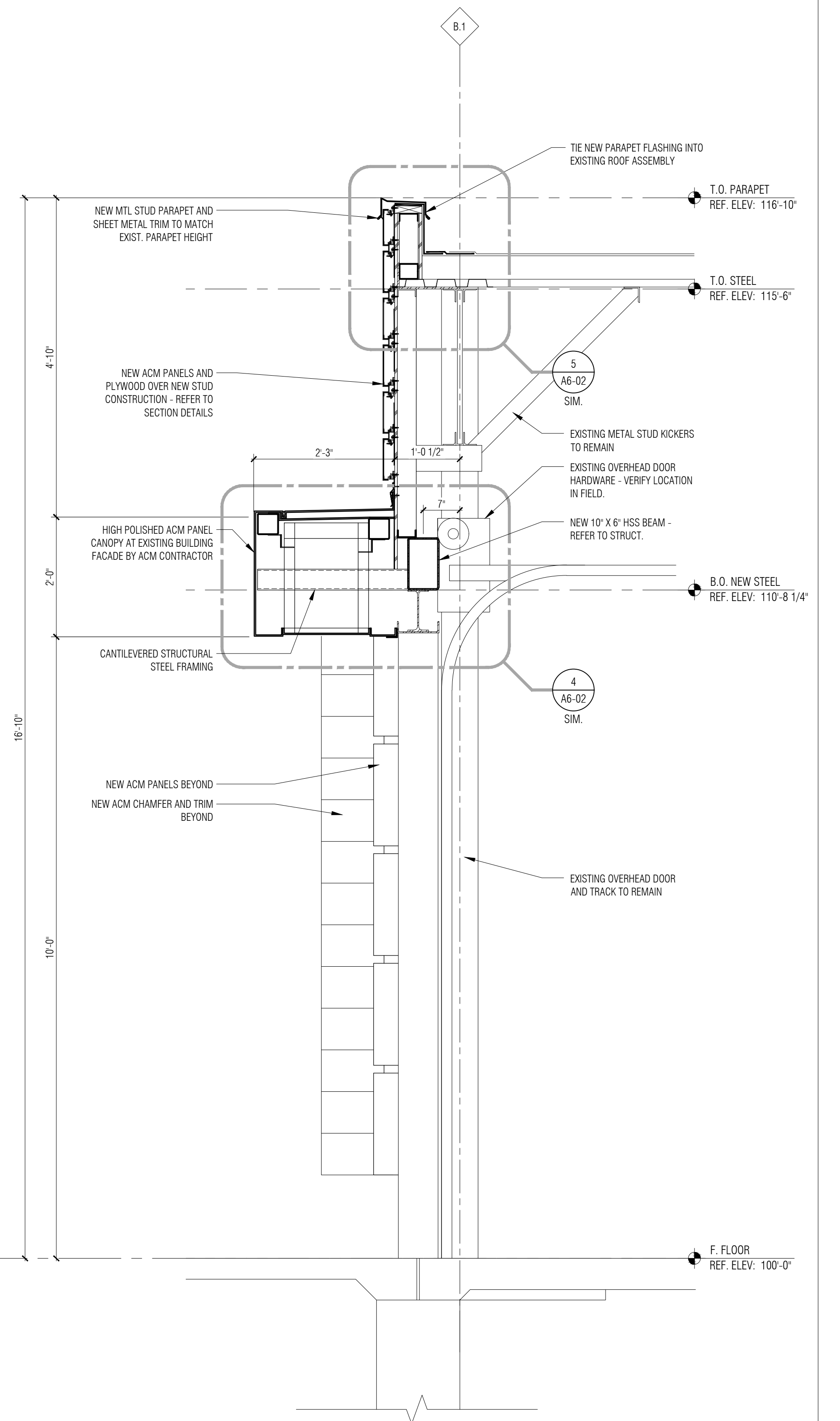
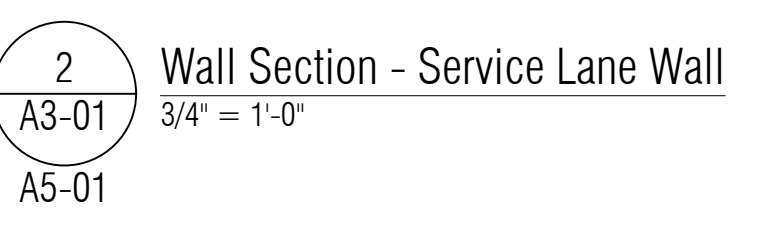
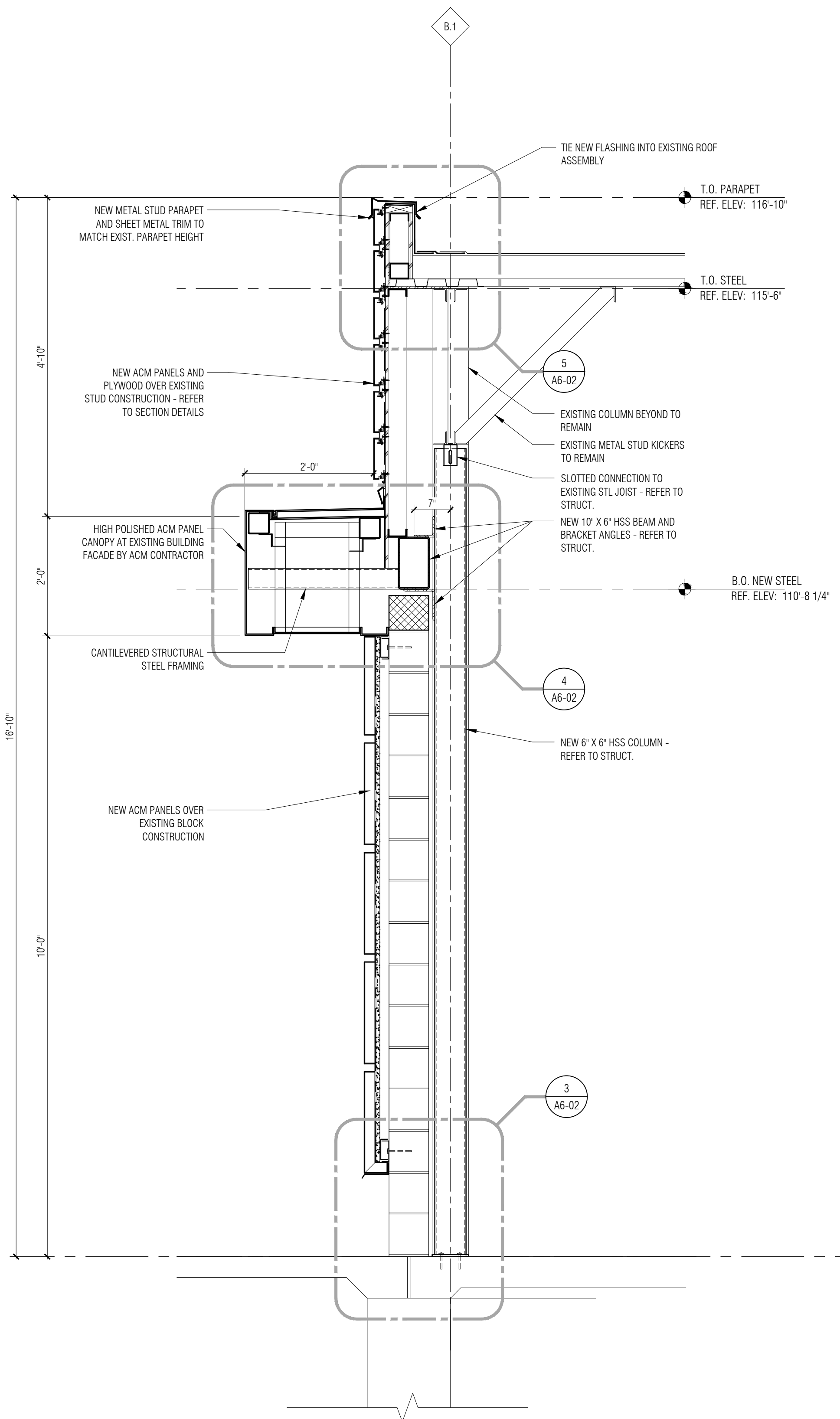
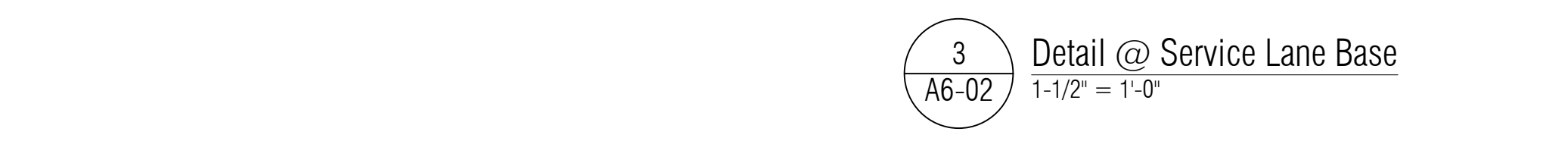
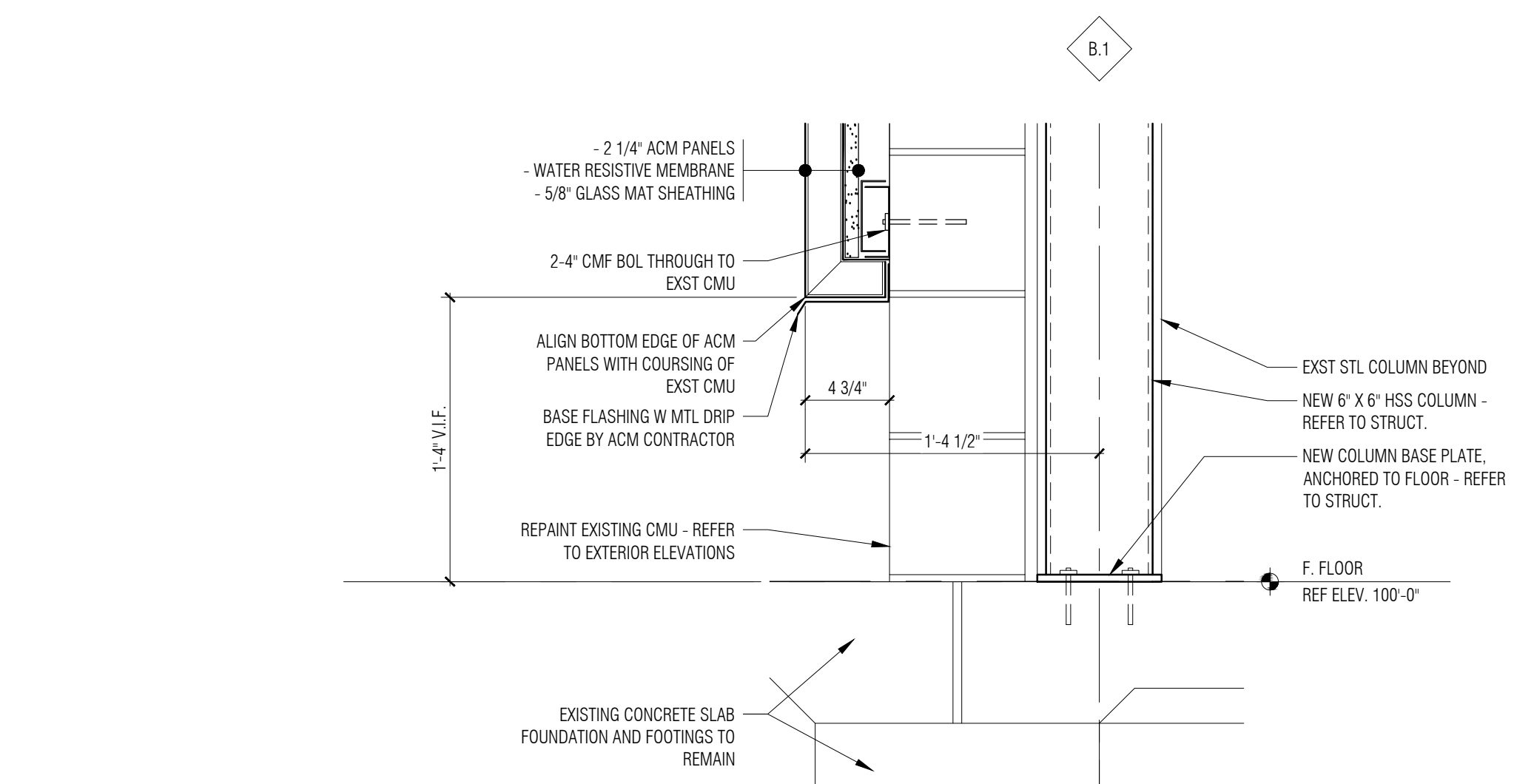
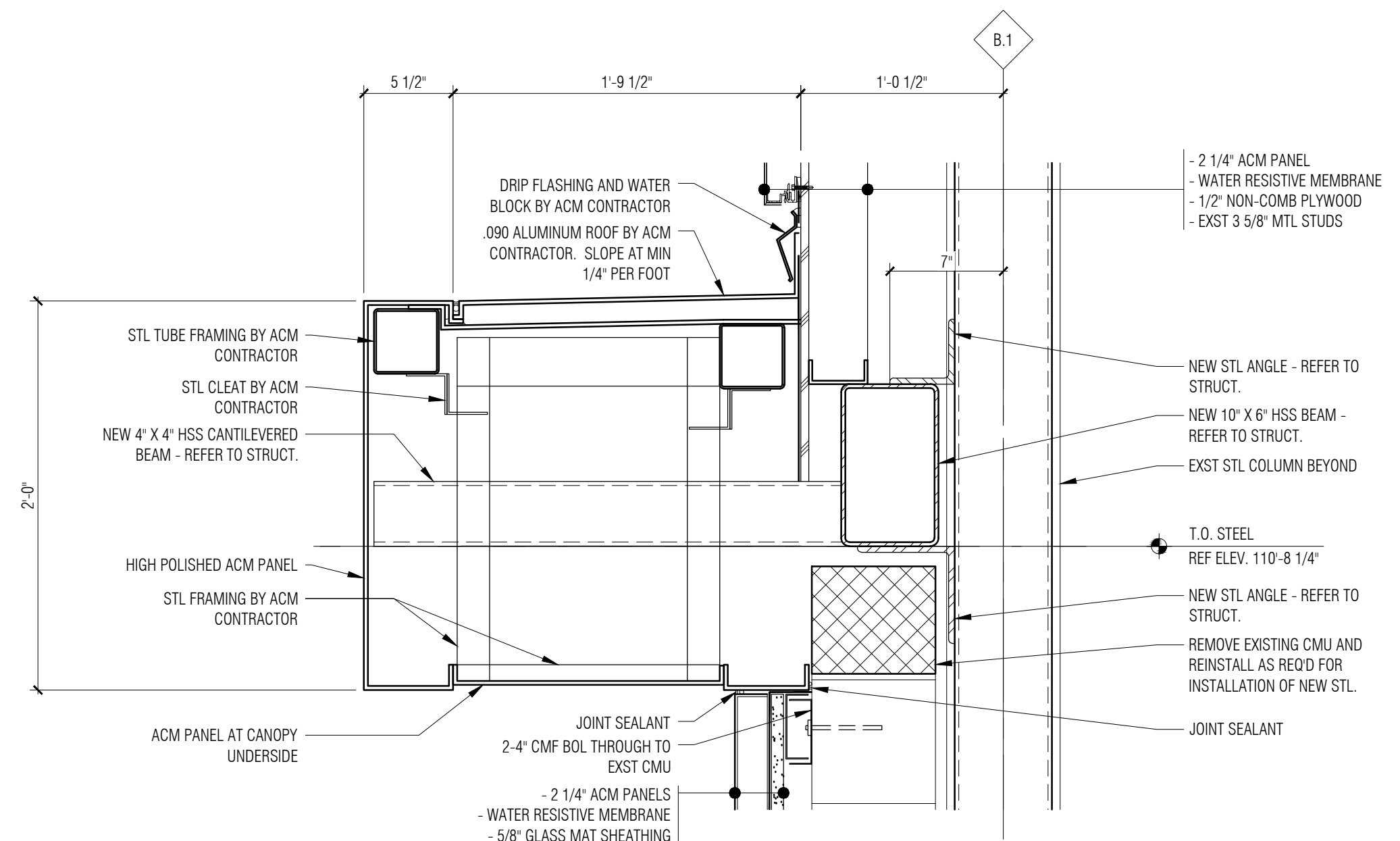
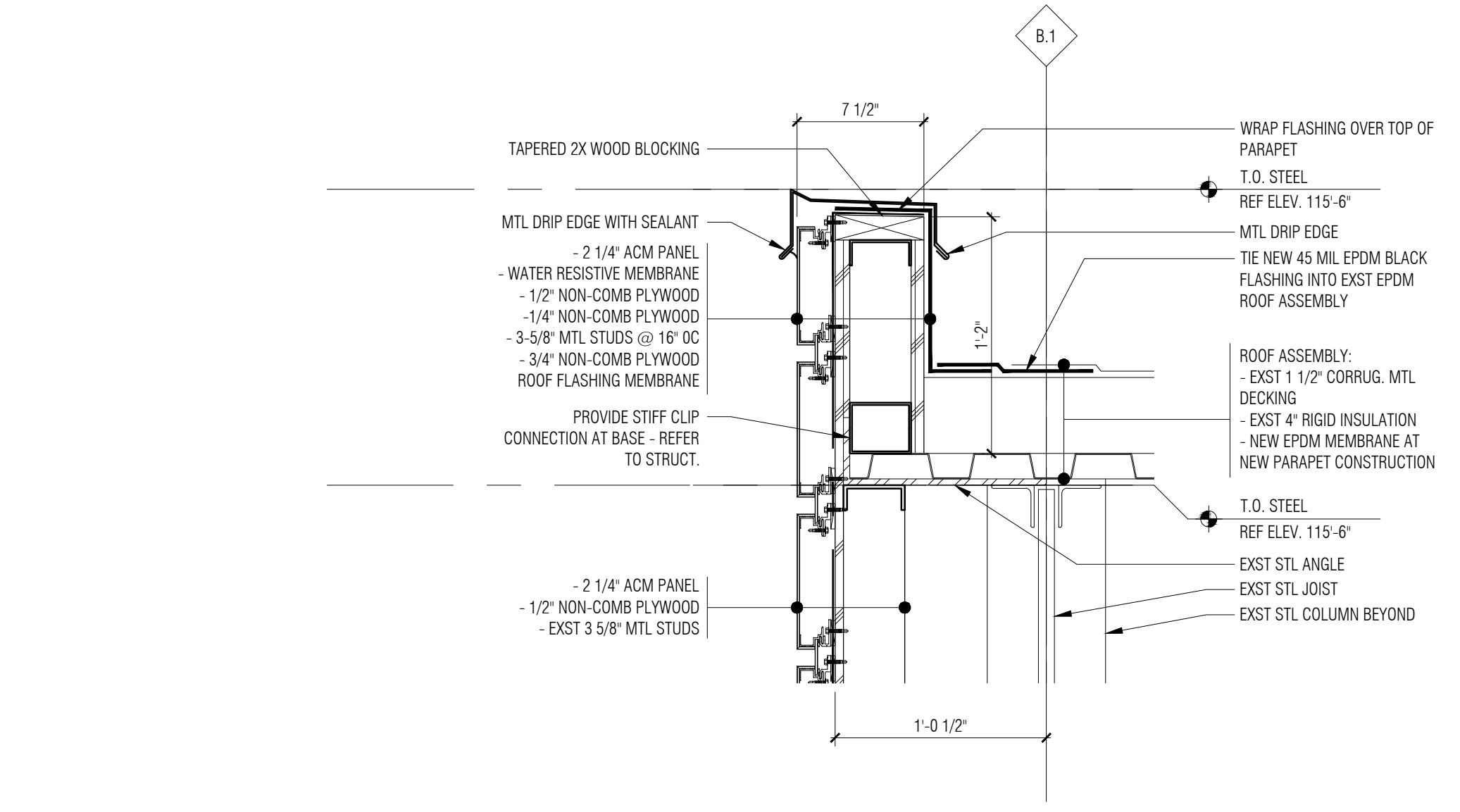
5 Sign 4: Express Lane (Qty. 1)
A5-03 1/2" = 1'-0"



1 Building Street Elevation (North Facade)
A3-01 3/32" = 1'-0"



FCA 50% Review	06/10/2021
FCA 100% Review	11/08/2021
CM Review	12/06/2021
CM Review - Rev. 1	01/04/2022
Planning Commission	02/03/2022



RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS

LIBER 48454 PAGE 179
\$16.00 MISC RECORDING
\$4.00 REMONUMENTATION
07/31/2015 03:09:48 PM RECEIPT# 91163
PAID RECORDED - Oakland County, MI
Lisa Brown, Clerk/Register of Deeds

2015 JUL 31 PH 3: 04

NOTICE OF DEVELOPMENT AGREEMENT

THIS NOTICE OF DEVELOPMENT AGREEMENT (the "Notice") is made as of this 31st day of July, 2015, in order to give notice of the Planned Business Development Agreement entered on the 14th day of July, 2015, by and between Szott CJ Properties, LLC, a Michigan limited liability company ("Developer"), whose address is 6700 Highland Road, White Lake, Michigan 48383, and the Charter Township of White Lake, a Michigan municipal corporation ("Township"), whose address is 7525 Highland Road, White Lake, Michigan 48383.

A. Developer owns certain real estate situated in the Township of White Lake, Oakland County, Michigan, legally described on Exhibit "A" hereto ("Property").

B. Developer and the Township entered into a Planned Business Development Agreement dated July 14, 2015, pursuant to which Developer agreed to make certain improvements in connection with the development of the Property subject to certain covenants and conditions imposed by the Township (the "Development Agreement").

C. The sole purpose of this Notice is to give notice of the Development Agreement and all its terms, covenants and conditions to the same extent as if fully set forth herein. This Notice is not intended to amend, modify, supplement or supersede any of the provisions of the Development Agreement, and to the extent there may be any conflict or inconsistency between the Development Agreement and the provisions hereof, the provisions of the Development Agreement shall control.

38

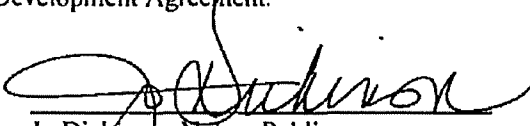
D. The Development Agreement provided for the herein notice to be prepared by and recorded by the Township.

By: Lisa J. Hamanch
Lisa J. Hamanch (P57936)
FOSTER SWIFT COLLINS AND SMITH
32300 Northwestern Highway, Suite 230
Farmington Hills, MI 48334
(248) 539-9906

JK LB

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

On this 31st day of July, 2015, Lisa J. Hamameh appeared before me and, being duly sworn, did acknowledge that he/she signed this Notice of Development Agreement.



Jo Dickinson Notary Public
Oakland County, Michigan
Acting in Oakland County
My Commission Expires: August 29, 2017

Drafted by/Return to:
Lisa J. Hamameh
FOSTER SWIFT COLLINS AND SMITH, PC
32300 Northwestern Highway, Suite 230
Farmington Hills, MI 48334
(248) 539-9906

54955:00029:2334918-1

EXHIBIT A

LEGAL DESCRIPTIONS

Combined Legal Description for Assessment Purposes: Tax ID#12-21-301-030 & ID#12-20-427-005 12-20-427-011

Part of the southeast 1/4 of Section 20 and also part of the southwest 1/4 of Section 21, T.2N., R.8E., White Lake Township, Oakland County, Michigan, being also part of Lots 263 through 266, inclusive, of "Brendel Heights Subdivision", as recorded in Liber 27 of Plats, Pages 21 and 21A, Oakland County Records, and more particularly described as COMMENCING at the Center of Section of said Section 21, which lies 1.65 ft. south of the M-59 surveyed centerline, thence S 87 deg 53 min 27 sec W, along the east-west 1/4 line of said Section 21, 2669.70 ft. to the west 1/4 corner of said Section 21; thence S 02 deg 21 min 33 sec E., along the West line of Section 21 & the East line of Section 20, 25.00 ft., to the POINT OF BEGINNING; thence N 87 deg 53 min 27 sec E, along the platted north line of "Brendel Height Subdivision", 369.17 ft. (recorded as 370 ft.); thence S 02 deg 09 min 36 sec E 305.23 ft. (recorded as 305 ft.); thence S 88 deg 01 min 49 sec W 135.03 ft. (recorded as 135 ft.); thence S 02 deg 03 min 07 E 329.36 ft. (recorded as 330 ft.), to the south line of Lot 263 of said Subdivision; thence S 88 deg 05 min 14 sec W, along said south line of Lot 263 of said Subdivision, 231.32 ft. (recorded as 235 ft.), to the west line of Section 21, as currently monumented; thence S 02 deg 21 min 33 sec E, along said west Section line, 563.51 ft. (recorded as S 02 deg 20 min 55 sec E.); thence S. 87 deg 38 min 27 sec W. 100.00 ft. (recorded as S 87 deg 39 min 05 sec W.); thence S. 02 deg 21 min 33 sec E. 104.57 ft. (recorded as S 02 deg 20 min 55 sec E.); thence S. 87 deg 22 min 52 sec W. 229.62 ft. (recorded as S. 87 deg 23 min 30 sec W.); thence N. 02 deg 21 min 02 sec W. 1275.83 ft. (recorded as N. 02 deg 20 min 24 sec W.) to the South line of M-59 Highway (100 ft. wide right of way); thence North 87 deg 19 min 52 sec E. (recorded as N. 87 deg 20 min 25 sec E.), along said South line, 329.43 ft. to the East line of Section 20 and the West line of Section 21; thence N. 02 deg 21 min 33 sec W. (recorded as N. 02 deg 20 min 55 sec E.), along said Section line, 25.00 ft. to the POINT OF BEGINNING; containing 13.747 acres, subject to the rights of the public or any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes, also subject to easements and restrictions of record, if any.

Witnesses:

West 1/4 Corner, Sec. 21, T.2N., R.8E., White Lake Twp., Oakland Cty, MI. E-08 - Remon. Disc in Mon. Box

N 50 deg E 89.03 ft. to SE building corner of Southerly most brick wall.
S 10 deg E 52.96 ft. to fnd. nail/tag in NE face utility pole.
S 10 deg W 77.11 ft. to fnd. nail/tag in W face of 40" dia. Oak.
N 20 deg W 114.69 ft. to fnd. nail/tag in NE face utility pole.

Southwest 1/4 Corner, Sec. 21, T.2N., R.8E., White Lake Twp., Oakland Cty, MI. E-09 - Remon. Disc on 4" Conc. Mon.

N 70 deg E 21.09 ft. to fnd. nail/tag in S face of 12" dia. Cherry.
S 05 deg E 30.26 ft. to fnd. nail/tag in E face of 12" dia. Cherry.
S 50 deg W 26.52 ft. to fnd. nail/tag in SE face of 12" dia. Cherry.
N 40 deg W 24.85 ft. to fnd. nail/tag in SW face of 28" dia. Oak.

Center of Section, Sec. 21, T.2N., R.8E., White Lake Twp., Oakland Cty, MI. F-08 - Remon. Disc in Mon. Box

Due North 1.65 ft. to M-59 centerline.

References:

- 1) Title Policy by Title Source, Inc., Policy #5011400-427093, Dated: 1/7/13.
- 2) M-59 State Highway Maps, File #63-R-1, Project 63-45, Sheet #263-264.
- 3) Plat of "Brendel Heights Subdivision", as recorded in L. 27 of Plats, Pgs 21-21A.
- 4) B.F. Thompson, PC Survey, Job #88-2112, Dated: 1-27-89.
- 5) Grant Ward Surveyors, Survey Job #01-1105, Dated: 1-24-02.
- 6) Alpine Land Surveying, Survey Job #98-2726, Dated: 12-8-98.
- 7) Alpine Land Surveying, Survey Job #98-2593, Dated: 7-7-98.
- 8) Kieft Engineering, Survey Job #87618, Dated: 1-20-88.

PLANNED BUSINESS DEVELOPMENT AGREEMENT

This Planned Business Development Agreement ("Agreement") is made this 14TH day of July, 2015, by and between Szott CJ Properties, LLC, a Michigan limited liability company ("Developer"), whose address is 6700 Highland Road, White Lake, MI 48383, Szott CJ Properties, LLC, a Michigan limited liability company ("Owner"), whose address is 6700 Highland Road, White Lake, MI 48383 and the Charter Township of White Lake, a Michigan municipal corporation ("Township"), whose address is 7525 Highland Road, White Lake, MI 48383.

Recitals

- A. Developer owns certain real estate situated in the Township, more particularly described on Exhibit A attached hereto and made a part hereof (the "Subject Property").
- B. Developer has applied to the Township to establish the Subject Property as a Planned Business Development ("PBD"), pursuant to provisions of the Township Zoning Ordinance.
- C. The Zoning Ordinance requires the execution of a planned business development agreement in connection with the approval of the Final Site Plan for the development, which agreement shall be binding upon the Township, Developer and Owner. A copy of the approved Site Plan for the Szott Building Expansion PBD is attached at Exhibit B.
- D. By entering into this Agreement, Developer and Township desire to set forth their respective obligations with respect to the PBD and conditions under which the Township has granted final PBD approval.
- E. The Township is willing to establish the property as a PBD and Developer is willing to develop and maintain the PBD, subject to the terms and conditions of this Agreement.
- F. The Township Planning Commission, on August 21, 2014, considered both the Final Site Plan and Planned Business Development Agreement. The Final Site Plan was approved and the Planned Business Development Agreement was recommended for consideration to the Township Board. The Township Board considered and approved this agreement with conditions on September 16, 2014.
- G. The Township Board, on December 16, 2014, considered the signage for the project. The signage package, included as Exhibit F, was approved by the Township Board.

NOW, THEREFORE, Developer and Township hereby declare that the Subject Property shall be held, transferred, sold, conveyed and occupied, subject to any covenants, conditions, easements, restrictions, grants, and reservations set forth herein; all of which covenants, conditions, easements, restrictions, grants and reservations are for the benefit of and shall run

with and bind the Subject Property and all parties having any right, title or interest in any or all portion of the Subject Property, or any improvements therein, as well as their heirs, successors, personal representatives, and assigns.

ARTICLE I

DEFINITIONS

1.1 “Developer” shall mean Szott CJ Properties, LLC, a Michigan limited liability company, or its successors and assigns.

1.2 “Owner” shall mean the holder or holders of record fee simple title to any portion of the Subject Property. The term “Owner” shall include any grantee or lessee to all or any portion of the Subject Property.

1.3 “Person” shall mean any individual, partnership, corporation, limited liability company, trust, or any other form of business or governmental entity.

1.4 “PBD Plan” shall mean the final PBD site plan and related plans and specifications approved by and on file with the Township, as itemized on Exhibit B attached hereto and make a part hereof.

1.5 “PBD Conditions” shall mean the conditions established and required by the Township Board in connection with the approval of the PBD Plan and rezoning, as listed on Exhibit C attached hereto and made a part hereof.

ARTICLE II

ESTABLISHMENT OF PBD AND PBD PLANS

2.1 Approved Final PBD Plan; Exhibits. The PBD plan, dated July 29, 2014 has been approved by the Township as a final PBD site plan under the Township Zoning Ordinance. The PBD site plan approval grants each Owner and/or Developer the right to construct facilities as set forth in the PBD site plan, subject to obtaining permits for said construction in the ordinary course. All exhibits attached hereto are incorporated herein and made a part hereof by reference.

2.2 Statement of Planning Objectives to be Achieved by the Development. The primary planning objectives of this development are to develop the Subject Property for automotive retail use.

2.3 Development Schedule. The proposed approximate development schedule for the development of Subject Property is attached as Exhibit D attached hereto and made a part hereof, which may be modified by Developer as necessary or appropriate with the Township consent.

2.4 Adherence to Ordinances. Except as otherwise provided herein, Owner and Developer shall adhere to the Ordinances of the Township. To the extent that developing the property in accordance with the PBD Plan will deviate from the Township Zoning Ordinance or any other ordinance, resolution, rule or regulation of the Township, currently in effect or which may be adopted in the future, the Township shall be deemed to have granted, and hereby grants, variances for all such deviations. Variances from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, are as set forth on Exhibit E attached hereto and made a part hereof.

ARTICLE III

CONDITIONS, PERMITS AND STIPULATIONS

3.1 Permits and Authorizations. All state, county and federal permits required for completion of the project shall be approved prior to the scheduling of a pre-construction meeting with Developer and the Township staff and consultants.

3.2 Improvements and Alterations. Developer shall not engage in any improvements or alterations on the Subject Property, including, without limitation, site grading work or installation of utilities, until completion of the pre-construction meeting.

3.3 Performance Criteria. Developer and Owner affirmatively submit that the proposed uses on the Subject Property will meet the performance standards found in the Township Zoning Ordinance.

3.4 Future Sale or Lease. Developer and Owner do not intend the future sale or lease of all or part of the planned development as individual units, but rather as the entirety of the property.

3.5 Conditions. The conditions attached by Township Board for approval of the PBD Plan, as listed on Exhibit C attached hereto, are incorporated into the Township's PBD approval. Any violation of these conditions shall be considered to be a breach of this Agreement.

ARTICLE IV

ACTION BY THE TOWNSHIP

4.1 *Maintenance of Property.* In the event Developer or Owner fails at any time to maintain the Subject Property in a first class condition, using commercially reasonable standards consistent with the approved site plan and this Agreement, the Township may serve written notice upon the Developer or Owner setting forth the manner in which Developer or Owner has failed to maintain the Subject Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than thirty (30) days, and shall set forth the date, time and place of a hearing before the Township Board for the purpose of allowing Developer or Owner to be heard as to why the Township should not proceed to perform the

maintenance which has not been undertaken. In that hearing, the time for curing such deficiencies, and the hearing itself, may be extended. If, following the hearing, the Township Board shall determine that the deficiency has not been cured within the time specified at the hearing, then upon five (5) days written notice to the Developer or Owner, the Township shall thereupon have the power and authority, but not the obligation, to enter upon the Subject Property or cause its agents or contractors to enter upon the Property to cure such deficiency as reasonably found by the Township to be appropriate and/or necessary, in a manner so as to reasonably minimize any interference with the business operations on the Subject Property and the cost and expense of such curative action, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township, shall be paid by the Developer and/or Owner. Such amount shall constitute a lien on the Subject Property and the Township may require such costs and expenses to be paid prior to the commencement of work. If such costs and expenses have not been paid within sixty (60) days of a billing to the Developer or Owner, all unpaid amounts may be a) placed on a delinquent tax roll of the Township as to the Subject Property and shall accrue interest and penalties and shall be collected as and shall be deemed delinquent real property taxes according to the laws made and provided for the collection of delinquent real property taxes in the discretion of the Township; or be assessed against the Owner and collected as a special assessment on the next annual Township tax roll; b) collected by use of the applicable provisions of Michigan law providing for foreclosure by advertisement, the Owner having specifically granted the Township the required power of sale to do so; or c) collected by suit against the Owner. If suit is initiated, the Owner shall pay all of the Township's legal fees and costs. The selection of remedy shall be at the sole option of the Township, and election of one remedy shall not waive the use of any other remedy.

ARTICLE V

MISCELLANEOUS

- 5.1 Binding Effect. This Agreement shall be binding upon and inure to the benefit of the parties, their heirs, successors and assigns. The rights and obligations contained in this Agreement shall run with the property.
- 5.2 Authority. This Agreement has been duly authorized by all necessary action of the Developer and the Township. By execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Subject Property and the respective entities to its terms and conditions.
- 5.3 Amendment. This Agreement contains the entire agreement of the parties. No statements promises or endorsements made by either party or agent of either party that are not contained in this Agreement shall be valid or binding. This Agreement shall only be amended pursuant to an instrument executed by the Township and Developer, or their successor in title.

No consent to the amendment of this Agreement shall be required from any other person, including mortgages.

5.4 Validity. Invalidation of any of the provisions contained in this Agreement, or of the application thereof to any person by judgment or court order shall in no way affect any of the other provisions herein or the application thereof to any other person. The same shall remain in the full force and effect.

5.5 Partnership. None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Developer and the Township.

5.6 Time. Time is of the essence to this Agreement.

5.7 Waiver. Failure of either party to insist upon strict performance of any of the terms, conditions or covenants hereof shall not be deemed to be a waiver of any rights or remedies that such party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default under this Agreement. No waiver by either party of any default under this agreement shall be effective or binding unless made in writing and no such waiver shall be implied from any omission by the party to take an action with respect to the default. No express written waiver of any default shall effect any other default or cover any other period of time, and one or more written waivers of any default shall not be deemed to be a waiver of any subsequent default in performance of the same or any other term or provision contained in this Agreement.

5.8 Violations. Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all the rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.

5.9 Notice. A notice of PBD approval shall be prepared by and recorded by the Township at the Office of the Oakland County Register of Deeds.

5.10 Governing Law. This Agreement shall be governed by the procedural and substantive laws of the State of Michigan.

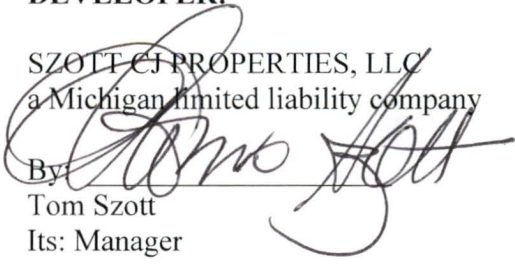
5.11 Entrance of Property. By execution of this Agreement, Developer and Owner grant to the Township, a license to enter onto any portion of the Subject Property as necessary to undertake any inspection, required maintenance, repair, or replacement of municipal utilities, including storm water, sewer, and water.

5.12 Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all such counterparts shall constitute one and the same instrument.

The undersigned have executed this Agreement effective as of the day and year first written above.


DEVELOPER:

SZOTT CJ PROPERTIES, LLC
a Michigan limited liability company

By 
Tom Szott
Its: Manager

STATE OF MICHIGAN)
) §
COUNTY OF OAKLAND)

The foregoing PBD Agreement was acknowledged before me this 14th day of July, 2015, by Tom Szott, Manager, of Szott CJ Properties, LLC, a Michigan limited liability company, on behalf of said limited liability company.



Ashley E. Amburgy, Notary Public
Oakland County, Michigan
Acting in Oakland County, Michigan
My commission expires: 6/8/2017

ASHLEY E. AMBURGY
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES JUN 8, 2017
ACTING IN COUNTY OF Oakland

OWNER:

SZOTT CJ PROPERTIES, LLC
a Michigan limited liability company

By: *Tom Szott*
Tom Szott
Its: Manager

STATE OF MICHIGAN)
) §
COUNTY OF OAKLAND)

The foregoing PBD Agreement was acknowledged before me this 14th day of July, 2015, by Tom Szott, Manager, of Szott CJ Properties, LLC, a Michigan limited liability company, on behalf of said limited liability company.

Ashley E. Amburgy
Ashley E. Amburgy, Notary Public
Oakland County, Michigan
Acting in Oakland County, Michigan
My commission expires: 6/8/2017

ASHLEY E. AMBURGY
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES Jun 8, 2017
ACTING IN COUNTY OF Oakland

TOWNSHIP:
CHARTER TOWNSHIP OF WHITE LAKE
a Michigan municipal corporation

By: *Greg Baroni*
Greg Baroni
Its: Supervisor

By: *Terry Lilley*
Terry Lilley
Its: Clerk

STATE OF MICHIGAN)
) §
COUNTY OF OAKLAND)

The foregoing PBD Agreement was acknowledged before me this 14th day of July, 2015, by Greg Baroni, Supervisor and Terry Lilley, Clerk of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

Ashley E. Amburgy
Ashley E. Amburgy Notary Public
Oakland County, Michigan
Acting in Oakland County, Michigan
My commission expires: 6/8/2017

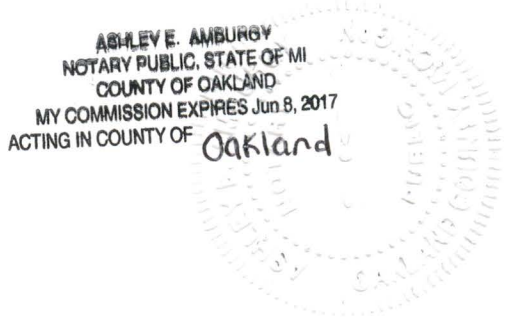


EXHIBIT A

LEGAL DESCRIPTIONS

Combined Legal Description for Assessment Purposes: Tax ID#12-21-301-030 & ID#12-20-427-005

Part of the southeast 1/4 of Section 20 and also part of the southwest 1/4 of Section 21, T.3N., R.8E., White Lake Township, Oakland County, Michigan, being also part of Lots 263 through 266, inclusive, of "Brendel Heights Subdivision", as recorded in Liber 27 of Plats, Pages 21 and 21A, Oakland County Records, and more particularly described as **COMMENCING** at the Center of Section of said Section 21, which lies 1.65 ft. south of the M-59 surveyed centerline, thence S 87 deg 53 min 27 sec W, along the east-west 1/4 line of said Section 21, 2669.70 ft. to the west 1/4 corner of said Section 21; thence S 02 deg 21 min 33 sec E., along the West line of Section 21 & the East line of Section 20, 25.00 ft., to the **POINT OF BEGINNING**; thence N 87 deg 53 min 27 sec E, along the platted north line of "Brendel Height Subdivision", 369.17 ft. (recorded as 370 ft.); thence S 02 deg 09 min 36 sec E 305.23 ft. (recorded as 305 ft.); thence S 88 deg 01 min 49 sec W 135.03 ft. (recorded as 135 ft.); thence S 02 deg 03 min 07 E 329.36 ft. (recorded as 330 ft.), to the south line of Lot 263 of said Subdivision; thence S 88 deg 05 min 14 sec W, along said south line of Lot 263 of said Subdivision, 231.32 ft. (recorded as 235 ft.), to the west line of Section 21, as currently monumented; thence S 02 deg 21 min 33 sec E, along said west Section line, 563.51 ft. (recorded as S 02 deg 20 min 55 sec E.); thence S. 87 deg 38 min 27 sec W. 100.00 ft. (recorded as S 87 deg 39 min 05 sec W.); thence S. 02 deg 21 min 33 sec E. 104.57 ft. (recorded as S 02 deg 20 min 55 sec E.); thence S. 87 deg 22 min 52 sec W. 229.62 ft. (recorded as S. 87 deg 23 min 30 sec W.); thence N. 02 deg 21 min 02 sec W. 1275.83 ft. (recorded as N. 02 deg 20 min 24 sec W.) to the South line of M-59 Highway (100 ft. wide right of way); thence North 87 deg 19 min 52 sec E. (recorded as N. 87 deg 20 min 25 sec E.), along said South line, 329.43 ft. to the East line of Section 20 and the West line of Section 21; thence N. 02 deg 21 min 33 sec W. (recorded as N. 02 deg 20 min 55 sec E.), along said Section line, 25.00 ft. to the **POINT OF BEGINNING**; containing 13.747 acres, subject to the rights of the public or any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes, also subject to easements and restrictions of record, if any.

Witnesses:

West 1/4 Corner, Sec. 21, T.2N., R.8E., White Lake Twp., Oakland Cty, MI. E-08 - Remon. Disc in Mon. Box

N 50 deg E 89.03 ft. to SE building corner of Southerly most brick wall.

S 10 deg E 52.96 ft. to fnd. nail/tag in NE face utility pole.

S 10 deg W 77.11 ft. to fnd. nail/tag in W face of 40" dia. Oak.

N 20 deg W 114.69 ft. to fnd. nail/tag in NE face utility pole.

Southwest 1/4 Corner, Sec. 21, T.2N., R.8E., White Lake Twp., Oakland Cty, MI. E-09 - Remon. Disc on 4" Conc. Mon.

N 70 deg E 21.09 ft. to fnd. nail/tag in S face of 12" dia. Cherry.

S 05 deg E 30.26 ft. to fnd. nail/tag in E face of 12" dia. Cherry.

S 50 deg W 26.52 ft. to fnd. nail/tag in SE face of 12" dia. Cherry.

N 40 deg W 24.85 ft. to fnd. nail/tag in SW face of 28" dia. Oak.

Center of Section, Sec. 21, T.2N., R.8E., White Lake Twp., Oakland Cty, MI. F-08 - Remon. Disc in Mon. Box

Due North 1.65 ft. to M-59 centerline.

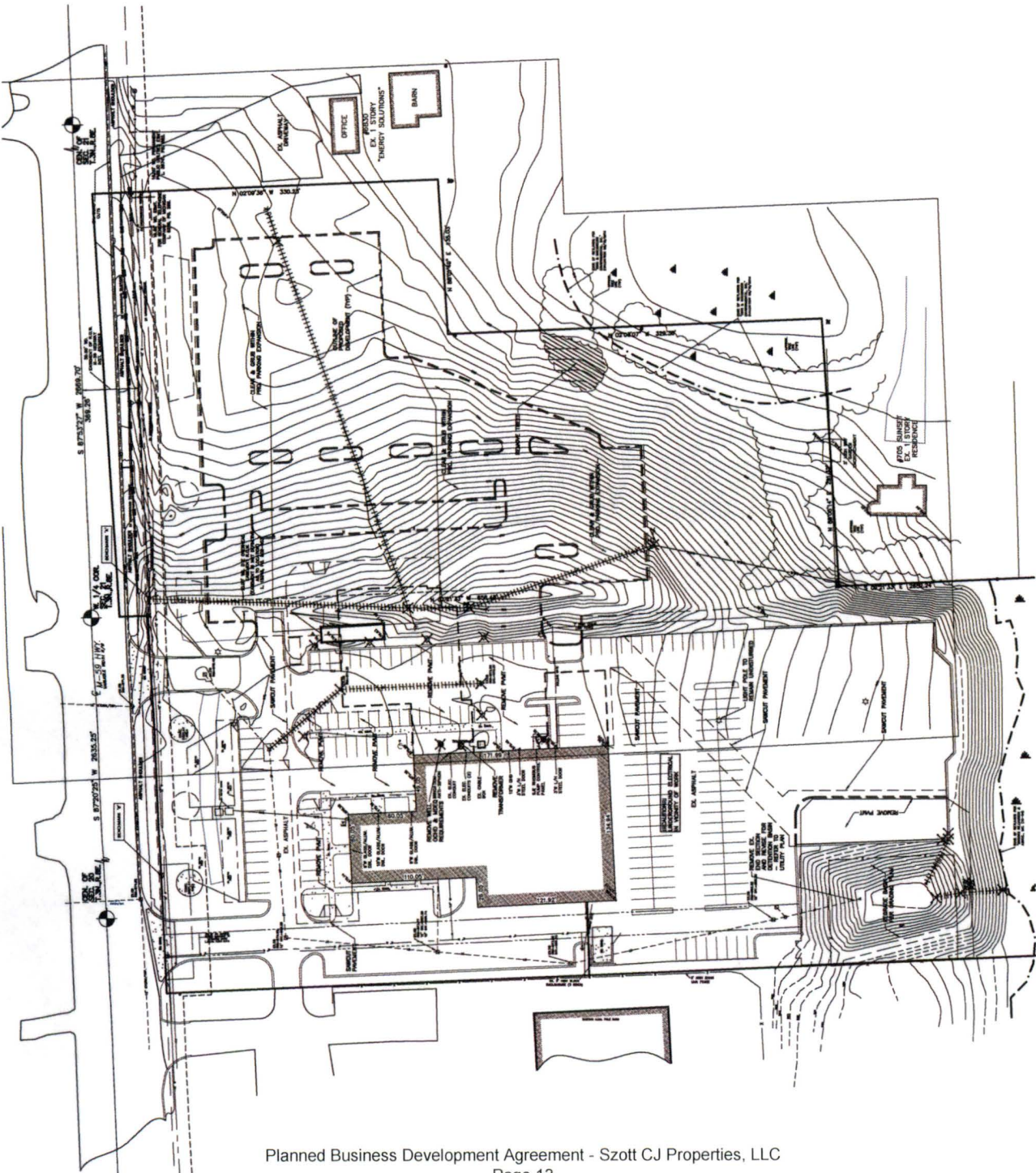
References:

- 1) Title Policy by Title Source, Inc., Policy #5011400-427093, Dated: 1/7/13.
- 2) M-59 State Highway Maps, File #63-R-1, Project 63-45, Sheet #263-264.
- 3) Plat of "Brendel Heights Subdivision", as recorded in L. 27 of Plats, Pgs 21-21A.
- 4) B.F. Thompson, PC Survey, Job #88-2112, Dated: 1-27-89.
- 5) Grant Ward Surveyors, Survey Job #01-1105, Dated: 1-24-02.
- 6) Alpine Land Surveying, Survey Job #98-2726, Dated: 12-8-98.
- 7) Alpine Land Surveying, Survey Job #98-2593, Dated: 7-7-98.
- 8) Kieft Engineering, Survey Job #87618, Dated: 1-20-88.

EXHIBIT B

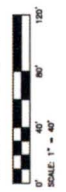
DRAWING INDEX

- C1.0 COVER SHEET
- C2.0 TOPOGRAPHIC SURVEY
- C2.1 REMOVAL PLAN
- C3.0 SITE LAYOUT PLAN
- C3.1 SITE LIGHTING PLAN
- C3.2 PARKING PLAN
- C4.0 GRADING PLAN
- C4.1 SOIL EROSION CONTROL PLAN
- C4.2 GRADING DETAILS
- C5.0 UTILITY PLAN
- C5.1 STORM MANAGEMENT CALCULATIONS
- C5.2 DETENTION BASIN LAYOUT
- C5.3 STORM PROFILES
- C5.4 STORM PROFILES
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN AND DETAILS
- STORM SEWER STANDARD DETAILS
- SANITARY SEWER STANDARD DETAILS
- WATER MAIN STANDARD DETAILS
- A1.0 OVERALL PLAN
- A1.1 ENLARGED NEW SALES PLAN
- A1.2 ENLARGED USED CAR SHOW ROOM PLANS
& BODY SHOP
- A2.0 ELEVATIONS
- A5.0 BUILDING SECTIONS



- REMOVAL NOTICE**
- CONTRACTOR OF THIS PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OTHER SERVICES FOR THE REMOVAL OF THE STRUCTURES AND UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OTHER SERVICES FOR THE REMOVAL OF THE STRUCTURES AND UTILITIES SHOWN ON THIS PLAN.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND OTHER SERVICES FOR THE REMOVAL OF THE STRUCTURES AND UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OTHER SERVICES FOR THE REMOVAL OF THE STRUCTURES AND UTILITIES SHOWN ON THIS PLAN.
 - THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES AND STRUCTURES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OTHER SERVICES FOR THE REMOVAL OF THE STRUCTURES AND UTILITIES SHOWN ON THIS PLAN.
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REMOVAL LEGEND
 ITEM TO BE REMOVED
 X
 HHHHHHHH



UTILITY NOTE
 THE UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE BASED ON ALL AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OTHER SERVICES FOR THE REMOVAL OF THE STRUCTURES AND UTILITIES SHOWN ON THIS PLAN.



Best Design & Engineering Services, Inc.
 10253 Lakeside Lane
 White Lake, MI 48391
 313.241.0111
 www.bestdesign.com

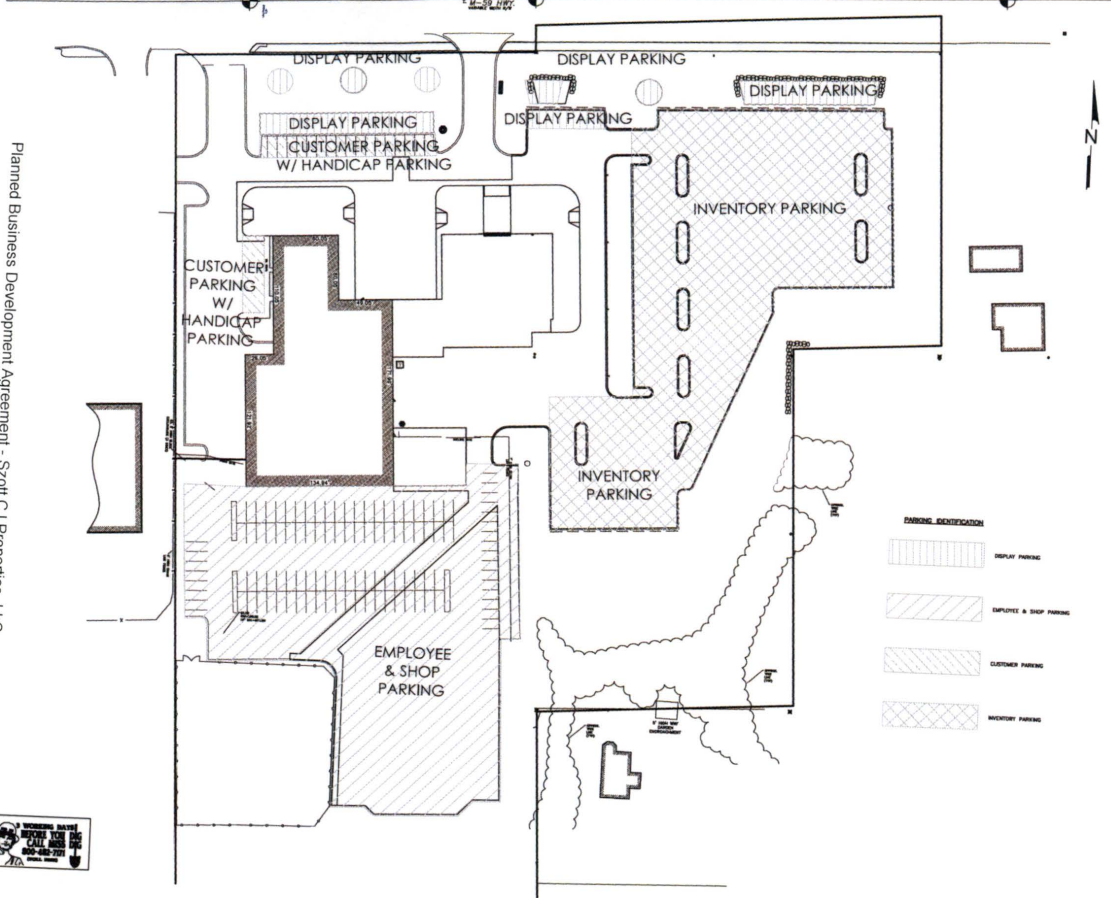
SZOTT M-59 CHRYSLER JEEP
 6700 HIGHLAND RD.
 WHITE LAKE TOWNSHIP, MI.

NOTES
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL PARKING SPACES SHALL BE 8'0" X 18'0" UNLESS NOTED OTHERWISE.
 3. ALL PARKING SPACES SHALL BE 10'0" WIDE UNLESS NOTED OTHERWISE.
 4. ALL PARKING SPACES SHALL BE 10'0" DEEP UNLESS NOTED OTHERWISE.
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 9. ALL PARKING SPACES SHALL BE 10'0" WIDE UNLESS NOTED OTHERWISE.
 10. ALL PARKING SPACES SHALL BE 10'0" DEEP UNLESS NOTED OTHERWISE.

ISSUED FOR	DATE
FINAL PLAN	07/15/10
CONTRACT PLAN	07/15/10
DATE:	
DRAWN: AJC	
CHECKED: FTD	
SCALE: 1/8" = 1'-0"	
PROJECT NO: 10-10-08	
SHEET NO. 1	

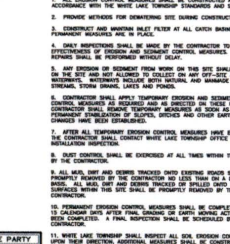
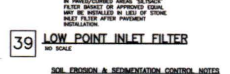
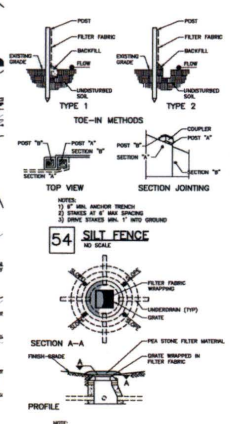
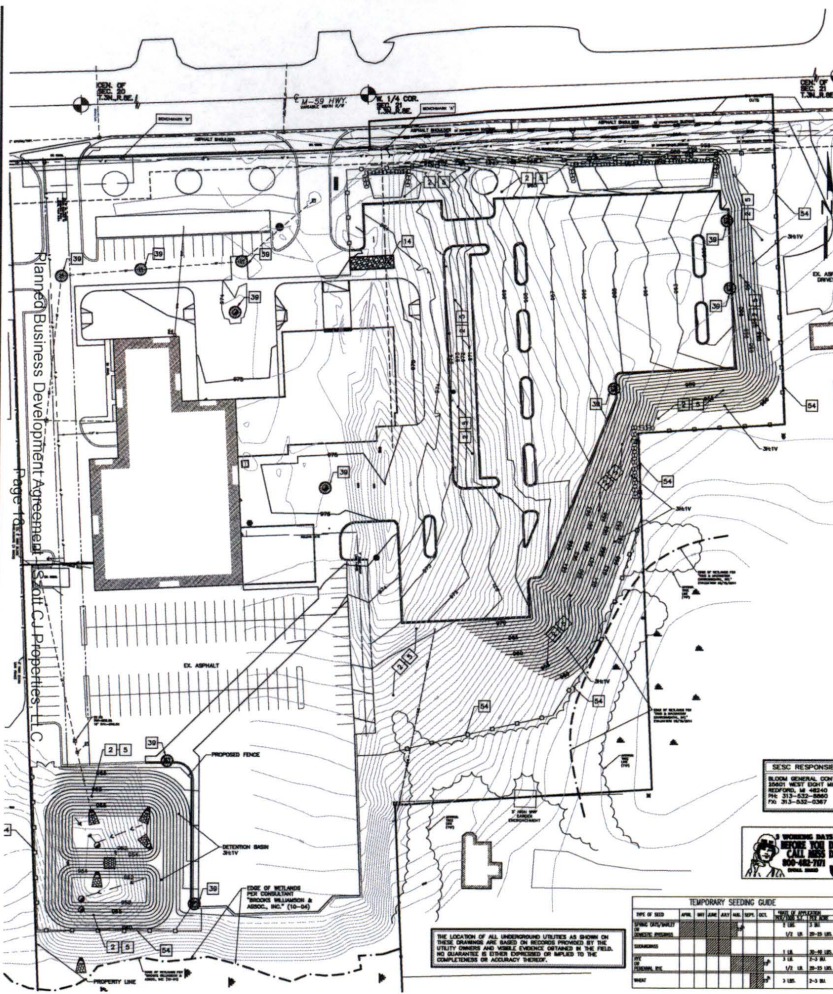
PARKING PLAN
 SHEET

C3.2

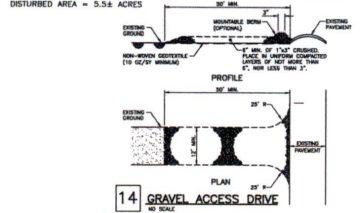


Planned Business Development Agreement - Scott CJ Properties, LLC
 Page 16





SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
CONSTRUCTION SEQUENCE	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JULY
TEMPORARY EROSION CONTROL MEASURES											
EROSION CONTROL MEASURES / SLOPE STABILIZATION											
FOUNDATION / SLAB CONSTRUCTION											
PERMANENT EROSION CONTROL MEASURES											
LANDSCAPING											



- 39 LOW POINT INLET FILTER**
- SOIL EROSION & SEDIMENTATION CONTROL NOTES**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WHITE LAKE TOWNSHIP ORDINANCES AND SPECIFICATIONS.
 2. PROVIDE RETARDS FOR MAINTAINING THE DRAINAGE CONSTRUCTION OF MEASURES.
 3. CONSTRUCT AND MAINTAIN SILL FENCE AT ALL CATCH BASIN SITES.
 4. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
 5. ANY EROSION OR DAMAGE FROM WORK ON THIS SITE SHALL BE CORRECTED IMMEDIATELY. REPAIRS SHALL BE APPROVED BY THE TOWNSHIP ENGINEER. REPAIRS SHALL BE PERFORMED WITHIN 24 HOURS OF THE OCCURRENCE OF THE DAMAGE.
 6. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IF THERE IS A SIGNIFICANT RAINFALL EVENT. CONSTRUCTION SHALL NOT BE RESUMED UNTIL THE TOWNSHIP ENGINEER HAS DETERMINED THAT THE EROSION CONTROL MEASURES ARE EFFECTIVE AND THE SOIL IS SUITABLE FOR CONSTRUCTION.
 7. AFTER ALL TEMPORARY EROSION CONTROL MEASURES HAVE BEEN INSTALLED, MAINTENANCE INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE PER WEEK.
 8. EROSION CONTROL SHALL BE ENFORCED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR.
 9. ALL MAIN DRAIN AND DRAINAGE TRUNKS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WHITE LAKE TOWNSHIP ORDINANCES AND SPECIFICATIONS. ALL MAIN DRAIN AND DRAINAGE TRUNKS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WHITE LAKE TOWNSHIP ORDINANCES AND SPECIFICATIONS.
 10. PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AFTER THE COMPLETION OF CONSTRUCTION ACTIVITY HAS BEEN COMPLETED. A FINAL INSPECTION SHALL BE SCHEDULED BY THE TOWNSHIP ENGINEER.
 11. WHITE LAKE TOWNSHIP SHALL REVIEW ALL SOIL EROSION CONTROL MEASURES WITHIN 14 CALENDAR DAYS AFTER THE COMPLETION OF CONSTRUCTION ACTIVITY HAS BEEN COMPLETED. MAINTENANCE WORK SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH ALL WHITE LAKE TOWNSHIP ORDINANCES AND SPECIFICATIONS.

- CONSTRUCTION SEQUENCE**
1. STRIP TOPSOIL AND STOCKPILE.
 2. REMOVE EXISTING CONCRETE AND REINFORCEMENT. REMOVE EXISTING DRIVEWAYS AND REINFORCEMENT. REMOVE EXISTING DRIVEWAYS AND REINFORCEMENT.
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 18. REMOVE EXISTING CONCRETE AND REINFORCEMENT. REMOVE EXISTING DRIVEWAYS AND REINFORCEMENT.
 19. REMOVE EXISTING CONCRETE AND REINFORCEMENT. REMOVE EXISTING DRIVEWAYS AND REINFORCEMENT.
 20. REMOVE EXISTING CONCRETE AND REINFORCEMENT. REMOVE EXISTING DRIVEWAYS AND REINFORCEMENT.

DESIGN RESPONSIBLE PARTY
 BLOOM GENERAL CONTRACTORS, INC.
 5000 NEW QUAY ROAD
 FARMERSVILLE, OHIO 43024
 PH: 614-292-2007



TEMPORARY SEEDING DATE			
NO. OF SEED	APPLICATOR	DATE	TIME
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM
100	100	10/15	10:00 AM

- SOIL EROSION CONTROL MEASURES**
2. SILL FENCE
 5. SILL FENCE
 14. GRAVEL ACCESS DRIVE
 39. LOW POINT INLET FILTER
 54. SILL FENCE

be
 Build Design & Engineering Services, Inc.
 10000 W. 100th St., Suite 100
 Overland Park, KS 66204
 PH: 913-666-1111
 WWW.BUILDDESIGN.COM

SCOTT M-59 CHRYSLER JEEP
 6700 HIGHLAND RD.
 WHITE LAKE TOWNSHIP, MI.

SOIL EROSION CONTROL PLAN
 C4.1

WHITE LAKE TOWNSHIP STANDARD RETAINING WALL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE TOWNSHIP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWNSHIP ENGINEER AND THE STATE OF MICHIGAN PRIOR TO COMMENCING CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING THEM FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWNSHIP ENGINEER AND THE STATE OF MICHIGAN PRIOR TO COMMENCING CONSTRUCTION.
4. ALL NEW WALLS OR EXISTING WALLS SHALL BE CONSTRUCTED TO THE DESIGN GRADE AND SHALL BE CONSTRUCTED TO THE DESIGN GRADE AND SHALL BE CONSTRUCTED TO THE DESIGN GRADE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWNSHIP ENGINEER AND THE STATE OF MICHIGAN PRIOR TO COMMENCING CONSTRUCTION.

GENERAL NOTES

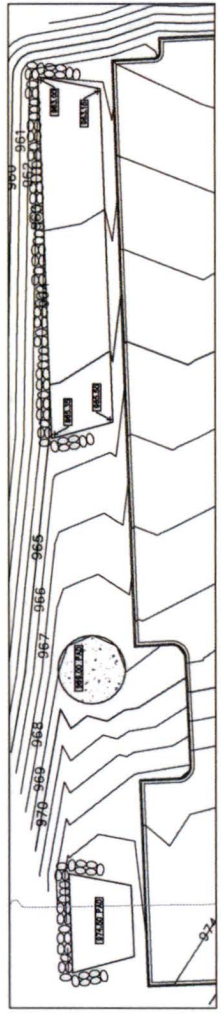
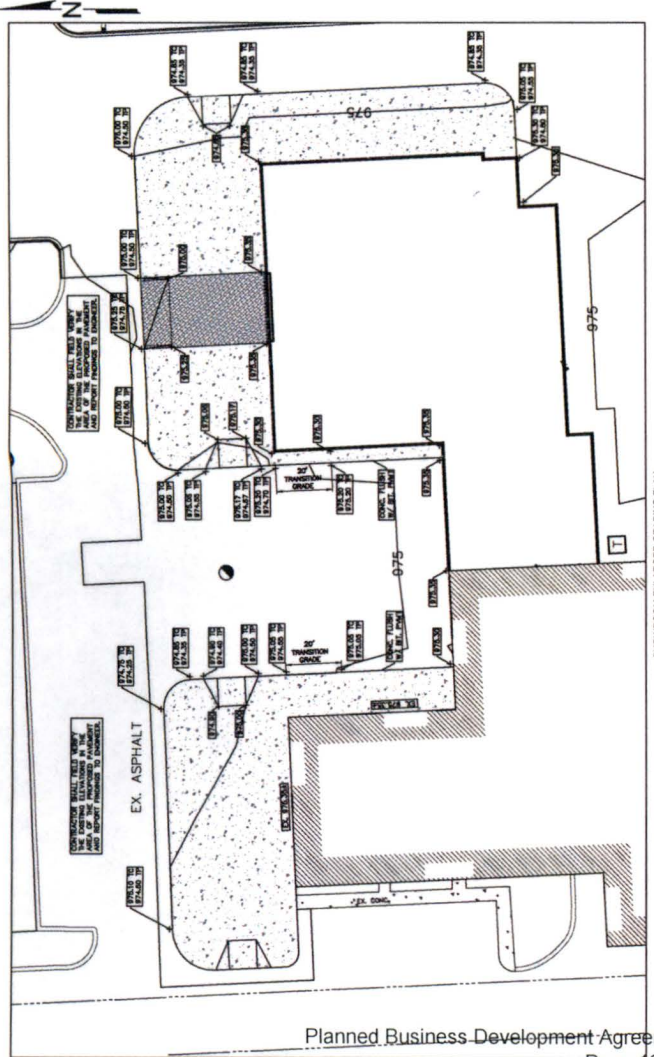
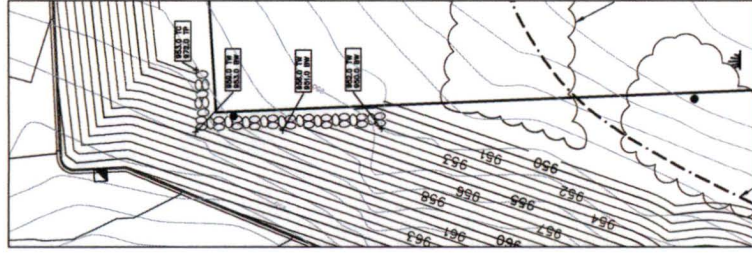
1. REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
2. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWNSHIP ENGINEER AND THE STATE OF MICHIGAN PRIOR TO COMMENCING CONSTRUCTION.
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5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWNSHIP ENGINEER AND THE STATE OF MICHIGAN PRIOR TO COMMENCING CONSTRUCTION.

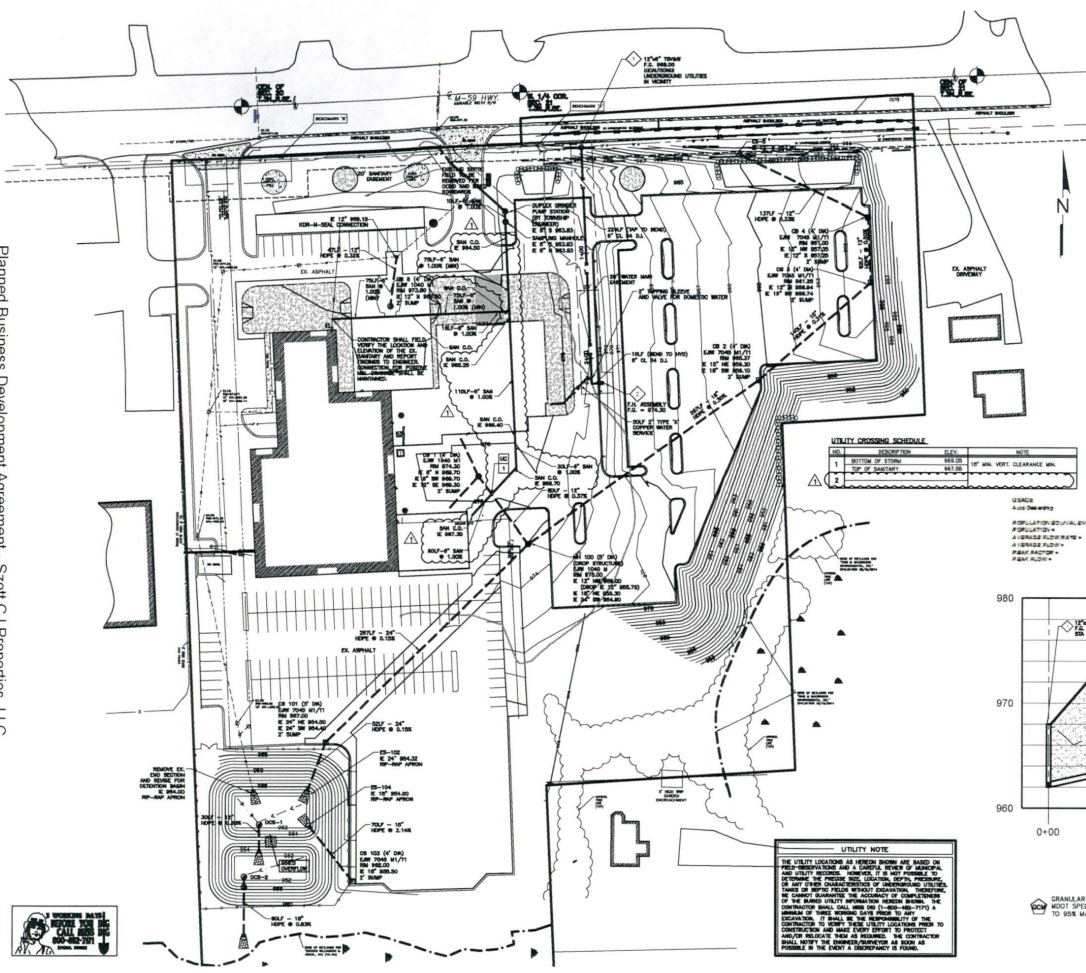
BENCHMARKS

TOP OF WALL OF ON
 ADJACENT LOT OF EAST
 SIDE OF LOT TO BE
 CONSIDERED TO EXIST
 UNLESS OTHERWISE
 NOTED ON PLAN
 (SEE NOTES)

UTILITY NOTE

THE UTILITY LOCATIONS AND DEPTHS SHOWN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.





UTILITY CROSSING SCHEDULE

NO.	DESCRIPTION	ELEV.	SIZE
1	1" WATER MAIN	880.00	1" MIN. VERT. CLEARANCE MIN.
2	1" S.W. SANITARY	880.00	1" MIN. VERT. CLEARANCE MIN.

SEWER
 Allow Overlap
 Allow 100' of 24" S.W. SANITARY
 Allow 100' of 18" S.W. SANITARY
 Allow 100' of 12" S.W. SANITARY
 Allow 100' of 8" S.W. SANITARY
 Allow 100' of 6" S.W. SANITARY
 Allow 100' of 4" S.W. SANITARY

PUBLIC WATER MAIN QUANTITIES
 1" S.W. WATER MAIN 1 EA
 1" S.W. WATER MAIN 234 LF
 FIRE HYDRANT ASSEMBLY 1 EA

SANITARY USE CALCULATION

SEWER	AREA	UNIT FLOOR AREA	1.000 G.P.D.	8.0 G.P.D.
1" S.W. WATER MAIN	40,777 sq. ft.	0.2 Units per 1,000 sq. ft.	1,000 G.P.D.	12.0 G.P.D.
1" S.W. WATER MAIN	234 LF	0.2 Units per 100 LF	234 G.P.D.	2.8 G.P.D.
FIRE HYDRANT ASSEMBLY	1 EA	1.0 Unit	1.0 G.P.D.	1.0 G.P.D.
TOTAL			1,235 G.P.D.	16.8 G.P.D.



KEY NOTES
 GRANULAR COMPACTED MATERIAL
 MOIST SPEC. CLAS. B, COMPACTED
 TO 95% MAXIMUM DRY DENSITY (TYP)

1 UTILITY CROSSING - REFER TO C5.0 FOR DETAIL

UTILITY NOTE
 THE UTILITY LOCATIONS AT VARIOUS POINTS ARE BASED ON FIELD SURVEY DATA AND A LIMITED CHECK OF AVAILABLE RECORDS. THE PRESENCE OF UTILITIES AT ANY POINTS NOT SHOWN HEREON IS NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES NOT SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

- WHITE LAKE TOWNSHIP STANDARD SITE CONSTRUCTION NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE TOWNSHIP.
 2. THE DEVELOPER SHALL CONTACT THE TOWNSHIP PLANNING DEPARTMENT AT (248) 880-3300 TO REVIEW A PRE-CONSTRUCTION MEETING. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER AT (248) 880-3300 WITHIN 10 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL KEEP THE TOWNSHIP ENGINEER ADVISED OF THE PROGRESS OF CONSTRUCTION ON A DAILY BASIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 4. ALL WATER MAIN OR SANITARY SERVICE WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE TOWNSHIP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 5. THE CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER AT (248) 880-3300 IN ADVANCE OF CONSTRUCTION TO HAVE EXISTING UTILITIES LOCATED. THE CONTRACTOR SHALL CONTACT THE WHITE LAKE TOWNSHIP ENGINEER AT (248) 880-3300 TO OBTAIN A UTILITY CROSSING SCHEDULE IN ADVANCE OF CONSTRUCTION TO HAVE UTILITIES LOCATED.

- GENERAL NOTES**
1. REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
 2. IF THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND/OR NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 4. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 5. HIGH VOLTAGE TRANSMISSION LINES SHALL BE AVOIDED. IF AVOIDANCE IS NOT POSSIBLE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 6. SANITARY SERVICE SHALL BE 8-INCH DIPS 234 PIPES WITH GRANULAR FILL JOINTS. REFER TO WHITE LAKE TOWNSHIP STANDARD SPECIFICATIONS FOR FURTHER INFORMATION.



SCOTT M-59 CHRYSLER JEEP
 6700 HIGHLAND RD.
 WHITE LAKE TOWNSHIP, MI.

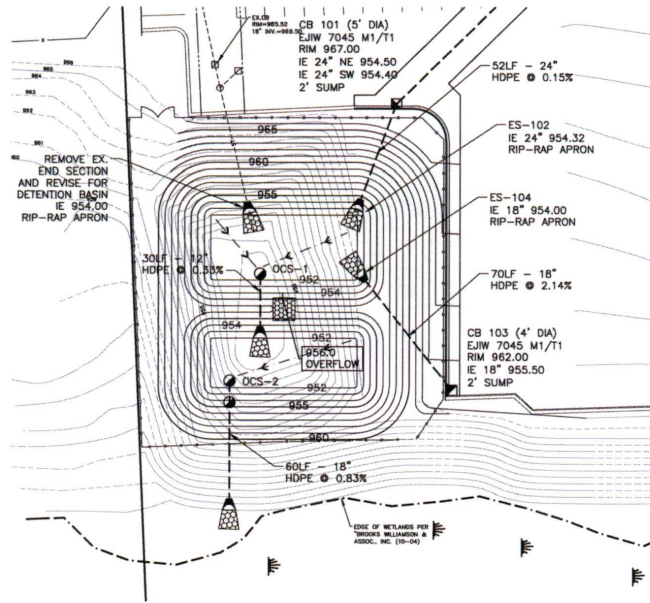
UTILITY PLAN
 SHEET
C5.0

TASK	CONSTRUCTION				MAINTENANCE			
	INSTALL	TEST	OPERATE	REPAIR	INSPECT	REPAIR	REPLACE	REPAIR
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X
INSPECT FOR FLOWS AND DEBRIS	X	X	X	X	X	X	X	X
CLEANING OF FLOWS AND DEBRIS	X	X	X	X	X	X	X	X
INSPECTION FOR EROSION	X	X	X	X	X	X	X	X
REPAIR/REPLACE EROSION ON EXPOSED SLOPES	X	X	X	X	X	X	X	X
REPLACEMENT OF GRASS JACKETS	X	X	X	X	X	X	X	X
REPAIR	X	X	X	X	X	X	X	X
REPAIR STRUCTURAL ELEMENTS DURING SET	X	X	X	X	X	X	X	X
REPAIR AND CORRECT TO ORIGINAL STATE BY PROFESSIONAL ENGINEER (REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X
MAKE ADJUSTMENTS OF RETENTION AS DETERMINED BY MANUAL, NET WEIGHT INSPECTION	X	X	X	X	X	X	X	X

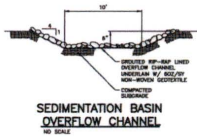
AS NOTED - WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE (1) FOOT DEPTH
CONSTRUCTION MAINTENANCE SCHEDULE

TASK	CONSTRUCTION				MAINTENANCE			
	INSTALL	TEST	OPERATE	REPAIR	INSPECT	REPAIR	REPLACE	REPAIR
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X
INSPECT FOR FLOWS AND DEBRIS	X	X	X	X	X	X	X	X
CLEANING OF FLOWS AND DEBRIS	X	X	X	X	X	X	X	X
INSPECTION FOR EROSION	X	X	X	X	X	X	X	X
REPAIR/REPLACE EROSION ON EXPOSED SLOPES	X	X	X	X	X	X	X	X
REPLACEMENT OF GRASS JACKETS	X	X	X	X	X	X	X	X
REPAIR	X	X	X	X	X	X	X	X
REPAIR STRUCTURAL ELEMENTS DURING SET	X	X	X	X	X	X	X	X
REPAIR AND CORRECT TO ORIGINAL STATE BY PROFESSIONAL ENGINEER (REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X
MAKE ADJUSTMENTS OF RETENTION AS DETERMINED BY MANUAL, NET WEIGHT INSPECTION	X	X	X	X	X	X	X	X
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO OWNER	X	X	X	X	X	X	X	X
KEEP RECORDS OF ALL COSTS FOR INSPECTION, MAINTENANCE AND REPAIRS SUBJECT TO CHECK	X	X	X	X	X	X	X	X
TENDER RECORD COST STATEMENTS OF THE INSPECTION, MAINTENANCE AND REPAIRS AS NOTED	X	X	X	X	X	X	X	X
MAKE TO TEST & PROFESSIONAL ENGINEER DAILY BY EMERGENCY INSPECTIONS UPON COMPLETION OF FUTURE PROJECT	X	X	X	X	X	X	X	X

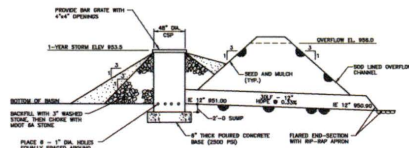
MAINTENANCE SCHEDULE



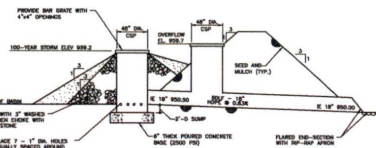
DETENTION BASIN DETAIL
SCALE: 1" = 30'



SEDIMENTATION BASIN OVERFLOW CHANNEL
NO SCALE



SEDIMENTATION BASIN OCS-1
NO SCALE



DETENTION BASIN OCS-2
NO SCALE

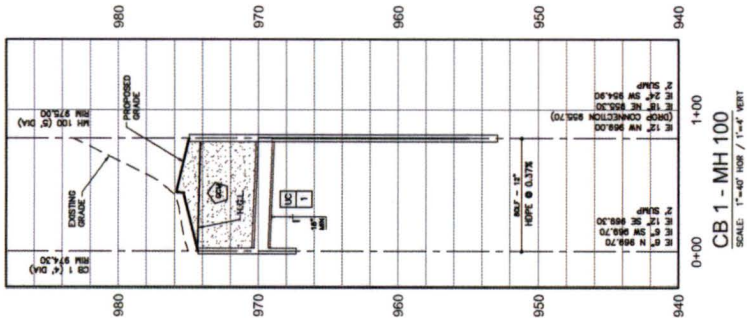


SCOTT M-59 CHRYSLER JEEP
6700 HIGHLAND RD.
WHITE LAKE TOWNSHIP, MI.

REVISIONS

REVISION NO.	DATE	BY	CHKD.
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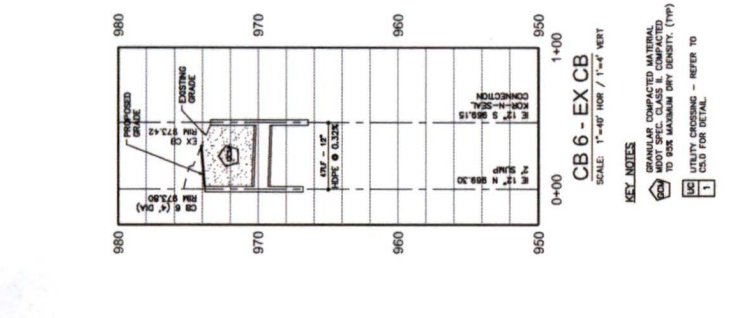
C5.2



CB 1 - MH 100
 SCALE: 1"=40' HOR / 1"=4' VERT

KEY NOTES

- GRANULAR COMPACTED MATERIAL TO 90% MAXIMUM DRY DENSITY (TYP)
- UTILITY CROSSINGS - REFER TO CSD FOR DETAIL



CB 6 - EX CB
 SCALE: 1"=40' HOR / 1"=4' VERT

KEY NOTES

- GRANULAR COMPACTED MATERIAL TO 90% MAXIMUM DRY DENSITY (TYP)
- UTILITY CROSSINGS - REFER TO CSD FOR DETAIL

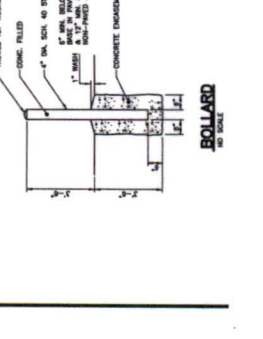
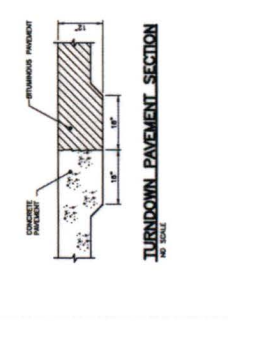
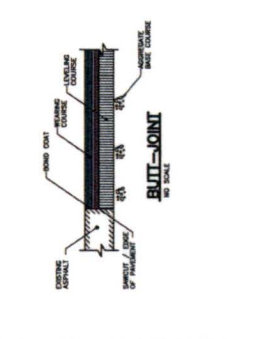
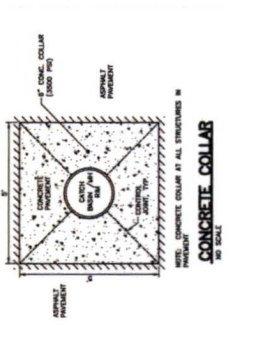
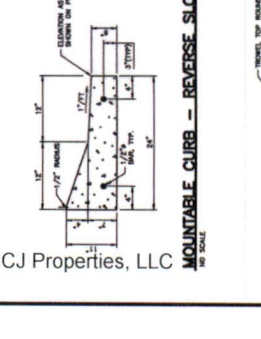
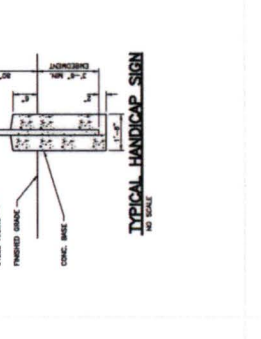
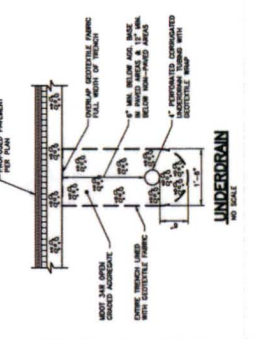
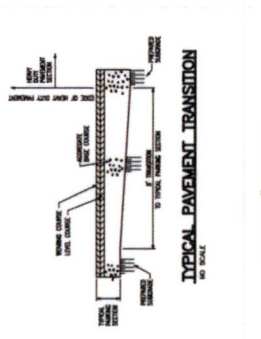
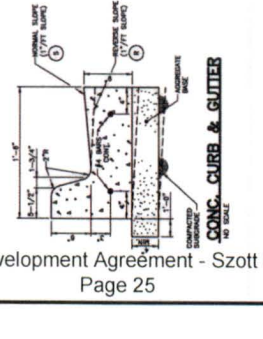
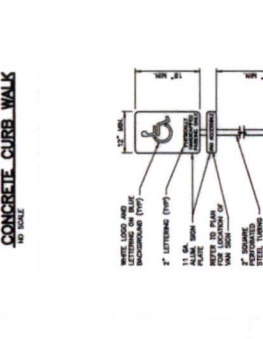
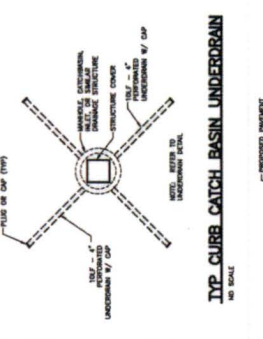
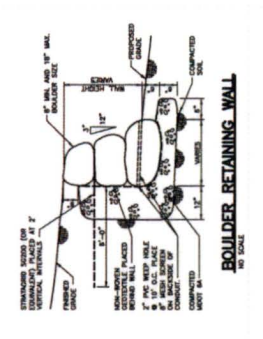
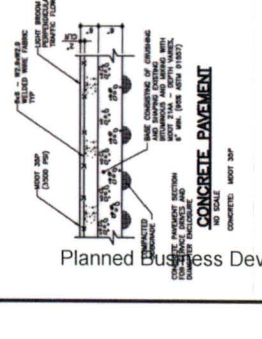
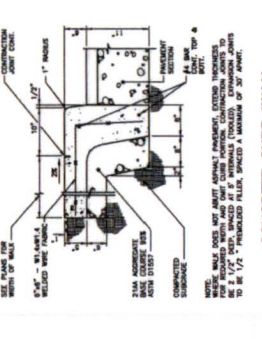
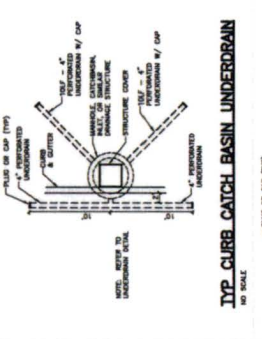
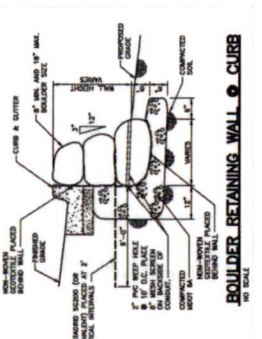
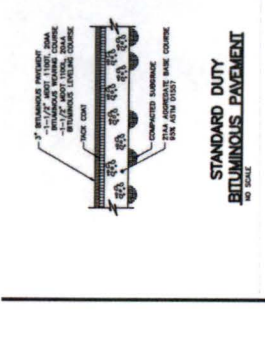
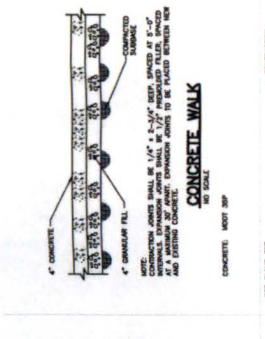
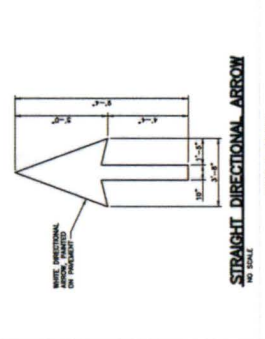
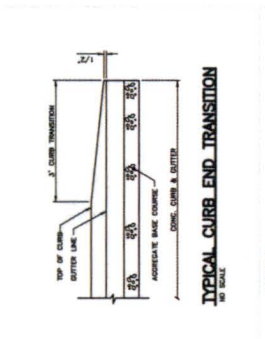
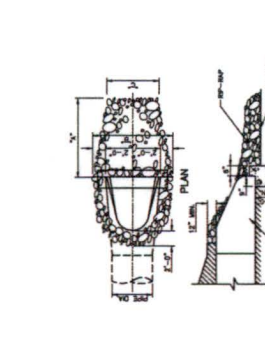
UTILITY NOTE

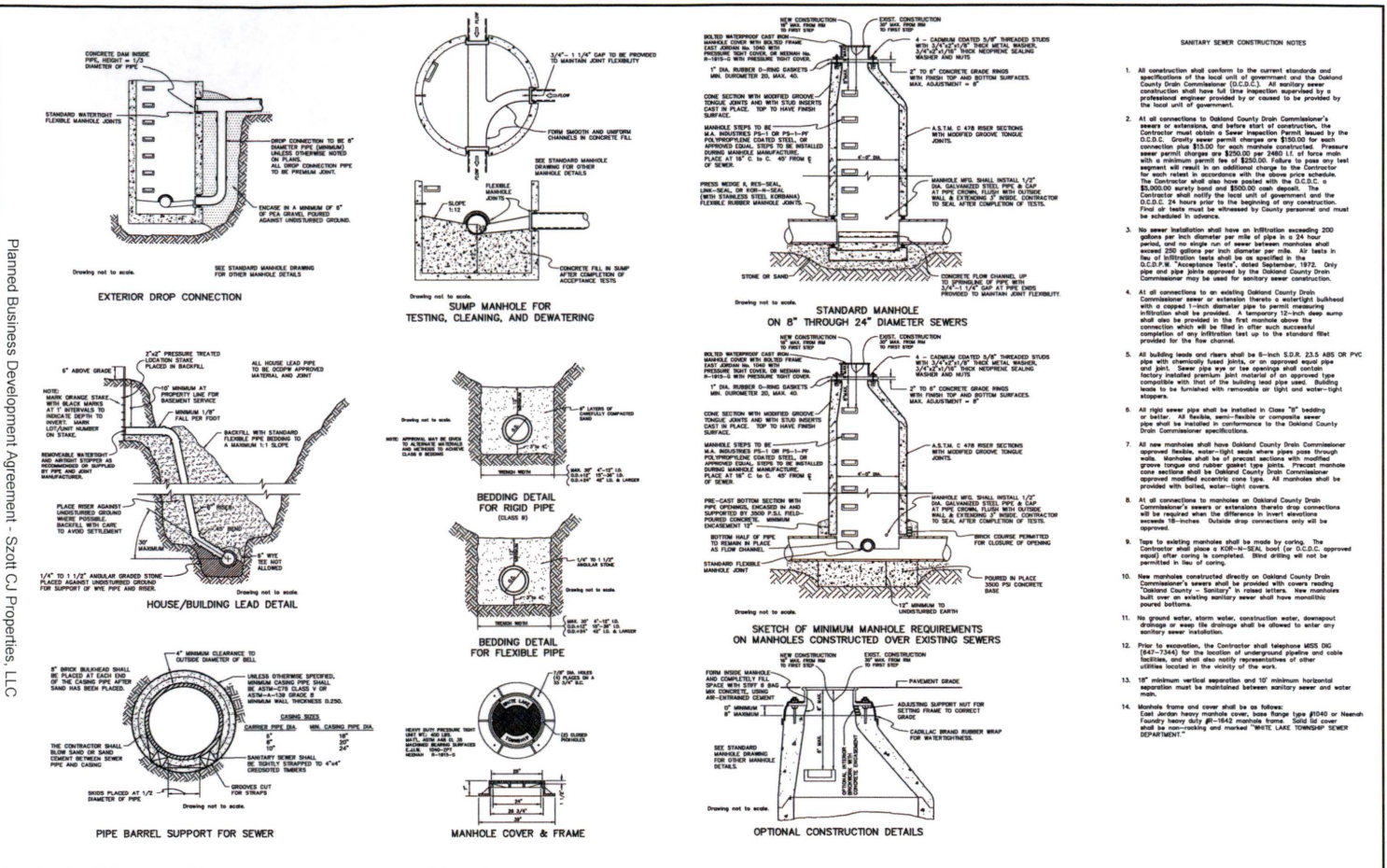
THE UTILITY CROSSINGS ARE SHOWN BASED ON FIELD SURVEY DATA AND SHOULD BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE UTILITIES COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES WITH SURFACE MARKERS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL CONDITION OR BETTER AFTER CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE UTILITIES COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES WITH SURFACE MARKERS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL CONDITION OR BETTER AFTER CONSTRUCTION IS COMPLETE.

WHITE LAKE TOWNSHIP - STANDARD SITE CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT ORDINANCES AND SPECIFICATIONS OF WHITE LAKE CHARTEER TOWNSHIP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE UTILITIES COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES WITH SURFACE MARKERS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL CONDITION OR BETTER AFTER CONSTRUCTION IS COMPLETE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE UTILITIES COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES WITH SURFACE MARKERS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL CONDITION OR BETTER AFTER CONSTRUCTION IS COMPLETE.
4. ALL WATER MAIN OR SANSEWER LINES SHALL BE INSTALLED TO THE DEPTH AND LOCATION SPECIFIED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE UTILITIES COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES WITH SURFACE MARKERS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL CONDITION OR BETTER AFTER CONSTRUCTION IS COMPLETE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE UTILITIES COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES WITH SURFACE MARKERS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL CONDITION OR BETTER AFTER CONSTRUCTION IS COMPLETE.







SANITARY SEWER CONSTRUCTION NOTES

1. All construction shall conform to the current standards and specifications of the local jurisdiction and the Oakland County Drain Commissioner (O.C.D.C.). All sanitary sewer construction shall have full time inspection reported by a professional engineer provided by or to be provided by the local unit of government.
2. All all connections to Oakland County Drain Commissioner's sewer or extension, and before start of construction, the Contractor shall obtain a Sewer Inspection Permit issued by the O.C.D.C. County sewer permit charges are \$150.00 for each connection plus \$150.00 for each manhole construction. Pressure sewer permit charges are \$200.00 per 3482 L.I. of force main with a minimum charge of \$250.00. There is a fee only for each permit in accordance with the above price schedule. The Contractor shall notify the local unit of government and the O.C.D.C. 24 hours prior to the beginning of any construction. Final air tests must be witnessed by County personnel and must be scheduled in advance.
3. No sewer installation shall have an infiltration exceeding 200 gallons per inch diameter per mile of pipe in a 24 hour period, and no single run of sewer between manholes shall exceed 250 feet per inch diameter per mile. All tests in the field infiltration tests shall be as specified in the O.C.D.C.'s "Acceptance Tests", dated September 1977. Only pipe and pipe joints approved by the Oakland County Drain Commissioner may be used for sanitary sewer construction.
4. All all connections to an existing Oakland County Drain Commissioner sewer or extension thereon a water-tight bulkhead with a capped 1-inch diameter pipe to permit measuring infiltration shall be provided. A temporary 12-inch diameter pipe shall also be provided in the first manhole above the connection which will be fitted in other such successful completion of any infiltration test up to the standard that provided for the flow channel.
5. All building leads and flues shall be 6-inch S.D.R. 23.5 ABS OR PVC pipe with permanently glued joints, or an approved equal pipe and joint. Sewer pipe size or less openings shall contain sanitary installation standard type approved pipe. Building with vent shall be furnished with removable or tight and water-tight stoppers.
6. All right sewer pipe shall be installed in Class "B" bedding unless otherwise specified or approved in writing. All bedding shall be installed in conformance to the Oakland County Drain Commissioner requirements.
7. All new manholes shall have Oakland County Drain Commissioner approved bedding and manhole construction. Manholes shall be of present sections with modified crown bottom and water-tight type joints. Present manhole sections shall be Oakland County Drain Commissioner approved modified acceptable crown type. All manholes shall be provided with bolted, water-tight covers.
8. All all connections to manholes on Oakland County Drain Commissioner's sewers or extensions thereon drop connections will be required when the difference in level elevations exceeds 18-inches. Outside drop connections only will be approved.
9. Top to existing manholes shall be made by coring. The Contractor shall use a KOB-It-Safe tool (or O.C.D.C. approved equal) after coring is completed. Shred filling will not be permitted in lieu of coring.
10. New manholes constructed directly on Oakland County Drain Commissioner's sewers shall be provided with covers reading "Oakland County - Sanitary" in raised letters. New manholes built over an existing sanitary sewer shall have manhole poured bottoms.
11. No ground water, storm water, construction water, basement drainage or water from driveways shall be allowed to enter any sanitary sewer installation.
12. Prior to excavation, the Contractor shall telephone MSD DC (847-7344) for the location of underground pipeline and cable location, and shall also notify representatives of other utilities located in the vicinity of the work.
13. 18" minimum vertical separation and 10" minimum horizontal separation must be maintained between sanitary sewer and water main.
14. Manhole frame and cover shall be as follows:
Cast iron heavy manhole frame, base frame type #1040 or Neuhoff heavy duty #1-1842 manhole frame. 3000 lb cover shall be non-corrosive and marked "WHITE LAKE TOWNSHIP SEWER DEPARTMENT".

DATE	BY	REVISION

Johnson & Anderson
 10000 Westpark Drive, Suite 100
 White Lake, Michigan 48384
 248-668-3300

White Lake Township
 7525 Highland Road (M-59)
 White Lake, Michigan 48383
 248-668-3300



SANITARY SEWER STANDARD DETAILS

SCALE: VERT. - 1" = 4'-0" HORIZ. AS NOTED

JOB NO. 1213
 DATE 08/17/21
 SHEET NO. 1

SCALE:
 1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
 1" = 1'-0"

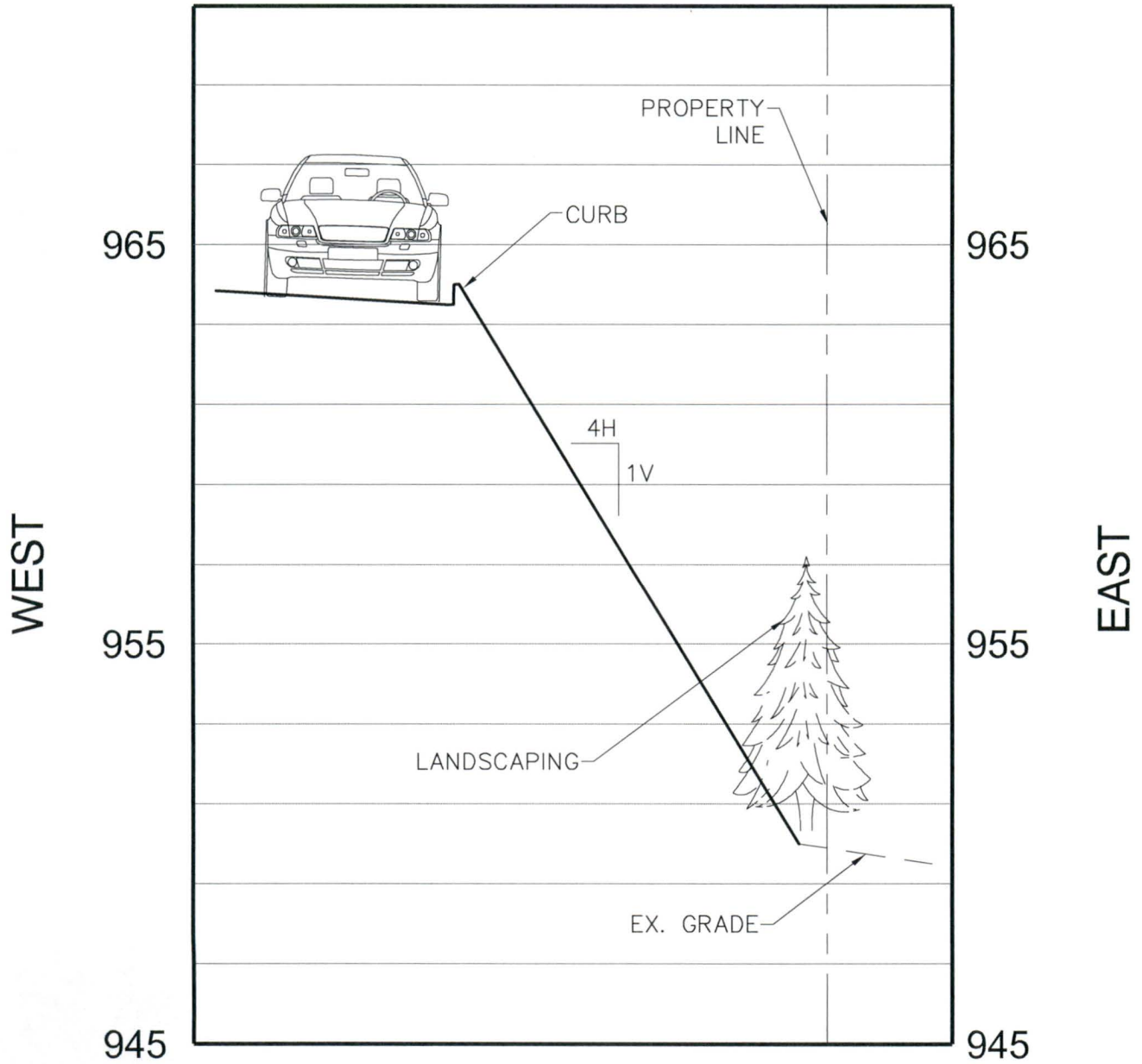
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EXHIBIT C

TOWNSHIP SPECIAL CONDITIONS

1. PERSPECTIVE LANDSCAPE SECTION OF EASTERN PROPERTY AREA FROM THE EAST DIRECTED WEST AS REQUESTED AT THE AUGUST 21, 2014 PLANNING COMMISSION MEETING - (INCORPORATED INTO APPROVED LANDSCAPE PLANS).

PERSPECTIVE LANDSCAPE SECTION



SECTION A-A

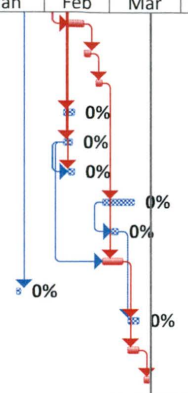
SCALE: 1"=20' HOR / 1'=4' VERT

EXHIBIT D

DEVELOPMENT SCHEDULE

Szott Master Schedule 10-1-14.mpp

ID	Task Name	Duration	Start	Finish	Predecessors	Q14		Qtr 4, 2014			Qtr 1, 2015			Qtr 2, 2015
						Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr
33	MEP Drops	5 days	Wed 2/11/15	Tue 2/17/15	32SS+2 days									
34	Ceiling Inspections	3 days	Wed 2/18/15	Fri 2/20/15	33									
35	Acoustical Pads	3 days	Mon 2/23/15	Wed 2/25/15	34									
36	D/F/H	5 days	Mon 2/9/15	Fri 2/13/15	31									
37	Painting	4 days	Mon 2/9/15	Thu 2/12/15	31									
38	Millwork	3 days	Wed 2/11/15	Fri 2/13/15	31,37SS+2 days									
39	Flooring	10 days	Thu 2/26/15	Wed 3/11/15	35									
40	Finish Plumbing	3 days	Mon 3/2/15	Wed 3/4/15	39SS+2 days									
41	Finish Electrical	7 days	Thu 2/26/15	Fri 3/6/15	35,37SS+2 days									
42	Sinage	2 days	Tue 1/20/15	Wed 1/21/15	24									
43	Final Inspections	5 days	Mon 3/9/15	Fri 3/13/15	40,41									
44	Punch list	5 days	Mon 3/9/15	Fri 3/13/15	41									
45	Final Clean	3 days	Mon 3/16/15	Wed 3/18/15	44									



Planned Business Development Agreement - Szott C.J Properties, LLC
Page 39

EXHIBIT E

APPROVED FINAL PBD VARIANCES

1. Permit the use of 25-foot high light fixtures within parking expansion area per drawing C3.1, given that the light crossing the lot line is less than the 0.2 foot candle requirement.
2. Permit the use of 25-foot high light fixture, which is located approximately 78-feet from the property line per drawing C3.1, given that the light crossing the lot line is less than the 0.2 foot candle requirement.
3. Permit reduction in landscape buffering per drawing L1.0.
4. Waive the requirement of Community Impact Statement per Planning Commission motion on 08/21/14.
5. Waive the requirement of Traffic Impact Study per Planning Commission motion on 08/21/14.
6. Waive the requirement of a list and the application status of all required state and federal permits for the proposed activity per Planning Commission motion on 08/21/14.

EXHIBIT F

PROJECT SIGNAGE



**CUSTOM 5 SERIES 6' x 8'
BRAND SIGN at 20' OAH (DUAL BRAND)**

Square Footage

- 53.5 ft'

Manufacturing Details

- Painted aluminum exterior construction with chrome accents on cladding.
- Clear acrylic logos pushed thru cabinet face with 1st surface decoration vinyl /color digital print.

Electrical Requirements

- Fluorescent internal illumination
(7) F72 / T12 / Daylight / High Output Lamps
- (2) Transco Ballast TRA-16-832EP at 2.0 amps each
- LED external halo illumination
(144) Agilight White Tuffrayz
- (2) Advance Xitanium Power Supply
LED-120A-0012V-50F at 0.63 amps each
- Total Load: 5.26 amps at 120 V
(1) 20 amp Circuit Required

Colors

- **Chrysler Badge:** Black ■ Process Black
Blue ■ PMS 287
Silver
- **Jeep Badge:** Green ■ PMS 371
White
Silver

