

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: April 25, 2024

Agenda item: 8a

Appeal Date: April 25, 2024

Applicant: VersaPro Restoration and Construction

Address: 12725 Stark Road
Livonia, MI 48150

Zoning: R1-D Single Family Residential

Location: 10199 Lakeside Drive
White Lake, MI 48386

Property Description

The approximately 0.223-acre (9,713.88 square feet) parcel identified as 10199 Lakeside Drive is located on Oxbow Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,830 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

Applicant's Proposal

VersaPro Restoration and Construction, the applicant, on behalf of property owner Laura Dobbs, is proposing to construct a second-story addition on the house. The Applicant indicated the project includes remodeling the existing house.

Planner's Report

In January 2021 the Zoning Board of Appeals (ZBA) approved variance requests from a previous representative of the property owner to construct first and second-story additions. Variances are valid for a period of six months from the date of approval, unless a building permit is obtained within such period and the work associated with the variance is started and proceeds to completion in accordance with the terms of the building permit. The previous Applicant did not obtain a building permit within six months of approval so the variances (with the exception of the lot area and lot width variances) expired and are void. The following variances were previously granted:

- 23.3-foot variance from the front yard setback
- 5-foot variance from the east side yard setback
- 5-foot variance from the west side yard setback
- 21.93-foot variance from the required lot width
- 2,286.12 square foot variance from the required lot area
- 380% variance from the allowed value of improvements to a nonconforming structure

Currently the existing house is nonconforming to setbacks; the structure is located 4.1 feet from the east side property line, 4.2 feet from the west side property line, and 6.7 feet from the front property line. A minimum 10-foot side yard setback and 30-foot front yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 2,286.12 square foot deficiency in lot area and a 21.93-foot deficiency in lot width. In the R1-D zoning district the minimum lot size requirement is 12,000 square feet and the minimum lot width requirement is 80 feet.

The proposed second story addition is 292 square feet in size. However, the setback from the west side lot line is unclear. The southwest corner of the house is not dimensioned to the west lot line on the survey. At the northwest corner of the house, the setback from the west lot line is 4.2 feet. Section 7.27.vii of the Zoning Ordinance prohibits the ZBA from granting a variance to permit a setback of less than five feet from a side lot line for safety reasons. Also, Section 5.3 of the Zoning Ordinance prohibits roofs, gutters, windows, and open balconies from projecting closer than five feet to a lot line.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$149,860), the maximum extent of improvements cannot exceed \$74,930. The value of the proposed work is \$247,570.40. A variance to exceed to exceed the allowed value of improvements by 330% is requested.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming structure	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$74,930)	330%	\$172,640.40 over allowed improvements

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by VersaPro Restoration and Construction from Article 7.23.A and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, in order to construct a second story addition that would encroach 5 feet into the required side yard setback from the west lot line and exceed the allowed value of improvements to a nonconforming structure by 330%. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- Prior to issuance of a building permit, a revised survey shall be submitted to dimension the setback from the southwest corner of the house to the west side lot line. The side yard setback from the west lot line must be at least five feet.
- The addition's roof overhang shall be no closer than five feet to the west side lot line.

Denial: I move to deny the variances requested by VersaPro Restoration and Construction for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, due to the following reason(s):

Postpone: I move to postpone the appeal of VersaPro Restoration and Construction *to a date certain or other triggering mechanism* for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated March 21, 2024.
2. Applicant's written statement.
3. Survey dated July 29, 2020.
4. Architectural plans dated February 22, 2024.
5. Letter of denial from the Building Official dated March 8, 2024.
6. Minutes of the January 28, 2021 Zoning Board of Appeals meeting.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION**
Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: VersaPro Restoration and Construction PHONE: (734) 523-8400

ADDRESS: 12725 Stark Rd. Livonia, MI. 48150

APPLICANT'S EMAIL ADDRESS: updates@versapro.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 10199 Lakeside Drive PARCEL # 12-~~2~~²-477-011

CURRENT ZONING: R1-D PARCEL SIZE: 9,713.88 sq. ft.

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Requesting variance from
Article 3.1.6 and Article 5.3

VALUE OF IMPROVEMENT: \$ 247,570.40 SEV OF EXISTING STRUCTURE: \$ 150,000.00

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$395 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE:  DATE: 3-21-24

Reasons for Variance Request

VersaPro Restoration and Construction requesting variances to Article 3.1.6 of the White Lake Township Clear Zoning Ordinance for R1-D and variances to Article 5.3 of the White Lake Township Clear Zoning Ordinance. The existing structures and lot are non-conforming with a lot width of 58.07 ft. and a lot area of 9,714 sq. ft. We are proposing to build an addition onto the 2nd story of the existing structure only. This 2nd story addition we are proposing today will be an upper living area. The previous variances were approved in October of 2020 for a larger project with a proposed 1st floor and 2nd floor addition. We are proposing only a 2nd floor addition today equaling approximately 292 sq. ft. in size, which will not change the footprint of the house. We have highlighted the 2nd floor addition on the survey submitted.

DOBBS RESIDENCE - ADDITION & ALTERATIONS

WHITE LAKE, MICHIGAN

10199 LAKESIDE DRIVE

GENERAL NOTES / SPECIFICATIONS :

I. GENERAL REQUIREMENTS 03/30/20

I.1 EXTENT OF WORK 03/30/20

- A. THIS PROJECT INVOLVES ALL LABOR, MATERIALS, EQUIPMENT AND SYSTEMS INSTALLATION AS REQUIRED TO COMPLETE CONSTRUCTION OF THE PROJECT INDICATED OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS. NOTATION MADE ON THESE CONSTRUCTION DRAWINGS REGARDING CONSTRUCTION CONSTRUCTION SYSTEMS OR METHODS ARE INTENDED TO DESCRIBE ANTICIPATED WORK. THE GENERAL CONTRACTOR (G.C.) IS TO EXAMINE THE CONSTRUCTION DOCUMENTS AND THE SITE, SPEAK WITH THE OWNER(S) AS NECESSARY AND VERIFY THE TOTAL AMOUNT OF WORK REQUIRED TO COMPLETE CONSTRUCTION.
- B. IT IS THE INTENTION THAT THE G.C.'S RESPONSIBILITIES SHALL INCLUDE: ALL BUILDING & SITE CONSTRUCTION NECESSARY TO COMPLETE THE WORK SHOWN & OBTAIN A FINAL CERTIFICATE OF OCCUPANCY. IT IS THE INTENTION THAT THE G.C. PROVIDE A COMPLETELY FINISHED SITE AND A STRUCTURE IN REGARD TO ALL ASPECTS OF CONSTRUCTION, INCLUDING, BUT NOT NECESSARILY LIMITED TO: SITE UTILITIES, SITE GRADING AND DRAINAGE, SITE WALKS AND PAVING, SITE AMENITIES, GENERAL CONSTRUCTION, MECHANICAL SYSTEMS, ELECTRICAL SYSTEMS AND PLUMBING SYSTEMS UNLESS SPECIFICALLY EXCLUDED IN THE WRITTEN CONTRACT.
- C. PRIOR TO THE START OF ANY CONSTRUCTION ON SITE, THE G.C. IS TO THOROUGHLY INSPECT THE AREA OF CONSTRUCTION. THE PURPOSE OF THIS INSPECTION IS TO LOOK FOR ANY EXISTING MATERIALS WHICH MAY BE CONSIDERED AS HAZARDOUS. AFTER THIS INSPECTION, THE G.C. IS TO BRING TO THE ATTENTION OF THE OWNER / CLIENT ANY MATERIALS OF CONCERN. THE OWNER / CLIENT IS THEN TO CONTRACT WITH A LICENSED, STATE APPROVED THIRD PARTY CONSULTANT(S). THE GENERAL CONTRACTOR IS TO ASSIST IN FORWARDING NAMES OF COMPETENT COMPANIES TO THE OWNER / CLIENT FOR CONSIDERATION. THE CONSULTANT(S) ARE TO LIKEWISE INSPECT THE SITE AND REPORT ON ANY EXISTING MATERIALS WHICH ARE CONSIDERED HAZARDOUS AND RECOMMEND WITHIN THEIR REPORT AS TO THEIR LEGAL HANDLING, TREATMENT, ENCAPSULATION, REMOVAL, ABATEMENT AND / OR REMEDIATION.

I.2 THOROUGHNESS OF GENERAL NOTES / SPECIFICATIONS 08/03/20

- A. GENERAL NOTES / SPECIFICATIONS CONTAINED WITHIN MAY NOT HAVE BEEN PREPARED SPECIFICALLY FOR THIS PROJECT. IT IS POSSIBLE THAT ITEMS CONTAINED WITHIN THESE GENERAL NOTES / SPECIFICATIONS MAY NOT PERTAIN TO THIS SPECIFIC PROJECT. IF IN DOUBT, PLEASE CONTACT THE ARCHITECT FOR CLARIFICATION. IN ALL CASES, MATERIALS, PROCEDURES AND CONSTRUCTION ARE TO BE PROVIDED AND PERFORMED IN A PROFESSIONAL MANNER COMPLYING WITH RECOGNIZED, ACCEPTED MINIMUM STANDARDS.
- B. FINAL MATERIAL SELECTIONS AND SPECIFICATIONS SHALL BE DISCUSSED BETWEEN THE OWNER AND THE GENERAL CONTRACTOR AND ACCEPTED IN WRITING BY THE OWNER.
- C. THIS IS THE FINAL OPPORTUNITY FOR THE OWNER TO REVIEW AND ACCEPT THOSE MATERIALS TO BE USED ON THE CONSTRUCTION OF THIS PROJECT.
- D. AT THE DISCRETION OF THE OWNER, MATERIAL ACCEPTANCE MAY BE LIMITED TO VISIBLE FINISH MATERIALS.

I.3 MATERIAL SELECTIONS 03/04/13

- A. EXTERIOR FINISH MATERIALS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: ROOFING, FASCIA BOARDS, RAKE BOARDS, FRIEZE BOARDS, SOFFIT BOARDS, VENTS, SIDING, BRICK, LIMESTONE, CULTURED STONE, TRIM BOARDS, STORM DOORS, EXTERIOR DOORS & HARDWARE, WINDOWS, SKYLIGHTS, AND THE LIKE.
- B. INTERIOR FINISH MATERIALS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: FLOOR FINISHES, WALL FINISHES, BASE TRIM DOOR & WINDOW CASINGS, WINDOW SILLS, JAMB EXTENSIONS, CHAIR RAILS, CROWN MOLDINGS, CEILING FINISHES, MARBLE, GRANITE, BRICK, INTERIOR DOORS & HARDWARE, LIGHT SWITCHES, ELECTRICAL OUTLETS, ELECTRICAL COVER PLATES, LIGHT FIXTURES (SURFACE MOUNTED AND RECESSED TYPE), FURNACE, HUMIDIFIER, CONDENSER WATER HEATER, APPLIANCES, BATHROOM ACCESSORIES (MEDICINE CABINETS, TISSUE HOLDER, TOILET, BARS, ETC.), KITCHEN & BATH CABBINETS, COUNTERTOPS, CLOSET SHELVING, BATHTUBS, SHOWER CURTAIN RODS, SHOWER SLAT, TUB & SHOWER ENCLOSURES, SINKS, FAUCETS, TOILETS, UNIT FIREPLACES, WHIRLPOOL UNITS, SMOKE DETECTORS, CARBON MONOXIDE DETECTOR(S), & THE LIKE.

I.4 DRAWING DIMENSIONS 08/10/06

- A. DO NOT SCALE CONSTRUCTION DRAWINGS. USE FIGURED DIMENSIONS ONLY. IF DIMENSIONS ARE MISSING OR IN QUESTION, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

I.5 DRAWING ABBREVIATIONS 08/10/06

- A. ABBREVIATIONS USED WITHIN THE CONSTRUCTION DOCUMENTS ARE IN THE OPINION OF THE ARCHITECT GENERALLY ACCEPTED AND RECOGNIZABLE BY THE CONSTRUCTION TRADES. NOTIFY THE ARCHITECT FOR IDENTIFICATION OF ANY ABBREVIATION NOT RECOGNIZED.

I.6 PRIORITY INFORMATION 08/04/06

- A. IF ANY GENERAL NOTES/ SPECIFICATIONS CONFLICT WITH ANY DETAILS OR NOTES ON THE DRAWINGS THE STRICTEST PROVISION SHALL GOVERN.

I.7 CODE COMPLIANCE 08/22/11

- A. CONSTRUCTION DOCUMENTS HAVE, TO THE BEST KNOWLEDGE OF THE FIRM, BEEN PREPARED TO COMPLY WITH REQUIREMENTS OF THE MICHIGAN RESIDENTIAL CODE 2015 AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES. ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH SAME.

I.8 GENERAL CONTRACTOR'S CONSTRUCTION REQUIREMENTS AND PROCEDURES 03/04/13

- A. TEMPORARY STRUCTURAL SUPPORT
1. PROVIDE TEMPORARY BRACING AND/OR SHORING AS REQUIRED TO INSURE THE STABILITY OF THE STRUCTURE UNDER CONSTRUCTION UNTIL THE PERMANENT FRAMING IS INSTALLED AND SECURE IN PLACE.
- B. REPAIR DAMAGED CONSTRUCTION
1. PATCH, REPAIR AND/OR REPLACE ALL CONSTRUCTION AND SITEWORK DAMAGED OR REMOVED DURING DEMOLITION (OR CONSTRUCTION OF NEW WORK) AS REQUIRED TO RETURN COMPLETED STRUCTURE AND SITE TO FINISHED APPEARANCE.

6. WOOD AND PLASTIC 03/04/13

6.1 WOOD CONSTRUCTION 03/04/13

- A. CONSTRUCTION STANDARDS
1. WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) AND NATIONAL FOREST PRODUCTS ASSOCIATION (NFP/FA) STANDARDS AND SPECIFICATIONS.
- B. FLOOR / CEILING FRAMING
1. WHERE CONSTRUCTION IS CONVENTIONALLY FRAMED, PROVIDE 2X (SIZES AS INDICATED ON THE CONSTRUCTION DRAWINGS) FLOOR JOIST, CEILING JOIST AND/OR ROOF RAFTER FRAMING AT 16" O.C., UNLESS NOTED OTHERWISE.
- C. WALLS
1. PROVIDE 2X4 STUD WALL FRAMING WITH STUDS AT 16" O.C., UNLESS NOTED OTHERWISE.
2. EXTERIOR WALLS ARE TO BE UNBRACED PER BUILDING CODE. EXTERIOR PLYWOOD OR ENGINEERED WOOD SHEATHING WILL ACCOMPLISH BRACING REQUIREMENTS. IF "CELLOTEX" INSULATED OR SIMILAR SHEATHING IS UTILIZED, PROVIDE PRE-MANUFACTURED DIAGONAL METAL UNBRACING INSTALLED AT EACH WALL ABUTTING A CORNER.
3. WALLS ARE TYPICALLY CONSTRUCTED WITH SINGLE 2X SOLE PLATE AND DOUBLE 2X TOP PLATE. WHERE THE HEIGHT OF A HEADER INTERFERES WITH THE TOP PLATE, ONE OR BOTH OF THE 2X'S MAY BE OMITTED IN THE AREA OF THE HEADER. WHEN BOTH PLATES ARE OMITTED, PROVIDE U-BRACKET SPLICED AT EACH END OF HEADER. U-BRACKET TO BE "SIMPSON STRONG TIE" "ECCO" OR EQUAL. 1" HIGH X 2-1/2" LONG X STUD DEPTH WIDE. 1 GAUGE SHEET METAL CONNECTOR INSTALL (4) FOUR "SP9" SCREWS AT EACH SIDE AND AT EACH END OF BRACKET.
4. AT HEADER CONDITIONS REQUIRING A (2) 2X POST, ONE STUD IS TO BE A KING STUD AND THE OTHER IS TO BE A JACK STUD. WHERE A (3) 2X OR LARGER POST IS REQUIRED, ONE STUD IS TO BE A KING STUD AND THE OTHERS, JACK STUDS.

6. WOOD AND PLASTIC - CONTINUED 03/04/13

6.1 WOOD CONSTRUCTION - CONTINUED 03/04/13

- D. MINIMUM HEADER AND POST SIZES
- PROVIDE ADEQUATE HEADERS AT ALL DOOR AND WINDOW OPENINGS. PROVIDE MINIMUM (2) 2X10 HEADER UNLESS NOTED OTHERWISE. PROVIDE TRIPLE STUD AT EACH END OF WOOD HEADERS, TYPICAL UNLESS NOTED OTHERWISE. PROVIDE SOLID WOOD BLOCKING BELOW ALL POSTS AS REQUIRED TO TRANSFER LOAD FROM ALL BEARING POINTS DOWN THROUGH CONSTRUCTION TO BEAR DIRECTLY ON TOP OF BLOCK / FOOTING / FOUNDATION / STRUCTURAL MEMBER AS APPLICABLE.

E. FRAMING CONNECTORS

1. PROVIDE ALL FASTENERS, BRACING, CONNECTORS, ETC. AS INDICATED ON THE DRAWINGS ISSUED WITH THESE GENERAL NOTES / SPECIFICATIONS AND ADDITIONALLY AS REQUIRED TO CONFORM TO APPLICABLE CODE REQUIREMENTS.
2. FASTENERS, BRACING, CONNECTORS, ETC. INSTALLED ARE TO RESULT IN A "SYSTEM" THAT PROVIDES A COMPLETE, CONTINUOUS, LOAD PATH CAPABLE OF TRANSFERRING LOADS CREATED BY UPLIFT, RACKING, SLIDING, OVERTURNING AND LATERAL MOVEMENT FROM THEIR POINT OF ORIGIN WITHIN THE BUILDING FRAME, THROUGH THE LOAD RESISTING ELEMENTS, TO THE FOUNDATION.
3. THE CONTINUOUS LOAD PATH TO RESIST UPLIFT SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING COMPONENTS:
- a. CONNECTION BETWEEN ROOF MEMBERS (GIRDERS, TRUSSES, RAFTERS, ETC.) AND WALL FRAMING. IF CONNECTION IS BETWEEN ROOF MEMBER AND TOP PLATE ONLY, CONNECTION BETWEEN TOP PLATE AND STUD MUST BE PROVIDED.
- b. CONNECTION BETWEEN ROOF MEMBERS, GABLE ENDWALL, & WALL FRAMING BELOW.
- c. CONNECTION FROM FLOOR TO FLOOR WITH WALL STUD TO WALL STUD CONNECTION OR WALL STUD TO BAND JOIST CONNECTION.
- d. CONNECTION BETWEEN WALL STUD AND SOLE PLATE.
- e. CONNECTION BETWEEN SOLE PLATE AND FOUNDATION.
- f. CONNECTION AT OPENING HEADERS.
- g. SHEAR WALL BRACING AS REQUIRED.
4. FASTENERS / CONNECTORS TO BE USED
- a. AT EACH END OF ROOF RAFTER TO VERTICAL WALL STUD: "SIMPSON" H2.5A OR ARCHITECT ACCEPTED EQUAL HURRICANE TIES.
- b. AT CONNECTIONS BETWEEN FLOORS AT EXTERIOR WALLS: STUDS ARE TO ALIGN FROM ONE FLOOR TO ANOTHER. INSTALL "SIMPSON" * CS COIL STRAP TIES EXTENDING FROM LOWER WALL STUDS PAST FLOOR CONSTRUCTION AND SECURED TO UPPER WALL STUDS AT 48" O.C. TIES ARE TO EXTEND A MINIMUM OF 12" ALONG WALL STUDS.
- c. AT SOLE PLATE TO WALL STUD CONNECTION: NAIL WOOD SHEATHING TO PLATE, HEADER AND STUD (AS APPLICABLE) TO ACHIEVE APPROPRIATE CONNECTION. IF SHEATHING IS DISCONTINUOUS PROVIDE "SIMPSON" * L12A STRAP TIES AT EACH STUD FROM BOTTOM OF SOLE PLATE TO A MINIMUM OF 12" UP WALL STUD.
- d. AT SOLE PLATE TO FOUNDATION CONNECTION: PROVIDE SILL SEALER AND MINIMUM 1/2" DIAMETER ANCHOR BOLTS. SEE "DIVISION 5 - METALS" FOR ADDITIONAL REQUIREMENTS.

6.2 SOLID WOOD / ENGINEERED WOOD PRODUCTS 08/11/15

- A. LUMBER
- ALL FRAMING LUMBER SHALL PROVIDE MINIMUM PROPERTIES AS FOLLOWS:
FB = 815 PSI, E = 1,300,000, SPRUCE / PINE / FIR NO. 2 OR BETTER.
- B. LAMINATED VENEER LUMBER (LVL'S)
1. PROVIDE "LVL" BEAMS AS MANUFACTURED BY "TRUSS JOIST MACMILLAN" AS / IF INDICATED ON THE CONSTRUCTION DRAWINGS. PROVIDE MINIMUM TRIPLE (3) 2X4 (TRIPLE (3) 2X6 AT 2X6 WALLS) POSTS AT EACH END OF BEAM TYPICALLY, UNLESS NOTED OTHERWISE. PROVIDE SOLID WOOD BLOCKING BELOW ALL POSTS AS REQUIRED TO TRANSFER LOAD FROM ALL BEARING POINTS DOWN THROUGH CONSTRUCTION TO BEAR DIRECTLY ON TOP OF BLOCK / FOUNDATION / FOOTING / STRUCTURAL MEMBER AS POSSIBLE.
2. BOLT MULTIPLE LAYER LVL'S PER MANUFACTURER'S RECOMMENDATIONS.
- C. SHEATHING
1. PROVIDE FLOOR, WALL, AND ROOF SHEATHING AS INDICATED AND/OR REQUIRED. ALL ROOF AND WALL SHEATHING TO BE EXTERIOR GRADE. PROVIDE SHEATHING IN THICKNESS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS. INSTALL ROOF SHEATHING W/ GALVANIZED METAL SPACERS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. PROVIDE SPECIFIC SHEATHING TYPE AS RECOMMENDED BY THE MANUFACTURER FOR ITS INTENDED USE.

6.3 FIREBLOCKING 08/04/06

- A. FIREBLOCKING SHALL BE INSTALLED IN ALL AREAS INDICATED AND AS REQUIRED BY CODE. MINIMALLY INSTALL AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SURFACES SUCH AS OCCUR AT DOUBLE WALLS, SOFFITS OVER CABINETS, DROP CEILING AND SIMILAR LOCATIONS.

6.4 DRAFTSTOPPING 08/04/06

- A. DRAFTSTOPPING SHALL BE INSTALLED IN ALL AREAS INDICATED AND AS REQUIRED BY CODE. MINIMALLY INSTALL DRAFTSTOPPING IN ATTICS AND CONCEALED SPACES OF UN-SPRINKLERED BUILDINGS SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET. IN A LIKE MANNER, INSTALL DRAFTSTOPPING IN HORIZONTAL FLOOR AREAS OF UN-SPRINKLERED BUILDINGS SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 1,000 SQUARE FEET.

7. THERMAL & MOISTURE PROTECTION 03/04/13

I.1 BUILDING ENVELOPE THERMAL PERFORMANCE CRITERIA 10/12/23

A. RESIDENTIAL ENERGY EFFICIENCY

1. BUILDING ENVELOPE THERMAL PERFORMANCE CRITERIA - CONTINUED 10/12/23
- A. ENERGY EFFICIENCY
- NOTE 01: SEE 2015 MICHIGAN RESIDENTIAL BUILDING CODE - "CHAPTER II - ENERGY EFFICIENCY" FOR ADDITIONAL APPLICABLE INFORMATION. VALUES AND INFORMATION INDICATED HERE IN ARE FOR CONVENIENCE ONLY. IF ERROR EXIST THE ACTUAL CODE REQUIREMENTS PREVAIL.
- NOTE 02: REQUIREMENTS BASED ON CLIMATE ZONE "5A".
- NOTE 03: R-VALUES ARE MINIMUMS, U-FACTORS ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THAT THE R-VALUES SPECIFIED BELOW.
- | PENETRATION U-FACTOR: | |
|--|--------|
| FENESTRATION U-FACTOR EXCLUDES SKYLIGHTS | U-0.32 |
- | SKYLIGHT U-FACTOR: | |
|--------------------|--------|
| SKYLIGHT U-FACTOR: | U-0.55 |
- | CEILING R-VALUE: | |
|------------------|------|
| CEILING R-VALUE: | R-38 |
- WOOD FRAMED WALL R-VALUE:
- R-13 + R-5 NOTE: FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION OR INSULATED SIDING, SO "R-13 + R-5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40% OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE MAY BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.
- | FLOOR R-VALUE: | |
|--|------|
| FLOOR R-VALUE:
OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM. | R-30 |
- 12 THERMAL INSULATION 06/23/10
- A. ALL COMPONENTS OF THE BUILDING ENVELOPE (EXTERIOR PERIMETER SURFACES) SUCH AS, BUT NOT NECESSARILY LIMITED TO: SLABS, BASEMENT / FOUNDATION WALLS, FLOORS, BAND BOARDS, OVERHANGS, WALLS, ROOF / TRUSS HEELS, ROOF / CEILING, ETC., ARE TO BE FULLY INSULATED.
- 13 BUILDING / HOUSE WRAP 09/14/06
- A. BUILDING WRAP TO BE MANUFACTURED BY "DUPONT" PRODUCTS AVAILABLE THROUGH "DUPONT" (800) 448-9835. PROVIDE "TYVEK" SPRUNBONDED OLEFIN ENERGY SAVING AIR INFILTRATION BARRIER. FOR RESIDENTIAL PROJECTS PROVIDE "TYVEK" - "HOMEAIR" LAP JOINTS A MINIMUM OF 6" LAP DOWN OVER TOP OF ALL FLASHINGS. TAPE ALL JOINTS IN WRAP WITH MANUFACTURER'S RECOMMENDED PRODUCT. MECHANICALLY FASTEN AND TAPE" SEAL ALL TERMINATIONS OF WRAP WITH MANUFACTURER'S RECOMMENDED PRODUCT. WRAP IS TO BE INSTALLED ON ALL EXTERIOR WALLS. INSTALL OVER EXTERIOR WALL SHEATHING AND OVER EXPOSED EXTERIOR STRUCTURAL STEEL AS / IF APPLICABLE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS / RECOMMENDATIONS.
- 14 ROOF SHINGLES 08/04/06
- A. SHINGLES TO BE LAID OVER TWO LAYERS OF 1/2 LB. (OR ONE LAYER OF 3/8 LB.) ASPHALT SATURATED FELT. LAP FELT LAYERS A MINIMUM OF 6".
- B. SECURE SHINGLES WITH HAND OR PNEUMATIC NAILING METHODS. IMPROPERLY SHOT PNEUMATIC NAILS ARE TO BE MANUALLY NAILED OR REMOVED. STAPLE APPLICATION IS NOT ALLOWED.
- C. AT VALLEY CONDITIONS, INSTALL 36" WIDTH OF 60 LB ROLL ROOFING, EXPOSED SURFACE TO MATCH SHINGLES.
- D. PROVIDE CONTINUOUS SHINGLED PEAK AND FLASH VENTS OR SHINGLED RIDGE VENT AS INDICATED OR AS APPROPRIATE.
- E. SEE "VENTS" SPECIFICATION PROVIDED ELSEWHERE WITHIN THESE "GENERAL NOTES/SPECIFICATIONS". PROVIDE ALL VENTING, TRIM, COMPONENTS AND/OR ACCESSORIES AS REQUIRED TO PROVIDE A COMPLETE INSTALLATION.
- F. PROVIDE A MINIMUM TEN (10) YEAR WORKMANSHIP AND THIRTY (30) YEAR MANUFACTURER'S LIMITED WARRANTY.
- 15 ICE & WATER SHIELD 08/04/06
- A. INSTALL CONTINUOUS WIDTH (MINIMUM 36") OF "ICE GRACE", "BITUTHENE", OR EQUAL "ICE AND WATER SHIELD", AT ALL EAVE AND GABLE EDGE LOCATIONS.
- B. PROVIDE ADDITIONAL 36" WIDTH AT EAVE AND GABLE END OVERHANG LOCATIONS AS REQUIRED TO EXTEND SHIELD MINIMUM OF 24" PAST THE INTERIOR FACE OF ALL EXTERIOR WALLS.
- 16 SIDING 08/04/06
- A. SIDING TYPE, THICKNESS, HEIGHT, PROFILE, ETC. IS TO BE ACCEPTED BY OWNER. PROVIDE A COMPLETE SYSTEM WITH RELATED TRIM, FLASHING AND ACCESSORIES.
- B. ALL SIDING, FLASHING AND ACCESSORIES ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 17 VENTS 03/04/13
- A. CONFIRM CODE ALLOWED EXCEPTIONS WITH THE BUILDING OFFICIAL.
- B. PROVIDE ROOF AREA VENTILATION SYSTEM TO COMPLY WITH BUILDING CODE.
1. BUILDING CODE - ROOF VENTING REQUIREMENTS:
- a. THE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED FOR COMMERCIAL PROJECTS (1/300 FOR RESIDENTIAL PROJECTS) WITH 50 PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AND AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
2. BALANCE OF SOFFIT AND RIDGE VENTING:
- a. BLOCK OPEN AREA BELOW RIDGE VENT AS / IF REQUIRED TO ASSURE THAT SOFFIT VENTING AREA ALWAYS EXCEEDS THE VENTING OF THE RIDGE AREA, KEEPING AS CLOSE AS POSSIBLE TO THE 50 PERCENT REQUIREMENT.

7. THERMAL & MOISTURE PROTECTION - CONT'D 03/04/13

I.1 BUILDING ENVELOPE THERMAL PERFORMANCE CRITERIA - CONTINUED 10/12/23

ENERGY EFFICIENCY

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

12 THERMAL INSULATION 06/23/10

13 BUILDING / HOUSE WRAP 09/14/06

14 ROOF SHINGLES 08/04/06

15 ICE & WATER SHIELD 08/04/06

16 SIDING 08/04/06

17 VENTS 03/04/13

7. THERMAL & MOISTURE PROTECTION - CONT'D 03/04/13

18 METAL ROOFING SYSTEM 05/27/19

- A. METAL ROOFING SYSTEM TO BE SELECTED BY THE GENERAL CONTRACTOR AND ACCEPTED BY THE OWNER. PROVIDE AND INSTALL COMPLETE SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. METAL ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE COMPLETE INSTALLATION OF PANELS, COPINGS, TRIM, FLASHINGS, COUNTER-FLASHING, ETC. ALL MATERIALS SHALL BE OF SINGLE SOURCE MANUFACTURER AND FABRICATION, UNLESS NOTED OTHERWISE. ALL MATERIALS ARE TO BE PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDATIONS.

8. DOORS & WINDOWS 03/04/13

8.1 DOORS 03/04/13

- A. DOOR TYPE, OPTIONS AND ACCESSORIES ARE TO BE ACCEPTED BY OWNER.
- B. DOORS AND ALL COMPONENTS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- C. SEE DIVISION 7 FOR "ENERGY EFFICIENCY - INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT" REQUIREMENTS.

8.2 WINDOWS 03/04/13

- A. WINDOW TYPE, OPTIONS AND ACCESSORIES ARE TO BE ACCEPTED BY THE OWNER. PROVIDE SAFETY GLASS AND/OR EGRESS UNITS AS INDICATED OR AS REQUIRED TO MEET BUILDING CODE.
- B. PROVIDE SCREENS, UNLESS NOTED OTHERWISE FOR ALL WINDOWS.
- C. WINDOWS AND ALL COMPONENTS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- D. SEE WINDOW SCHEDULE AND NOTES ON DRAWINGS FOR ADDITIONAL APPLICABLE INFORMATION.
- E. SEE DIVISION 7 FOR "ENERGY EFFICIENCY - INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT" REQUIREMENTS.

9. FINISHES 03/04/13

9.1 GYPSUM BOARD 03/04/13

- A. PROVIDE 1/2" GYPSUM BOARD ON ALL INTERIOR WALL AND CEILING SURFACES, UNLESS NOTE OTHERWISE. ALL SURFACES ARE TO BE TAPED, SPACKLED AND SANDED PROPERLY PREPARED TO RECEIVE PAINT.

9.2 INTERIOR FINISHES 02/13/12

- A. INTERIOR FINISHES
1. INTERIOR FINISHES, INCLUDING, BUT NOT NECESSARILY LIMITED TO, FLOOR FINISHES, FLOOR COVERINGS, WALL BASE, WALL FINISHES AND CEILING FINISHES ARE TO BE SELECTED BY THE GENERAL CONTRACTOR AND ACCEPTED BY THE OWNER. SEE REQUIREMENTS FOR FINISHES BELOW.
2. FINISH FLOORING TRADES ARE TO PROVIDE ADDITIONAL MATERIALS AND LABOR AS REQUIRED TO PROPERLY PREPARE SUBSTRATE TO ACCEPT FINISH MATERIALS PER MANUFACTURER'S RECOMMENDATIONS. MATERIALS INCLUDE BUT ARE NOT LIMITED TO FLOOR LEVELING, ADDITIONAL SHEATHING, ETC.
3. ALL PAINTED SURFACES ARE TO BE PROPERLY PREPARED TO RECEIVE PAINT. ALL PAINT IS TO BE OF TYPE SPECIFICALLY FORMULATED FOR THE SURFACE TO WHICH IT IS TO BE APPLIED. PAINT IS TO BE LATEX ENAMEL, UNLESS NOTED OTHERWISE. FINISH AS SELECTED BY OWNER. ALL PAINTED SURFACES ARE TO RECEIVE A MINIMUM OF ONE (1) PRIME COAT AND TWO (2) FINISH COATS. IF OWNER CHOOSES TO OMIT PAINTING FROM CONTRACT, INTERIOR GYPSUM BOARD SURFACES ARE TO BE FINISHED AND READY TO RECEIVE PRIMER AND PAINT. SPACKLER IS TO RETURN FOR TOUCH-UP ONCE PRIMER IS APPLIED.
4. ALL STAINED / SEALED SURFACES SHALL BE PROPERLY PREPARED TO RECEIVE STAIN / SEALER. PROVIDE A STAINED SEALED OR BOTH SAMPLE(S) TO OWNER FOR APPROVAL. THE APPROVED SAMPLE(S) WILL BE USED AS A BASIS TO REVIEW AND APPROVE WORK PERFORMED. SAMPLE(S) ARE TO BE PREPARED WITH ONE OR MORE STAINS, FINISHES AND MULTIPLE FINISH SANDING.

15. MECHANICAL 03/04/13

15.1 DESIGN-BUILD 03/04/13

- A. ALL MECHANICAL WORK (PLUMBING, HEATING, VENTILATING AND AIR CONDITIONING) AS REQUIRED IS TO BE PERFORMED ON A DESIGN-BUILD BASIS. WORK IS TO BE PERFORMED TO CODE AND BE INSPECTED BY THE GOVERNING AUTHORITY.

16. ELECTRICAL WORK 03/04/13

16.1 DESIGN-BUILD 09/14/06

- A. ALL ELECTRICAL WORK AS REQUIRED IS TO BE PERFORMED ON A DESIGN-BUILD BASIS. WORK IS TO BE PERFORMED TO CODE AND BE INSPECTED BY THE GOVERNING AUTHORITY.

16.2 ELECTRIC 03/04/13

- A. ELECTRICAL EQUIPMENT, DEVICES, WIRING, SWITCHES, OUTLETS, ETC. AND THEIR INSTALLATION ARE INCLUDED IN BASE BID.
1. THE ELECTRICAL CONTRACTOR IS TO CONFIRM THE EXISTENCE OF EXPAND OR PROVIDE A SMOKE DETECTION SYSTEM WITHIN THE RESIDENCE. THE SYSTEM IS TO MEET APPLICABLE CODE REQUIREMENTS. AT A MINIMUM, A SMOKE DETECTOR IS TO BE LOCATED ON EACH FLOOR WITH AN ADDITIONAL DETECTOR WITHIN EACH BEDROOM. ALL SMOKE DETECTORS ARE TO BE DIRECT WIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. CONFIRM DETECTOR LOCATION AND EXTENT OF SYSTEM REQUIRED WITH THE BUILDING OFFICIAL.
2. THE ELECTRICAL CONTRACTOR IS TO CONFIRM THE EXISTENCE OF EXPAND OR PROVIDE A CARBON MONOXIDE ALARM SYSTEM WITHIN THE RESIDENCE. THE SINGLE STATION CARBON MONOXIDE ALARM SHALL BE LISTED AS COMPLYING WITH UL-2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTION. CONFIRM DETECTOR LOCATION AND EXTENT OF SYSTEM REQUIRED WITH THE BUILDING OFFICIAL.
3. COORDINATE SELECTION AND LOCATION OF ALL ELECTRICAL DEVICES (SWITCHES, OUTLETS, LIGHT FIXTURES, ETC.) WITH OWNER PRIOR TO PURCHASE AND / OR ROUGH IN OF SAME.

ISSUED FOR :

02/22/24 CONSTRUCTION DOCUMENTS (DRAWINGS & GENERAL NOTES / SPECIFICATIONS) FOR THE PROJECT ARE BEING ISSUED THIS DATE FOR CONSTRUCTION COST BIDDING & FOR SUBMISSION OF THE PROJECT TO THE GOVERNING AUTHORITY / AUTHORITIES FOR ZONING COMPLIANCE & CONSTRUCTION PERMITS. ONCE PERMITS ARE ISSUED ANY COMMENTS MADE BY THE GOVERNING AUTHORITY / AUTHORITIES WILL BE PROCESSED BY THE ARCHITECT. REGARDLESS OF WHETHER COMMENTS ARE MADE OR NOT THE ARCHITECT WILL ISSUE AN ADDENDUM OR BULLETIN & OFFICIALLY ISSUE THE DRAWINGS FOR CONSTRUCTION.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR / CONSTRUCTION MANAGER TO NOTIFY THE ARCHITECT WHEN PERMITS ARE OBTAINED AND TO FORWARD ANY COMMENTS RECEIVED BY THE GOVERNING AUTHORITY / AUTHORITIES TO THE ARCHITECT.

INDEX OF DRAWINGS :

SHT. NO.	SHEET TITLE	CURRENT ISSUE
TITLE	TITLE SHEET	02/22/24
1	PLANS	02/22/24
2	ELEVATIONS & SECTION	02/22/24
3	SECTIONS & DETAILS	02/22/24
EC	EXISTING CONDITIONS	02/22/24
SYM*	SYMBOLS, ABBREVIATIONS & SCALES	02/22/24

REFERENCE CODES

- A. BUILDING CODE: MICHIGAN RESIDENTIAL CODE (MRC) 2015
- B. PLUMBING CODE: MICHIGAN PLUMBING CODE 2015
- C. MECHANICAL CODE: MICHIGAN MECHANICAL CODE 2015
- D. ELECTRICAL CODE: 2017 MICHIGAN ELECTRIC CODE BASED ON 2017 N.E.C. W/ PART 8 STATE AMENDMENTS

PROJECT NARRATIVE :

THIS PROJECT INCLUDES THE EXPANSION OF AN EXISTING 2ND FLOOR DORMER AND INTERIOR ALTERATIONS TO AN EXISTING HOUSE

CONTRACTOR'S OPTION :

EVERGREEN DEVELOPMENT NV, LLC IS THE CLIENT FOR THIS PROJECT. AS SUCH, AT THEIR SOLE DISCRETION THEY MAY MODIFY ANY NON-STRUCTURAL OR NON-CODE RELATED MATERIAL, FEATURE, DETAIL AS APPROVED BY THE ARCHITECT.

GENERAL CONSTRUCTION NOTE :

PATCH / REPAIR / EXTEND / PROVIDE CONC., FLOOR COVERINGS, FRAMING, DOORS, WINDOWS, GYP. BD., STUDS, BASE, TRIM, CASING, WOODWORK, INSUL., I WALL COVERING, CEILING, FIRE ALARM / SMOKE DETECTION SYSTEM & COMPONENTS, ETC. AS REQ'D TO COMPLETE WORK NOTED. GENERAL CONTRACTOR IS EXPECTED TO EXAMINE THE DWGS. & THE EX. BUILDING AS NECESSARY TO VERIFY EXTENT OF WORK REQ'D TO ACCOMMODATE ALTERATIONS DESCRIBED WITHIN THESE CONTRACT DOCUMENTS. SEE GENERAL NOTES / SPECIFICATIONS FOR ADDITIONAL INFORMATION.

MECHANICAL / ELECTRICAL / PLUMBING NOTE :

MECHANICAL, ELECTRICAL & PLUMBING WORK IS TO BE PROVIDED AS / IF REQ'D TO COMPLETE THE PROJECT. GENERAL CONTRACTOR IS TO COORDINATE W/ OWNER PRIOR TO BEGINNING CONST. TO VERIFY REQUIREMENTS. FIELD VERIFY EX. SYSTEM(S) & REWORK / RELOCATE / REMOVE EX. OUTLETS, DEVICES, COMPONENTS, ETC. AS REQ'D TO PROVIDE A COMPLETE JOB IN ACCORDANCE W/ ALL APPLICABLE CODES.

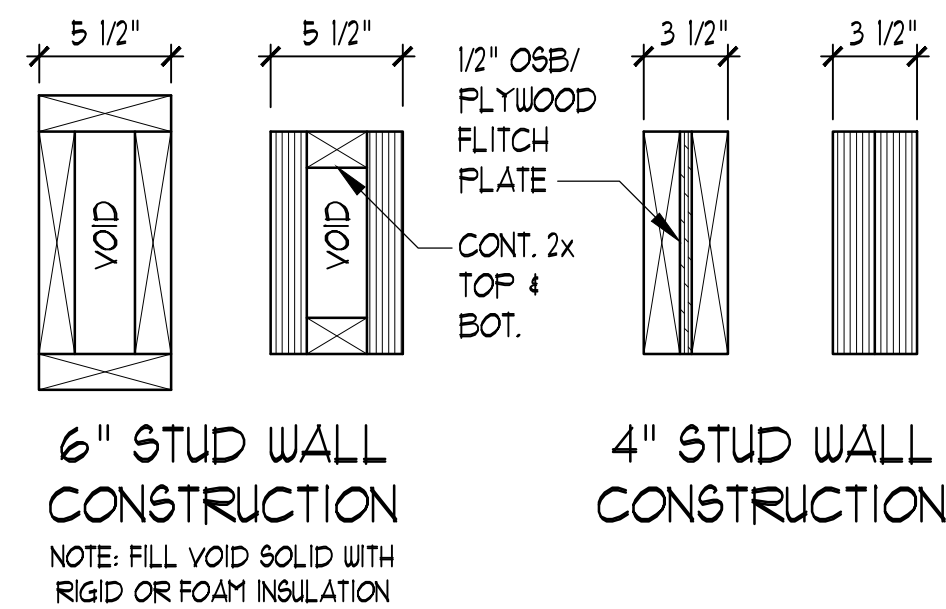
ALTERNATE COSTS :

THE GENERAL CONTRACTOR IS TO INFORM ALL TRADES TO READ AND RESPOND AS APPLICABLE TO ALL ALTERNATE COST REQUESTS. AT THE TIME OF CONTRACT AWARD THE GENERAL CONTRACTOR IS TO MEET WITH THE OWNER AND CONFIRM ALL ALTERNATE COSTS ITEMS TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS PROJECT. THE GENERAL CONTRACTOR IS TO PROVIDE A SEPARATE ALTERNATE COST FOR EACH OF THE ITEMS LISTED BELOW :

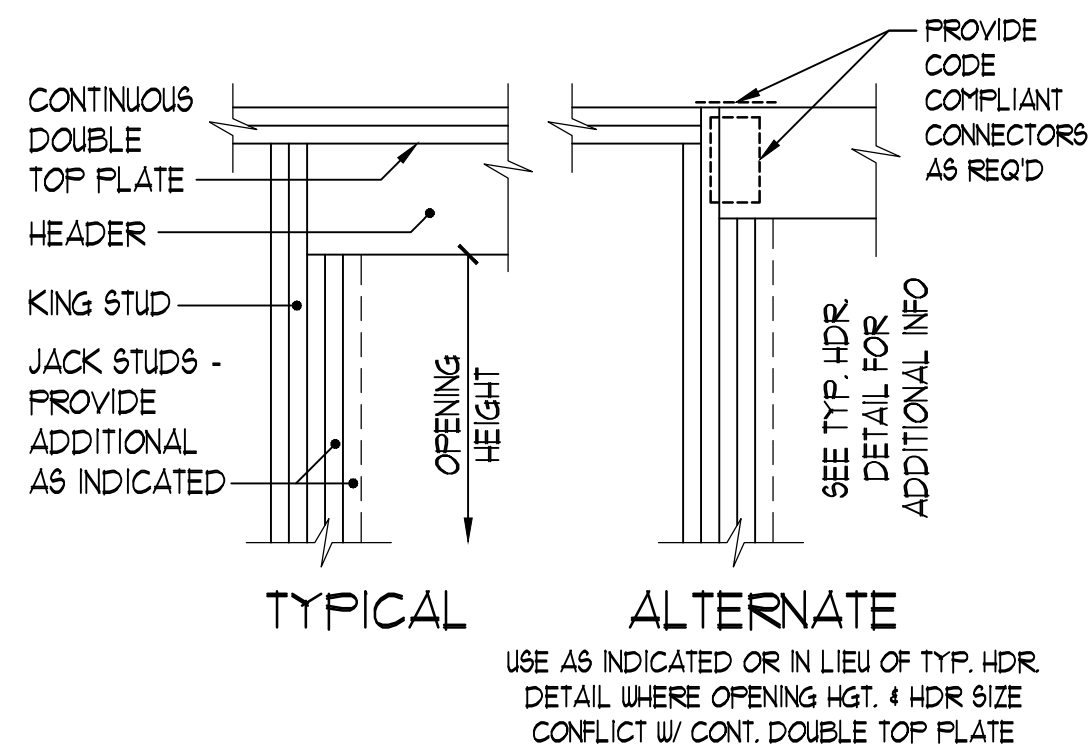
ALTERNATE COST NO. 1 STANDING SEAM METAL ROOF
PROVIDE ALTERNATE COST INCREASE TO PROVIDE METAL ROOFING SYSTEM IN LIEU OF ASPHALT SHINGLES CURRENTLY INDICATED FOR GABLE ROOF CONSTRUCTION

VERSAPRO RESTORATION & CONSTRUCTION

CONSTRUCTION DOCUMENTS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE GOVERNING AUTHORITY. ALL TRADES INVOLVED WITH CONSTRUCTION ARE TO CONFIRM CURRENT ISSUE DATES OF DOCUMENTS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.	JOSEPH PHILIPS ARCHITECT, LLC	PROJECT:	DOBBS RESIDENCE - ADDITION & ALTERATIONS
DATE: 02/22/24		TITLE SHEET	
JOB NO: 23966	SHEET NO:	DATE:	02/22/24
TITLE	966_CD_02		

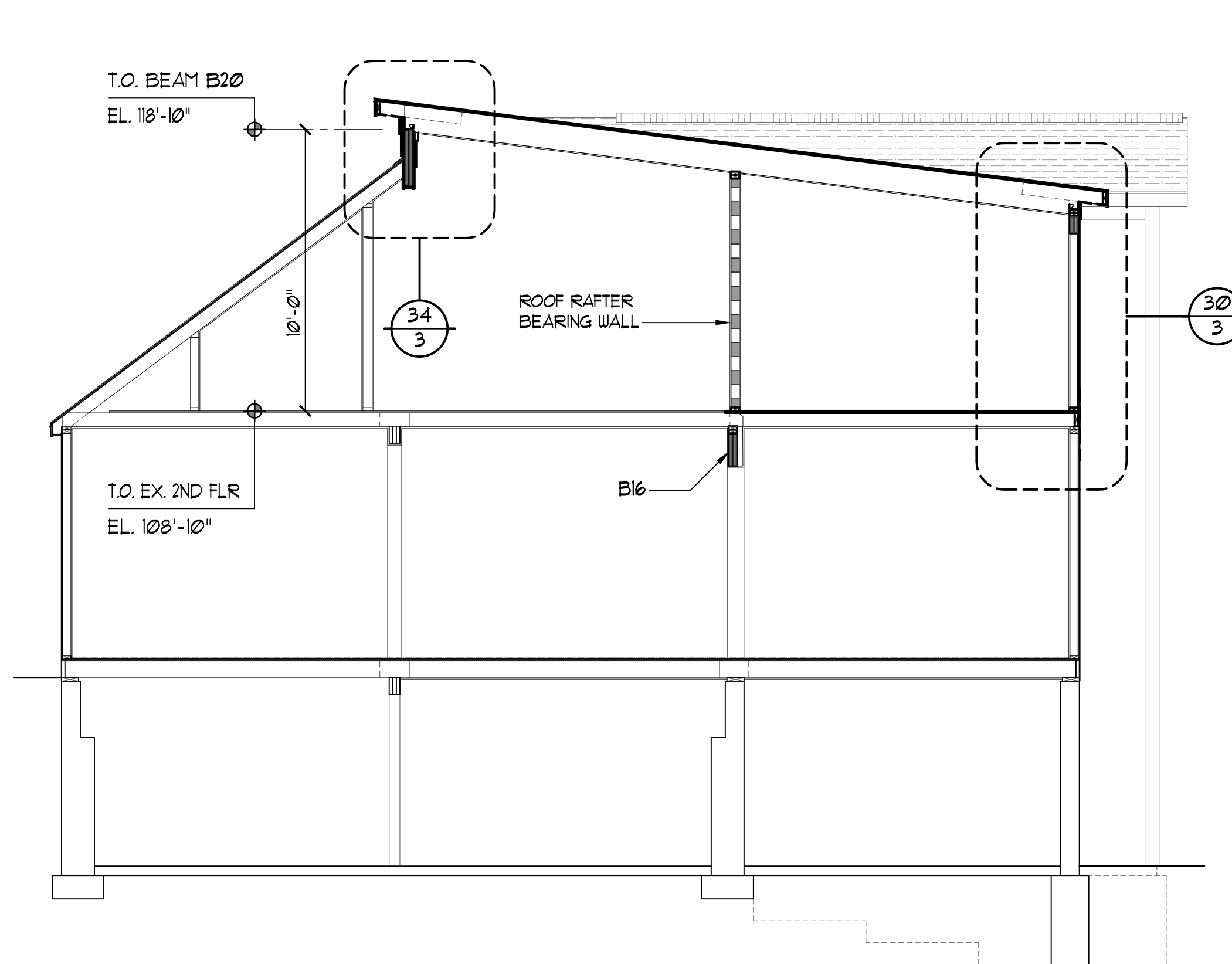


43 HEADER DETAILS
SCALE: 1/2" = 1'-0"



42 HEADER DETAILS
SCALE: 3/4" = 1'-0"

41



20 REFERENCE SECTION
24" x 36" SCALE: 1/4" = 1'-0"
11" x 11" SCALE: 1/8" = 1'-0"

REFERENCE SECTION NOTE:
REFERENCE SECTION ILLUSTRATED IS JUST THAT - REFERENCE ONLY. MEMBER SIZES, LOCATIONS, FRAMING DIRECTION AND EXISTENCE OF MEMBERS ARE TO BE CONFIRMED WITH THE DRAWING PREPARED AND FIELD CONDITIONS WHICH EXIST. THESE SECTIONS WERE DRAWN DURING THE DEVELOPMENT OF THE CONSTRUCTION DRAWINGS AND, THOUGH THEY MAY BE INACCURATE, ARE THOUGHT TO BE OF SOME VALUE TO THE CONTRACTOR

WINDOW SCHEDULE

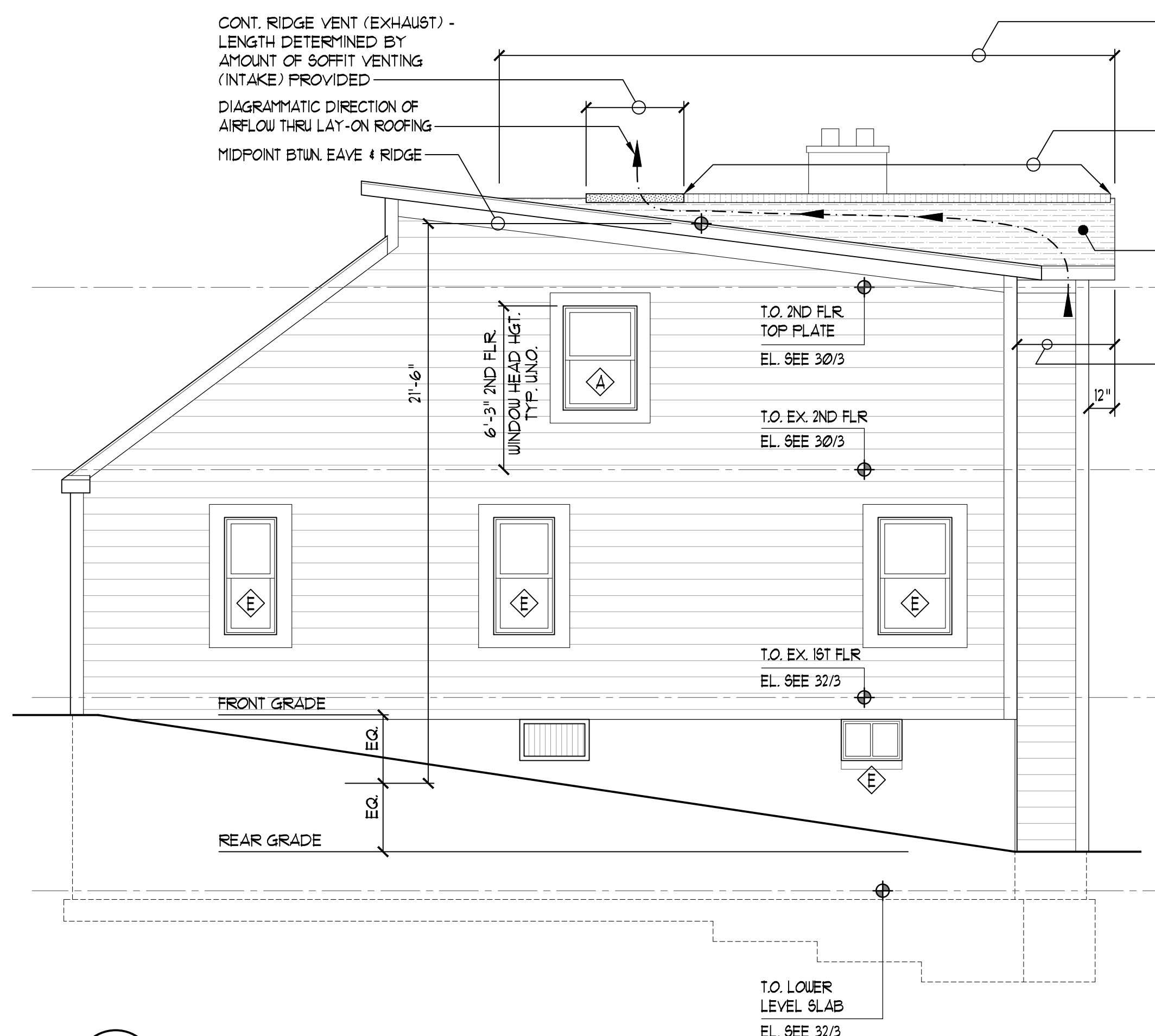
WINDOW LETTER	TYPE	WIDTH	HGT.	MTL.	FIN.	REMARKS
A	DH.	2'-10"	4'-1"	OS	OS	
B	GLDR	6'-0"	3'-0"			2
C	CAS.	8'-4"	4'-1"			1, 2
D	DH.	2'-5"	4'-1"			
E	EXISTING					

WINDOW SCHED. REMARKS:

- TRIPLE WINDOW UNIT (1 FIXED UNIT, 2 CASSEMENT UNITS)
- MATCH WIDTH OF EXISTING 1ST FLOOR WINDOW UNIT DIRECTLY BELOW

WINDOW SCHEDULE NOTES:

- SEE GENERAL NOTES / SPECIFICATIONS REGARDING WINDOWS
- SEE ELEVATIONS FOR EGRESS WINDOW LOCATIONS
- PROVIDE SAFETY GLASS (SG) AS INDICATED ON ELEVATIONS & AS REQ'D BY CODE
- WINDOW SIZES ARE BASED ON "ANDERSEN 400 SERIES - PRODUCT LINE" AND EXISTING WINDOW UNIT ROUGH OPENING DIMENSIONS. DISCUSS OPTION OF MATCHING EXISTING WINDOW MANUFACTURER WITH OWNER. CONFIRM MANUFACTURER AND SIZES PRIOR TO ORDERING.
- VERIFY WINDOWS WITH LOWEST POINT (SILL) OF CLEAR OPENINGS THAT ARE LESS THAN 2'-0" AFF. AND WHERE OPENING IS GREATER THAN 12" ABOVE ADJACENT EXTERIOR GRADE ON PAVED SURFACE. THESE WINDOWS ARE TO BE PROVIDED WITH WINDOW FALL PROTECTION DEVICES COMPLYING WITH ASTM F2090 ON WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2 OF THE CURRENT MICHIGAN RESIDENTIAL CODE



W PARTIAL WEST ELEVATION
24" x 36" SCALE: 1/4" = 1'-0"
11" x 11" SCALE: 1/8" = 1'-0"

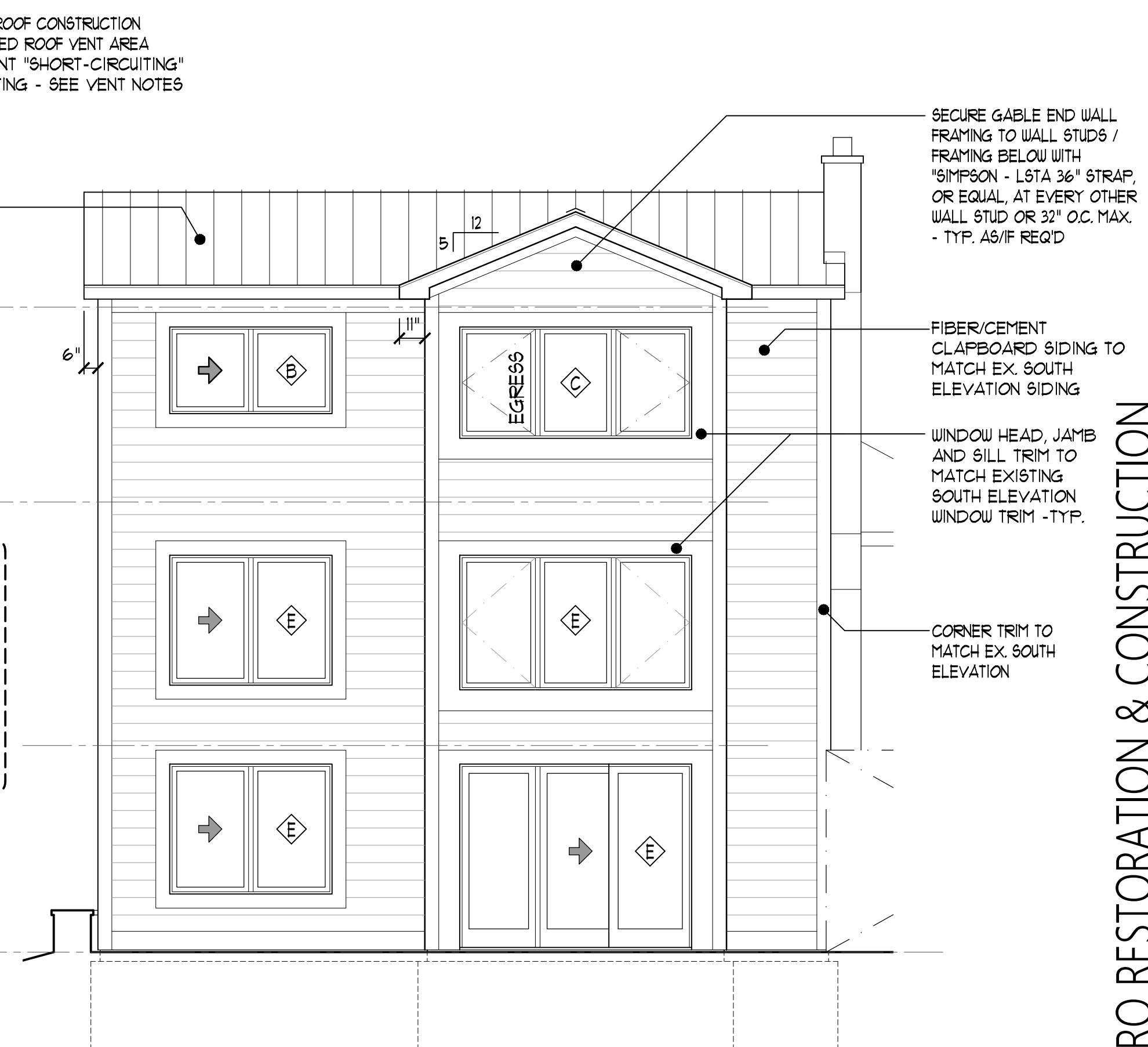
EXTEND EX. MASONRY CHIMNEY AS REQUIRED TO ACHIEVE A HEIGHT 2'-0" HIGHER THAN ANY PORTION OF ROOF / BUILDING WITHIN 10'-0" - PROVIDE CHIMNEY CROWN, FLUE CAP, FLASHING, ETC. AS REQUIRED FOR A COMPLETE ASSEMBLY

FIBER/CEMENT CLAPBOARD SIDING TO MATCH EX. SOUTH ELEVATION SIDING - G.C. IS TO DISCUSS EXTENT OF RESIDING TO OCCUR WITH OWNER PRIOR TO BEGINNING CONSTRUCTION

"ICE & WATER SHIELD" NOTE:
PROVIDE 100% COVERAGE BENEATH ROOF SLOPES EQUAL TO OR LESS THAN 4/12

AREA OF EXISTING EXTERIOR DECK CONSTRUCTION

E PARTIAL EAST ELEVATION
24" x 36" SCALE: 1/4" = 1'-0"
11" x 11" SCALE: 1/8" = 1'-0"



S PARTIAL SOUTH ELEVATION
24" x 36" SCALE: 1/4" = 1'-0"
11" x 11" SCALE: 1/8" = 1'-0"

VERSAPRO RESTORATION & CONSTRUCTION

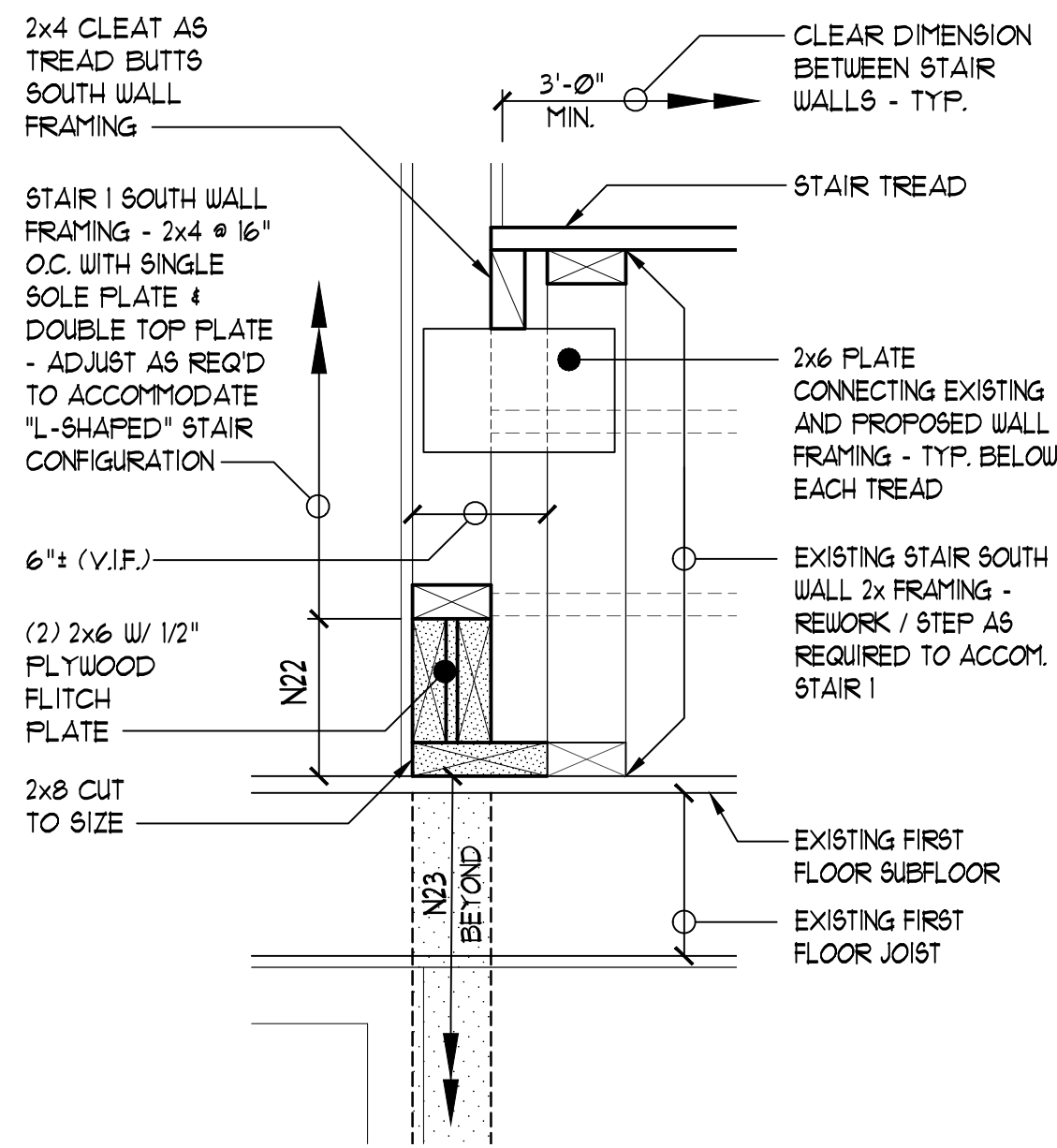
PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS
10199 LAKESIDE DRIVE
WHITE LAKE, MICHIGAN

STATUS: PRELIM. REVIEW PERMIT CONSTR. REVISED

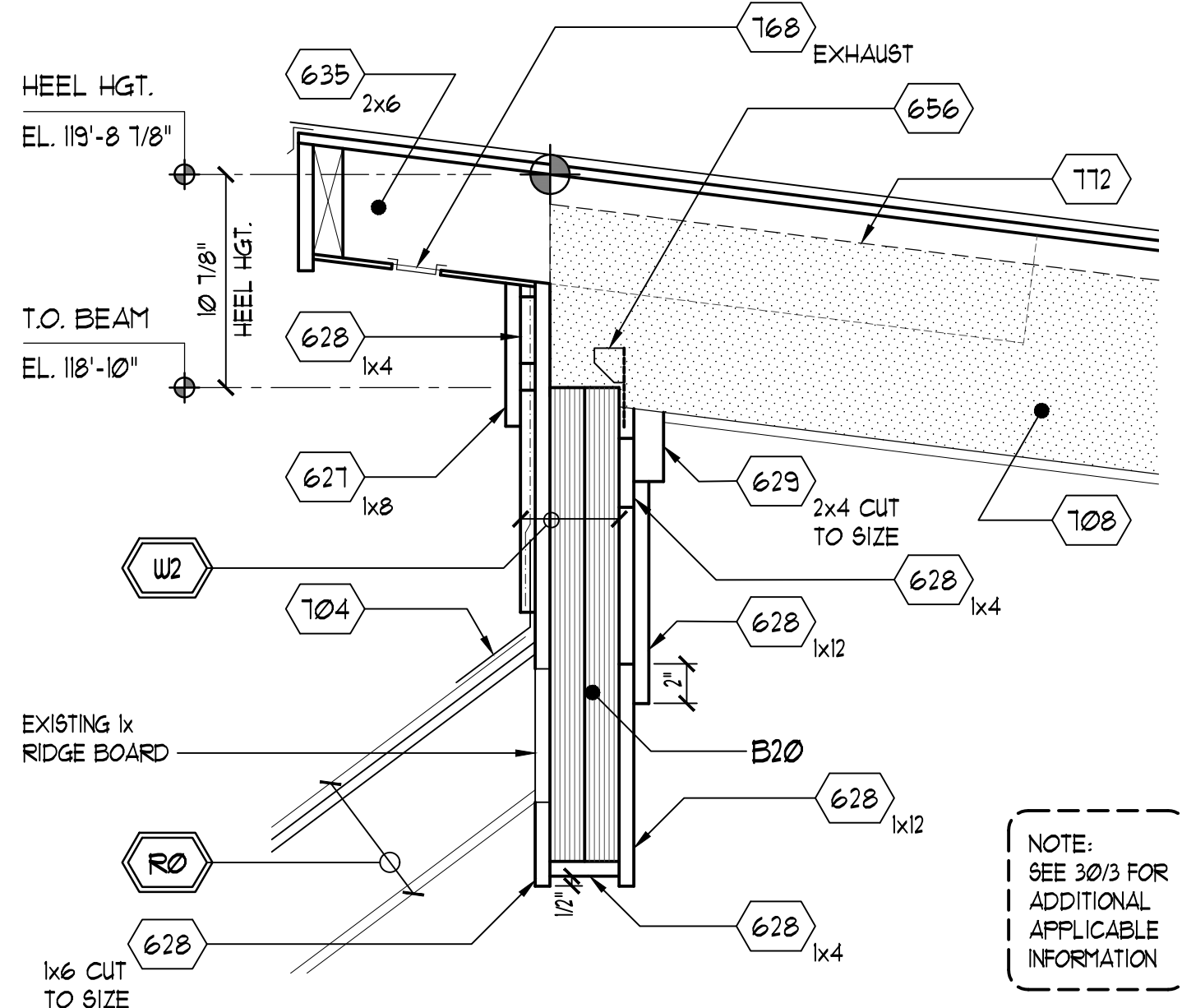
DATE: 02/22/24
JOB NO: 23966
SHEET NO: 2
966_CD_02

CONSTRUCTION THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNTIL PERMITS ARE ISSUED BY THE GOVERNING AGENCIES. ALL WORKS IN CONFORMANCE WITH CURRENT CODES AND PERMITS MUST BE IN ACCORDANCE WITH CURRENT ISSUE DATES OF DOCUMENTS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.
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EMAIL: JOSEPHPHILIPSARCHITECT@GMAIL.COM WWW.JOSEPHPHILIPSARCHITECT.COM

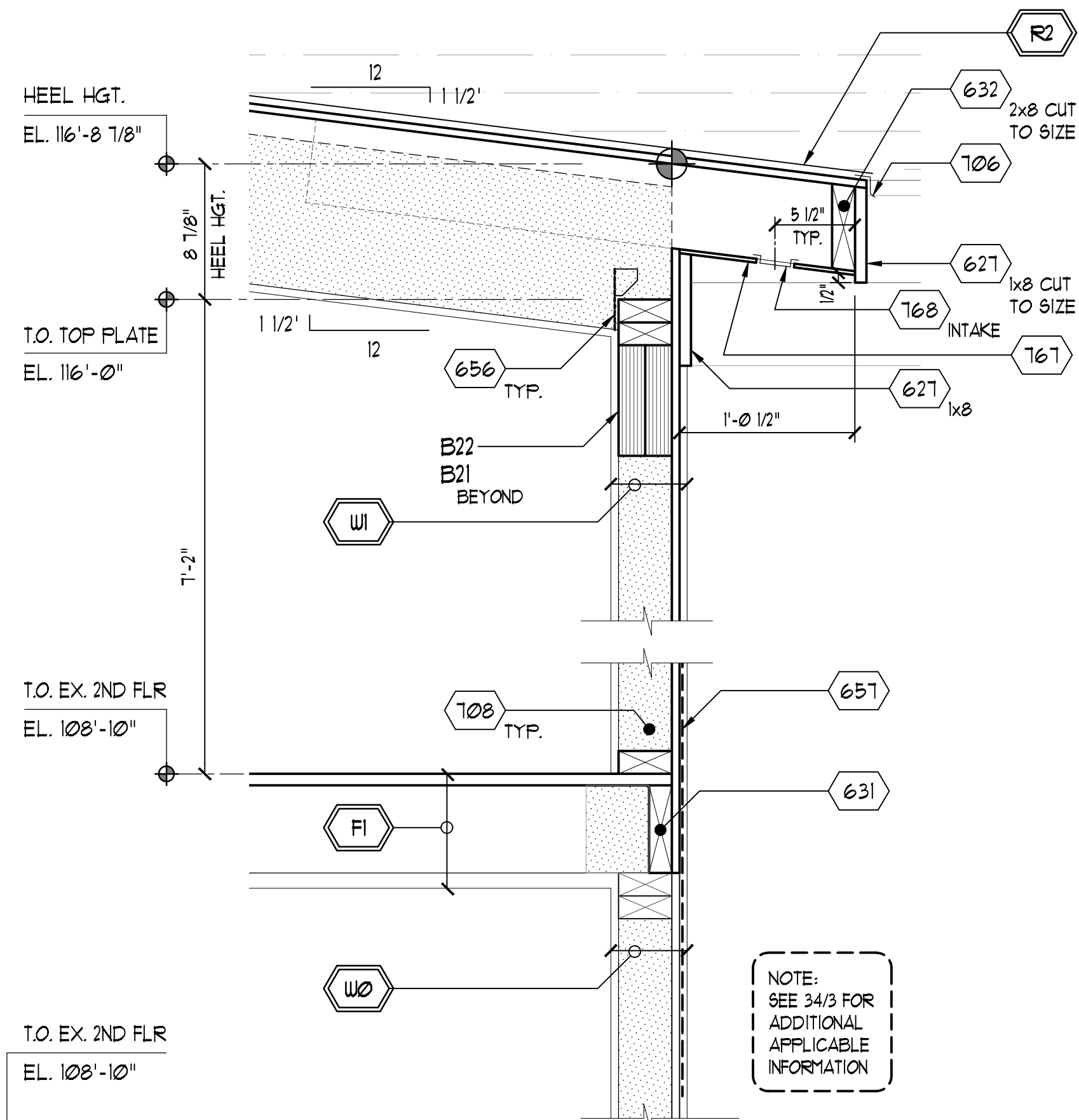
JOSEPH PHILIPS ARCHITECT, LLC



35 SECTION AT STAIR
 24" x 36" SCALE: 1 1/2" = 1'-0"
 11" x 11" SCALE: 3/4" = 1'-0"



34 PARTIAL SOUTH ELEVATION
 24" x 36" SCALE: 1 1/2" = 1'-0"
 11" x 11" SCALE: 3/4" = 1'-0"



30 DETAIL
 24" x 36" SCALE: 1 1/2" = 1'-0"
 11" x 11" SCALE: 3/4" = 1'-0"

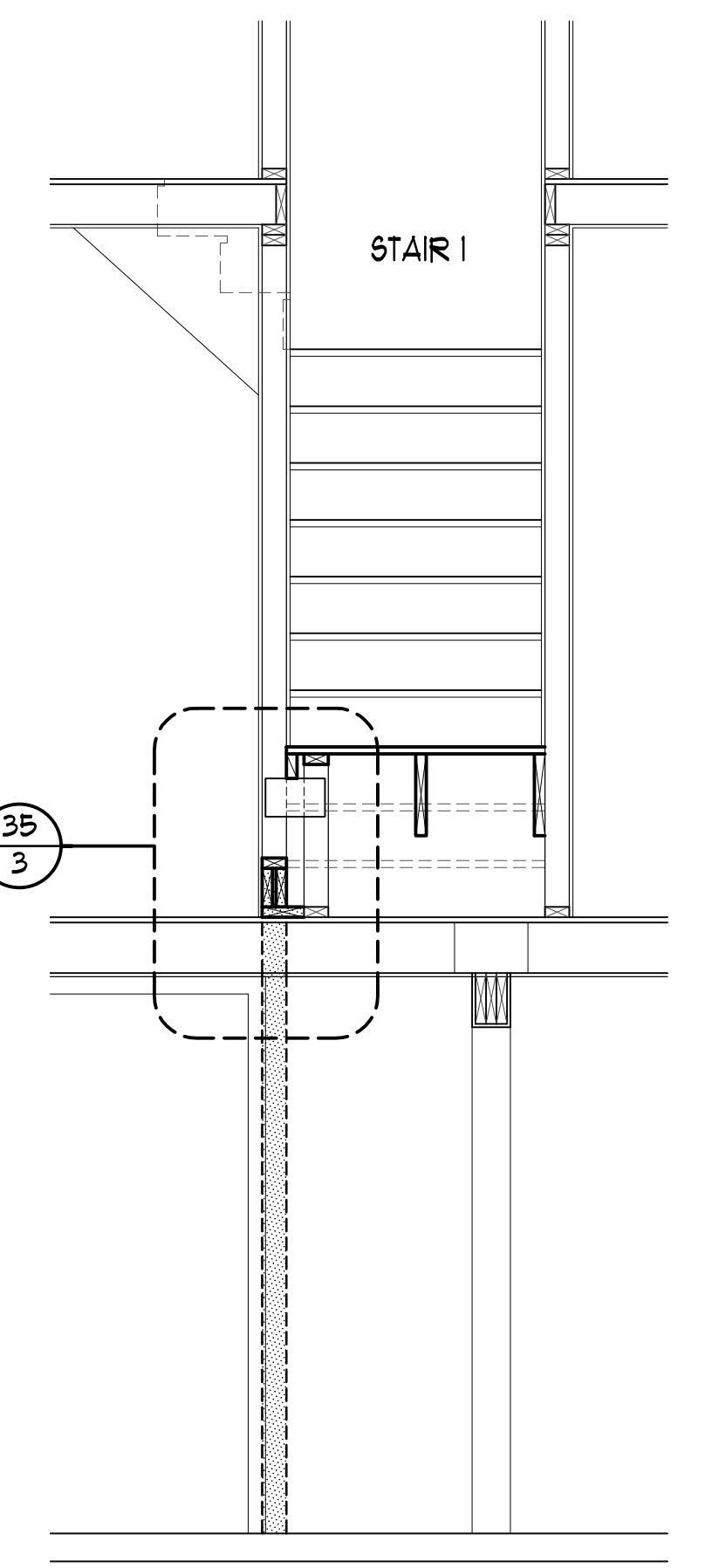
VENTING NOTES:
NOTE 1: PROVIDE A BALANCED SOFFIT / RIDGE VENTING SYSTEM THAT PROVIDES A MIN. OF 1 SF. OF FREE VENT AREA FOR EVERY 150 SF. OF ROOF AREA (SEE CURRENT "MICHIGAN RESIDENTIAL CODE" FOR REQUIREMENTS THAT ALLOW 1 SF. OF FREE VENT AREA FOR EVERY 300 SF. OF ROOF AREA).
NOTE 2: BALANCED SOFFIT / RIDGE VENTING SYSTEM USED IS TO ENSURE CONTINUOUS AIR FLOW FROM INTAKE TO EXHAUST VENTS BY PROVIDING CONTINUOUS INSULATION Baffle AT EACH TRUSS / RAFTER SPACE, MAINTAIN 2" MIN. AIR SPACE CLEARANCE AT ISOLATED FRAMING CAVITIES, PROVIDE 1" DIA. HOLES, CENTERED ON FRAMING AND SPACED 4" O.C. SO AS TO ALLOW AIR TO FLOW TO ADJACENT FRAMING CAVITY.

STRUCTURAL DESIGN CRITERIA

PRESUMPTIVE SOIL BEARING CAPACITY (VERIFY IN FIELD):	:2500 P.S.F.
LIVING AREAS FLOOR LIVE LOAD	:40 P.S.F.
LIVING AREAS FLOOR DEAD LOAD	:20 P.S.F.
LIVING AREAS FLOOR TOTAL LOAD	:60 P.S.F.
BEDROOM AREA FLOOR LIVE LOAD	:30 P.S.F.
BEDROOM AREA FLOOR DEAD LOAD	:20 P.S.F.
BEDROOM AREA FLOOR TOTAL LOAD	:50 P.S.F.
ROOF WITH UNINHABITABLE ATTIC WITH NO STORAGE BELOW LIVE LOAD	:30 P.S.F.
ROOF DEAD LOAD	:15 P.S.F.
TOTAL ROOF LOAD	:45 P.S.F.
WIND LOAD (SECTION 6 OF ASCE 1)	:15 M.P.H. (3 SEC. GUSTS)

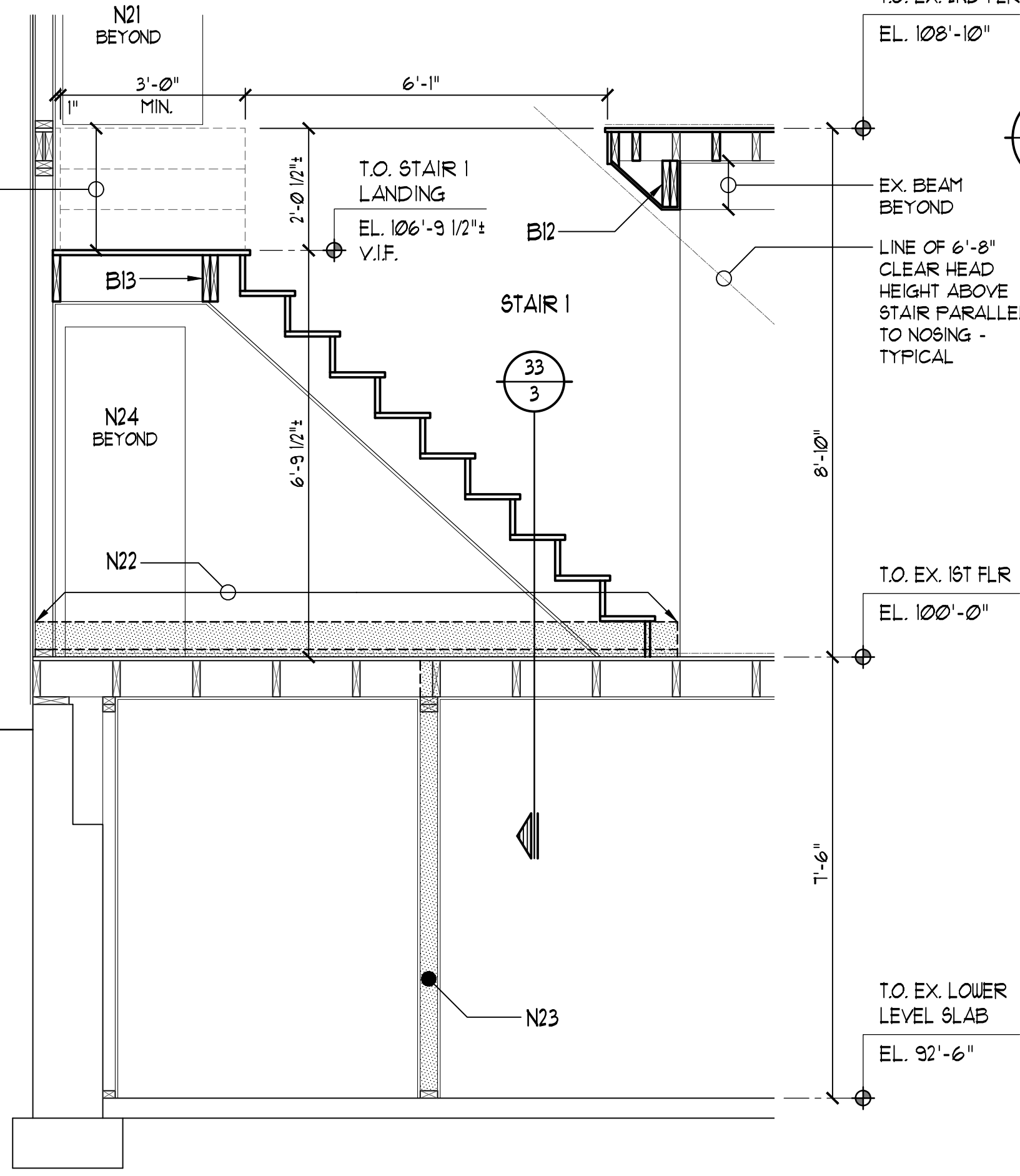
CONSTRUCTION NOTES

- 627 FIBER / CEMENT COMPOSITE TRIM - SEE DRAWING FOR SIZE
- 628 1x TRIM - SEE DRAWING FOR SIZE
- 629 2x TRIM - SEE DRAWING FOR SIZE
- 631 2x RIM BOARD - SIZE TO MATCH FLOOR FRAMING
- 632 CONT. 2x SUB-FAC91A - SEE DRAWING FOR SIZE
- 633 CONT. 2x TRIM - SEE DRAWING FOR SIZE
- 634 2x ROOF RAFTER AT 16" O.C. - SEE DRAWING FOR SIZE AND SLOPE
- 635 2x RAFTER TAIL SECURED TO ROOF RAFTER - SEE DRAWING FOR SIZE. LENGTH OF TAIL SECURED TO ROOF RAFTER TO BE MIN. 2x THE LENGTH OF TAIL CANTILEVER
- 655 "SIMPSON" JOIST HANGER - SIZE & TYPE TO BE APPROPRIATE FOR FRAMING MEMBER
- 656 "SIMPSON" H2-5A "HURRICANE CLIP" AT END OF EACH JOIST / RAFTER / PERT.
- 657 "SIMPSON" "LSTA STRAP", 36" LONG, OR EQUAL SECURED INTO ALIGNED FRAMING MEMBERS
- 104 PRE-FINISHED METAL PITCH-BREAK FLASHING AS ROOF MEETS WALL - PROVIDE FLASH VENT AS / IF REQUIRED FOR PROPER VENTING
- 105 PRE-FINISHED METAL FLASHING WITH DRIP EDGE
- 106 PRE-FINISHED METAL DRIP EDGE
- 108 AREA TO BE INSULATED (SEE "ENERGY EFFICIENCY - INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT" IN THE GEN. NOTES / SPECS).
- 161 1/4" THICK, SMOOTH, NON-VENTED FIBER / CEMENT SOFFIT PANEL
- 168 CONTINUOUS, PVC, PERFORATED, VENT STRIP PROVIDING MIN. 9 SQ. IN. OF FREE VENT AREA PER LINEAR FOOT
- T12 INSULATION Baffle AT EACH TRUSS / RAFTER SPACE, MAINTAIN 1 1/2" MIN. AIR SPACE CLEARANCE



33 SECTION AT STAIR
 24" x 36" SCALE: 1 1/2" = 1'-0"
 11" x 11" SCALE: 3/4" = 1'-0"

STAIR INFORMATION:
STAIR 1
 13 RISERS AT 8 1/8"± EACH EQUALS 9'-9 1/2"
 "L-SHAPED" CONFIGURATION WITH 12 TREADS, INCLUDING ONE (1) INTERMEDIATE "LANDINGS" - TYP. TREAD DEPTH 9"
STAIR NOTES
 S1 VERIFY RISER HEIGHTS WITH ELEVATIONS INDICATED
 S2 PROVIDE GUARD & HANDRAIL(S) AS REQUIRED TO MEET CODE - TYPICAL, SEE SECTIONS R311.18 AND 312 OF THE "MICHIGAN RESIDENTIAL CODE - 2015" FOR SPECIFIC REQUIREMENTS
 S3 PROVIDE GUARD & HANDRAIL AT STAIRS DURING CONSTRUCTION
 S4 PROVIDE 2x12 STRINGERS AT 16" O.C. (MIN. 3 - INCREASE AS NEEDED TO ACCOMMODATE DECKING SELECTED BY OWNER) CUT TO SIZE AND INSTALL ADDITIONAL 2x FRAMING / BLOCKING AS REQ'D TO CONSTRUCT STAIR
 S5 VERIFY STAIR HEIGHT IN FIELD AND ADJUST TREAD & RISER CONFIGURATION AS REQ'D
 S6 MAINTAIN MIN. 6'-8" HEADROOM PER 2015 MRC SECTION R311.12
 S7 SEE FLOOR PLAN FOR STAIR CONFIGURATION



32 SECTION AT STAIR
 24" x 36" SCALE: 1 1/2" = 1'-0"
 11" x 11" SCALE: 3/4" = 1'-0"

FLOOR CONSTRUCTION ASSEMBLY

- F1 FLOOR FINISH AS SELECTED BY THE G.C. ON 3/4" T&G FLOOR SHEATHING SECURED TO FLOOR JOISTS WITH FINISH TO MATCH EXISTING (OR AS DISCUSSED W/ OWNER) AT U.S. OF FLOOR JOISTS

WALL CONSTRUCTION ASSEMBLY

- W0 EXISTING WALL ASSEMBLY
- W1 SIDING AS SELECTED BY OWNER ON BUILDING / HOUSE WRAP ON 5/8" EXTERIOR GRADE SHEATHING ON 2 x 4 WOOD STUDS AT 16" O.C. W/ 2 x 4 TREATED SOLE PLATE (AS APPLICABLE) AND DOUBLE 2 x 4 TOP PLATE. WALL IS TO BE INSULATED (SEE "ENERGY EFFICIENCY - INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT" IN THE GENERAL NOTES / SPECS). INTERIOR FINISH TO BE 1/2" GYPSUM BD. UNO.
- W2 1 x 12 FIBER-CEMENT TRIM ON BUILDING / HOUSE WRAP ON 3/4" EXTERIOR GRADE SHEATHING ON LVL RIDGE BEAM

ROOF CONSTRUCTION ASSEMBLY

- R0 EXISTING ROOF ASSEMBLY - G.C. IS TO CONFIRM / VERIFY EXISTING INSULATION / VENTING CONFIGURATION AND DISCUSS OPTIONS WITH THE OWNER PRIOR TO BEGINNING THE PROJECT (E.G. MAINTAIN EXISTING CONFIGURATION, PROVIDE NON-VENTED, FULL-FILLED CLOSED CELL INSULATION RAFTER CAVITIES, PROVIDE BALANCED INTAKE / EXHAUST VENTING, ETC.)
- R1 METAL ROOFING SYSTEM (INSTALLED PER MANUFACTURER'S INSTRUCTIONS) ON BUILDING FELT (INCLUDE "ICE & WATER SHIELD" AS SPECIFIED) ON 5/8" THICK EXTERIOR GRADE WOOD ROOF SHEATHING ON 2x6 WOOD ROOF RAFTER AT 16" O.C.
- R2 ASPHALT SHINGLES ON BUILDING FELT (INCLUDE "ICE & WATER SHIELD" AS SPECIFIED) ON 5/8" THICK EXTERIOR GRADE WOOD ROOF SHEATHING ON ROOF FRAMING AS INDICATED - ROOF FRAMING / ATTIC SPACE IS TO BE INSULATED (SEE "ENERGY EFFICIENCY - INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT" IN THE GEN. NOTES / SPECS). INTERIOR FINISH TO BE 5/8" GYP. BOARD

JOSEPH PHILIPS ARCHITECT, LLC

CONSTRUCTION: THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNTIL PERMITS ARE ISSUED BY THE GOVERNING AGENCIES. ALL TRADES TO VERIFY CURRENT ISSUE DATES OF DOCUMENTS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK. © COPYRIGHT 2024

PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS
 10591 LAKESIDE DRIVE
 WHITE LAKE, MICHIGAN

STATUS: PRELIM. REVIEW PERMIT CONSTR. REVISED

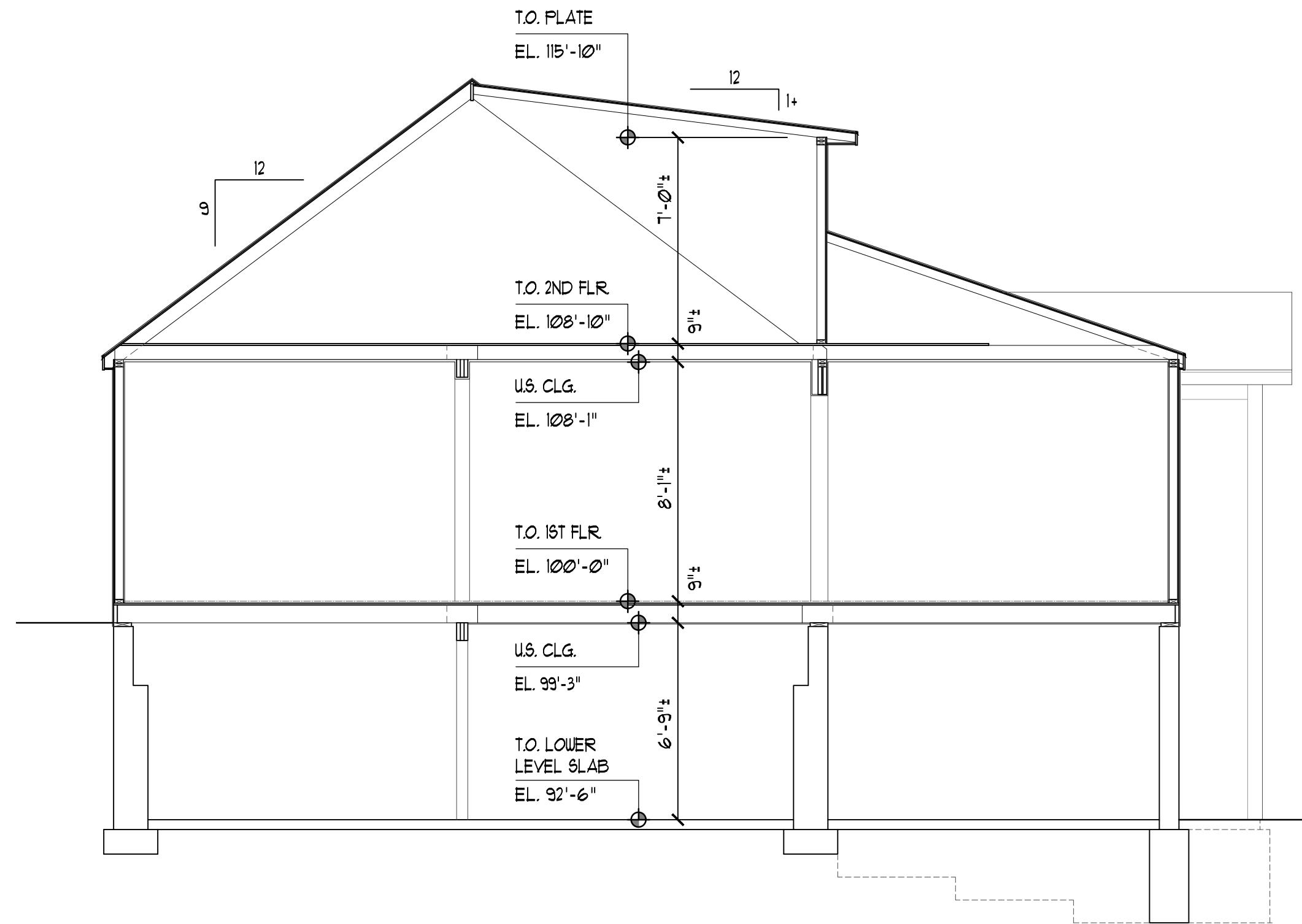
DATE: 02/22/24

JOB NO: 239166
 SHEET NO: 3
 966_CD_02

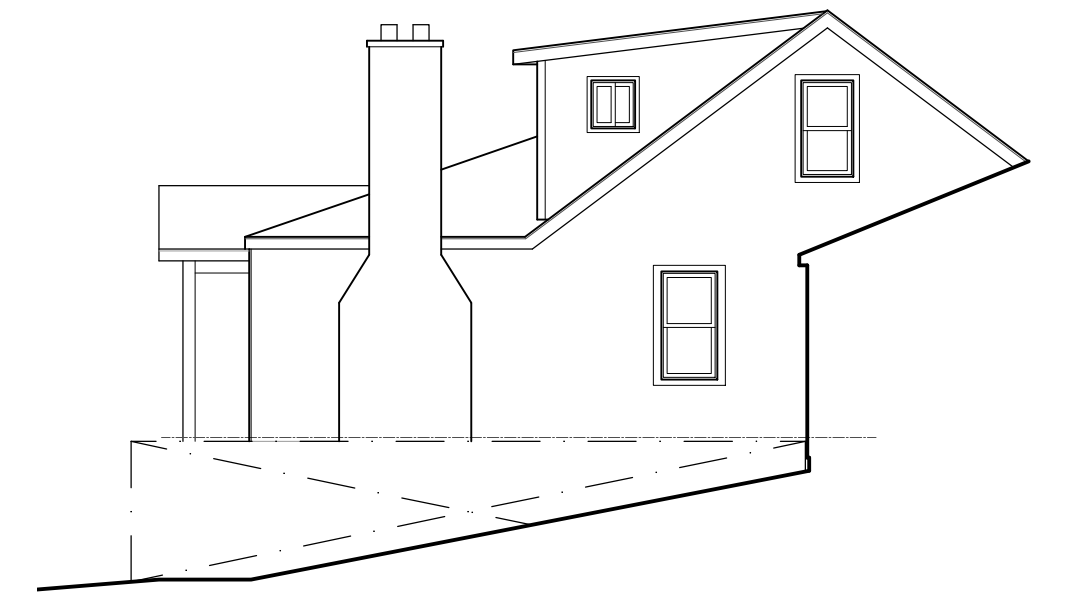
VERSAPRO RESTORATION & CONSTRUCTION

SECTION & DETAILS

JOSEPH PHILIPS ARCHITECT, LLC 915 WING STREET, PLYMOUTH, MICHIGAN 48170 PHONE: (734) 455-8354
 EMAIL: JOSEPHPHILIPSARCHITECT@GMAIL.COM WWW.JOSEPHPHILIPSARCHITECT.COM



EC3 CROSS SECTION
 EC 24" x 36" SCALE: 1/4" = 1'-0"
 11" x 11" SCALE: 1/8" = 1'-0"



EE PARTIAL EAST ELEVATION
 EC 24" x 36" SCALE: 1/8" = 1'-0"
 11" x 11" SCALE: 1/16" = 1'-0"



EW PARTIAL WEST ELEVATION
 EC 24" x 36" SCALE: 1/8" = 1'-0"
 11" x 11" SCALE: 1/16" = 1'-0"

EXISTING FRAMING NOTE:
 GENERAL CONTRACTOR IS TO EXAMINE AND ASSESS THE CONDITION OF EXISTING FRAMING IN ALL AREAS OF ALTERATION AND PROVIDE OWNER WITH INFORMATION REGARDING STATE OF FRAMING AND RECOMMENDATIONS FOR POSSIBLE SELECT REPLACEMENT AND / OR REMOVAL.

TEMPORARY STRUCTURE NOTE:
 PROVIDE TEMPORARY BRACING AND / OR SHORING AS REQUIRED TO INSURE THE STABILITY OF THE STRUCTURE UNDER CONSTRUCTION UNTIL THE PERMANENT FRAMING IS INSTALLED AND SECURED IN PLACE.

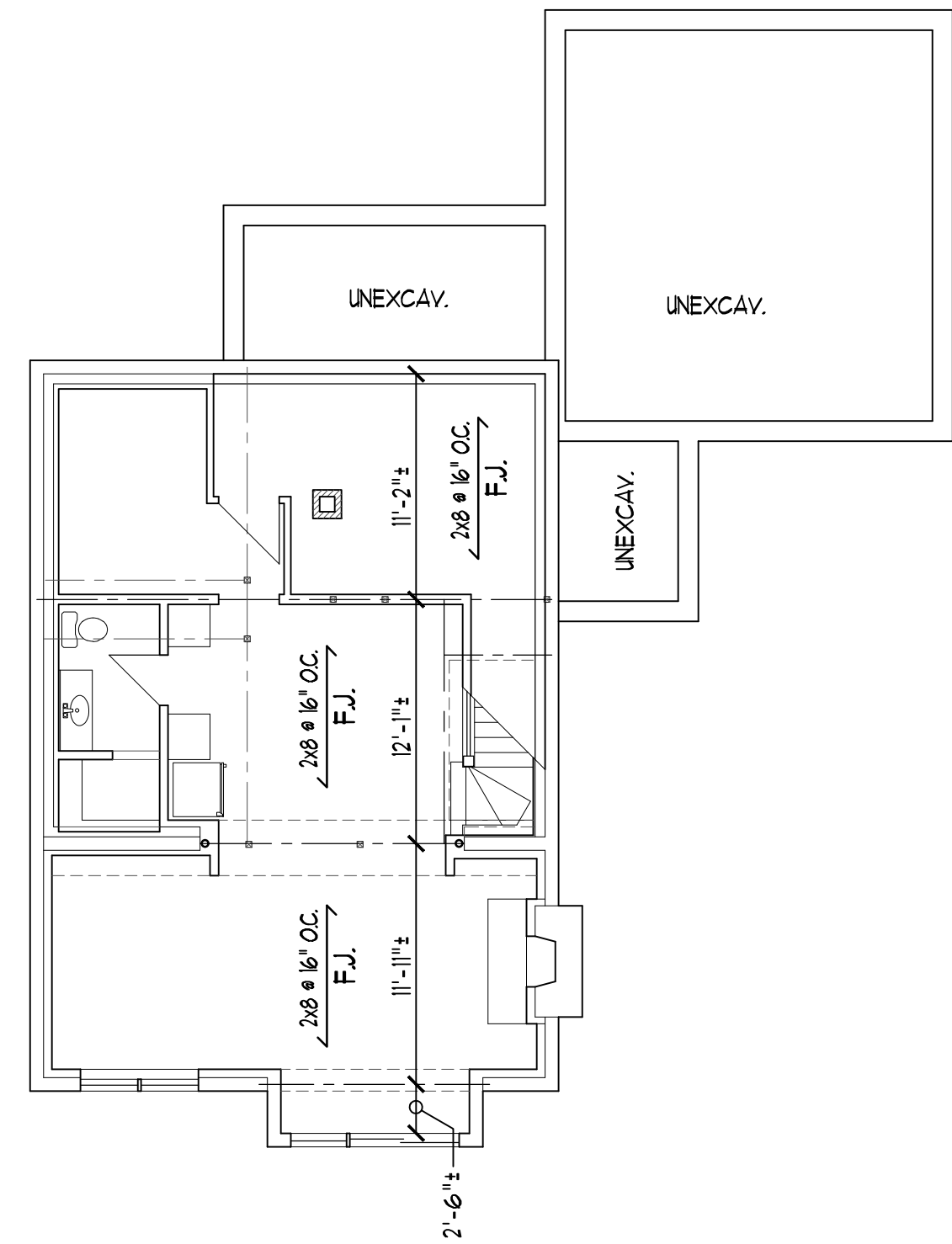
EX. FOUNDATION NOTE:
 PRIOR TO ORDERING MATERIALS AND START OF CONSTRUCTION, GENERAL CONTRACTOR IS TO CONFIRM MIN. 3'-6" DEPTH OF EXISTING FOUNDATIONS / FOOTINGS. IF LESS THAN 3'-6" DEPTH IS ENCOUNTERED NOTIFY THE ARCHITECT IMMEDIATELY.



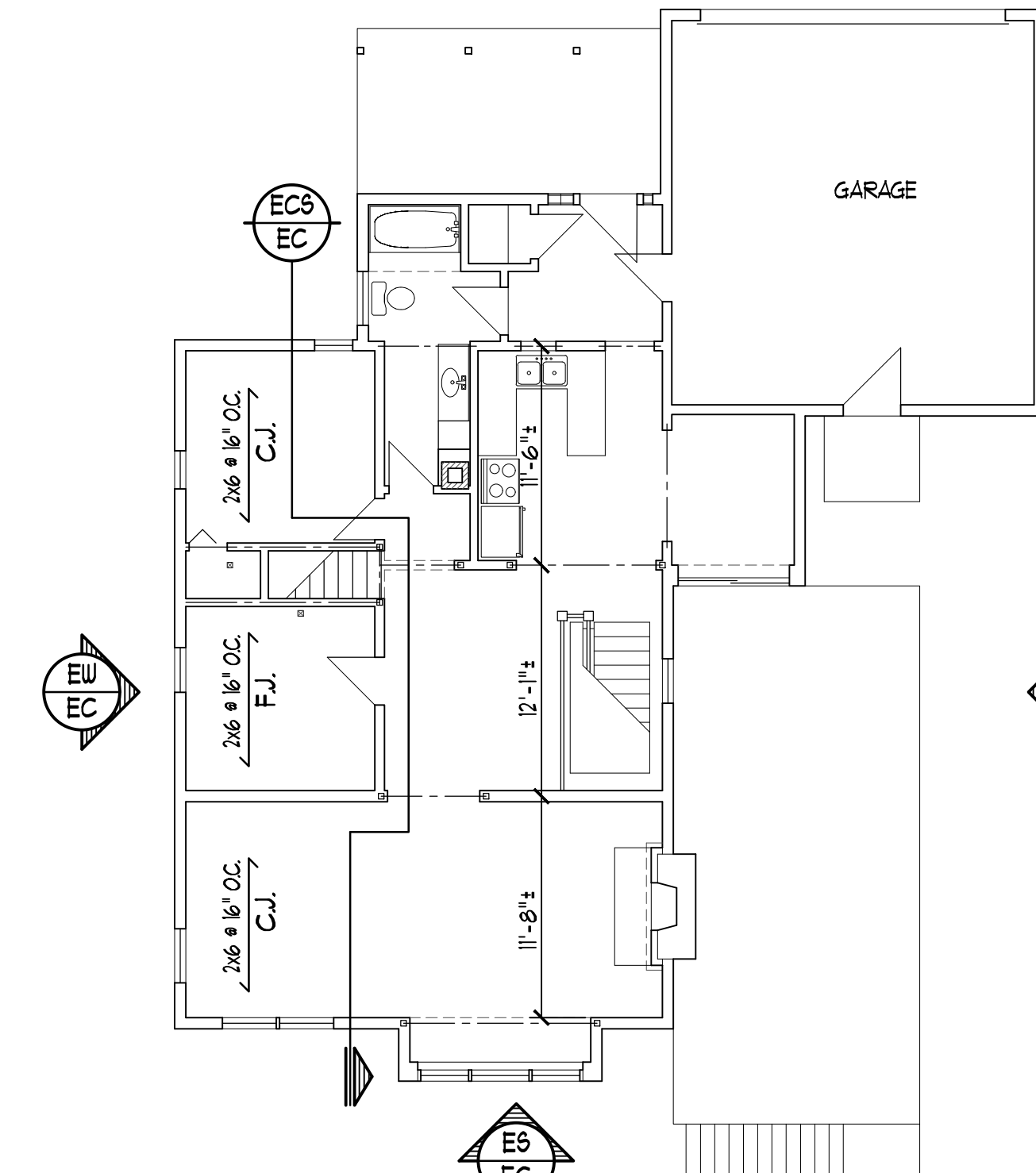
ES SOUTH ELEVATION
 EC 24" x 36" SCALE: 1/8" = 1'-0"
 11" x 11" SCALE: 1/16" = 1'-0"

FIELD VERIFICATION NOTE :
 THE GENERAL CONTRACTOR SHALL VERIFY EX. CONDITIONS, FRAMING, STRUCTURE, ETC. & CONFIRM INFORMATION INDICATED WITHIN THESE DOCUMENTS CAN BE EXECUTED AS INDICATED. THIS SHALL BE DONE AFTER SELECTIVE DEMOLITION HAS BEEN COMPLETED, BUT PRIOR TO ORDERING ANY MATERIALS OR TO START OF CONSTRUCTION. IF CONFLICTS BETWEEN PROPOSED CONSTRUCTION (AS IMPLIED WITHIN THESE DOCUMENTS) & CONDITIONS WHICH EXIST, THE GENERAL CONTRACTOR IS TO NOTIFY THE OWNER / TENANT & ARCHITECT TO DISCUSS REVISIONS NECESSARY TO ACCOMMODATE CONSTRUCTION WHICH EXISTS. THESE DRAWINGS ARE PREPARED IN GOOD FAITH TO REPRESENT CONSTRUCTION WHICH EXISTS & THAT IS ANTICIPATED. NOT ALL CONSTRUCTION / CONDITIONS WERE VISIBLE PRIOR TO SELECTIVE DEMOLITION, HOWEVER, DRAWINGS INDICATE THE FIRM'S ASSESSMENT OF PROBABLE EX. CONSTRUCTION & CONDITIONS.

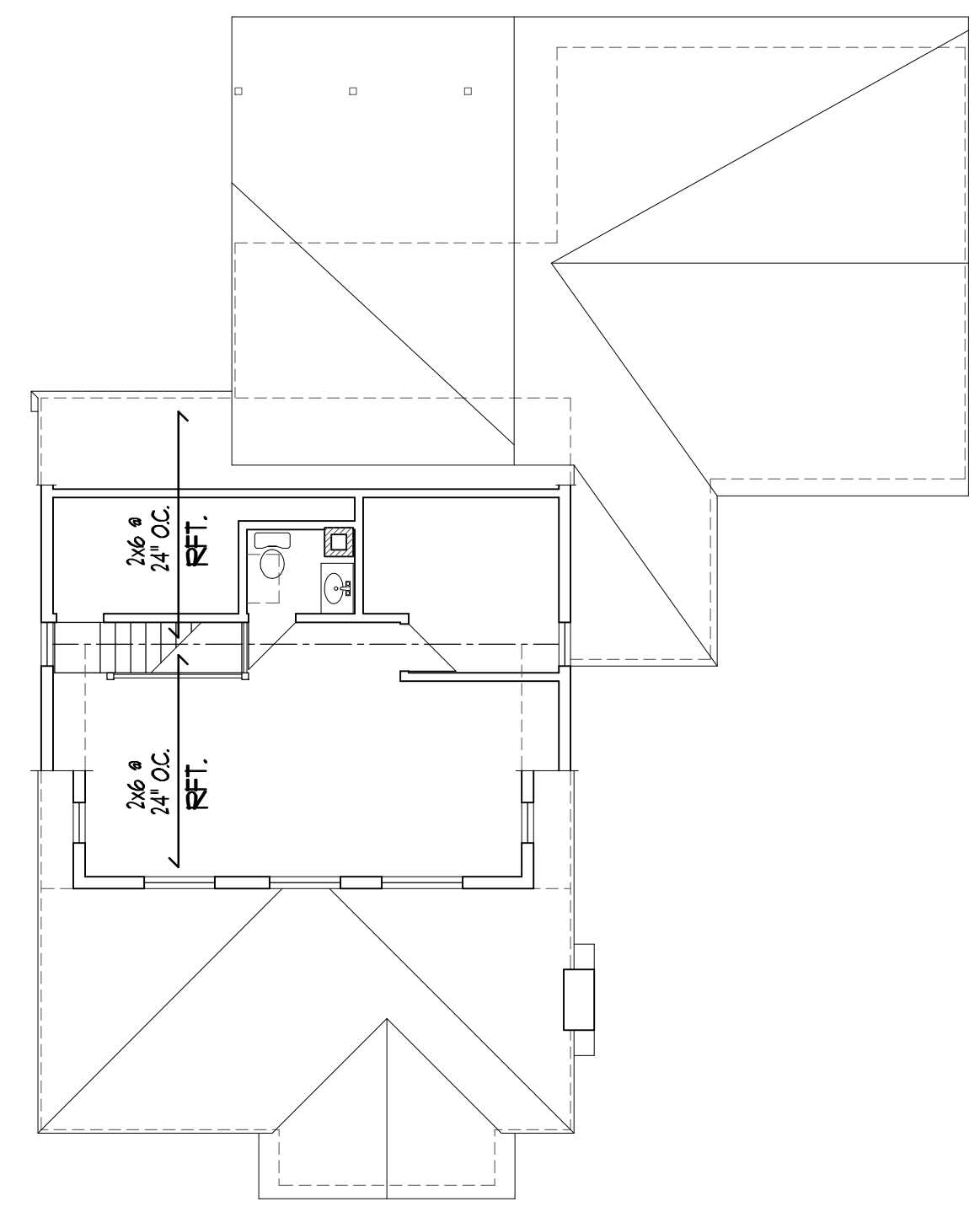
SELECTIVE DEMOLITION NOTE :
 REMOVE / REWORK / RELOCATE ALL EX. UTILITIES, CONC., MASONRY, FRAMING, DOORS, WINDOWS, SIDING, SHEATHING, PARTITIONS, CHIMNEY, STAIRS, STRUCTURE, ETC. AS REQ'D TO COMPLETE WORK NOTED & IMPLIED IN THE PROPOSED PLANS. GENERAL CONTRACTOR IS EXPECTED TO EXAMINE THE DRAWINGS EX. THE EX. BUILDING AS NECESSARY TO VERIFY EXTENT OF DEMOLITION REQ'D TO ACCOMMODATE ALTERATIONS AND / OR ADDITION DESCRIBED WITHIN THESE CONTRACT DOCUMENTS. SEE GENERAL NOTES / SPECIFICATIONS FOR ADDITIONAL INFORMATION.



LOWER LEVEL PLAN
 EC 24" x 36" SCALE: 1/8" = 1'-0"
 11" x 11" SCALE: 1/16" = 1'-0"



FIRST FLOOR PLAN
 EC 24" x 36" SCALE: 1/8" = 1'-0"
 11" x 11" SCALE: 1/16" = 1'-0"



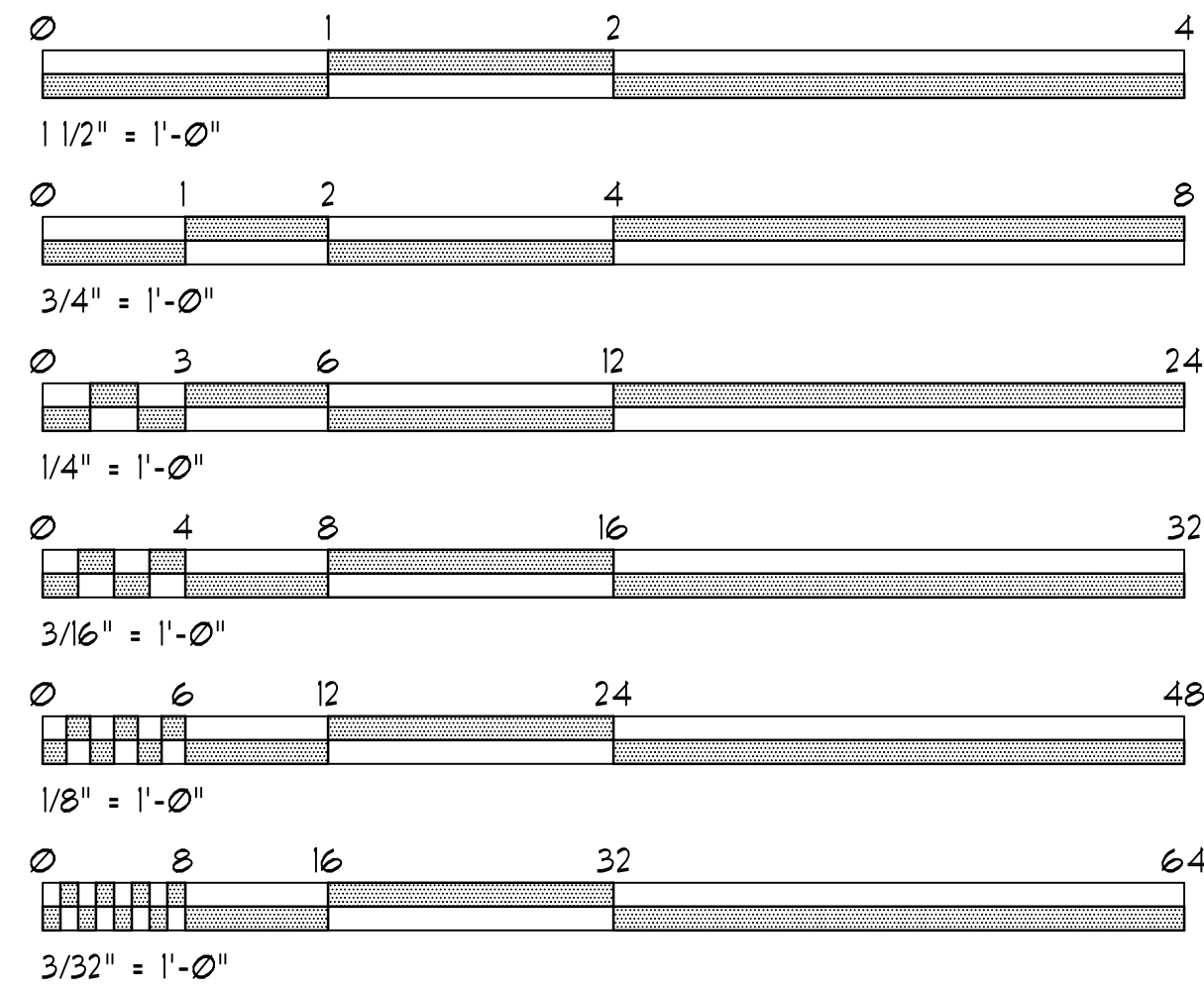
SECOND FLOOR PLAN
 EC 24" x 36" SCALE: 1/8" = 1'-0"
 11" x 11" SCALE: 1/16" = 1'-0"

VERSAPRO RESTORATION & CONSTRUCTION

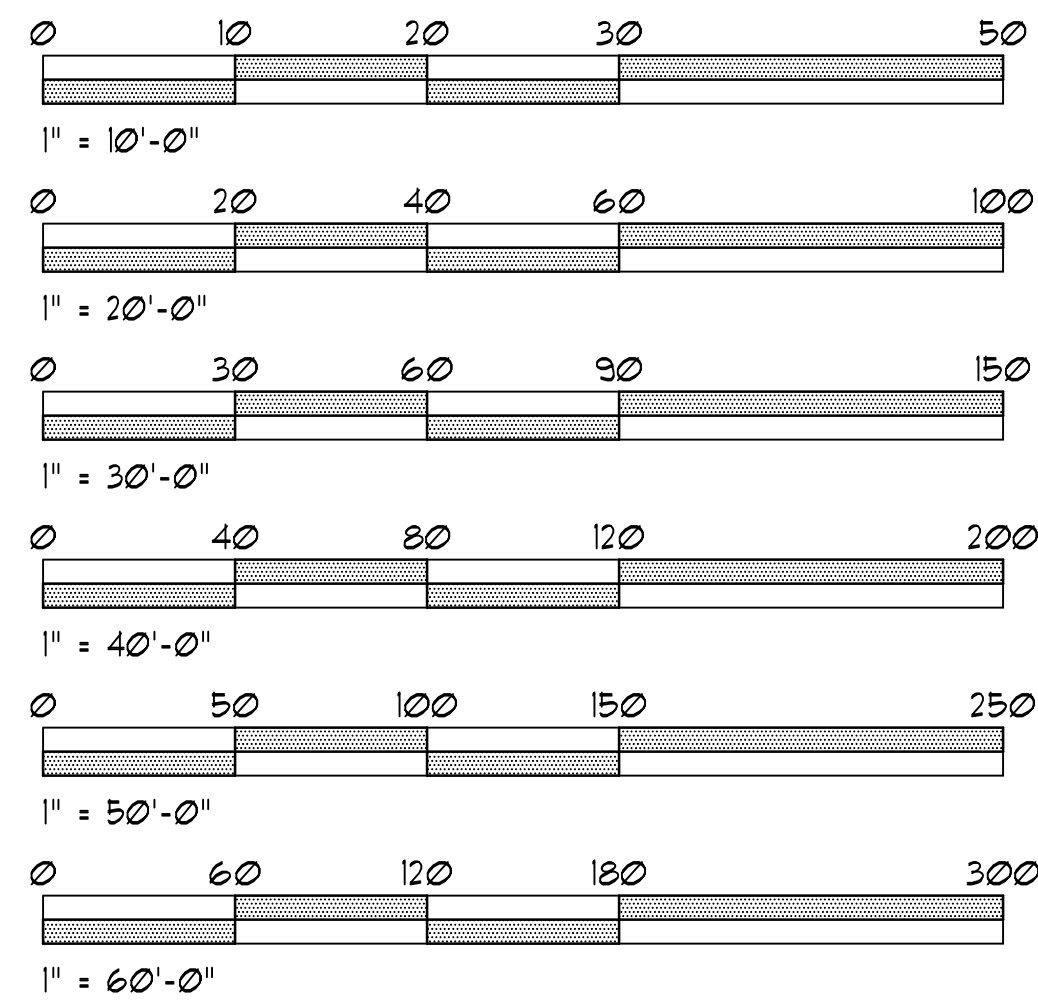
JOSEPH PHILIPS ARCHITECT, LLC
 WWW.JOSEPHPHILIPSARCHITECT.COM
 EMAIL: JOSEPHPHILIPSARCHITECT@GMAIL.COM
 PHONE: (734) 455-8354
 PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS
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 DATE: 02/22/24
 JOB NO: 23966
 SHEET NO: EC
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LEGEND OF SYMBOLS

ARCHITECTURAL SCALES



ENGINEERING SCALES

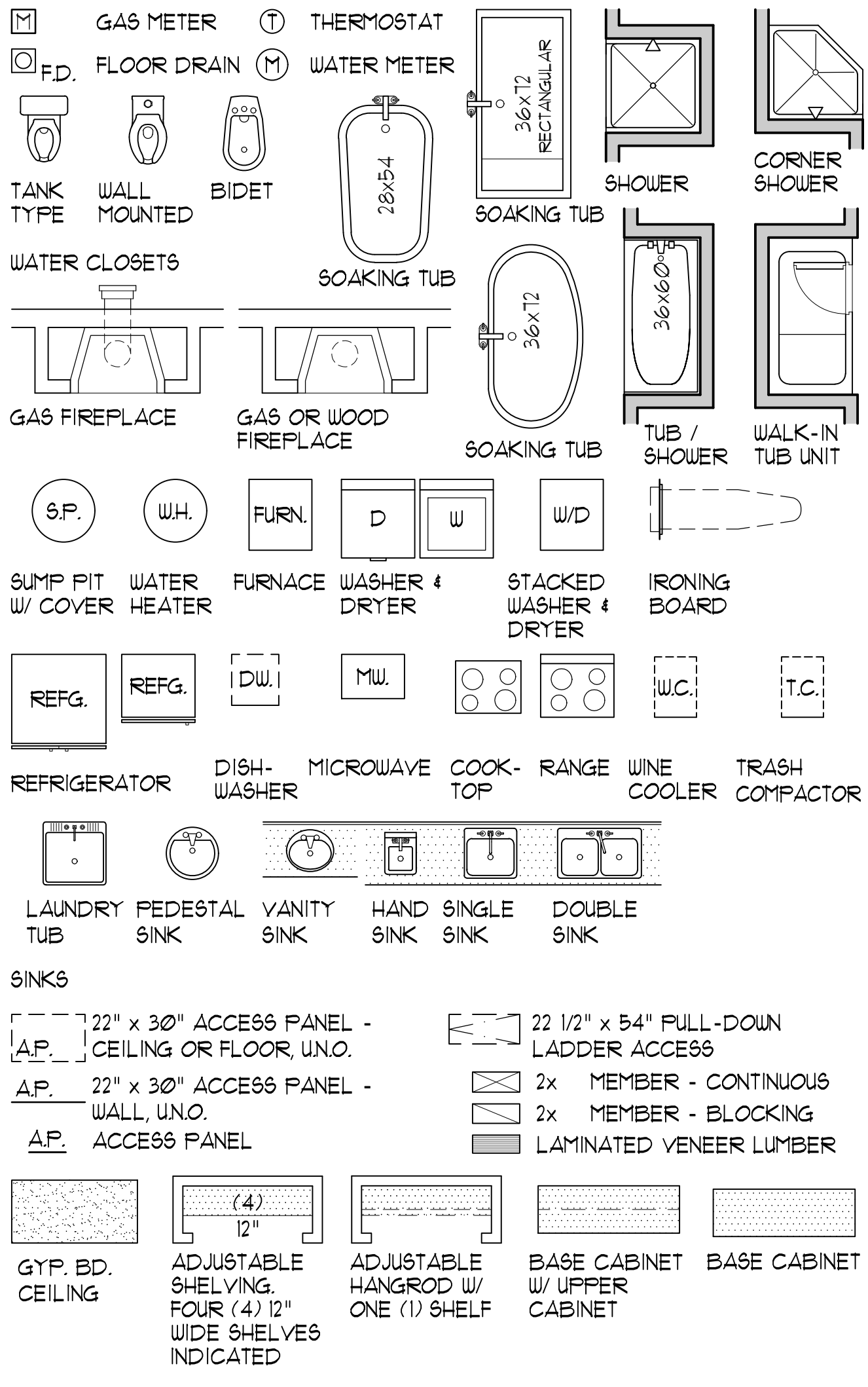


ABBREVIATIONS

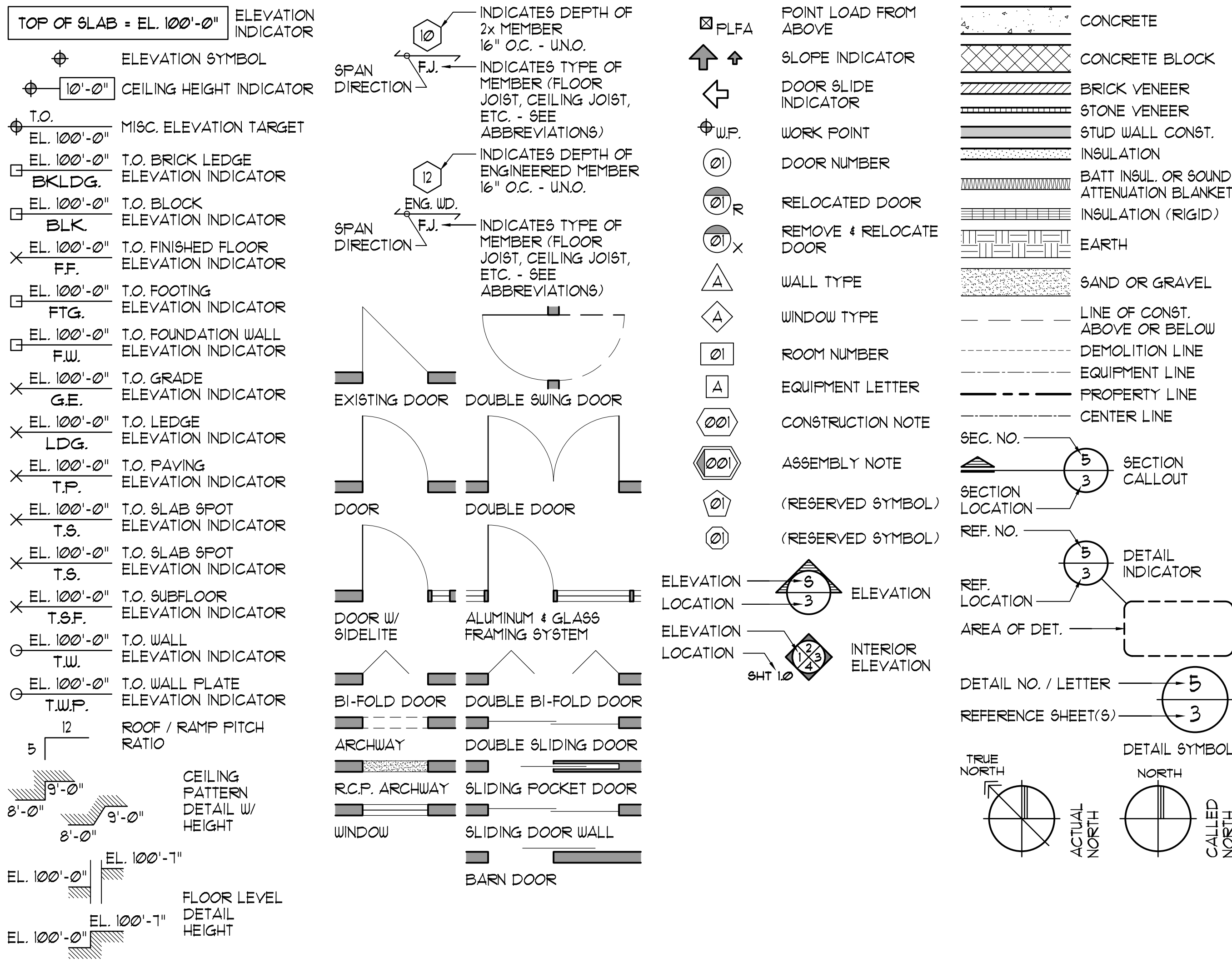
NOTE: SEE SHEET NO. ACC FOR ADDITIONAL ABBREVIATIONS

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	MISC.
ABREV. ABBREVIATION	BP BEARING PLATE	CONG. CONSTRUCTION	D. DIMMER	EL. ELEVATION	FT. FOOT / FEET	GA. GAUGE	H. HIGH	I / I IN TO IN	JAN. JANITOR	KIT. KITCHEN	LA. LANDSCAPE AREA	MACH. MANUFACTURER	NA. NOT APPLICABLE	OH. OVERHEAD / OVERHANG	P.C. PRECAST	QT. QUARRY TILE	R. RIGER / RELOCATE	SA. SUPPLY AIR	T. TREAD	UL. UNDERWRITERS LABORATORIES	V. VOID	W. WIDE	X BY	# AND
A/C AIR CONDITIONING	BRG. BEARING	CONT. CONTINUE / CONTINUOUS	DEG. DEGREE	ELEC. ELECTRIC / ELECTRICAL	FTG. FOOTING	GALV. GALVANIZED	HB. HOSE BIB	I.C.F. INSULATED CONC. FORMS	JB. JUNCTION BOX	KP. KICK PLATE	LAM. LAMINATE / LAMINATED	MANIF. MANUFACTURER	NO. NUMBER	O/O OUT TO OUT	PEF.J. PRE-ENGINEERED F.J. / FL.J.	QUAL. QUALITY	RA. RETURN AIR	SAT.C. SAFETY ACROUSTIC TILE CLG.	T & B TOP & BOTTOM	UNEXC. UNEXCAVATED	VAN. VANITY	W. WITH	XJ. BY EXPANSION JOINT	#/ # NUMBER
ACCOM. ACCOMMODATE	BRK. BEARING	COORD. COORDINATE	DET. DETAIL	ELEV. ELEVATION	FURD. FURRED	GEN. GENERAL CONTRACTOR	H.C. HOLLOW CORE	ID. INSIDE DIAMETER	JC. JANITOR'S CLOSET		LAV. LAVATORY	MARB. MAREBLE	NOM. NOMINAL	OPNG. OPENING	PERF. PERFORATED	QUAN. QUANTITY	RAD. RADIUS	SAN. SANITARY	T.C. TOP OF CONCRETE / TRASH COMPACTOR	UNO. UNLESS NOTED OTHERWISE	V.C.T. VINYL COMPOSITE TILE	W/O. WITHOUT	W. WATER METER	#/ # REFERENCE SHEET #
ACOUS. ACOUSTIC / ACOUSTICAL	BRK. BRICK	COORD. COORDINATE	DF. DRINKING FOUNTAIN	ENCL. ENCLOSURE	FURG. FURRING	GE. GRADE ELEVATION	HD. HEAD	IN. INCH / INCHES	JT. JOINT		LB. POUND	MAS. MASONRY	NTS. NOT TO SCALE	OPF. OPPOSITE	PEF.T. PRE-ENGINEERED	R.C.P. REFLECTED CEILING PLAN	S.B. SETBACK	S.C. SOLID CORE	T.D. TOP OF DRAIN	URIN. / UR. URINAL	VER. VERTICAL	W.B.F.T.R. WOMEN'S BARRIER FREE	U.S.O. UNDERSIDE OF	AT AT
ACT. ACOUSTICAL CEILING TILE	BRKT. BRACKET	CORR. CORRIDOR	DIA. DIAMETER	ENG. ENGINEERED	FURN. FURNACE	GL. GLASS	HDR. HEADER	INCL. INCLUDE / INCLUSIVE			LDG. LEDGE	MATL. MATERIAL		OPF. HD. OPPOSITE HAND	RD. ROOF DRAIN	R.D. ROAD	S.C. SCHEDULE	T & G TONGUE & GROOVE	THK. THICK / THICKNESS	W.C. WATER CLOSET / WINE COOLER	W.D. WOOD			
ACM. ALUM. COMPOSITE MATERIAL	BSMT. BASEMENT	CPT. CARPET	DM. DIMENSION	EP. ELECTRIC PANEL	FURN. FURNACE	GM. GAS METER	HDW. HARDWARE	INSUL. INSULATION / INSULATED			LDGR. LEDGER	MAX. MAXIMUM		OPT. OPTIONAL	R.O. ROOF OPENING	R.O.U. RIGHT OF WAY	S.G. SAFETY GLASS	T.H. THRESHOLD	TR. TOP OF ROOF / TOILET RM	W.C. WATER CLOSET / WINE COOLER	W.G. WEIGHT			
ADJ. ADJACENT	BTUN. BETWEEN	C. / P.S. COMMUNICATION / PHONE SERVICE	DN. DINING	EQ. EQUAL	F.W. FOUNDATION WALL	GYP. GYPSUM	HGT. HEIGHT	INT. INTERIOR			LV. LIVING	MB.F.T.R. MEN'S BARRIER FREE TOILET ROOM		OPT. OPTIONAL	R.O.U. ROOF SUMP	R.T.G. RATING	SCHED. SCHEDULE	THRU. THROUGH	T.J. TRUS JOIST I-SERIES	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
ALT. ALTERNATE	B.W. BOTH WAYS	C.T. COLLAR TIE / CERAMIC TILE	D.O. DOOR OPENING	E.Q. EQUIPMENT	EQ. EQUAL		HID. HIGH INTENSITY DISCHARGE	INV. INVERT / INVERTED			L.V. LONG LEG VERTICAL			OPT. OPTIONAL	R.T.U. ROOF TOP UNIT	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	THRU. THROUGH	T.O. TOP OF	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
ALUM. ALUMINUM		C.T.S. CUT TO SIZE	DR. DOOR / DRIVE	E.S. ELECTRICAL SERVICE	EQ. EQUIPMENT		HM. HOLLOW METAL				L.L. LANDLORD			OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.O.S. TOP OF SLAB	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
AP. ACCESS PANEL			D.S. DOWN SPOUT	E.W. EACH WAY	E.Q. EQUIPMENT		HP. HIGH POINT				L.L.H. LONG LEG HORIZONTAL			OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.P. TOP OF PAVING	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
APPROX. APPROXIMATE			D.W. DISHWASHER	E.W.C. ELECTRIC WATER COOLER	E.Q. EQUIPMENT		HR. HANDRAIL				L.L.V. LONG LEG VERTICAL			OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.S. TOP OF SLAB SPOT ELEVATION INDICATOR	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
ARCH. ARCHITECTURAL			DWG. DRAWING	EW.C. ELECTRIC WATER COOLER	E.Q. EQUIPMENT		HR. HANDRAIL				L.P. LOW POINT			OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.S.F. TOP OF SUBFLOOR ELEVATION INDICATOR	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
ASPH. ASPHALT				EW.C. ELECTRIC WATER COOLER	E.Q. EQUIPMENT		HYAC. HEATING, VENTILATION & AIR CONDITIONING HYDRANT				L.T. LIGHT			OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.W. TOP OF WALL	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
AVE. AVENUE				EW.C. ELECTRIC WATER COOLER	E.Q. EQUIPMENT						L.V.L. LAMINATED VENEER LUMBER			OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.W.P. TOP OF WALL PLATE ELEVATION INDICATOR	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
				EW.C. ELECTRIC WATER COOLER	E.Q. EQUIPMENT									OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.W.P. TOP OF WALL PLATE ELEVATION INDICATOR	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			
				EW.C. ELECTRIC WATER COOLER	E.Q. EQUIPMENT									OPT. OPTIONAL	R.Y.S.B. REAR YARD SETBACK	SERV. SERVICE	SCHED. SCHEDULE	THRU. THROUGH	T.W.P. TOP OF WALL PLATE ELEVATION INDICATOR	W.C. WATER CLOSET / WINE COOLER	W.H. WATER HEATER			

MISCELLANEOUS SYMBOLS



ARCHITECTURAL SYMBOLS



Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

March 8, 2024

Bryan and Laura Dobbs
10199 Lakeside Dr.
White Lake, MI 48386

RE: Proposed Addition

Based on the submitted plans, the proposed 2nd story addition does not satisfy the White Lake Township Clear Zoning Ordinance. Additionally, all variances previously approved have expired.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance for R1-D requires: Minimum side yard setback of 10 feet one side and 20 feet total of two sides, a front yard setback of 30 feet, Minimum lot width of 80 feet, and minimum lot area of 12,000 square feet.

Article 5.3 of the White Lake Township Clear Zoning Ordinance states: said projection shall not extend more than five (5) feet into said required open spaces, and in no event will the projection be closer than five (5) feet to the lot line.

Based on a survey submitted in 2020, the existing structures and lot are non-conforming with a lot width of 58.07 ft. and lot area of 9,714 sq. ft. The site contains a residential structure having a 4.1 ft. side yard setback on the east side and a 4.2 ft. side yard setback on the west side. Further, the existing front yard setback is 6.7 ft. The proposed 2nd story addition would increase this non-conformity by adding living space within the required 10 ft. side yard setback. It is not clear from the submitted plans if the proposed addition encroaches the required 30 ft front yard setback. It should also be noted, any newly constructed projection must not extend into the 5 ft. side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the April 25th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than March 28th at 4:30 PM. **Be advised, a certified boundary and location survey showing the proposed structure will be required by the ZBA.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

A handwritten signature in black ink, appearing to read "Nick Spencer".

Nick Spencer, Building Official
White Lake Township

WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS VIRTUAL REGULAR MEETING
JANUARY 28, 2021

Ms. Spencer called the regular meeting of the White Lake Township Zoning Board of Appeals to order at 7:02 p.m. and led the Pledge of Allegiance. Roll was called:

ROLL CALL: Nik Schillack
 Debby Dehart
 Mike Powell
 Josephine Spencer – Chairperson
 Dave Walz – Vice Chair

Also Present: Justin Quagliata, Staff Planner
 Hannah Micallef, Recording Secretary
 Jason Hudson, White Lake Township Ordinance Officer
 Nick Spencer, White Lake Township Building Official

Visitors: 0

Approval of the Agenda:

Mr. Walz MOTIONED to approve the agenda as presented. Mr. Schillack supported and the MOTION CARRIED with a roll call vote (Walz/yes, Schillack/yes, Powell/yes, Spencer/yes, Dehart/yes).

Approval of Minutes:

Zoning Board of Appeals Special Meeting of December 17, 2020.

Mr. Schillack MOTIONED to approve the special meeting minutes of December 17, 2020 as presented. Mr. Powell supported and the MOTION CARRIED with a roll call vote (Schillack/yes, Powell/yes, Spencer/yes, Dehart/yes, Walz/yes).

New Business

a.	Applicant:	Robert Snapp 3960 Woodmere Drive Waterford, MI 48329
	Location:	8834 Arlington Road White Lake, MI 48386 identified as 12-13-176-002
	Request:	The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Side-Yard

Ms. Spencer noted for the record that 29 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Mr. Powell asked staff if the applicant made adjustments regarding the proposed width of the house. Staff Planner Quagliata said the bump out on the west side of the house was shrunk by 4/10 of a foot. Staff Planner Quagliata added the applicant could have changed the floorplan of the proposed home to achieve a larger setback.

Ms. Dehart asked staff if many of the parcels on the street were around 50' in width. Staff Planner Quagliata confirmed.

Mr. Snapp was present to speak on his case. He said he wanted the bump out on the house to create an architectural feature. He added houses around his had setbacks close to the road.

Mr. Powell asked the applicant about the bump out from the lake side of the house. Mr. Snapp said he did not think his proposal would be an issue since the neighbors around him had similar setbacks, and added the bump out could be seen from the road.

Mr. Walz asked staff what the lot coverage would be. Staff Planner Quagliata said 33%.

Chairperson Spencer opened the public hearing at 7:20 PM. Seeing no public comment, she closed the public hearing at 7:21 PM.

Mr. Powell asked staff how many feet there would be between the proposed house and the neighboring houses if the requested variances were approved. Staff Planner Quagliata said there would be 9.3' from the house to the west and 11.8' from the neighbor to the east.

Mr. Powell asked staff if the bump out on the west side was eliminated, would the applicant achieve a 10' setback from the neighboring house. Staff Planner Quagliata confirmed.

Mr. Walz asked the applicant how many people would be living in the proposed house. Mr. Snapp said four.

Mr. Powell MOVED to table the variance requests of Robert Snapp for Parcel Number 12-13- 176-002, identified as 8834 Arlington Road, to consider comments stated during this meeting.

Ms. Dehart SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):

Powell: YES.

Dehart: YES.

Schillack: YES.

Spencer: YES.

Walz: YES; the applicant would have time to work with the Planning Department to revise his plans.

- c. Applicant: Maria Elliott
 Location: **2115 Haley Road**
 White Lake, MI 48383
 identified as 12-16-401-024
 Request: The applicant requests to exceed the allowed number of equine animals on a 3.01-acre Suburban Farm zoned parcel, requiring variances from Article 4.2.B, Maintenance of Animals.

Ms. Spencer noted for the record that 29 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Ms. Dehart asked to be recused from the case due to a previous realtor relationship with the applicant. Mr. Schillack moved in favor to recuse Ms. Dehart. There was no support, and the motion failed. Ms. Dehart remained in the virtual meeting room.

Staff Planner Quagliata gave his staff report.

Mr. Powell asked staff if the Zoning Board of Appeals needed to approve both variances to modify the acreage requirement and address the number of animals. Staff Planner Quagliata said the request was published for flexibility, so just one of the variances could be approved.

Chairperson Spencer asked staff if the requested variance on acreage were granted, would the variance run with the land forever. Staff Planner Quagliata confirmed.

Mr. Schillack asked Chairperson Spencer if a motion could be made to allow the variance for the fourth animal to exist for the current owners, but cease upon the house changing occupants. Chairperson Spencer said the Zoning Board of Appeals could do so, but such situation would be hard to enforce.

Mr. Walz asked Chairperson Spencer if the motion could be dependent on the requested variance being allowed until the fourth animal passed away. Chairperson Spencer said that would be hard to enforce. Staff Planner Quagliata added the Township had one ordinance officer, and tracking animal welfare would be difficult.

Ordinance Officer Hudson said by granting the requested variance, a precedence could be made with other Class II animals. He said the minimum Class II animal allowance standard was made less restrictive in the past from five acres to two acres.

Mr. and Mrs. Elliot, 2115 Haley Road, were present to speak on their class. Ms. Elliot said she was not seeking a permanent variance. Two of her horses were older in age and couldn't be ridden due to their health issues. She was unaware of the animal allowance when she purchased the third horse. She said when one of the horses passed away, she would bring proof of their passing to the Township. She said the horses and donkey were all bonded.

Mr. Powell asked Mrs. Elliot about the relationship between herself and the animals. Mrs. Elliot said she had one of the horses for twenty-five years, and another for twenty-two years. The younger horse grew up with the elder horse. The donkey was rescued and suffered from separation anxiety and mental trauma.

Chairperson Spencer opened the public hearing at 8:26 PM. She read a letter of opposition into the record. Seeing no public comment, she closed the public hearing at 8:28 PM.

Mr. Walz asked the applicant to address the letter. Mrs. Elliot said she had purchased the fourth riding horse unaware of the maximum animal allowance, and the pasture and barn were clean.

Ms. Dehart asked staff if a complaint was received by another neighbor, and what it was for. Ordinance Officer Hudson said the complaint was two-fold: the pasture was not sufficient for all of the animals, and the applicant exceeded the allowable number of Class II animals.

Ms. Elliot said she hired someone to clear more wooded area for the animals to have additional room. Mr. Elliot said work would be done to their backyard in the summer for even more room.

Mr. Walz MOVED to approve the variances requested by Maria Elliot from Article 4, Section 2 of the Zoning Ordinance for Parcel Number 12-16-401-024, identified as 2115 Haley Road, in order to allow four (4) Class II animals on a 3.01-acre lot. This approval will have the following conditions:

- **The Applicant shall comply with all necessary standards for the maintenance of Class II animals found in Article 4, Section 2 of the White Lake Township zoning ordinance.**
- **No additional Class II animals shall be maintained on the property**
- **The allowance for a fourth Class II animal shall expire upon the death of one of the existing animals on the property.**
- **The applicant shall provide the Township a veterinarian certified death certificate upon the passing of one of the existing animals.**

Mr. Powell SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):

Walz: YES; for the reasons stated.

Powell: YES; the situation was unique.

Schillack: YES; there was not a precedent set.

Dehart: YES; for all the reasons stated.

Spencer: YES; the Zoning Board and staff worked with the applicants during the meeting for their unique situation.

Mr. Walz MOVED for a ten-minute recess. Mr. Powell supported. The Board returned at 9:11 p.m.

d.	Applicant:	Metro Detroit Signs 11444 Kaltz Avenue Warren, MI 48089
	Location:	9178 Highland Road White Lake, MI 48386 identified as 12-23-226-005
	Request:	The applicant requests to install a monument sign exceeding the allowed height, requiring a variance from Article 5.9.J.i, Regulations for Freestanding Signs in Non-Residential Districts.

Ms. Spencer noted for the record that 16 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report. At the January 19 meeting the Township Board introduced the first reading of a series of zoning ordinance amendments. A provision of the sign ordinance being amended increased the maximum sign height from six feet to seven feet. After the Township Board adopts the zoning amendments at its February meeting, the proposed sign height would be conforming. The property owner was informed of this change to sign policy and asked to proceed with the variance request. Based on the increased sign height which would soon be permitted, staff recommended approval of the requested variance. With the amended ordinance, the sign height variance would be void. Granting the variance would allow the applicant to begin installing the sign in advance of the amended ordinance taking effect.

Chairperson Spencer opened the public hearing at 9:16 PM. Seeing no public comment, she closed the public hearing at 9:16 PM.

Mr. Powell MOVED to approve the variance requested by Metro Detroit Signs from Article 5.9.J.i of the Zoning Ordinance for Parcel Number 12-23-26-005, identified as 9178 Highland Road, in order to install a monument sign that would exceed the allowed height by 7.68 inches. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **All nonconforming signs shall be removed from the property.**

Mr. Schillack SUPPORTED, and the motion carried with a roll call vote (5 yes votes)

Powell: YES.

Schillack: YES.

Spencer: YES.

Dehart: YES.

Walz: YES.

e.	Applicant:	James Stanecki
	Location:	8884 Cooley Lake Road White Lake, MI 48386 identified as 12-36-351-027
	Request:	The applicant requests to divide a parcel of land, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width.

Ms. Spencer noted for the record that 37 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Ms. Dehart asked staff if the proposed lots would be serviced by sewer. Staff Planner Quagliata confirmed, the current house was serviced by sewer. Staff Planner Quagliata added the lots were combined around 1989.

Chairperson Spencer asked staff if the current parcel were divided, would two nonconforming lots be created. Staff Planner Quagliata confirmed.

Mr. Schillack asked staff what the side yard setbacks would be for the proposed lots. Staff Planner Quagliata said the applicant's intention was to build a house on the proposed Parcel B, and the applicant mentioned appearing before the Zoning Board of Appeals in the future for setback variances for said house.

Mr. Stanecki was present to speak on his case. He said he wanted to split the lot with the goal of building his retirement home. He added while the proposed lots would be nonconforming, his proposed split lots would be bigger than most lots on the lake.

Ms. Dehart asked staff if the lots could be split in accordance to the way they were originally platted. Staff Planner Quagliata said no, because reverting to the original plats would create a nonconforming house.

Chairperson Spencer opened the public hearing at 9:41 PM. Seeing no public comment, she closed the public hearing at 9:41 PM.

Mr. Walz MOVED to deny the variances requested by James Stanecki for Parcel Number 12-36-351-027, identified as 8884 Cooley Lake Road, due to the following reason(s):

- **The request was a self-imposed hardship.**

Mr. Schillack SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):

Walz: YES; this was a self-imposed hardship and the applicant was not prevented from unreasonable access to his existing home.

Schillack: YES; this was a self-imposed hardship

Dehart: YES; this was a self-imposed hardship and the Zoning Board of Appeals could not create two nonconforming lots.

Powell: YES; there was no demonstration of practical difficulty and the situation was not unique. The situation was self-created and the applicant was able to expand his current home on his current lot.

Spencer: YES; this was a self-imposed hardship and the Zoning Board of Appeals was not denying the applicant substantial justice of his property.

f.	Applicant:	Matthew Slicker
	Location:	408 Burgess Drive White Lake, MI 48386 identified as 12-27-427-004
	Request:	The applicant requests to construct garage and living space additions to a single-family house, requiring variances from Article 3.1.5.E, R1-C Single Family Residential Side-Yard Setback and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures will be required due to both the value of improvements and the increase in cubic content

Ms. Spencer noted for the record that 37 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Chairperson Spencer asked staff if the new garage would be in the same footprint of the existing garage. Staff Planner Quagliata said the garage would be increased in size and currently the wall was 4.8' from the side yard lot line, with the roof overhang around 3.8' from the side lot line. The new garage wall would be 6' from the side yard lot line, with the roof overhang 5' from the side lot line. The new garage would be 33' deep.

Mr. Schillack asked staff if the requested variances would increase or decrease the nonconformities of the lot. Staff Planner Quagliata said the nonconformities would be increased. He also added although the proposed plans would improve the side yard setback, the expansion of cubic content to the garage would be increasing the nonconformity.

Mr. Schillack asked staff how close would the proposed garage be to the neighboring house on the west. Staff Planner Quagliata said around 20'.

Mr. Slicker was present to speak on his case. He was seeking the requested variances in order to have a garage where he could store more than just his vehicle and boat. He wanted to create a second story above the garage to create additional living and storage space. There would be a staircase within the garage that would take up 3'-4' of the proposed 33' depth of the garage.

Mr. Walz asked the applicant if the garage was for additional storage and living space. Mr. Slicker confirmed. Mr. Walz asked staff if the storage and living space would be an issue. Staff Planner Quagliata said it would not.

Mr. Powell asked the applicant where the septic field was and where the tanks were. Mr. Slicker said the septic field was up the hill, and the septic tanks were 10' off the proposed garage wall.

Ms. Dehart asked the applicant where the proposed addition's staircase would be. Mr. Slicker said the opening of the staircase would be internal to the house, but the staircase itself would be in the garage.

Chairperson Spencer opened the public hearing at 10:03 PM. Seeing no public comment, she closed the public hearing at 10:03 PM.

Mr. Schillack MOVED to deny the variances requested by Matthew Slicker for Parcel Number 12-27-427-004, identified as 408 Burgess Drive, due to the following reason(s):

- **This was a self-imposed hardship.**

Mr. Powell supported and the MOTION CARRIED with a roll call vote (3 yes votes):

Schillack: YES; this was a self-imposed hardship.

Powell: YES; the situation was not unique and it was a self-imposed hardship.

Dehart: NO; the side yard setback would be improved.

Walz: NO; he believed a hardship existed and the encroachment into the setback would be reduced.

Spencer: YES; there was no practical difficulty.

Other Business

a. Bylaw Amendments

Staff Planner Quagliata said the bylaws had not been updated in over twenty years, and there were three major changes: the term limits for chair and vice chair were eliminated, business or public hearing would not be taken up after 10 PM without approval from the chair, and the agenda would be limited to six public hearings per meeting.

Mr. Schillack asked staff if meetings twice a month should be considered, as the meetings consistently had a full caseload in recent months. Staff Planner Quagliata suggested asking the Township Board to start meetings at 6:00 PM. Mr. Walz said commitments of the applicants and the rest of the Zoning Board of Appeals would need to be considered.

Mr. Schillack MOVED to approve the bylaws as presented. Ms. Dehart SUPPORTED and the motion CARRIED with a roll call vote (Schillack/yes, Dehart/yes, Spencer/yes, Walz/yes, Powell/yes).

b. Election of Officers

Mr. Schillack MOVED to elect Josephine Spencer as Chairperson of the Zoning Board of Appeals and David Walz as Vice Chairperson of the Zoning Board Appeals for 2021. Mr. Powell SUPPORTED and the motion CARRIED with a roll call vote (Schillack/yes Powell/yes, Dehart/yes, Spencer/yes, Walz/yes).

c. Survey Requirement Resolution

Mr. Schillack MOVED to approve the survey requirement resolution. Mr. Walz supported, and the MOTION CARRIED with a roll call vote (Schillack/yes, Powell/yes, Spencer/yes, Walz/yes, Dehart/yes).

Adjournment: Ms. Dehart MOTIONED to adjourn the meeting at 10:34 P.M. Mr. Walz SUPPORTED. All in favor.

Next Meeting Date: February 25, 2021