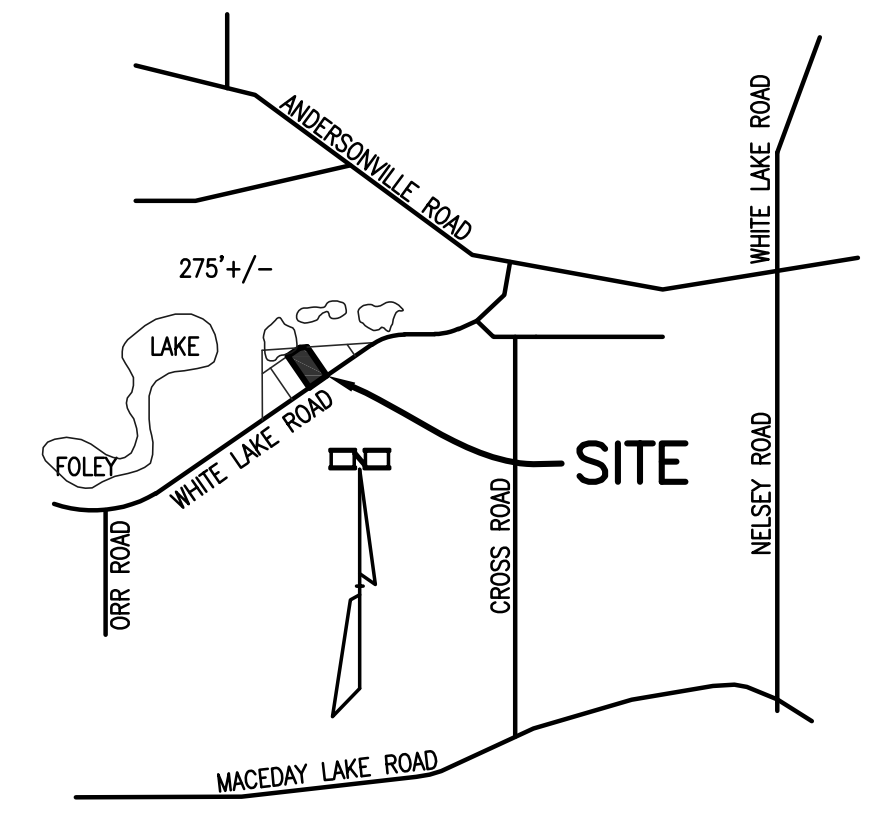


# PRELIMINARY SITE PLAN

## LASTING IMPRESSIONS

PART OF SECTION 1, T3N, R8E,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN



**LOCATION MAP**  
SCALE: 1" = 2000'



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C1.02	FIRE SAFETY SITE PLAN
C1.21	PRELIMINARY GRADING PLAN
C1.31	PRELIMINARY UTILITY PLAN
C5.01	DETAILS - PAVING, SIGNS, & WALK
C5.02	DETAILS - DUMPSTER ENCLOSURE & FENCING
A2.0	NEW FIRST FLOOR PLAN
A3.0	NEW ELEVATIONS
A3.1	NEW ELEVATIONS
A4.0	WALL SECTION

### WHITE LAKE TOWNSHIP STANDARD SITE CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE CHARTER TOWNSHIP.
- THE DEVELOPER SHALL CONTACT THE TOWNSHIP PLANNING DEPARTMENT, AT (248) 698-3300, TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE DEVELOPER'S PRIME SITE CONTRACTOR SHALL ATTEND. A COPY OF ALL PERMITS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT PRIOR TO SCHEDULING THE MEETING.
- THE CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER, AT (248) 681-7800, 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL KEEP THE INSPECTOR APPRAISED OF THE NEED FOR INSPECTION ON A DAY BY DAY BASIS. LACKING SPECIFIC SCHEDULING WITH THE INSPECTOR, THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO THE TOWNSHIP ENGINEER PRIOR TO RE-COMMENCING WORK REQUIRING INSPECTION. FAILURE TO INFORM THE INSPECTOR OR THE TOWNSHIP ENGINEER OF A WORK CANCELLATION MAY RESULT IN A ONE HALF DAY INSPECTION CHARGE TO THE DEVELOPER. THE CONTRACTOR SHALL CALL (248) 844-5400 TO SCHEDULE SANITARY SEWER MAIN LINE INSPECTION.
- ALL WATER MAIN OR SANITARY SEWER WORK WILL REQUIRE FULL TIME INSPECTION. FULL TIME INSPECTION WILL GENERALLY BE REQUIRED FOR UNDERGROUND STORM SEWER CONSTRUCTION, CONCRETE CURBING, AND PAVING OPERATIONS. SITE GRADING AND DETENTION BASIN CONSTRUCTION WILL GENERALLY BE INSPECTED ON AN INTERMITTENT BASIS.
- THE CONTRACTOR SHALL CONTACT MISS DIG, AT (800) 482-7171, 72 HOURS IN ADVANCE OF CONSTRUCTION TO HAVE EXISTING UNDERGROUND FACILITIES LOCATED. CONTRACTOR SHALL CONTACT THE WHITE LAKE TOWNSHIP WATER DEPARTMENT, AT (248) 698-3300 EXT 165, SEPARATELY 72 HOURS IN ADVANCE OF CONSTRUCTION TO HAVE WATER UTILITIES LOCATED.
- ALL OFF-SITE IMPROVEMENTS WILL BECOME PUBLIC PROPERTY.

### APPROVALS

AGENCY	DESCRIPTION	PERMIT NO.	DATE	EXPIRATION DATE
WHITE LAKE TOWNSHIP - PLANNING & ENGINEERING	PRE-APPLICATION MEETING	REVIEW ONLY	11/29/2023	
WHITE LAKE TOWNSHIP - PLANNING COMMISSION	PRELIMINARY SITE PLAN APPROVAL & SPECIAL LAND USE			
WHITE LAKE TOWNSHIP - TOWNSHIP BOARD	PRELIMINARY SITE PLAN APPROVAL			
WHITE LAKE TOWNSHIP - ZONING BOARD OF APPEALS	VARIANCE REQUESTS			
WHITE LAKE TOWNSHIP - PLANNING COMMISSION	FINAL SITE PLAN APPROVAL			
WHITE LAKE TOWNSHIP - DLZ	ENGINEERING APPROVAL			
WHITE LAKE TOWNSHIP - BUILDING DEPARTMENT	FENCE PERMIT			
WHITE LAKE TOWNSHIP - COMMUNITY DEVELOPMENT DIRECTOR	SIGN PERMIT			
OAKLAND COUNTY - WATER RESOURCE COMMISSIONER	PART 91 SESC PERMIT			
OAKLAND COUNTY - HEALTH DIVISION	ONSITE SEWAGE DISPOSAL SYSTEM (SEPTIC) PERMIT			
OAKLAND COUNTY - HEALTH DIVISION	TYPE III DRINKING WATER WELL PERMIT			
STATE OF MICHIGAN - EGLE	N.P.D.E.S. NOTICE TO COVER			
		NOT REQUIRED FOR DISTURBANCE < 5 ACRES		

### PROPRIETOR

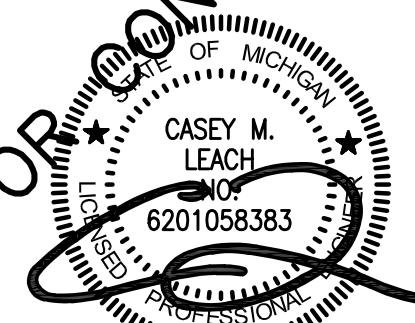
HOPSON HOLDINGS, LLC  
2255 PORTER ROAD  
WHITE LAKE, MI 48386  
PH: (248) 830-2828  
CONTACT: NICHOLAS HOPSON  
EMAIL: LASTINGIMPRESSIONSLANDSCAPE@YAHOO.COM

### ARCHITECT

J&A ARCHITECTURAL ENGINEERING  
3250 W. BIG BEAVER RD., STE. 510  
TROY, MI 48084  
PH: (248) 282-6475  
CONTACT: JAY NOONAN, R.A.  
EMAIL: JNOONAN@JAARCHENG.COM

### ENGINEER & SURVEYOR

KIEFT ENGINEERING, INC.  
5852 S. MAIN ST., STE. 1  
CLARKSTON, MI 48346  
PH:(248) 884-8224  
CONTACT: CASEY LEACH, P.E.  
EMAIL: CLEACH@KIEFTENG.COM



NOT FOR CONSTRUCTION

LASTING IMPRESSIONS

### REVISION INDEX

REV.	DESCRIPTION	DATE	SHEET NUMBERS											
			G0.01	V1.01	C0.01	C1.01	C1.02	C1.21	C1.31	C5.01	C1.02			
0	SURVEY ISSUED	07/19/2023		X										
1	OWNER REVIEW	10/03/2023			X									
2	PRE-APP MEETING	11/13/2023			X									
3	FIRE SAFETY	11/29/2023			X									
4	PRELIMINARY SITE PLAN	04/19/2024	X	X	X	X	X	X	X	X	X	X	X	X
5	PSP REV. 1	06/21/2024	X	X	X	X	X	X	X	X	X	X	X	X

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**KIEFT ENGINEERING, INC.**  
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS  
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346  
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

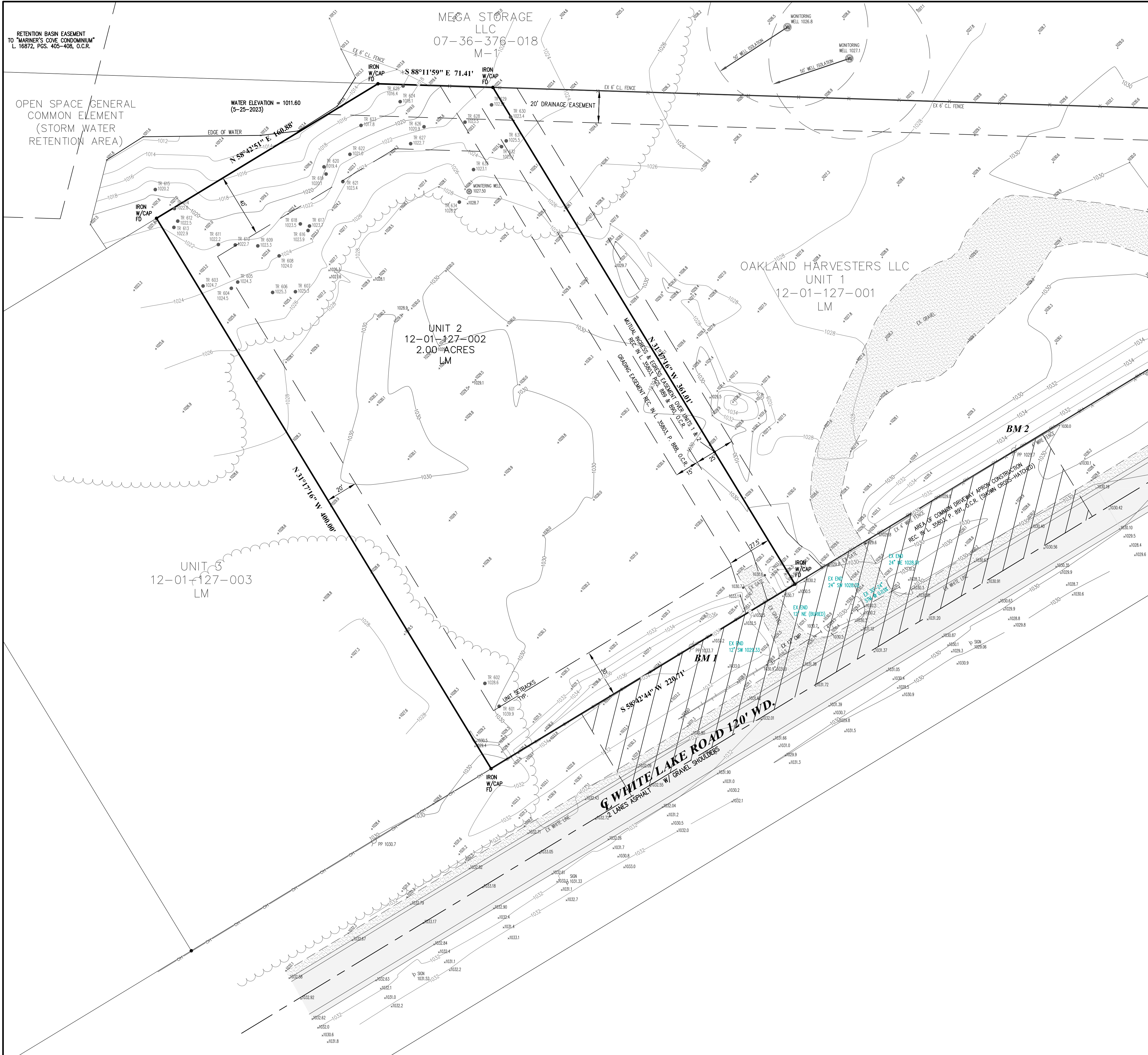
DATE: 04/01/24	CKD. BY: CL	DATE: 04/01/24
DRAWN: CL	CL	
DESIGN: CL		
SECTION: 1	T- 3 -N- R- 8 -E-	



**COVER SHEET**  
**LASTING IMPRESSIONS**  
PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE: AS SHOWN  
SHEET NO: G0.01  
**KE 2023.104**



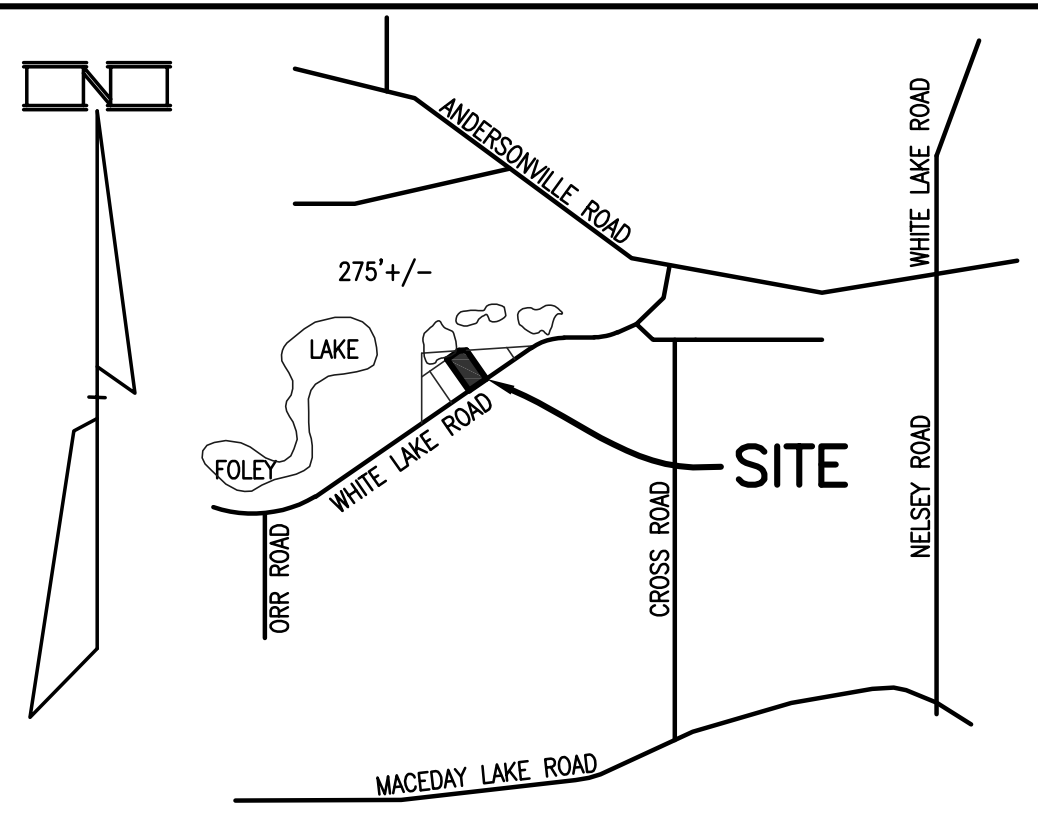


**LEGEND**

EXISTING	STORM SEWER
GAS	GAS MAIN
E	ELEC. TELE. CABLE
OH	OVERHEAD WIRES
	STORM MANHOLE
	CATCH BASIN
	INLET
	REARYARD CATCH BASIN
	END SECTION
	CONTOURS
	GRADE

**TREE LIST:**

601	20"	"	Elm
602	Tw 18"	"	Poplar
603	26"	"	Poplar
604	Tw 6"	"	Box Elder
605	6"	"	Box Elder
606	7"	"	Box Elder
607	8"	"	Box Elder
608	6"	"	Box Elder
609	8"	"	Tree of Heaven
610	26"	"	Poplar
611	6"	"	Tree of Heaven
612	22"	"	Poplar
613	30"	"	Poplar
614	Tw 30"	"	Poplar
615	36"	"	Tree of Heaven
616	36"	"	Poplar
617	36"	"	Poplar
618	Quad 14-30	"	Poplar
619	36"	"	Poplar
620	12"	"	Poplar
621	Tw 20"	"	Box Elder
622	36"	"	Poplar
623	12"	"	Box Elder
624	12"	"	Box Elder
625	36"	"	Willow
626	30"	"	Poplar
627	12"	"	Tree of Heaven
628	24"	"	Poplar
629	Tw 8-12"	"	Box Elder
630	8"	"	Tree of Heaven
631	10"	"	Locust
632	10"	"	Locust
633	Tw 8"	"	Tree of Heaven
634	7"	"	Box Elder



**LOCATION MAP**  
SCALE: 1" = 2000'

**SITE INFORMATION:**  
LOT GROSS AREA: 2.00 ACRES

**ZONING INFORMATION:**  
ZONING DISTRICT: LM LIGHT MANUFACTURING  
MINIMUM LOT SIZE: 43,560 SF (1.00 AC), CONFORMS  
MINIMUM LOT WIDTH: 175 FT, CONFORMS  
MAXIMUM BUILDING HEIGHT: 2 STORIES OR 40 FT

**SETBACKS: PER "PROSPECTORS SQUARE" O.C.C.P. NO. 1315**

FRONT	REAR	SIDES	PARKING
30 FT	40 FT	20 FT LEAST, 40 FT TOTAL	10 FT

MAXIMUM LOT COVERAGE: 30%

**BENCHMARKS:**  
BM 1: MAG NAIL IN EAST FACE OF POWER POLE  
EL. = 1034.67 NAVD 88  
BM 2: BOLT SPIKE ON NORTH FACE PF POWER POLE  
EL. = 1030.06 NAVD 88

**GENERAL NOTES:**

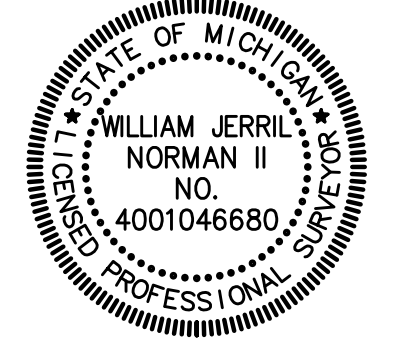
- EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM VISUAL OBSERVATION & RECORD MAPPING, WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY & COMPLETENESS OF OVERHEAD & UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
- BUILDER/DEVELOPER IS RESPONSIBLE FOR CONFIRMING BUILDING SETBACKS.

**WETLAND NOTE:**  
PART 303 WETLANDS, AS IDENTIFIED ON NW1 & MRS MAPS AS SHOWN ON THE EGLE WETLANDS MAP VIEWER APPEAR NEAR THE NORTH PROPERTY LINE OF THE PARCEL. THE EDGE OF WATER WAS FIELD LOCATED. A WETLAND DETERMINATION & DELINEATION HAS NOT BEEN PERFORMED.

**FLOOD HAZARD NOTE:**  
THE PROPERTY DESCRIBED ON THIS PLAN DOES NOT APPEAR TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) BASED ON FLOOD INSURANCE RATE MAP (FIRM) NO. 26125C0329P BARING AN EFFECTIVE DATE OF 9/28/2006.

THIS IS TO CERTIFY THAT I, William J. Norman II, A PROFESSIONAL LAND SURVEYOR, HAVE THIS DATE MADE A SURVEY OF A PARCEL OF LAND DESCRIBED AS FOLLOWS:

**LEGAL DESCRIPTION:**  
UNIT 2, "PROSPECTORS SQUARE" O.C.C.P. NO. 1315, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN.  
PARCEL#: 12-01-127-002  
ADDRESS: NOT ASSIGNED



DATE	ISSUE
07/19/23	SURVEY ISSUED
06/21/24	PSP REV. 1

**PROPRIETOR:**  
HOPSON HOLDINGS, LLC  
2255 PORTER ROAD  
WHITE LAKE, MICHIGAN 48383  
(248) 830-2828

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5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346  
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE: 06/30/23	CKD. BY: WJN	DATE: 06/30/23
DRAWN: GF		
DESIGN: CL		
SECTION: 1	T- 3 -N- R- 8 -E-	



**BOUNDARY & TOPOGRAPHIC SURVEY**  
**LASTING IMPRESSIONS**  
PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE: 1" = 30'
SHEET NO: V1.01
KE 2023.104

LASTING IMPRESSIONS



CIVIL GENERAL NOTES

- 1. PRIOR TO SUBMITTING PROPOSAL, VERIFY ALL CONDITIONS GOVERNING OR AFFECTING THE CIVIL WORK; OBTAIN & VERIFY ALL DIMENSIONS TO ENSURE THE PROPER FIT & LOCATION OF THE CIVIL WORK, TAKE ADDITIONAL DIMENSIONS AS REQUIRED; REPORT TO THE ENGINEER ANY & ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION & COMPLETION OF THE WORK; FAMILIARIZE YOURSELF WITH THE ACTUAL CONDITIONS OF THE CIVIL WORK, ACCESS TO THE SITE, AVAILABLE STORAGE SPACE, FACILITIES & OBSTRUCTIONS THAT MAY BE ENCOUNTERED DURING THE PROGRESS OF WORK.
2. CONTRACTOR TO FURNISH ALL NECESSARY LABOR, MATERIAL, EQUIPMENT & FACILITIES TO FURNISH, FABRICATE & PERFORM THE REQUIRED CIVIL WORK.
3. ANY EXISTING CONSTRUCTION TO BE MODIFIED AS A PART OF THIS CONTRACT SHALL BE REBUILT AS REQUIRED TO THE SATISFACTION OF THE OWNER/ENGINEER.
4. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH CONSTRUCTION IS DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, THE EXISTING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED & TO THE SATISFACTION OF THE OWNER/ENGINEER.
5. ALL WORK SHOWN ON THESE DRAWINGS MAY BE CHECKED BY AN INDEPENDENT TESTING AGENCY RETAINED BY OWNER TO ENSURE COMPLIANCE WITH THE REQUIREMENTS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ACCESS AS REQUIRED FOR TESTING PURPOSES.
6. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD VISITS FOR INSPECTION, MEASUREMENTS & VERIFICATION OF EXISTING CONDITIONS.
7. THE GENERAL CIVIL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS & SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS, SPECIFICATION, &/OR THE GENERAL CIVIL NOTES, THE STRICTEST PROVISION AS DETERMINED BY THE ENGINEER SHALL GOVERN.
8. WORK THE CIVIL DRAWINGS IN CONJUNCTION WITH ANY ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, LANDSCAPING, & ELECTRICAL DRAWINGS.
9. ALL WORK SHALL CONFORM TO APPLICABLE STATE & LOCAL CODES.
11. THE CONTRACTOR SHALL COMPLY WITH THE CONSTRUCTION SAFETY STANDARDS & THE OCCUPATIONAL SAFETY STANDARDS (OSHA) AS ISSUED BY THE U.S. DEPARTMENT OF LABOR & THE MICHIGAN DEPARTMENT OF LABOR (MIOSHA).
12. MATERIALS & WORKMANSHIP SHALL COMPLY WITH APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS, & UTILITY COMPANY REGULATIONS.
13. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL THE EXISTING CONDITIONS AT THE SITE INCLUDING UTILITIES, SERVICES, ETC. & SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO BOTH EXISTING, NEW CONSTRUCTION, PROPERTY & ANY UNAUTHORIZED DISRUPTION TO ADJACENT OWNERS NORMAL USE OF UTILITIES, SERVICES, & THE SURROUNDING FACILITIES.
14. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION PRIOR TO MAKING CHANGES TO, OR INTERRUPTIONS OF UTILITIES & SHALL COMPLY WITH SPECIAL INSTRUCTIONS FROM THE OWNER TO MINIMIZE THE EFFECT ON THEIR OPERATIONS. PRIOR TO ANY EXCAVATION, EARTH MOVING WORK OR REMOVAL OF ANY PIPE FROM SERVICE, THE CONTRACTOR SHALL REVIEW WITH THE OWNER'S REPRESENTATIVE THE LOCATION OF THE UNDERGROUND UTILITIES, SERVICE & STRUCTURES IN THE AREA WHERE THE WORK IS BEING PERFORMED. PROVIDE FULL TIME SUPERVISION DURING ALL EXCAVATION & EARTH MOVING OPERATIONS & TAKE ALL RESPONSIBLE PRECAUTIONS TO PROTECT EXISTING UTILITIES, SERVICES & OPERATIONS FROM DAMAGE OR DISRUPTION.
15. PROVIDE BARRIER PROTECTION FOR VEHICULAR & PEDESTRIAN TRAFFIC AT EXCAVATIONS. TEMPORARY FENCING, BARRICADING & PEDESTRIAN ROUTING SHALL BE COORDINATED WITH & APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
16. FOR PROTECTION OF UNDERGROUND UTILITIES THE CONTRACTOR SHALL CALL "MISS DIG" AT 800-482-7171 OR 811, A MINIMUM OF THREE DAYS PRIOR TO EXCAVATION ON THE SITE. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THIS ROUTINELY BE NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF NOTIFYING UTILITY OWNER'S WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
17. DISPOSE OF ALL EXCAVATED SOILS & WASTE MATERIALS (NEW & EXISTING) OFF SITE IN A LEGAL MANNER.
18. PERFORM FINAL CLEANUP OF WORK AREAS TO THE SATISFACTION OF THE OWNER.

CONTROL

- 1. TOPOGRAPHIC INFORMATION: EXISTING INFORMATION IS BASED ON A TOPOGRAPHIC SURVEY BY KIEFT ENGINEERING, INC. DATED JULY 19, 2023, SUPPLEMENTED BY RECORD DRAWINGS & FIELD OBSERVATIONS.
2. VERTICAL CONTROL: ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM. THE BENCH MARKS USED ARE SHOWN ON THE TOPOGRAPHIC SURVEY.
3. LAYOUT: LOCATE NEW CONSTRUCTION BY MEASUREMENTS FROM CONNECTING AREAS OF EXISTING BUILDINGS, & ENGAGE THE SERVICES OF A PROFESSIONAL SURVEYOR TO ASSIST IN LAYOUT, & CONSTRUCTION STAKING. CONFIRM HORIZONTAL & VERTICAL CONTROL POINTS PRIOR TO CONSTRUCTION.

CLEARING, GRUBBING & EARTHWORK

- 1. AT THE START OF EARTHWORK OPERATIONS, ALL SURFACE VEGETATION SHALL BE CLEARED & THE EXISTING TOPSOIL & ANY OTHER ORGANIC SOILS SHALL BE REMOVED IN THEIR ENTIRETY FROM BELOW THE PROPOSED BUILDING & PAVEMENT AREAS. EXISTING RANDOM CONCRETE & OTHER DEBRIS SHALL BE REMOVED FROM WITHIN THE BUILDING AREA. REMOVE STUMPS TO 12 INCHES BELOW FINAL GRADE IN FUTURE LAWN AREAS, & REMOVE STUMPS ENTIRELY FROM FUTURE PAVED & BUILDING AREAS. DISPOSE OF VEGETATIVE MATTER & DEBRIS OFFSITE.
2. ALL COMPACTED SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED WITH A HEAVY RUBBER-TIRED VEHICLE SUCH AS A LOADED SCRAPER OR LOADED DUMP TRUCK. ANY AREAS THAT EXHIBIT EXCESSIVE PUMPING & YIELDING DURING PROOF-ROLLING SHALL BE STABILIZED BY AERATION, DRIVING & COMPACTION IF WEATHER CONDITIONS ARE FAVORABLE, OR REMOVAL & REPLACEMENT WITH ENGINEERED FILL. ALL COMPACTED SUBGRADE SHALL BE COMPACTED TO 95% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR METHODS (ASTM D-1557).
3. ALL EXCAVATIONS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE WHO SHALL BE CONSULTED WHEN POOR SOIL, WATER, OBSTRUCTIONS, PIPING, EXISTING FOOTINGS, EXCAVATIONS, ETC., ARE ENCOUNTERED.
4. CONTRACTOR SHALL FURNISH ALL REQUIRED DEWATERING EQUIPMENT TO MAINTAIN A DRY EXCAVATION UNTIL BACKFILL IS COMPLETE.
5. MATERIAL FOR BACKFILL OR ENGINEERED FILL REQUIRED TO ACHIEVE DESIGN GRADES SHOULD CONSIST OF NON-ORGANIC SOILS. THE ON-SITE SOILS THAT ARE FREE OF ORGANIC MATTER & DEBRIS MAY BE USED FOR ENGINEERED FILL WITH ENGINEER'S APPROVAL.
6. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF ITS MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557, IN LIFTS NOT EXCEEDING 8-INCHES IN LOOSE THICKNESS.
7. FROZEN MATERIAL SHALL NOT BE USED AS FILL, NOR SHALL FILL BE PLACED ON FROZEN SUB-GRADE.

CLEARING, GRUBBING & EARTHWORK CONT.

- 8. DO NOT PLACE BACKFILL AGAINST FOUNDATION WALLS UNTIL FIRST FLOOR LEVEL SLABS ARE IN PLACE & HAVE REACHED 75% OF THEIR SPECIFIED DESIGN STRENGTH. SHORE & BRACE WALLS AS REQUIRED IF BACKFILLING OPERATIONS ARE TO BE CARRIED OUT PRIOR TO PLACEMENT OF FLOOR SLABS.
9. PLACE BACKFILL AGAINST BOTH SIDES OF GRADE BEAMS & FOUNDATIONS AT EQUAL ELEVATIONS OF FILL, EXCEPT AS SHOWN ON THE DRAWINGS.
10. CONSTRUCTION DRAINAGE: STORM WATER ACCUMULATED IN THE PROJECT SITE EXCAVATIONS IS TO DRAIN BY NATURAL PERCOLATION. PROVIDE PUMPING ONLY AS NECESSARY.
11. SLOPE SMOOTHLY BETWEEN INDICATED ELEVATIONS TO ACHIEVE POSITIVE DRAINAGE. SLOPE ALL EARTH BANKS 4:1 OR FLATTER.
12. NEW GRADES SHOWN ARE FINISHED GRADES & INCLUDES TOP OF TOPSOIL OR SURFACES SUCH AS PAVEMENTS & WALKS.
13. PROVIDE 6 INCHES OF TOPSOIL, SEED, & MULCH AT DISTURBED LAWN AREAS, EXCEPT AS NOTED OTHERWISE.
14. TREES: TREES NOT INDICATED TO BE REMOVED OR TRANSPLANTED SHALL BE FENCED OFF WITH 4' HIGH ORANGE CONSTRUCTION FENCE 10' FROM THE DRIP LINE OF THE TREE.
15. GREAT CARE SHALL BE TAKEN BY CONTRACTORS TO AVOID DAMAGE TO VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION & TO KEEP THE CONSTRUCTION AREAS TO A MINIMUM. DRIVING SHALL NOT BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
16. 17. TOPSOIL (REUSE EXISTING), SEED, FERTILIZE & MULCH LAWN AREAS DISTURBED BY NEW CONSTRUCTION. SEE LANDSCAPING PLANS FOR NEW LAWN SPECIES.

UTILITIES

1. MINIMUM COVER OF UNDERGROUND UTILITIES:

Table with 2 columns: Utility Type, Minimum Cover (FT). Includes Water (6.0 FT), Natural Gas (2.5 FT), Sanitary Sewers (4.0 FT), Storm Sewer (3.5 FT).

- PRESSURE UTILITIES MAY BE LAID APPROXIMATELY PARALLEL TO FINISH GRADE WITH NO HIGH POINTS, EXCEPT AS INDICATED, WITH LOCAL DEEPENING TO AVOID OTHER UTILITIES OR OBSTRUCTIONS. MAINTAIN COVER BELOW DITCHES & SURFACE DEPRESSIONS. PROVIDE TEMPORARY PROTECTION AS REQUIRED UNTIL COVER IS COMPLETED. INFORM OWNER'S REPRESENTATIVE IF AVAILABLE COVER, AT INDICATED ELEVATIONS, IS LESS THAN MINIMUM. VERTICAL CLEARANCE FOR ALL PIPES SHALL BE 18" MINIMUM FROM THE OUTSIDE OF PIPE.
2. EXISTING UTILITIES: INFORMATION HAS BEEN OBTAINED FROM EXISTING AVAILABLE DRAWINGS & SURFACE FEATURES SHOWN ON THE TOPOGRAPHIC SURVEY. VERIFY THE INFORMATION BEFORE CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES OR INTERFERENCES.
3. EXISTING UNDERGROUND ELECTRICAL LINES: THE CONTRACTOR SHALL BE RESPONSIBLE TO TRACE, FLAG, & MARK ALL UNDERGROUND ELECTRICAL LINES IN THE VICINITY OF THE AREA OF WORK PRIOR TO BEGINNING ANY DEMOLITION, EARTH MOVING, OR EXCAVATION. ALL BUILDING & UNDERGROUND STRUCTURES, ELECTRICAL MANHOLES, HAND HOLES, LIGHTS, PARKING METERS, GATES, SIGNS, MONUMENTS, & ALL OTHER SITE ITEMS THAT CAN REASONABLY BE OBSERVED FROM THE SURFACE SHALL BE INVESTIGATED TO DETERMINE THE PRESENCE OF ELECTRICAL LINES. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY ELECTRICAL LINES DAMAGED DUE TO CONTRACT OPERATIONS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
4. THE LOCATIONS & ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS & ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
5. PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS & CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION & SIZE. THE OWNER'S REPRESENTATIVE MAY CONFIRM, ADJUST OR REVERSE DESIGN ELEVATIONS OF THE PROPOSED UTILITIES.
6. UNDERDRAIN: PROVIDE TYPICAL UNDERDRAIN UNDER PAVEMENT AT NEW CATCH BASINS, INLETS & OUTLET CONTROL STRUCTURES RECEIVING SURFACE DRAINAGE. UNDERDRAIN SHALL HAVE A MINIMUM OF 2'-6" COVER & A MINIMUM SLOPE OF 0.5%. SEE DETAIL ON (\_\_\_\_).

GENERAL PAVING & CURBING NOTES

- 1. ALL HOT MIX ASPHALT & CONCRETE PAVEMENT SHALL CONFORM TO THE 2020 MDOT SPECIFICATIONS FOR CONSTRUCTION.
2. SURFACE RESTORATION: RESTORE PAVEMENT & OTHER SURFACES DISTURBED BY CONTRACT OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER.
3. PAVEMENT STRIPING: PROVIDE 4 INCH WIDE WHITE PAINT STRIPING STANDARD PARKING STRIPING,, & 4 INCH WIDE HANDICAP BLUE FOR ALL ACCESSIBLE PARKING STRIPING. ALL PARKING SPACE STRIPING SHALL BE DOUBLE STRIPED, MEETING THE ZONING ORDINANCE OF WHITE LAKE TOWNSHIP. ALL PAVEMENT LANE MARKINGS SHALL MEET THE REQUIREMENTS. ALL PAINT SHALL BE APPLIED PER MANUFACTURERS RECOMMENDATIONS.
4. PROVIDE TEMPORARY INTERMITTENT MARKING FOR NEW PARKING AREA WHILE PAVEMENT CURES & SEALING COATING IS APPLIED.
5. EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW CUT, FULL DEPTH, & RECTANGULAR.
6. WHEN PLACING NEW PAVEMENTS, MAINTAIN SLOPE OF EXISTING SURROUNDING SURFACES.
7. ALL NEW CURB SHALL BE PLACED ON 4" MIN. THICK BASE OF 21AA LIMESTONE COMPACTED TO 95% MAX. DENSITY PER ASTM D1557. BASE SHALL EXTEND 12" BEYOND BACK OF CURB. SUBGRADE SHALL BE PROOF-ROLLED/COMPACTED TO 95% MAX. DENSITY PER ASTM D-1557.

ASPHALT

- 1. AFTER FINAL ROLLING, PROTECT PAVEMENT FROM VEHICULAR TRAFFIC UNTIL THE SURFACE HAS COOLED SUFFICIENTLY TO ELIMINATE SURFACE ABRASION.
2. PAVEMENT SEALER - PROVIDE FOR ALL NEW ASPHALT PAVEMENT
A. PAVEMENT SEALER SHALL BE TARCONITE BY NEYRA INDUSTRIES, INC., OR APPROVED SUBSTITUTE. SEALER SHALL MEET FS R-P-355e PITCH, COAL TAR EMULSION (COATING FOR BITUMINOUS PAVEMENTS).

ALTERNATE NO. 1: PAVEMENT SEALER SHALL BE JENNITE BY NEYRA INDUSTRIES INC. OR APPROVED SUBSTITUTE SEALER SHALL BE MIXED WITH 6 POUNDS OF SAND PER GALLON OF SEALER. SURFACE CLEANING, PRIMING & NUMBER OF APPLICATIONS SHALL BE AS SPECIFIED FOR BASE BID. SEALER SHALL EXCEED FS R-P-355e.

ASPHALT CONT.

- A. PRIMER SHALL BE POLYPRIME PENETRATING PRIMER BY NEYRA INDUSTRIES, INC. OR APPROVED SUBSTITUTE.
B. CLEAN EXISTING SURFACES FREE FROM ALL LOOSE OR FOREIGN MATTER. COAT OIL SPOTS WITH ACRYLIC OIL SPOT PRIMER.
C. APPLY PRIMER AT MINIMUM RATE OF .015 GAL. OF CONCENTRATED POLYPRIMER PER SQUARE YARD. ALLOW PRIMER TO CURE FOR A MINIMUM OF ONE HOUR PRIOR TO APPLICATION OF TARCONITE.
D. SEALER SHALL BE FIELD MIXED WITH 5 POUNDS OF SAND PER 1 GALLON OF TARCONITE TO FORM HOMOGENEOUS SLURRY. SAND SHALL BE WASHED DRY SILICA SAND.
E. APPLICATION SYSTEM FOR MODERATE TRAFFIC: ONE COAT OF POLYPRIME PENETRATING PRIMER & TWO SAND-SLURRY COATS OF TARCONITE. APPLICATION SPECIFICATION JV-S2.
F. NEW PAVEMENTS SHALL BE ALLOWED TO CURE AT LEAST 30 DAYS PRIOR TO APPLICATION.
G. APPLICATION OF PAVEMENT SEALER SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
H. BARRICADE COATED AREAS UNTIL COATING IS DRIED SUFFICIENTLY FOR TRAFFIC.

CAST-IN-PLACE CONCRETE & CONCRETE PAVING

- 1. ALL CAST IN PLACE CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301-LATEST REVISION, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING", EXCEPT AS NOTED ON THE DRAWINGS.
2. ALL CONCRETE PAVEMENT WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 330- LATEST REVISION, "GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS", EXCEPT AS NOTED ON THE DRAWINGS.
3. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 psi.
4. ALL EXTERIOR CONCRETE INCLUDING WALLS SHALL BE AIR ENTRAINED 5% +/- 1%.
5. ALL EXTERIOR CONCRETE EXPOSED TO WEATHER SHALL HAVE A MAXIMUM WATER TO CEMENTITIOUS RATIO OF 0.45.
6. UNLESS NOTED OTHERWISE, MINIMUM CONCRETE COVER SHALL BE: CONCRETE CAST AGAINST EARTH 3 IN, CONCRETE EXPOSED TO EARTH OR WEATHER 2 IN, CONCRETE NOT EXPOSED TO EARTH OR WEATHER (SLABS, JOISTS, WALLS) 3/4 IN, CONCRETE NOT EXPOSED TO EARTH OR WEATHER (BEAMS, COLUMNS, PEDESTALS) 1 1/2 IN
7. THE CONTRACTOR SHALL FOLLOW THE JOINTING LAYOUT ON THE DRAWINGS, AND SHALL CONFORM TO ACI 330 GUIDE FOR DESIGN & CONSTRUCTION OF CONCRETE PARKING LOTS, LATEST EDITION AS WELL AS WHITE LAKE TOWNSHIP STANDARDS. ALL JOINTS SHALL BE SEALED W/ NON-SAG SILICONE JOINT SEALANT. SEE PAVING DETAILS FOR JOINT AND SEALANT DETAILS.
8. THE CONTRACTOR SHALL SUBMIT THE CONCRETE MIX DESIGN(S) TO THE ENGINEER FOR REVIEW. PROPORTION MIX DESIGNS AS DEFINED IN ACI 301 SECTION 4. THE SUBMITTAL SHALL INCLUDE AS A MINIMUM CEMENT TYPE & SOURCE, CEMENT CUBE STRENGTH, AGGREGATE GRADATIONS, WATER TESTS, AD-MIXTURE CATALOG INFORMATION & CYLINDER STRENGTH TEST RESULTS FOR THE CONCRETE.
9. ALL REINFORCEMENT TO BE DETAILED, FABRICATED & ERECTED ACCORDING TO THE ACI STANDARDS: "DETAILS & DETAILING OF CONCRETE REINFORCEMENT", ACI 315 - LATEST REVISION & "MANUAL OF ENGINEERING & PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES", ACI 315R - LATEST REVISION.
10. LAPS, ANCHORAGES & SPLICES SHALL COMPLY WITH THE REQUIREMENTS OF ACI 318-LATEST REVISION, SECTIONS 12.2 & 12.15. LOCATIONS & SPLICES SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION JOINT LOCATIONS, DETAILS & AS SHOWN ON THE REINFORCING STEEL SHOP DRAWINGS.
11. ALL CONSTRUCTION JOINTS SHALL BE FURNISHED WITH KEYWAY CENTERED ON MEMBERS. WHERE THE SIZE OF KEY IS NOT SHOWN ON THE DRAWINGS, THE KEY DEPTH SHALL BE 10% OF THE CROSS SECTION DIMENSION OF THE MEMBER - MINIMUM 3/4".
12. PROVIDE 3/4" CHAMFER STRIP AT ALL EXPOSED CORNERS OF CONCRETE WALLS, INCLUDING EXPOSED CORNERS OF CONCRETE PIERS.
13. LOCATE ALL SLEEVES, OPENINGS, EMBEDDED ITEMS, ETC., AS INDICATED ON THE DRAWINGS. THE CONCRETE CONTRACTOR SHALL CHECK WITH ALL OTHER TRADES TO MAKE SURE THE SLEEVES, OPENINGS & EMBEDDED ITEMS THAT ARE TO BE PROVIDED & SET BY THEM ARE IN PLACE PRIOR TO PLACING OF CONCRETE IN THE AREA INVOLVED.
14. ALL INTERIOR SLABS ON GRADE SHALL BE PLACED ON A VAPOR BARRIER WITH A MINIMUM OF 4-INCHES MDOT CLASS II GRANULAR MATERIAL (SAND). MINIMUM REINFORCEMENT SHALL BE IN ACCORDANCE WITH CRSI ENGINEERING DATA REPORT NUMBER 37, OR AS DETAILED. ALL EXTERIOR SLABS ON GRADE SHALL BE PLACED ON A MINIMUM OF 4-INCHES CLEAN SAND. MINIMUM REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318 SECTION 7.12 - SHRINKAGE & TEMPERATURE REINFORCEMENT, OR AS DETAILED.
15. CONTRACTORS SHALL OBTAIN APPROVAL FROM THE ENGINEER, PRIOR TO PLACING OPENINGS OR SLEEVES, NOT SHOWN ON THE DRAWINGS, THROUGH ANY STRUCTURAL MEMBERS, ROOF, WALLS OR FOUNDATIONS. REVIEW ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR BASES, OPENINGS, SLEEVES, ANCHORS, INSERTS, CONDUITS, RECESSES & OTHER DEVICES IN CONCRETE WORK BEFORE CASTING CONCRETE.
16. PROVIDE POCKETS OR RECESSES IN CONCRETE WORK FOR STEEL COLUMNS & BEAMS AS REQUIRED &/OR AS CALLED FOR IN THE SPECIFICATIONS EVEN IF NOT SHOWN ON THE DRAWINGS. PROVIDE CONCRETE FILL AFTER STEEL ERECTION TO SEAL OPENINGS.
17. REFER TO ARCHITECTURAL DRAWINGS FOR SLAB RECESSES &/OR FLOOR FINISH MATERIALS.
18. WELDING OF REINFORCING STEEL IS PROHIBITED UNLESS SPECIFICALLY DETAILED. WELDING SHALL CONFORM TO AWS D1.4 SPECIFICATION.
19. CONCRETE SHALL BE THOROUGHLY COMPACTED BY VIBRATION SUPPLEMENTED BY SPADING, PUDDLING OR AGITATION, TO PREVENT HONEYCOMBING & TO INSURE THE ELIMINATION OF VOIDS. VIBRATION MUST BE DIRECT ACTION IN THE CONCRETE & NOT AGAINST FORMS OR REINFORCEMENT. HONEYCOMBING, VOIDS & LARGE AIR POCKETS WILL NOT BE ACCEPTABLE.

SOIL EROSION & SEDIMENTATION CONTROL

- 1. COMPLY WITH THE REQUIREMENTS OF THE OAKLAND COUNTY WATER RESOURCE COMMISSIONER EROSION & SEDIMENTATION CONTROL PERMIT ALONG WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, & CITY LAWS, CODES, & REGULATIONS PERTAINING TO THE IMPLEMENTATION, MAINTENANCE, & DOCUMENTATION OF SEDIMENTATION & EROSION CONTROL PRACTICES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION, MAINTENANCE, & DOCUMENTATION OF SEDIMENTATION & EROSION CONTROL & STORM WATER QUALITY ISSUES RELATED TO THE PROJECT, AS REQUIRED & AS NECESSARY TO COMPLY WITH APPLICABLE LAWS, CODES, & REGULATIONS.
3. INSPECTIONS SHALL BE MADE WEEKLY & AFTER RAIN EVENTS TO DETERMINE THE EFFECTIVENESS OF EROSION & SEDIMENT CONTROL MEASURES. ANY NECESSARY IMPROVEMENTS OR REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
4. SEDIMENT & EROSION FROM ALL WORK AREAS SHALL BE CONTAINED ON THE SITE, AWAY FROM WETLANDS, OUTFALLS, WATERWAYS, & ENVIRONMENTALLY SENSITIVE AREAS. WATERWAYS INCLUDE BOTH NATURAL & MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, & PONDS.
5. MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE & LAWN AREAS ARE FULLY DEVELOPED.
6. PROVIDE JUTE MATTING OR NETTED MULCH ON TEMPORARY SLOPES 2:1 OR STEEPER. SEED & MULCH OTHER SLOPES TO REMAIN UNFINISHED FOR MORE THAN 14 DAYS.
7. REMOVE SEDIMENTATION & EROSION CONTROL MEASURES UPON COMPLETION OF PROJECT.
SEQUENCE OF EROSION & SEDIMENTATION CONTROL OPERATIONS:
1. A PERIMETER DEFENSE WILL BE INSTALLED PRIOR TO CONSTRUCTION TO CONTAIN RUNOFF FROM ALL PROPOSED DISTURBED AREAS. SEDIMENT CONTROL WILL BE INITIATED WHICH WILL CONSIST OF MAINTAINING ALL EXISTING VEGETATION & DIRECTING ALL RUNOFF ON SITE.
2. DURING CONSTRUCTION THE ENDS OF ALL OPEN PIPES WILL BE PROTECTED BY FILTER FABRIC, STONE FILTERS OR OTHER APPROVED MEANS.
3. ANY REMAINING DENUDE AREA SHALL BE SEEDED & MULCHED DAILY, UPON COMPLETION OF FINAL GRADING.
4. AT THE COMPLETION OF THE CONSTRUCTION, TEMPORARY CONTROL MEASURES WILL BE REMOVED & CONVERTED TO PERMANENT CONTROLS. FINAL GRADING WILL BE COMPLETED & THE GROUND WILL BE PERMANENTLY STABILIZED. FILTER FABRIC FENCES SHALL BE REMOVED & ANY BARE SPOTS WILL BE SEEDED. CATCH BASINS & DRAIN INLETS WILL BE CAREFULLY UNCOVERED & ANY SEDIMENT OR DEBRIS WILL BE REMOVED.
5. CONTRACTOR IS TO SEED CRITICAL AREAS IDENTIFIED BY OWNER OR OWNER'S REPRESENTATIVE DAILY, WHEN THOSE AREAS ARE SUBJECT TO EARTH CHANGES. CONTRACTOR IS ALSO RESPONSIBLE FOR REGULAR MAINTENANCE OF PLANT COVER IN THESE AREAS. COVER SHALL BE MAINTAINED SO AS TO CONTROL SOIL EROSION.
6. AT THE CONCLUSION OF CONSTRUCTION, THE OWNER WILL ASSUME THE RESPONSIBILITY FOR PERMANENT MAINTENANCE OF THE EROSION & SEDIMENTATION CONTROL MEASURES.
7. PROVIDE DUST CONTROL WITH AN ON-SITE WATER WAGON. WATER SHALL BE IMPLEMENTED AS NEEDED & AT THE DIRECTION OF THE CITY AGENT.

LEGEND OF ABBREVIATIONS

Legend of Abbreviations table with 3 columns: Symbol, Abbreviation, Meaning. Includes symbols for AT, ASPHALT, BACK TO BACK, etc., and meanings like MAXIMUM, MANHOLE, MINIMUM, etc.

PIPE SIZE DESIGNATION

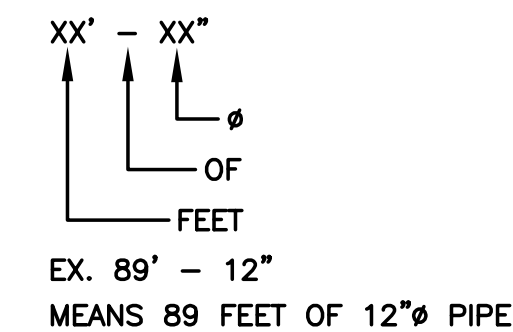


Table with 2 columns: DATE, ISSUE. Includes dates 04/19/24 and 06/27/24, and issue PRELIMINARY SITE PLAN P5P REV. 1.

PROPRIETOR: HOPSON HOLDINGS, LLC. 2255 PORTER ROAD WHITE LAKE, MICHIGAN 48348 (248) 830-2828

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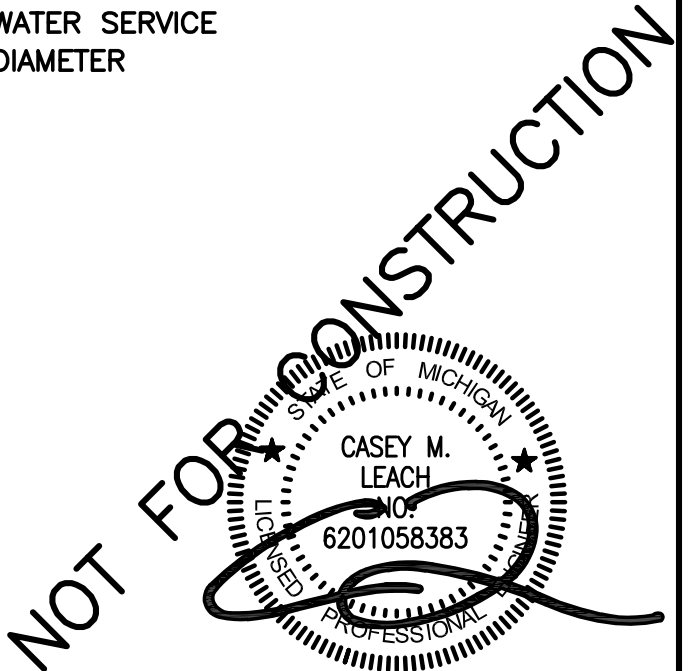
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72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE) GENERAL NOTES & LEGENDS LASTING IMPRESSIONS PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

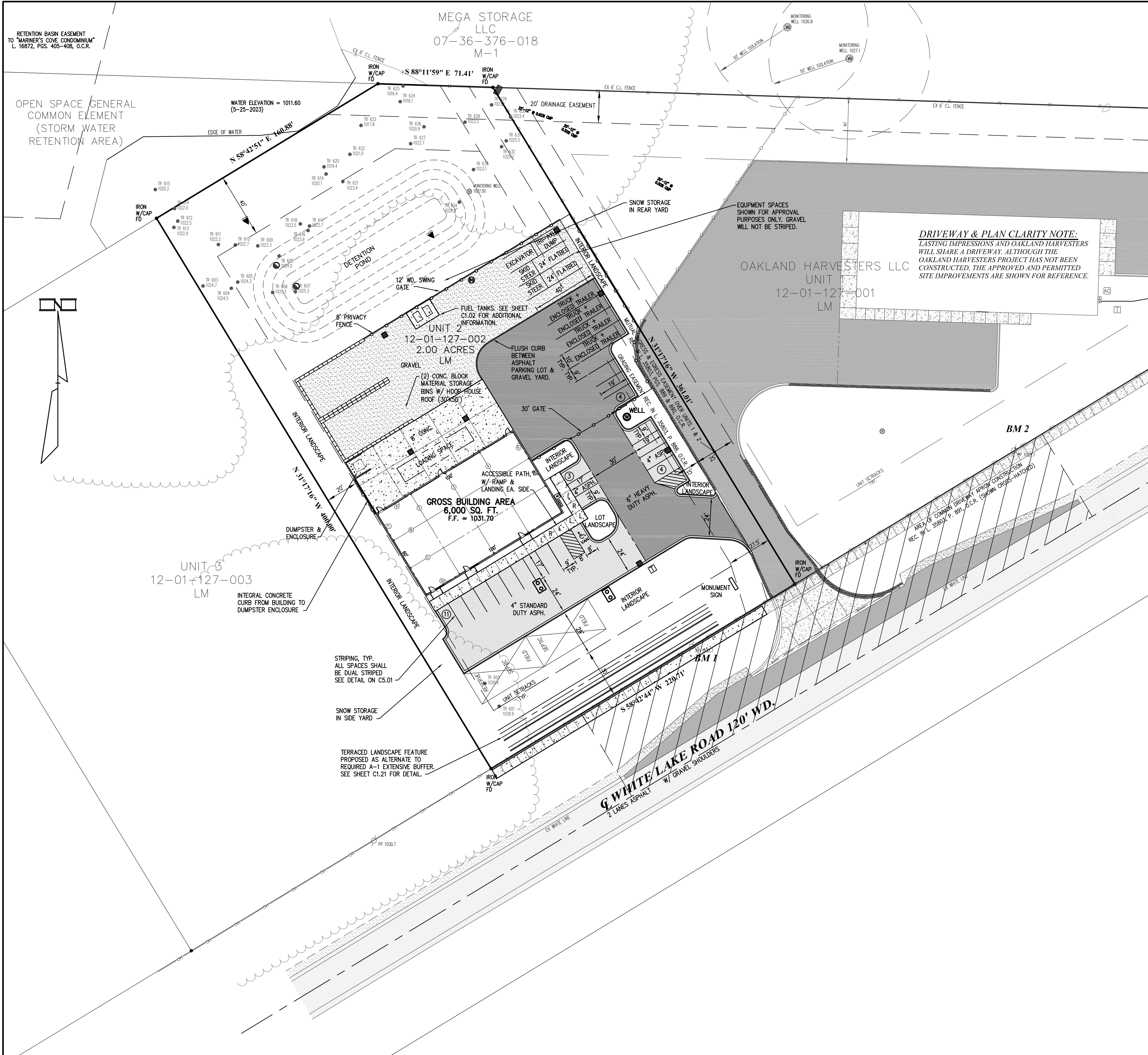
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KE 2023.104



LASTING IMPRESSIONS





**SITE INFORMATION:**  
 LOT GROSS AREA: 2.00 ACRES

**BUILDING INFORMATION:**  
 BUILDING SHALL BE PRE-ENGINEERED METAL BUILDING  
 GROSS AREA = 6,000 SF  
 BUILDING HEIGHT < 40 FT

**ZONING INFORMATION:**  
 ZONING DISTRICT: LM LIGHT MANUFACTURING  
 MINIMUM LOT SIZE: 43,560 SF (1.00 AC), CONFORMS  
 MINIMUM LOT WIDTH: 175 FT, CONFORMS  
 MAXIMUM BUILDING HEIGHT: 2 STORIES OR 40 FT, CONFORMS

SETBACKS: PER "PROSPECTORS SQUARE" O.C.C.P. NO. 1315  

FRONT	REAR	SIDES	PARKING
30 FT	40 FT	20 FT LEAST, 40 FT TOTAL	10 FT

 MAXIMUM LOT COVERAGE: 30%

PARKING SPACE SIZE: 90° 9 FT X 18 FT W/ 24 FT LANE  
 0° 20 FT X 8 FT W/ 12 FT LANE

REQUIRED PARKING SPACES: 1 SPACE/800 SF USABLE FLOOR AREA + 1 SPACE/2EMPLOYEES

USABLE FLOOR AREA = 6,000 SF (80%) = 4,800 SF  
 EMPLOYEES SHOWING UP TO THE SITE DAILY = 18 EMPLOYEES  
 4,800 SF / (SPACE/800 SF) + 18 EMPLOYEES / (1 SPACE/2EMPLOYEES) = 15 SPACES REQUIRED  
 22 TOTAL PARKING SPACES PROVIDED  
 PER DOJ, 1-24 SPACES REQUIRES 1 ACCESSIBLE SPACE  
 1 VAN ACCESSIBLE SPACE PROVIDED

REQUIRED LOADING ZONE: 1 SPACE REQUIRED FOR 2,000 - 20,000 SF OF GROSS FLOOR AREA  
 5,000 SF REQUIRES (1) 10 FT X 30 FT LOADING SPACE, 1 SPACE PROVIDED AT CONCRETE APRON AT REAR OF BUILDING.

SPECIAL LAND USE REQUESTED FOR ZONING ORDINANCE SECTION 4.37 OUTDOOR STORAGE OF FLEET VEHICLES & SECTION 4.39 OUTDOOR STORAGE OF PALLETS, CONTAINERS, MATERIALS OF PRODUCTS INCIDENTAL TO THE PRINCIPAL PERMITTED USE.

VARIANCE REQUESTED FOR GRAVEL SURFACING AT MATERIAL & EQUIPMENT STORAGE AREA.

**REQUIRED MINIMUM SCREENING PER ZO SECTION 5.19D:**  
 A-1 EXTENSIVE LANDFORM BUFFER REQUIRED BETWEEN LM & ROAD ROW  
 PURSUANT TO ZO SECTION 5.19D.iii & v, SITE PLAN REQUESTS THE PLANNING COMMISSION TO PERMIT AN ALTERNATE SCREENING METHOD THAT WILL CONSIST OF TERRACED LANDSCAPE WALLS WITH PLANTINGS. THIS ALTERNATIVE LANDSCAPING WILL BE 6 FEET HIGH, AND INCLUDE THE REQUIRED MINIMUM NUMBER OF PLANTINGS.

**REQUIRED INTERIOR LANDSCAPING PER ZO SECTION 5.19E:**  
 REQUIREMENT: 13% OF TOTAL LOT AREA SHALL BE INTERNALLY LANDSCAPED, & 1 TREE + 5 SHRUBS SHALL BE PROVIDED FOR EVERY 300 SF OF REQUIRED INTERIOR LANDSCAPING.  
 (2.00 ACRES) / (43,560 SF/ACRE) (13%) = 13,068 SF INTERIOR LANDSCAPING REQUIRED  
 43.56 TREES & 217.8 SHRUBS REQUIRED  
 LANDSCAPING ALONG BUILDING & W SIDE OF GATE = 810 SF  
 LANDSCAPING AT E SIDE OF GATE & BETWEEN SHARED DRIVE & PARKING = 2,092 SF  
 LANDSCAPING ALONG WEST PROPERTY LINE & BETWEEN BASIN AND GRAVEL LOT = 10,196 SF  
 LANDSCAPING BETWEEN ROW BUFFER AND FRONT PARKING LOT = 4,360 SF  
 810 SF + 2,092 SF + 10,196 SF + 4,360 SF = 17,458 SF (20%) PROVIDED > 13,068 SF (15%) REQUIRED

**REQUIRED PARKING LOT LANDSCAPING PER ZO SECTION 5.19G:**  
 REQUIREMENT: INDUSTRIAL 10 SF/ PARKING SPACE  
 REQUIREMENT: 1 TREE & 3 SHRUBS PER 100 SF OF REQUIRED PARKING LOT LANDSCAPING  
 (22 SPACES) / (10 SF/SPACE) = 220 SF PARKING LOT LANDSCAPING REQUIRED  
 2.2 TREES & 6.6 SHRUBS REQUIRED  
 363 SF PROVIDED AT SIDEWALK CORNER ISLAND (BETWEEN SPACES)

**LANDSCAPING TOTALS**

	REQUIRED	PROVIDED
INTERIOR	13,068 SF	17,458 SF
PARKING LOT	220 SF	363 SF
TOTAL	13,288 SF	17,821 SF (34% MORE THAN REQUIRED, NOT COUNTING NORTH WOODY AREA)

**IRRIGATION NOTES:**  
 1. PROVIDE AUTOMATIC IRRIGATION TO ALL LAWN AND LANDSCAPED AREAS.  
 1.1. ALL IRRIGATION COMPONENTS SHALL BE LOCATED COMPLETELY WITHIN THE PROPERTY BOUNDARY.  
 1.2. IRRIGATION COVERAGE SHALL EXTEND TO COVER LAWN WITHIN THE RIGHT-OF WAY.  
 2. IRRIGATION SYSTEM SHALL INCLUDE A RAIN SENSOR OR SIMILAR MEASURE TO ENSURE THAT IRRIGATION DOES NOT OCCUR DURING OR SHORTLY AFTER PRECIPITATION EVENTS.

**FENCING NOTES:**  
 1. REAR AND SIDE FENCING SHALL BE 8' TALL, DOG-EAR, PRIVACY FENCE PER DETAIL ON SHEET C5.02.  
 2. FRONT FENCING AND GATE ACROSS DRIVEWAY SHALL BE 8 FT TALL, VINYL (COLOR TBD), PRIVACY FENCE PER DETAIL ON SHEET C5.02.

**BENCHMARKS:**  
 BM 1: MAG NAIL IN EAST FACE OF POWER POLE  
 EL. = 1034.67 NAVD 88  
 BM 2: BOLT SPIKE ON NORTH FACE PF POWER POLE  
 EL. = 1030.06 NAVD 88

**GENERAL NOTES:**  
 1. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM VISUAL OBSERVATION & RECORD MAPPING, WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY & COMPLETENESS OF OVERHEAD & UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.  
 2. SEE SHEET C0.01 FOR GENERAL NOTES & LEGENDS.

**SIGN NOTE:**  
 A FREESTANDING MONUMENT SIGN IS PROPOSED. SIGN WILL BE LIMESTONE BLOCK W/ METAL CUTOUT LOGO/LETTERING, AND BACKLIT. SIGN SHALL CONFORM TO THE ZONING ORDINANCE OF WHITE LAKE TOWNSHIP, AND SHALL BE PERMITTED THROUGH THE COMMUNITY DEVELOPMENT DEPARTMENT. SIGN DETAILS WILL BE PROVIDED AT A LATER TIME.

**SITE LIGHTING NOTE:**  
 SITE LIGHTING SHALL MEET THE ZONING CODE OF WHITE LAKE TOWNSHIP.

DATE	OWNER REVIEW	ISSUE
10/04/23	OWNER REVIEW	
11/13/23	PRE-APPLICATION MEETING	
11/29/23	FIRE SAFETY CONCEPTUAL REVIEW	
04/19/24	PRELIMINARY SITE PLAN	
06/21/24	PSP REV. 1	

**PROPRIETOR:**  
 HOPSON HOLDINGS, LLC  
 2255 PORTER ROAD  
 WHITE LAKE, MICHIGAN 48383  
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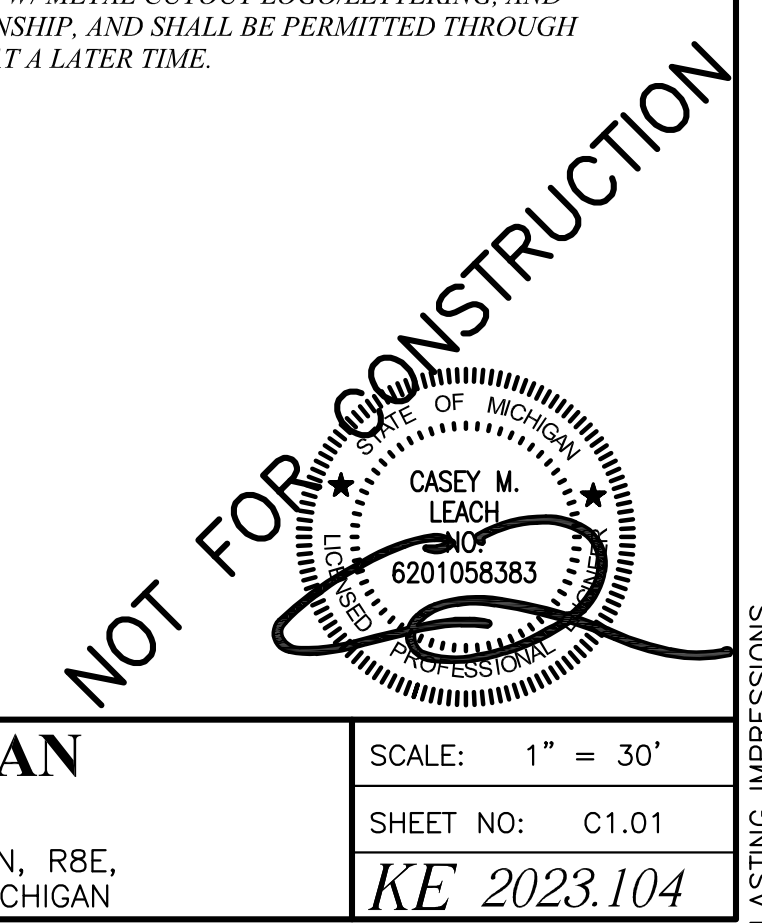
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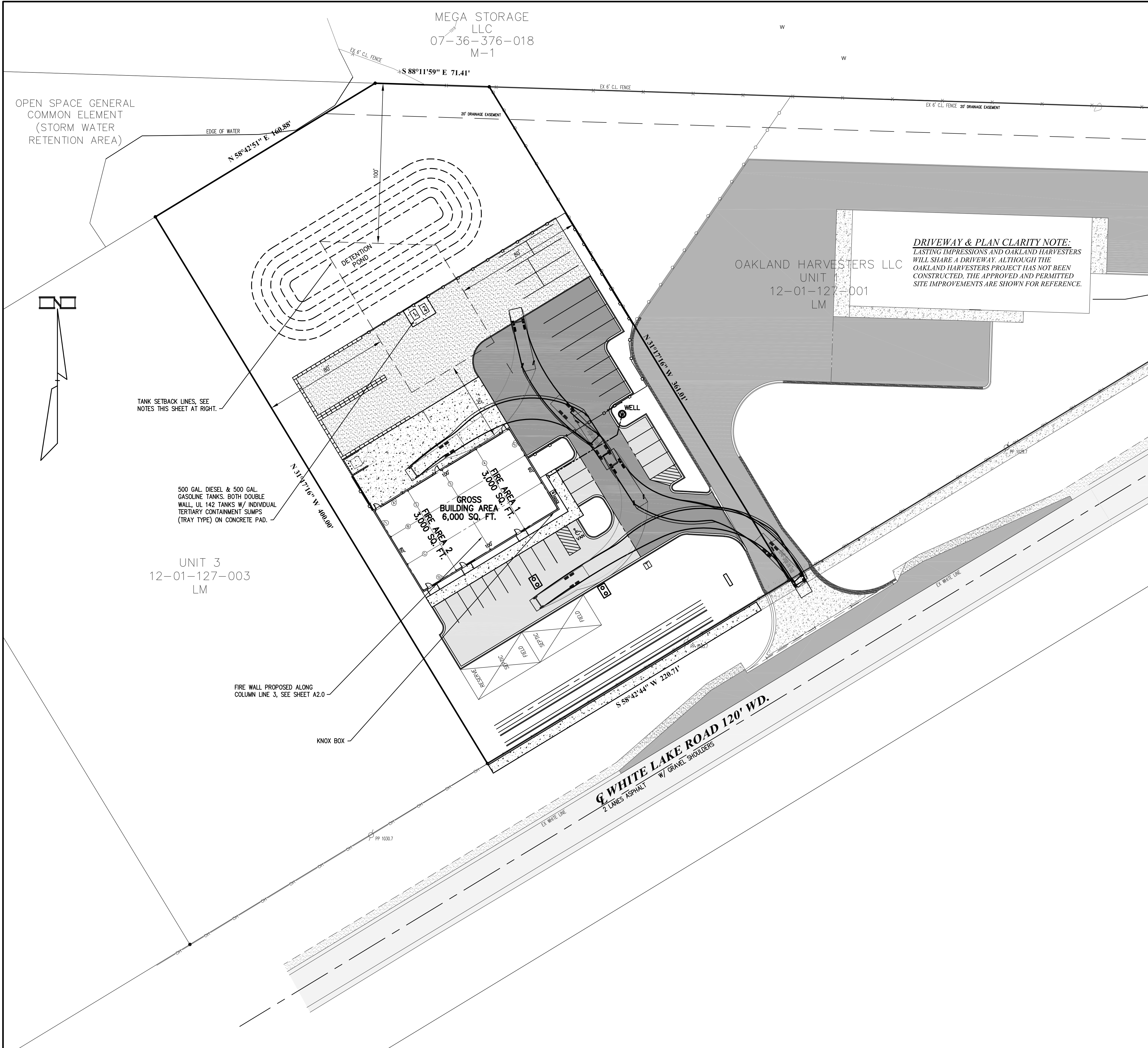
**PRELIMINARY SITE PLAN**  
**LASTING IMPRESSIONS**  
 PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE: 1" = 30'  
 SHEET NO: C1.01  
 KE 2023.104



LASTING IMPRESSIONS





**DRIVEWAY & PLAN CLARITY NOTE:**  
 LASTING IMPRESSIONS AND OAKLAND HARVESTERS WILL SHARE A DRIVEWAY. ALTHOUGH THE OAKLAND HARVESTERS PROJECT HAS NOT BEEN CONSTRUCTED, THE APPROVED AND PERMITTED SITE IMPROVEMENTS ARE SHOWN FOR REFERENCE.

TANK SETBACK LINES, SEE NOTES THIS SHEET AT RIGHT.

500 GAL. DIESEL & 500 GAL. GASOLINE TANKS, BOTH DOUBLE WALL, UL 142 TANKS W/ INDIVIDUAL TERTIARY CONTAINMENT SUMPS (TRAY TYPE) ON CONCRETE PAD.

UNIT 3  
 12-01-127-003  
 LM

FIRE WALL PROPOSED ALONG COLUMN LINE 3, SEE SHEET A2.0

KNOX BOX

**SITE INFORMATION:**  
 LOT GROSS AREA: 2.00 ACRES

**BUILDING INFORMATION:**  
 BUILDING SHALL BE PRE-ENGINEERED METAL BUILDING, NON-SPRINKLED  
 GROSS AREA = 6,000 SF  
 A FIRE WALL WILL BE CONSTRUCTED ALONG COLUMN LINE 3 SEPARATING THE GROSS AREA IN HALF  
 LARGEST FIRE AREA = 3,000 SF  
 BUILDING HEIGHT = 40 FT

**FUEL TANK NOTES:**  
 FUEL TANK 1 - GASOLINE - 500 GALLON HORIZONTAL, UL-142  
 FUEL TANK 2 - DIESEL - 500 GALLON HORIZONTAL, UL-142

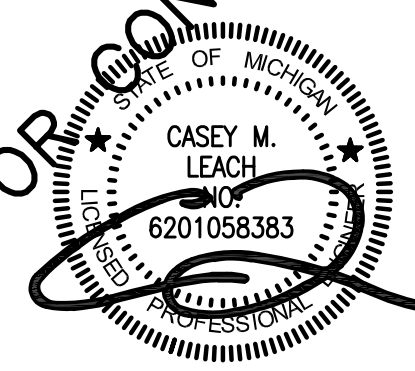
**ISOLATION DISTANCES FOR UL-142 FUEL TANKS PER NFPA 30 & 30A:**  
 STRUCTURE/BUILDING: 50 FT  
 PROPERTY LINE THAT CAN BE BUILT UPON: 100 FT  
 NOTE: PROPERTY LINE SETBACK SHOWN AS 80 FT DUE TO 20 FT SETBACK ON ADJACENT PARCEL.

UL-142 TANKS ARE DUAL WALL PROVIDING SECONDARY CONTAINMENT.  
 ADDITIONAL SUMPS ARE PROPOSED THAT WILL PROVIDE TERTIARY CONTAINMENT.

**FIRE SAFETY NOTES:**  
 1. FIRE TRUCK TURNING BASED ON AASHTO SU-40 SINGLE UNIT TRUCK.  
 2. A KNOX BOX SHALL BE PLACED ON THE FRONT OF THE BUILDING. FINAL LOCATION TO BE DETERMINED AND APPROVED BY FIRE INSPECTOR AT A LATER TIME.

**REAR GATE ACCESS NOTES:**  
 1. ACCESS FOR EMPLOYEES SHALL BE REMOTE (E.G. GARAGE DOOR CLICKER) OR PHONE APP WHICH SHALL NOT REQUIRE THE USE OF THE KEYPAD OR KEY FOB STATION.  
 2. ACCESS SHALL BE PROVIDED TO THE FIRE DEPARTMENT VIA ALL OF THE FOLLOWING:  
 2.1. KEYPAD USING UNIVERSAL FIRE DEPARTMENT CODE.  
 2.2. KEY FIB (SAME AS BUILDING FIB) LOCATED IN KNOX BOX AT FRONT DOOR.  
 2.3. SOS (SIREN) SENSOR.  
 3. IN THE CASE OF A POWER OUTAGE THE GATE CAN BE OPENED IN THE FOLLOWING WAYS:  
 3.1. BATTERY BACKUP OPERATION ALLOWS 20 CYCLES AND HAS A STANDBY TIME OF 105 DAYS  
 3.2. THE LOCKABLE GATE OPERATOR SHALL HAVE A KEY LOCATED IN THE KNOX BOX. A LEVER DISCONNECT CAN BE PULLED TO DISENGAGE THE DRIVE.

NOT FOR CONSTRUCTION



DATE	ISSUE
04/19/24	PRELIMINARY SITE PLAN
06/21/24	PSP REV. 1

**PROPRIETOR:**  
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DATE: 04/01/24	CKD. BY: CL	DATE: 04/19/24
DRAWN: CL	DESIGN: CL	SECTION: 1



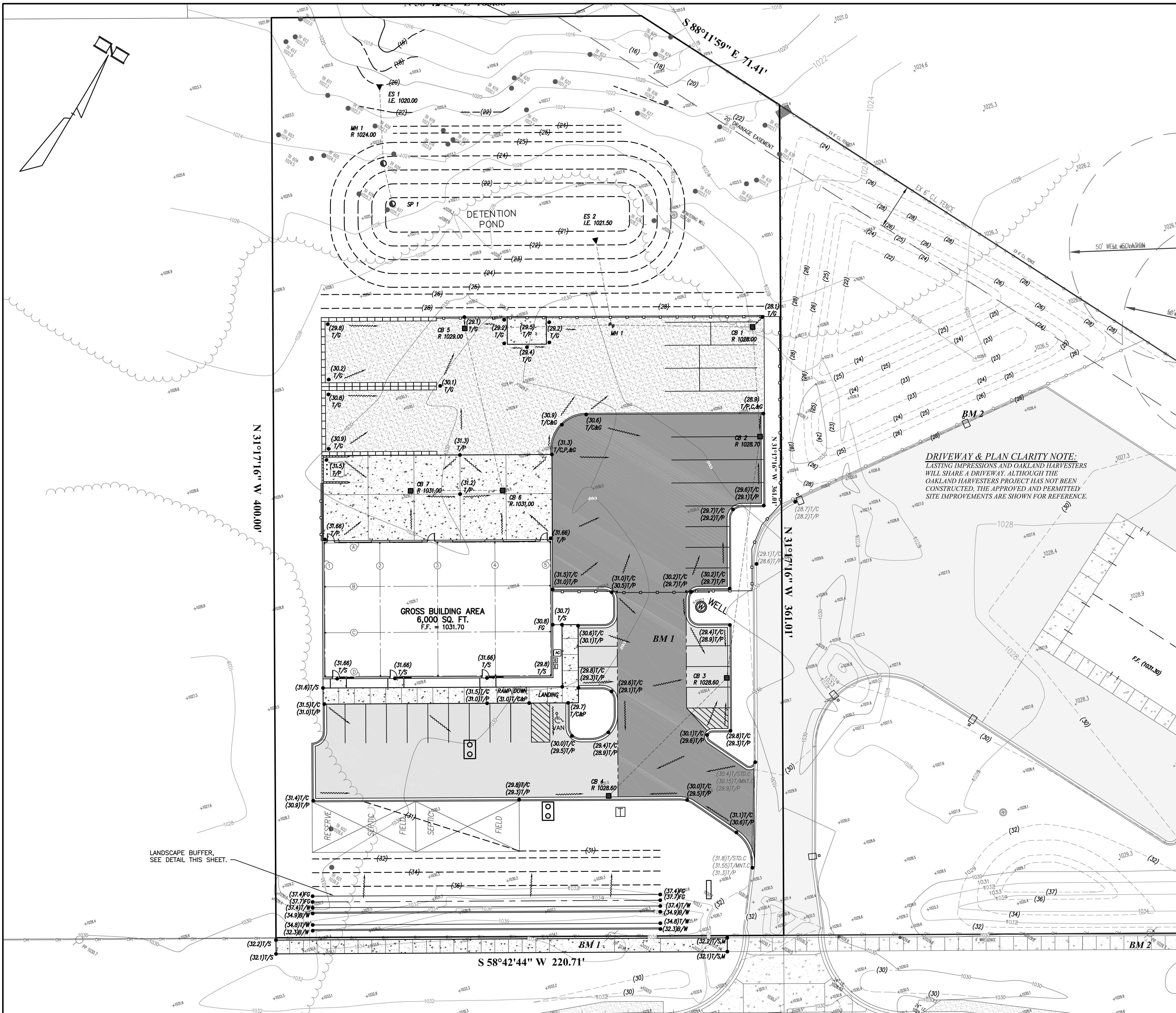
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**FIRE SAFETY SITE PLAN**  
**LASTING IMPRESSIONS**  
 PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

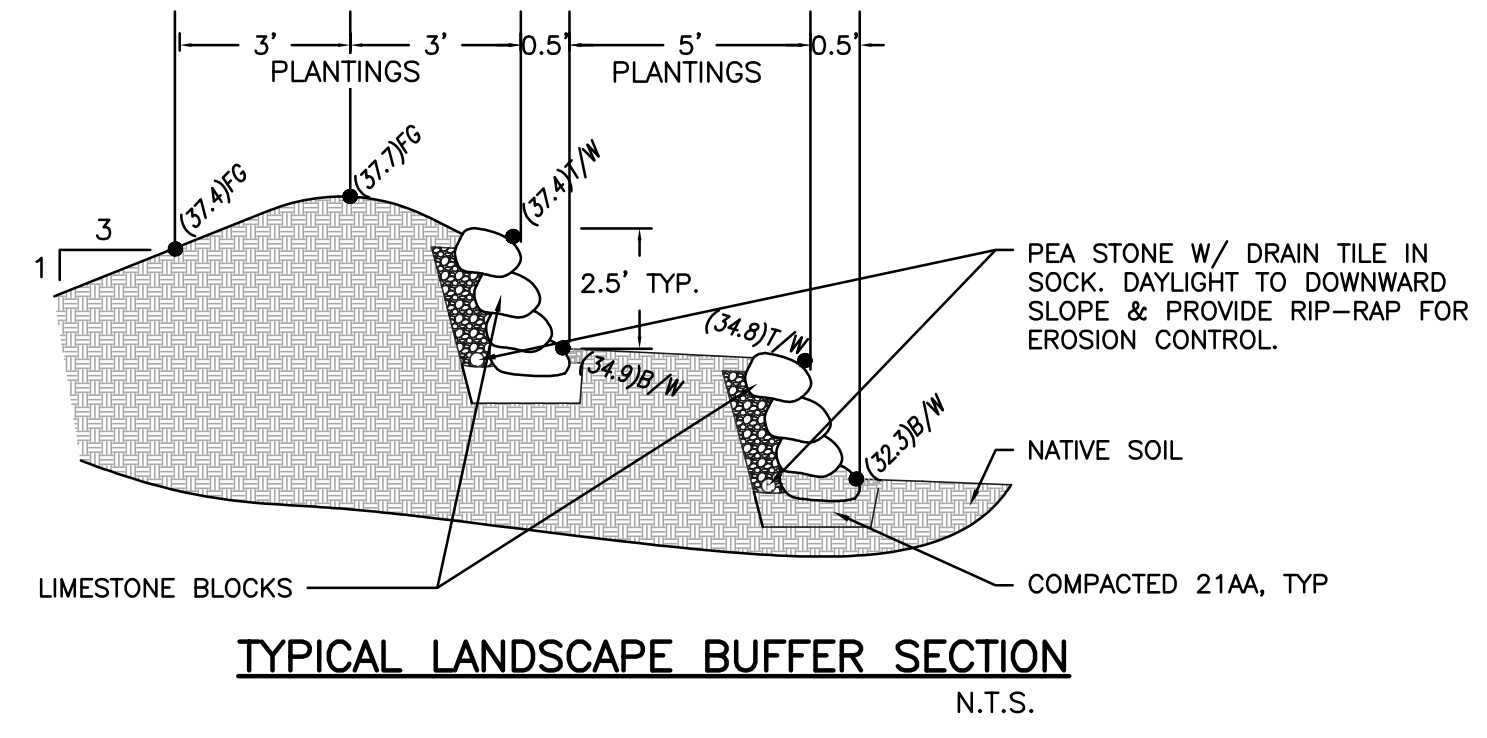
SCALE: 1" = 30'  
 SHEET NO: C1.02  
 KE 2023.104

LASTING IMPRESSIONS





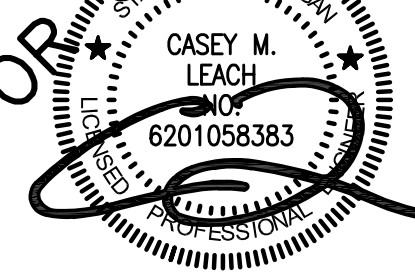
**DRIVEWAY & PLAN CLARITY NOTE:**  
 LASTING IMPRESSIONS AND OAKLAND HARVESTERS WILL SHARE A DRIVEWAY. ALTHOUGH THE OAKLAND HARVESTERS PROJECT HAS NOT BEEN CONSTRUCTED, THE APPROVED AND PERMITTED SITE IMPROVEMENTS ARE SHOWN FOR REFERENCE.



**BENCHMARKS:**  
 BM 1: MAG NAIL IN EAST FACE OF POWER POLE  
 EL. = 1034.67 NAVD 88  
 BM 2: BOLT SPIKE ON NORTH FACE PF POWER POLE  
 EL. = 1030.06 NAVD 88

**GENERAL NOTES:**  
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 2. SEE SHEET C0.01 FOR GENERAL NOTES & LEGENDS.

**NOT FOR CONSTRUCTION**



DATE	ISSUE
06/21/24	PSP REV. 1

**PROPRIETOR:**  
 HOPSON HOLDINGS, LLC  
 2255 PORTER ROAD  
 WHITE LAKE, MICHIGAN 48383  
 (248) 830-2828

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DATE	CKD. BY	DATE
06/19/24	CL	06/20/24

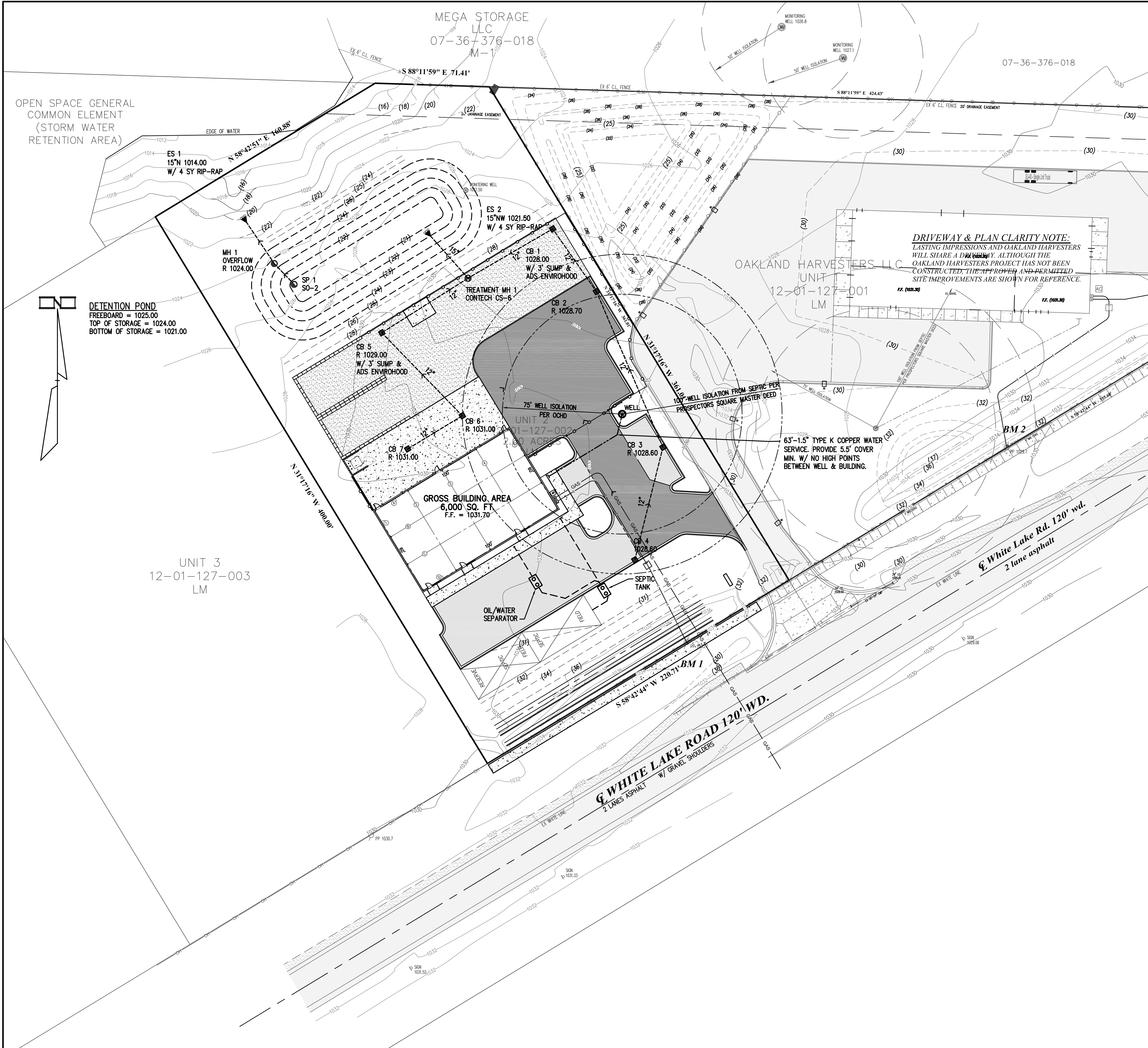
72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 OR 811

**PRELIMINARY GRADING PLAN**  
**LASTING IMPRESSIONS**  
 PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE: 1" = 20'  
 SHEET NO: C1.21  
 KE 2023.104

LASTING IMPRESSIONS





**100 YEAR DETENTION BASIN CALCULATION (I.E. WITH OUTLET)**

ON-SITE CONTRIBUTING AREA	=	2.00
OFF-SITE CONTRIBUTING AREA	=	0.00
TOTAL CONTRIBUTING AREA	A	2.00

**RUNOFF AREAS**

PAVEMENT @	0.95	19,995 SF	=	0.46 AC
BUILDING @	0.95	6,000 SF	=	0.14 AC
GRAVEL @	0.6	9,317 SF	=	0.21 AC
LAWN @	0.25	44,217 SF	=	1.02 AC
POND @	1.0	7,591 SF	=	0.17 AC
<b>TOTAL</b>		<b>87,120 SF</b>	=	<b>2.00 AC</b>

**WEIGHTED C** = 0.50

**T<sub>c</sub>** = 15 MINUTES

**MECHANICAL SEPARATOR**

I<sub>s</sub> = 97 = 2.16 IN/HR  
(T<sub>c</sub> + 30)

Q<sub>WQ</sub> = C<sub>i</sub>A = 2.14 CFS USE CONTECH CASCADE CS-6

Q<sub>A</sub> = 0.20 CFS/ACRE \* 2.00 ACRES = 0.40 CFS

Q<sub>0</sub> =  $\frac{Q_A}{(A)(C)}$  =  $\frac{0.40}{2.00 \cdot 0.50}$  = 0.40 CFS

**100-YEAR DETENTION BASIN**

T<sub>100</sub> =  $\frac{-25 + \sqrt{10,312.5}}{Q_0}$  = 135.16 MINUTES

V<sub>S100</sub> =  $\frac{16,500 T}{T + 25}$  =  $\frac{40 \cdot 135.16}{135.16 + 25}$  = 11751 CF

V<sub>T100</sub> REQ'D = V<sub>S</sub>CA = 11,692 CF REQ'D

EL (FT)	AREA (SF)	VOLUME (CF)	ΣVOLUME (CF)
1024	6,845	5,826	12,081
1023	4,864	3,954	6,255
1022	3,109	2,301	2,301
1021.0	1,579		

TOTAL VOLUME PROVIDED = 12,081 CF OK

**SITE INFORMATION:**  
LOT GROSS AREA: 2.00 ACRES

**WATER SUPPLY:**  
TYPE III WELL PROPOSED MEETING 201 SPECIFICATION DUE TO 201 SITE TO NORTH & ISOLATION DISTANCES FROM STORM SEWER. WELL SHALL INCLUDE STEEL CASING, NEAT CEMENT FILL, & TYPE K COPPER SERVICE.

**ONSITE WASTEWATER TREATMENT SYSTEM (SEPTIC):**  
PER OCHD SANITARY CODE, ARTICLE III - STANDARD SYSTEM (NOT ENGINEERED)  
BED APPLICATION RATE FOR (ASSUMED) LOAM, SANDY CLAY LOAM: 0.3 GAL/SF/D  
DEMAND FOR USE BASED ON 2018 UNIT FACTORS

**OFFICE, ASSUME 30%:**  
(6,000 SF)(30%)(0.4 REU/1,000 SF)(270 GPD/REU) = 194.4 GPD FOR OFFICE

**WAREHOUSE, ASSUME 70%:**  
(6,000)(70%)(0.1 REU/1,000 SF)(270 GPD/REU)(110%) = 124.7 GPD  
NOTE: WAREHOUSE AREA WAS INCREASED 10% OVER THE 2017 VALUE DUE TO THE NEW UNIT FACTOR CHART HAS WAREHOUSE ON A FIXTURE UNIT BASIS, WHICH DOES NOT LEND ITSELF TO SEPTIC DESIGN.

194.4 + 124.7 = 319.1 GPD REQUIRED

APPLICATION BED SIZE: 319.1 GPD/0.3G/SF/D = 1,063.7 SF BED REQUIRED  
45 FT X 24 FT = 1,080 SF BED PROPOSED

TANK SIZE: 1,500 GALLON DUAL COMPARTMENT

**ISOLATION DISTANCES PER SANITARY CODE ARTICLE III:**  
WELL: 75 FT PROPERTY LINE: 10 FT  
WATER LINE: 10 FT OPEN WATER: 50 FT (100 FT PER TWP. 20)  
BUILDING: 10 FT DETENTION POND: 50 FT  
STORM SEWER: 50 FT

**BENCHMARKS:**  
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2. SEE SHEET C0-01 FOR GENERAL NOTES & LEGENDS.

DATE	ISSUE
04/19/24	PRELIMINARY SITE PLAN

**PROPRIETOR:**  
HOPSON HOLDINGS, LLC  
2255 PORTER ROAD  
WHITE LAKE, MICHIGAN 48383  
(248) 830-2828

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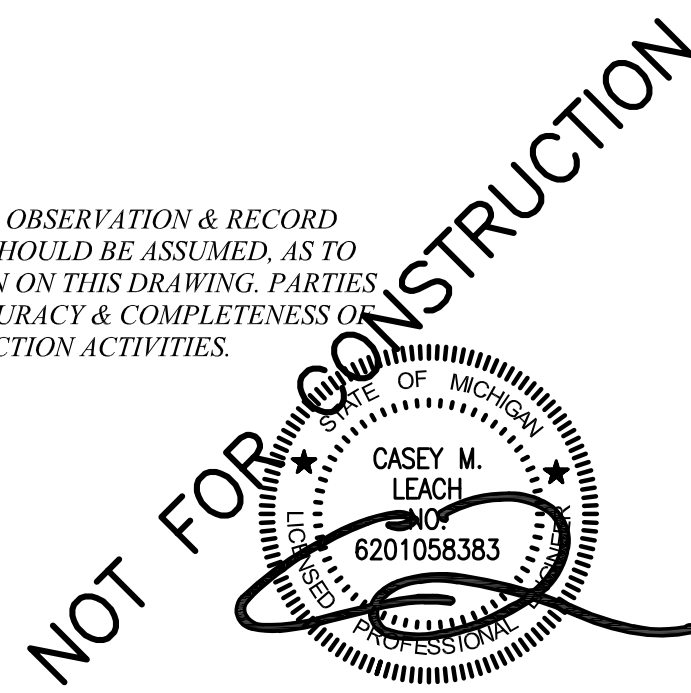
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PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE: 04/01/24	CKD. BY: CL	DATE: 04/19/24
DRAWN: CL	CL	
DESIGN: CL		
SECTION: 1	T-3-N-R-8-E	



**PRELIMINARY UTILITY PLAN**  
**LASTING IMPRESSIONS**  
PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

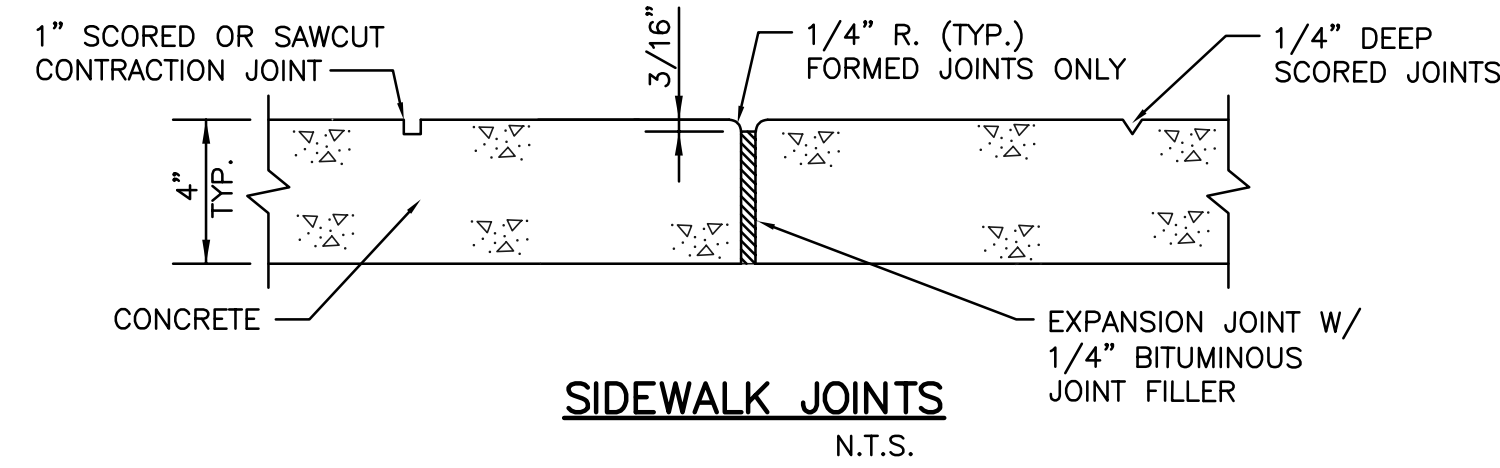
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SHEET NO: C1.31
KE 2023.104



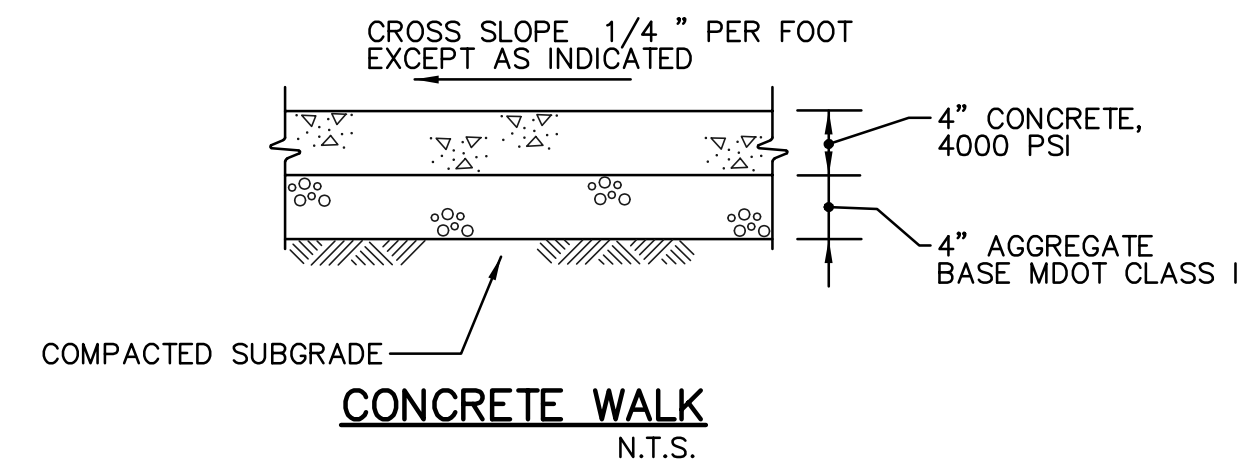
LASTING IMPRESSIONS



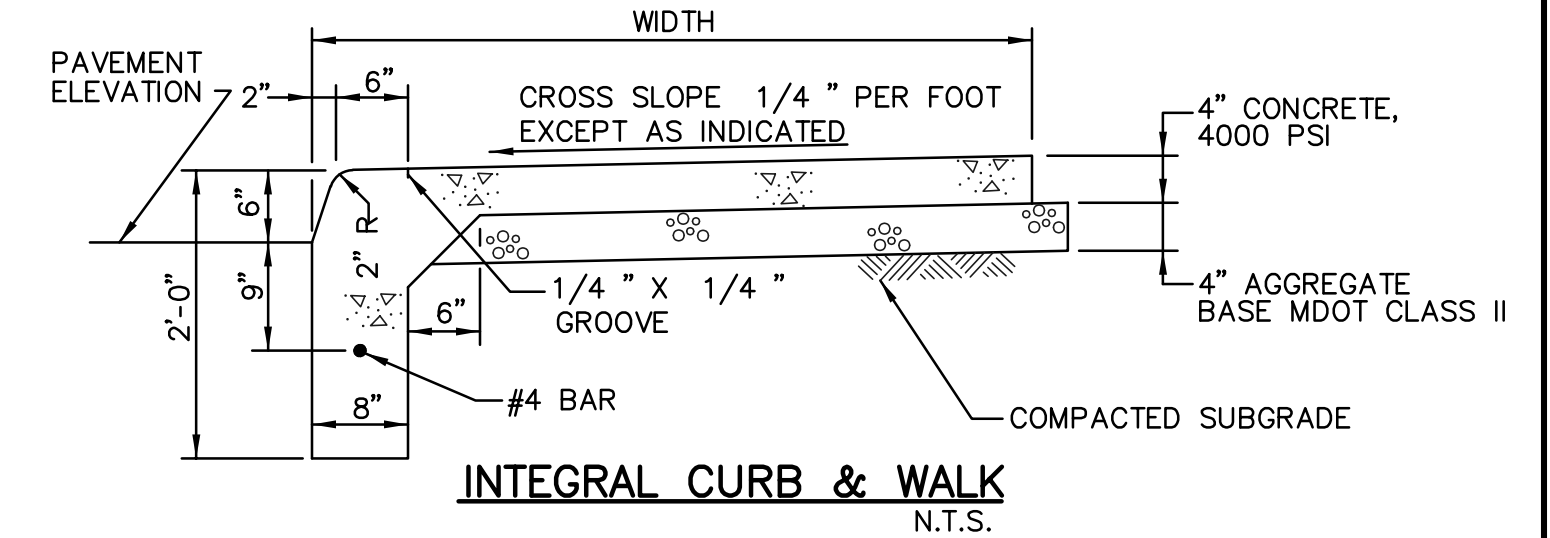
- NOTES:**
- EXPANSION JOINTS SHALL BE LOCATED WHERE SIDEWALK ABUTS CONCRETE DRIVEWAYS, CURB, OR OTHER ADJACENT STRUCTURES.
  - 1/2" BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS & SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
  - 1" DEEP CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF APPROXIMATELY 15', OR AT A SPACING THAT MATCHES THE ADJACENT CURB.
  - FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" RADIUS.
  - SCORED JOINTS SHALL BE 1/4" DEEP & PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK, OR MATCH SCORED JOINTS OF ADJACENT CURB.
  - CONCRETE SHALL BE FINISHED BY MEANS OF A FLOAT, STEEL TROWELLED AND BROOMED WITH A FINE BRUSH IN THE TRANSVERSE DIRECTION.
  - 1/4" DEEP SCORED JOINTS SHALL BE SPACED AT 6', EQUAL TO SIDEWALK WIDTH, OR PER PLAN.



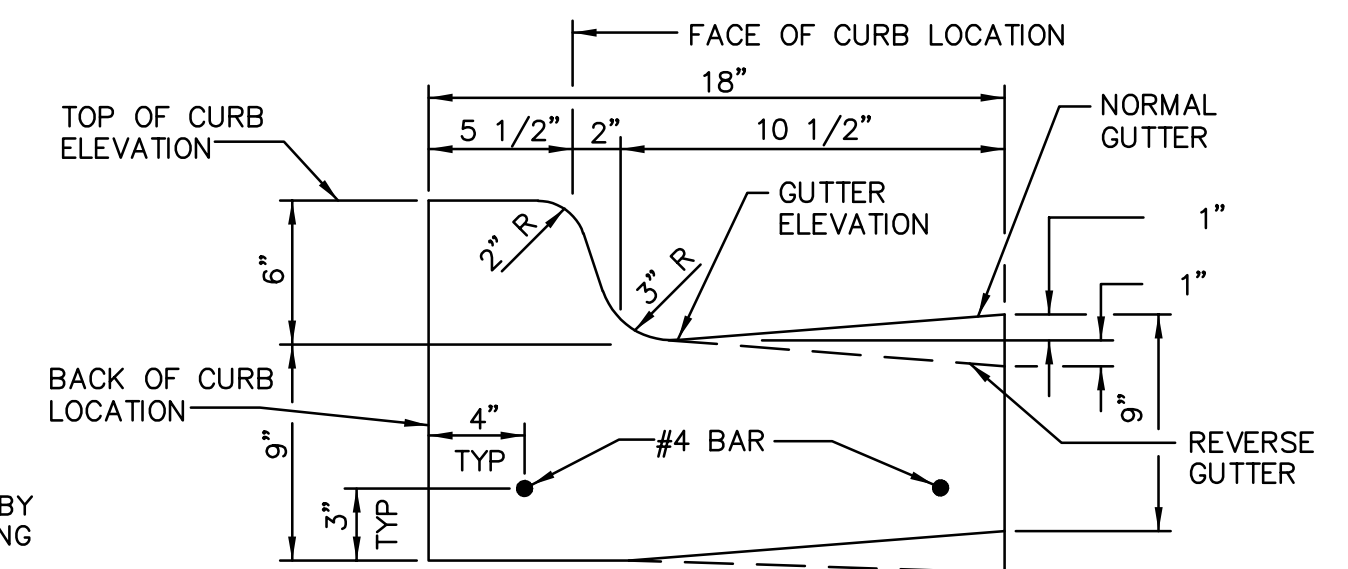
- NOTES:**
- EXPANSION JOINTS: 1/2" WIDE BITUMINOUS JOINT FILLER, FULL DEPTH:
    - AT 50 FOOT INTERVALS TRANSVERSELY.
    - AROUND EMBEDDED ITEMS SUCH AS LIGHT BASES.
    - AT ABUTTING STRUCTURES SUCH AS BUILDINGS OR CURBS.
  - CONTRACTION JOINTS: FORMED 1/4" WIDE, 1" DEEP GROOVE W/ TOOL. ARRANGE TO FORM SQUARE PANELS, 6' MAXIMUM IN ANY DIRECTION. PLACE 1" DEEP JOINTS AT 15' INTERVALS OR AT SPACING THAT MATCHES CURB.
  - TACTILE WARNING TEXTURE: PROVIDE ON RAMPS AND NEAR TOP OF STAIRS.
  - FINISH CONCRETE BY MEANS OF A FLOAT, STEEL TROWEL, & BROOM FINISH W/ FINE BRUSH IN A TRANSVERSE DIRECTION.



- NOTES:**
- EXPANSION JOINTS: 1/2" WIDE BITUMINOUS JOINT FILLER, FULL DEPTH:
    - AT 50 FOOT INTERVALS TRANSVERSELY.
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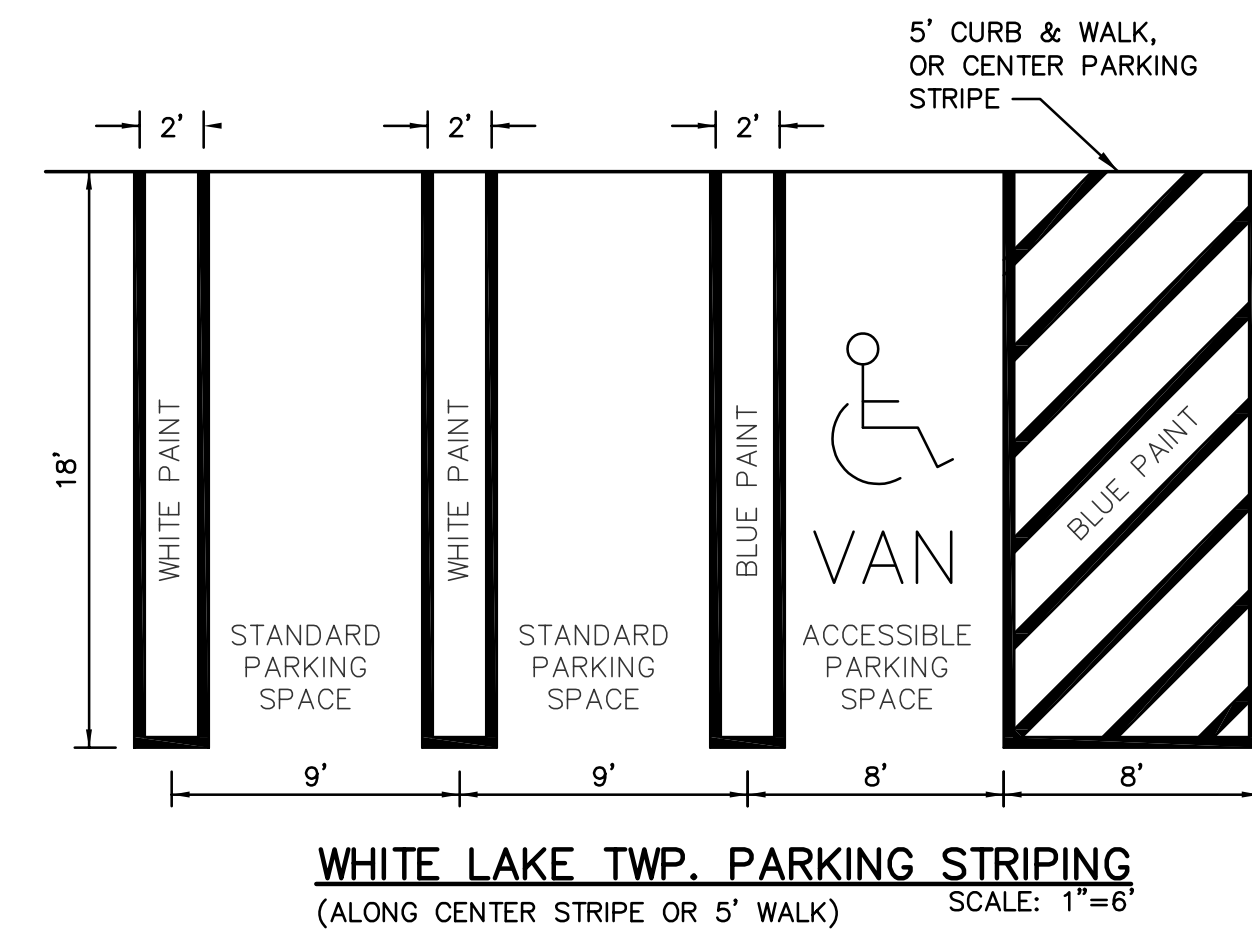


- NOTES:**
- USE NORMAL OR REVERSE GUTTER TO EXTEND THE SLOPE OF THE ADJACENT PAVEMENT EXCEPT AS INDICATED.
  - CONCRETE: 4000 PSI
  - PROVIDE CONTROL JOINTS IN CURB AT 10' O.C. & AT ALL RADIUS RETURNS.
  - PROVIDE EXPANSIVE JOINTS EVERY 30'.

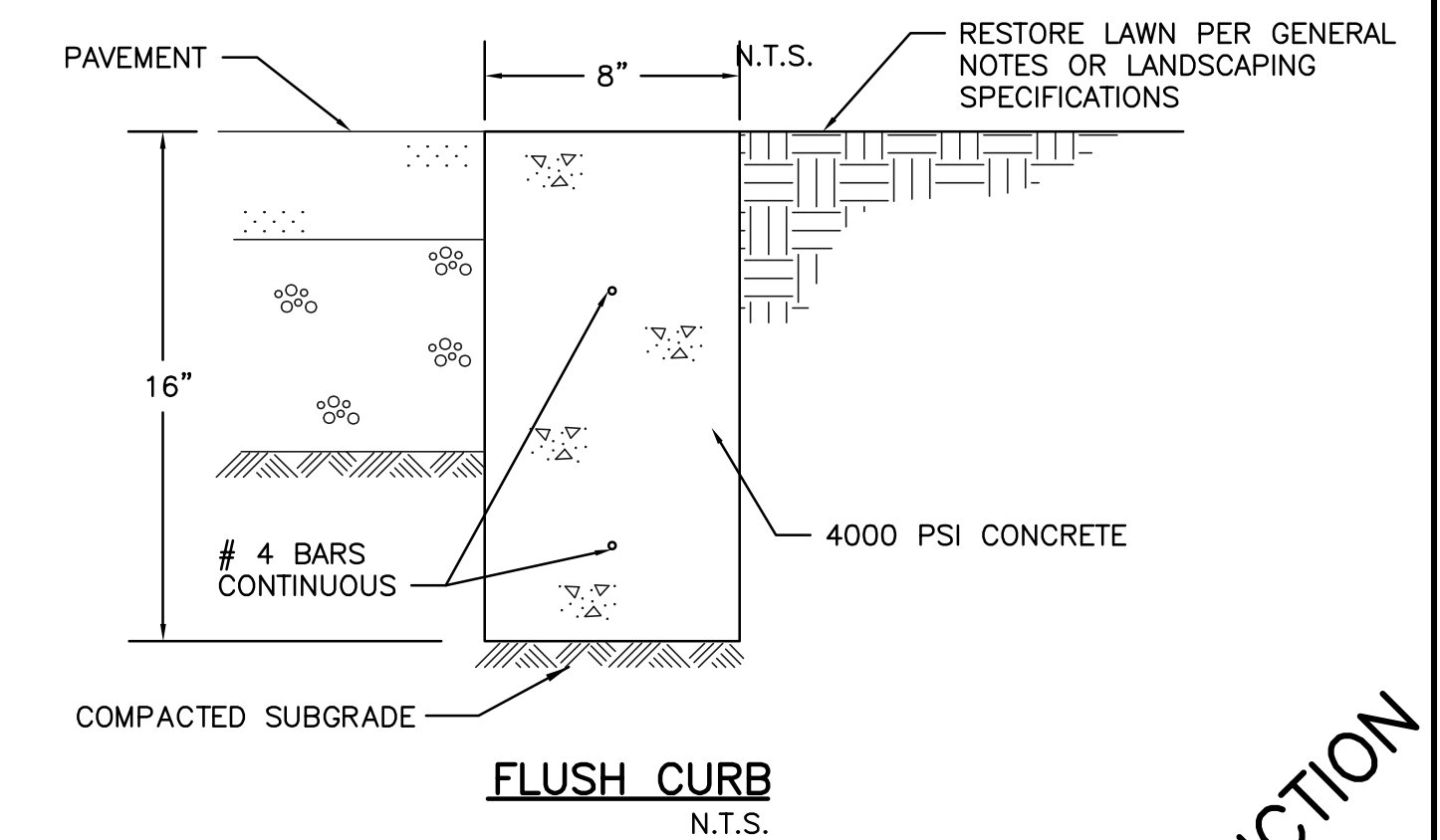


**18"X6" STANDARD DUTY CURB & GUTTER**  
N.T.S.

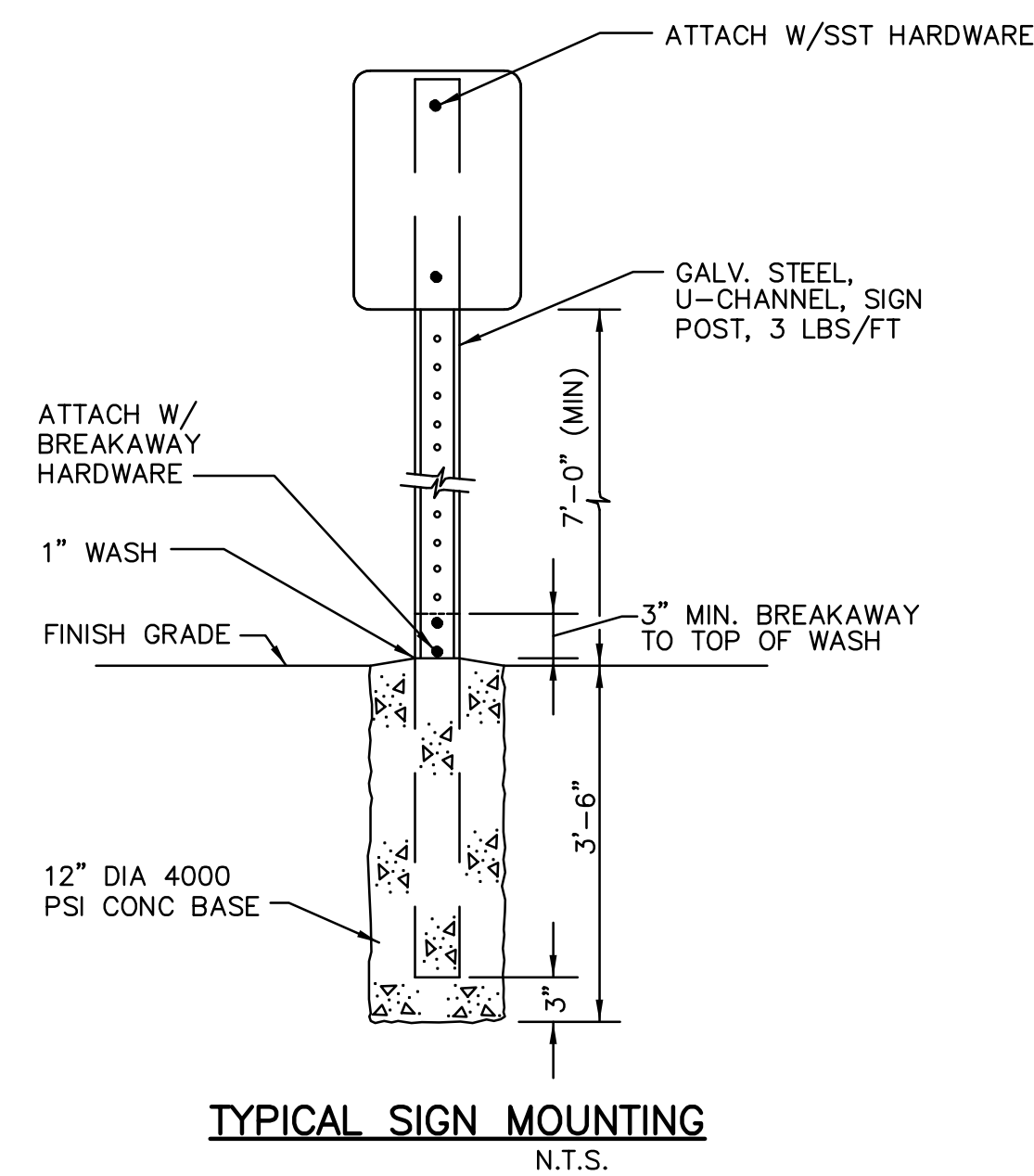
- NOTES:**
- PARKING STRIPING FOR STANDARD PARKING SPACES SHALL BE DELINEATED BY FOUR INCH WIDE DUAL STRIPES, TWO FEET APART, CENTERED ON THE DIVIDING LINES, & PAINTED WHITE.
  - ACCESSIBLE SPACES SHALL BE DELINEATED WITH FOUR INCH WIDE LINES, PAINTED HANDICAP BLUE.



**WHITE LAKE TWP. PARKING STRIPING**  
(ALONG CENTER STRIPE OR 5' WALK) SCALE: 1"=6'

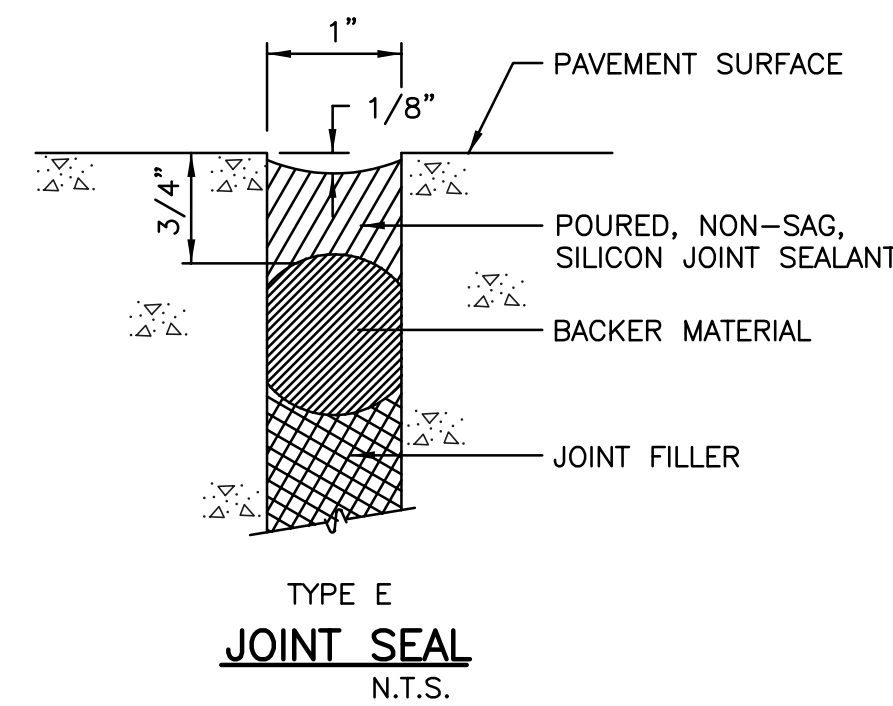


**FLUSH CURB**  
N.T.S.

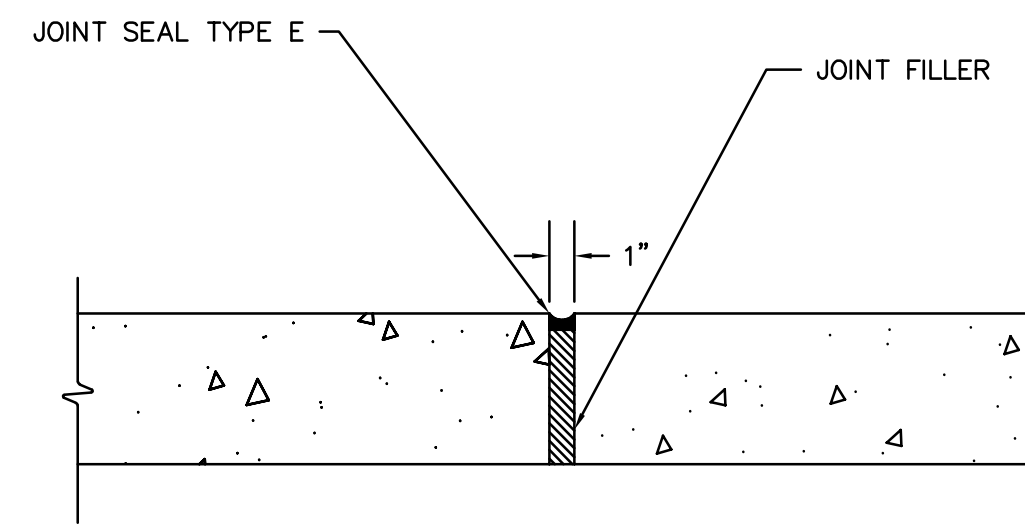


**TYPICAL SIGN MOUNTING**  
N.T.S.

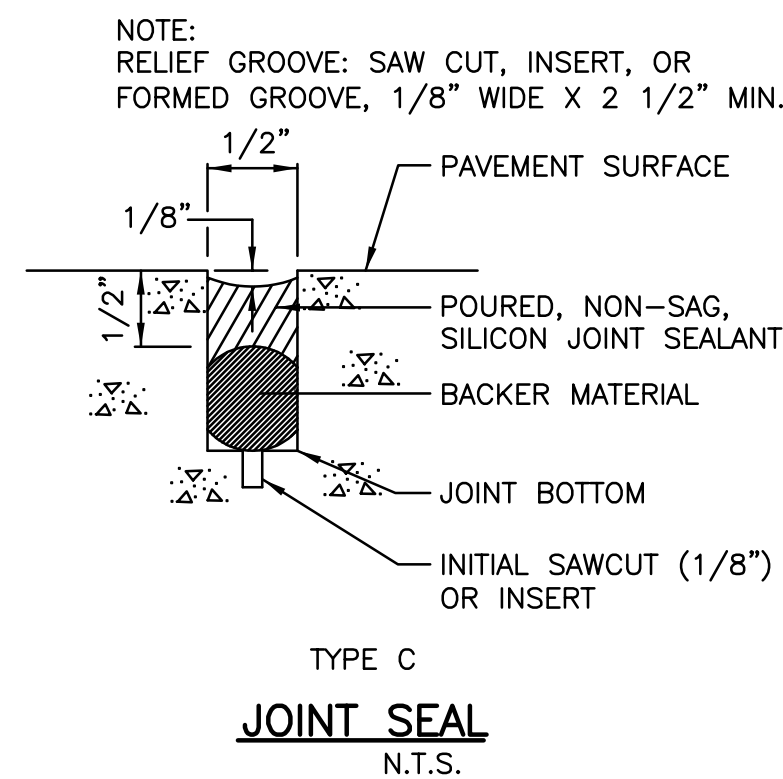
**NOTE:**  
RELIEF GROOVE: SAW CUT, INSERT, OR FORMED GROOVE, 1/8" MAX X 2 1/2" MIN.  
SAW CUT 1/2" MIN INTO JOINT FILLER.



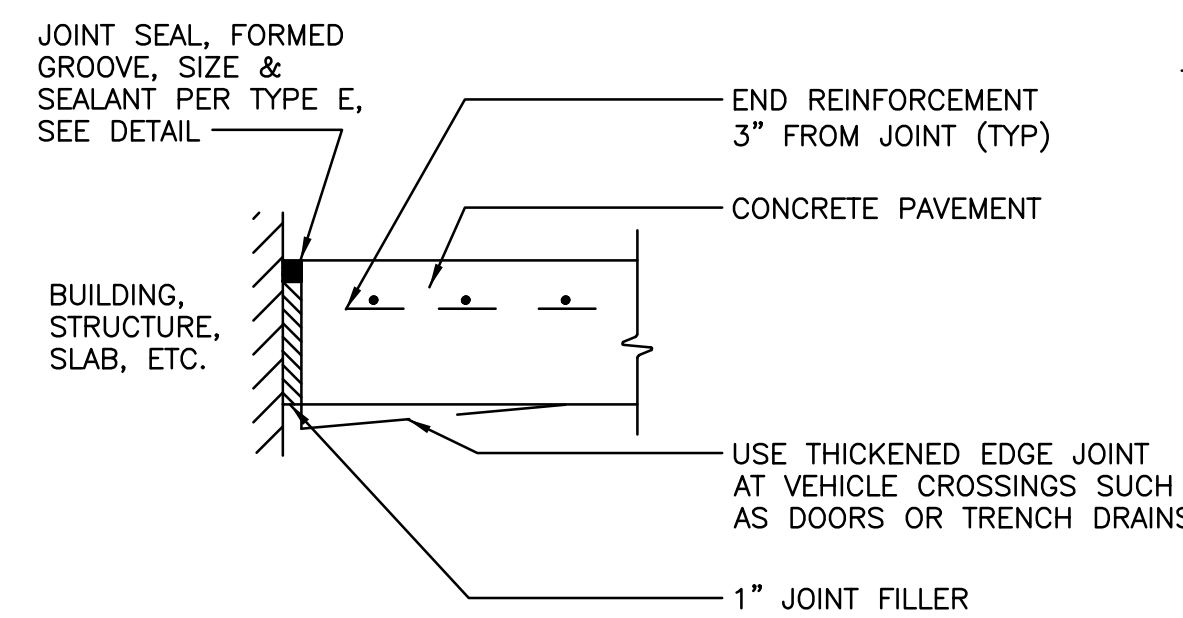
**TYPE E JOINT SEAL**  
N.T.S.



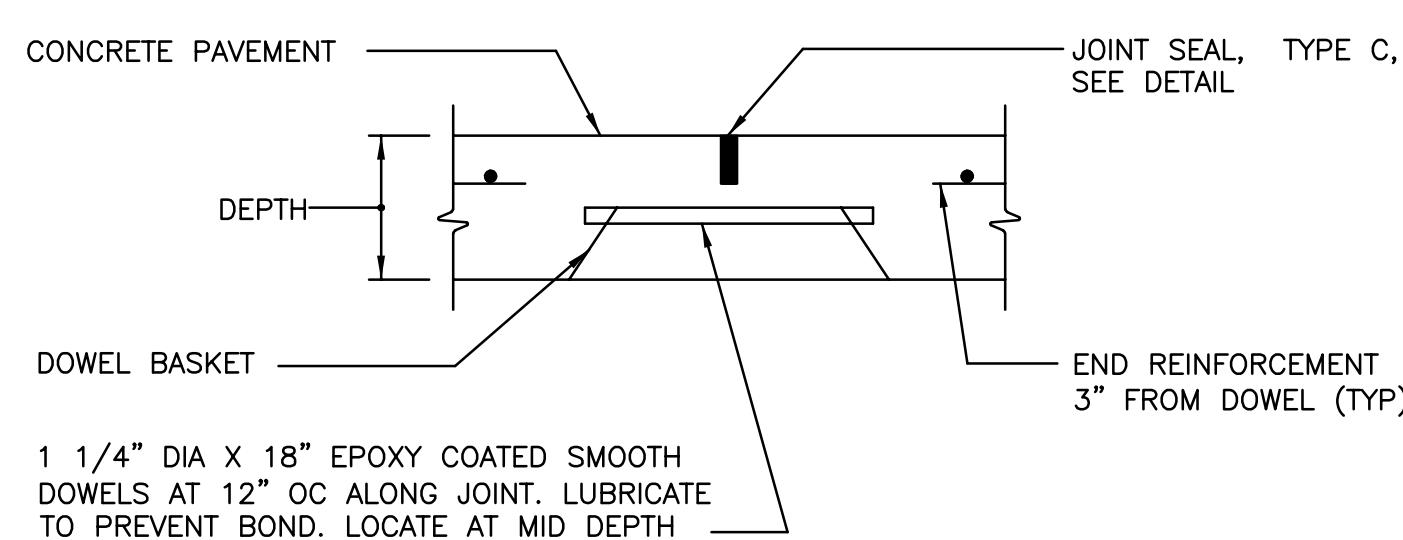
**ISOLATION JOINT**  
N.T.S.



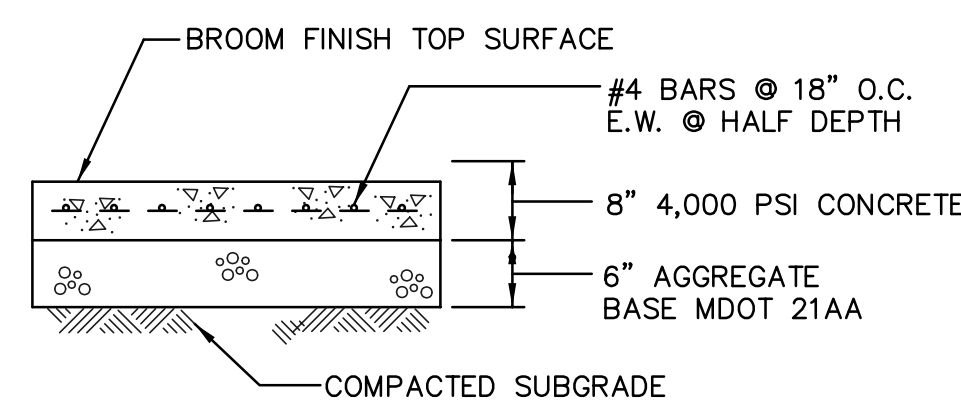
**TYPE C JOINT SEAL**  
N.T.S.



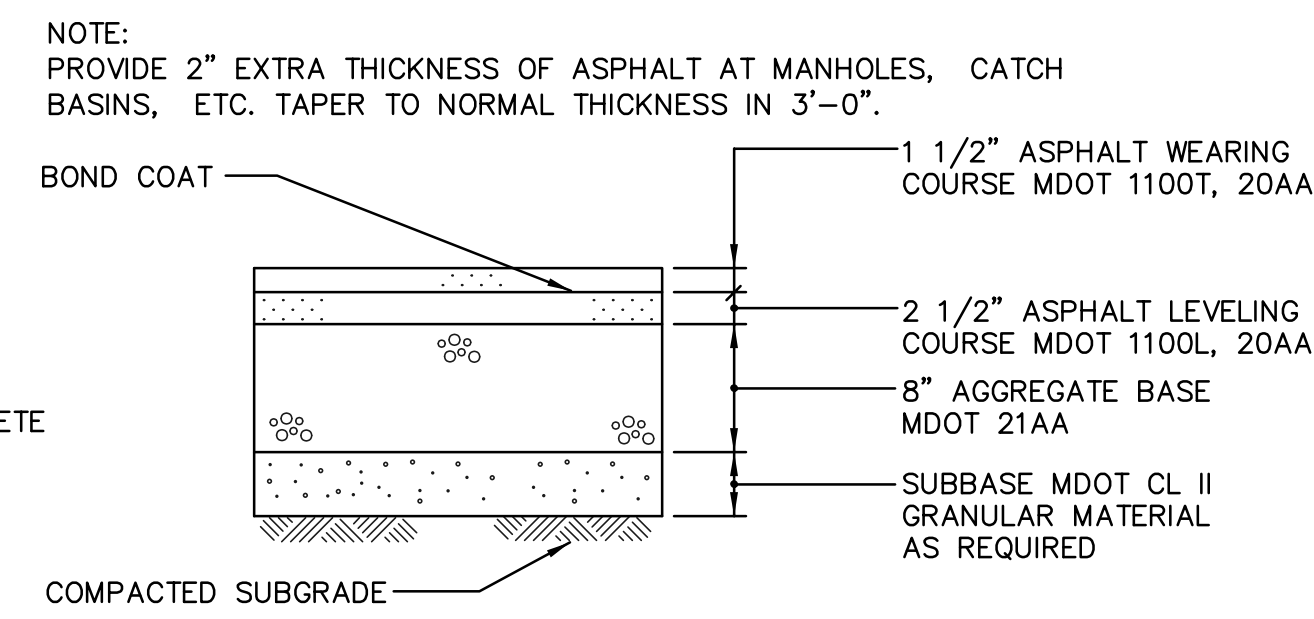
**EDGE EXPANSION JOINT**  
N.T.S.



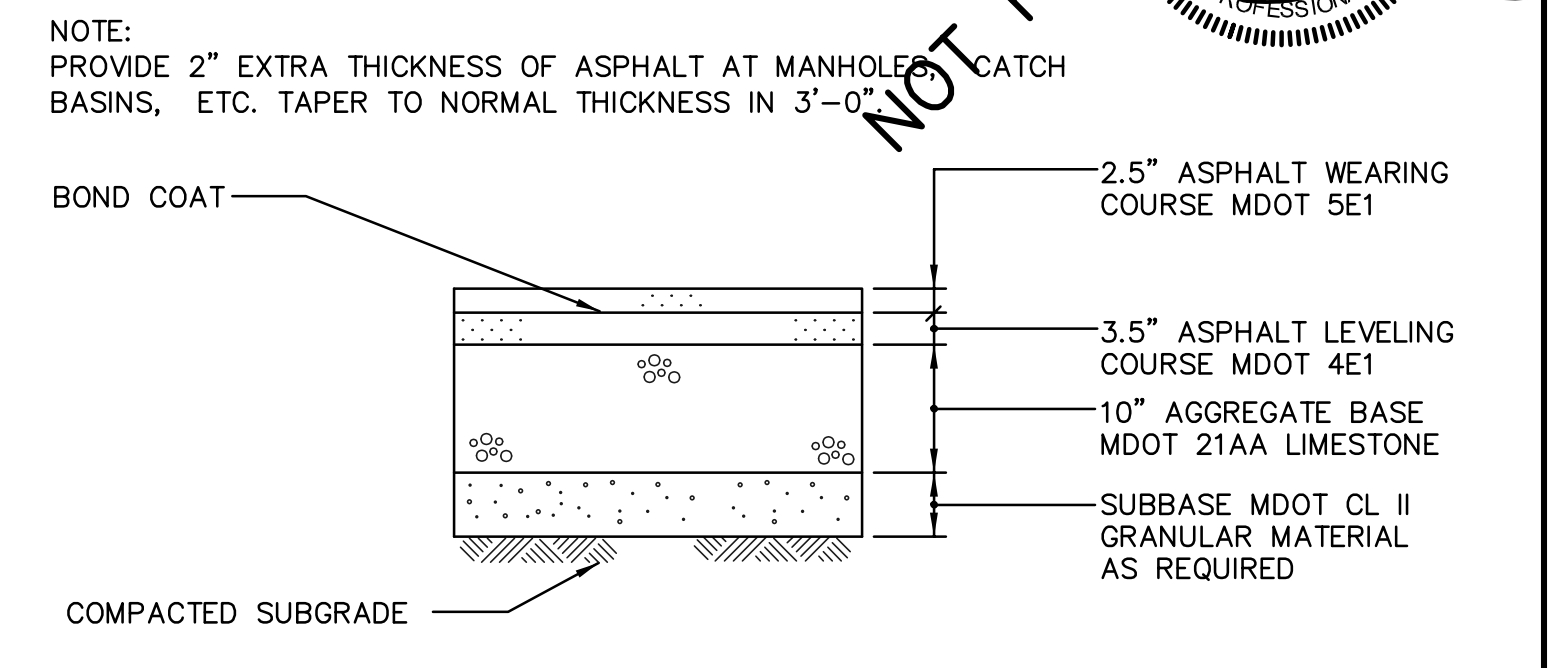
**CONTRACTION JOINT**  
N.T.S.



**CONCRETE PAVEMENT**  
N.T.S.

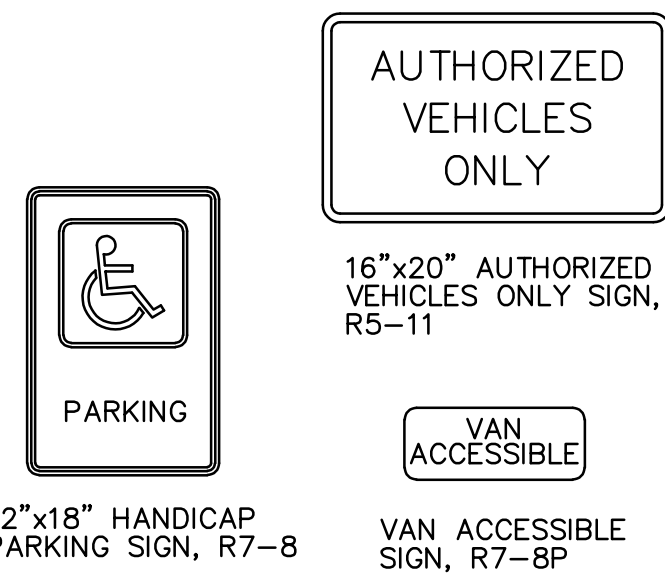


**STANDARD DUTY ASPHALT PAVEMENT**  
N.T.S.



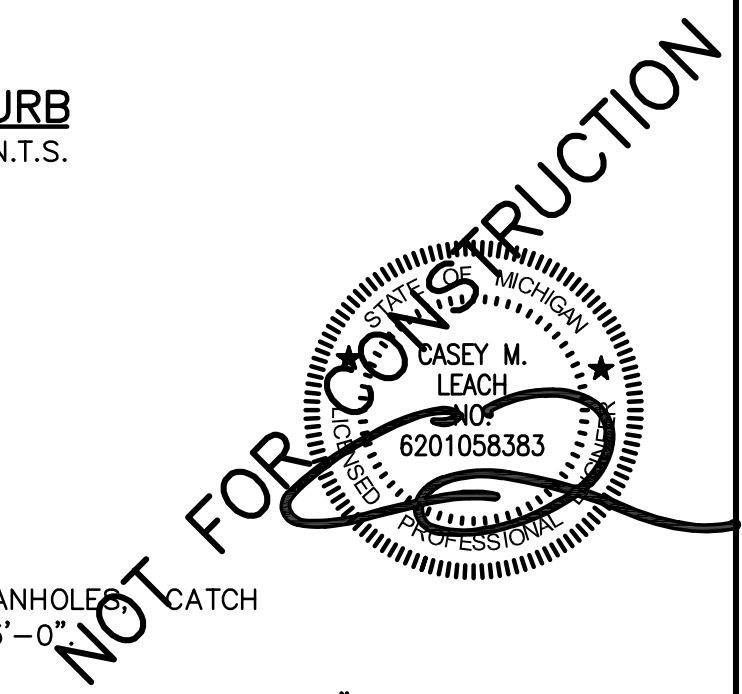
**HEAVY DUTY ASPHALT PAVEMENT**  
N.T.S.

- SIGNAGE NOTES:**
- ALL SIGNS SHALL CONFORM TO THE CURRENT EDITION OF THE MUTCD.
  - MOUNT SIGNS TO BUILDING USING STAINLESS STEEL HARDWARE OR PER SIGN MOUNTING DETAIL THIS SHEET. MIN. HGT. 72" ABOVE FINISHED GRADE.



**SIGNS**  
N.T.S.

**NOTE:**  
PROVIDE 2" EXTRA THICKNESS OF ASPHALT AT MANHOLES, CATCH BASINS, ETC. TAPER TO NORMAL THICKNESS IN 3'-0".



DATE: 04/19/24 ISSUE: PRELIMINARY SITE PLAN

**PROPRIETOR:**  
LASTING IMPRESSIONS  
2255 PORTER ROAD  
WHITE LAKE, MICHIGAN 48348  
(248) 830-2828

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DATE: 04/18/24 CKD. BY: CL DATE: 04/19/24  
DRAWN: CL  
DESIGN: CL  
SECTION: 1 T-3-N-R-8-E

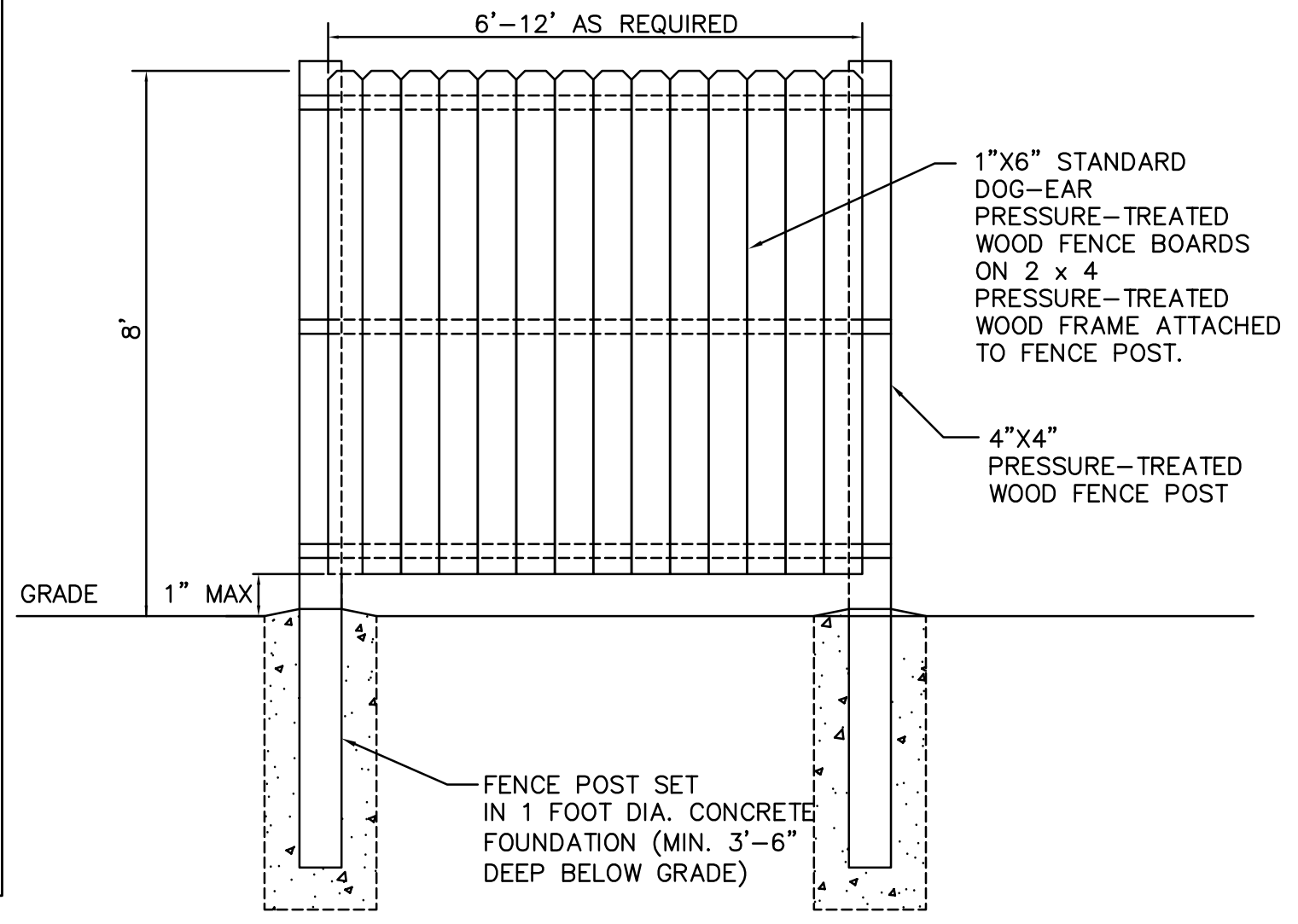
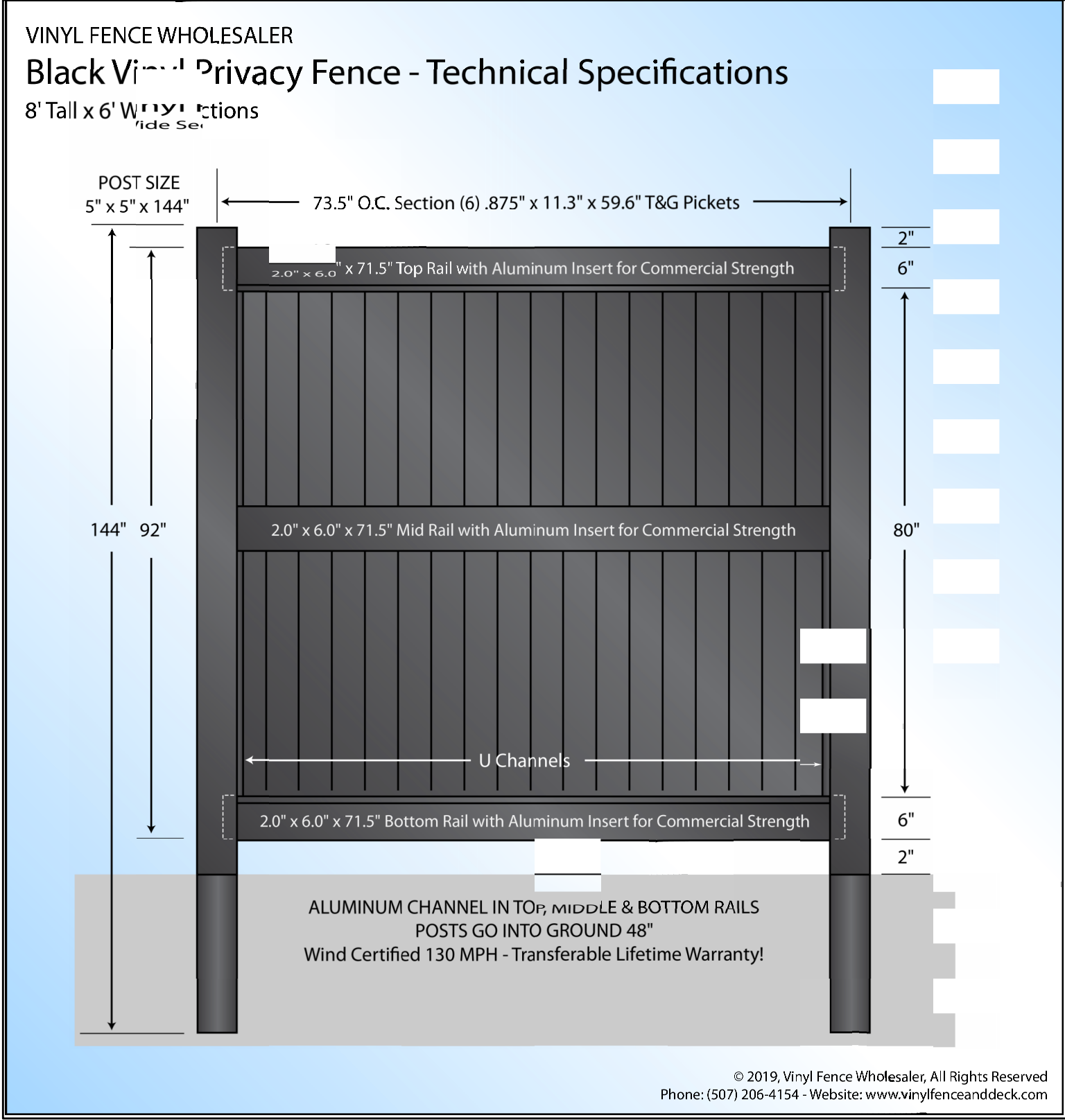


**DETAILS - PAVING, SIGNS, & WALK**  
LASTING IMPRESSIONS  
PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE: AS SHOWN  
SHEET NO: C5.01  
KE 2023.104

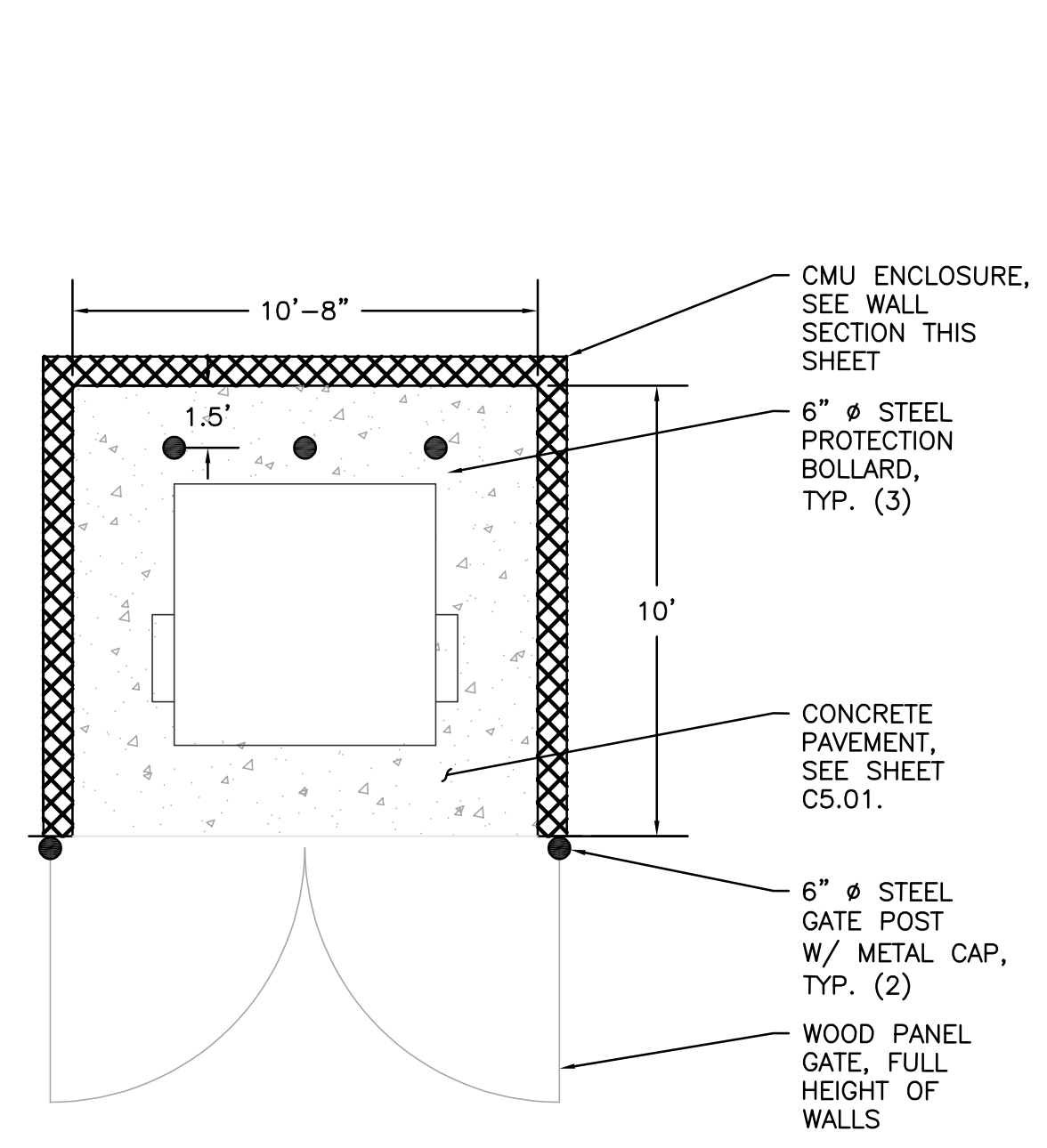
LASTING IMPRESSIONS



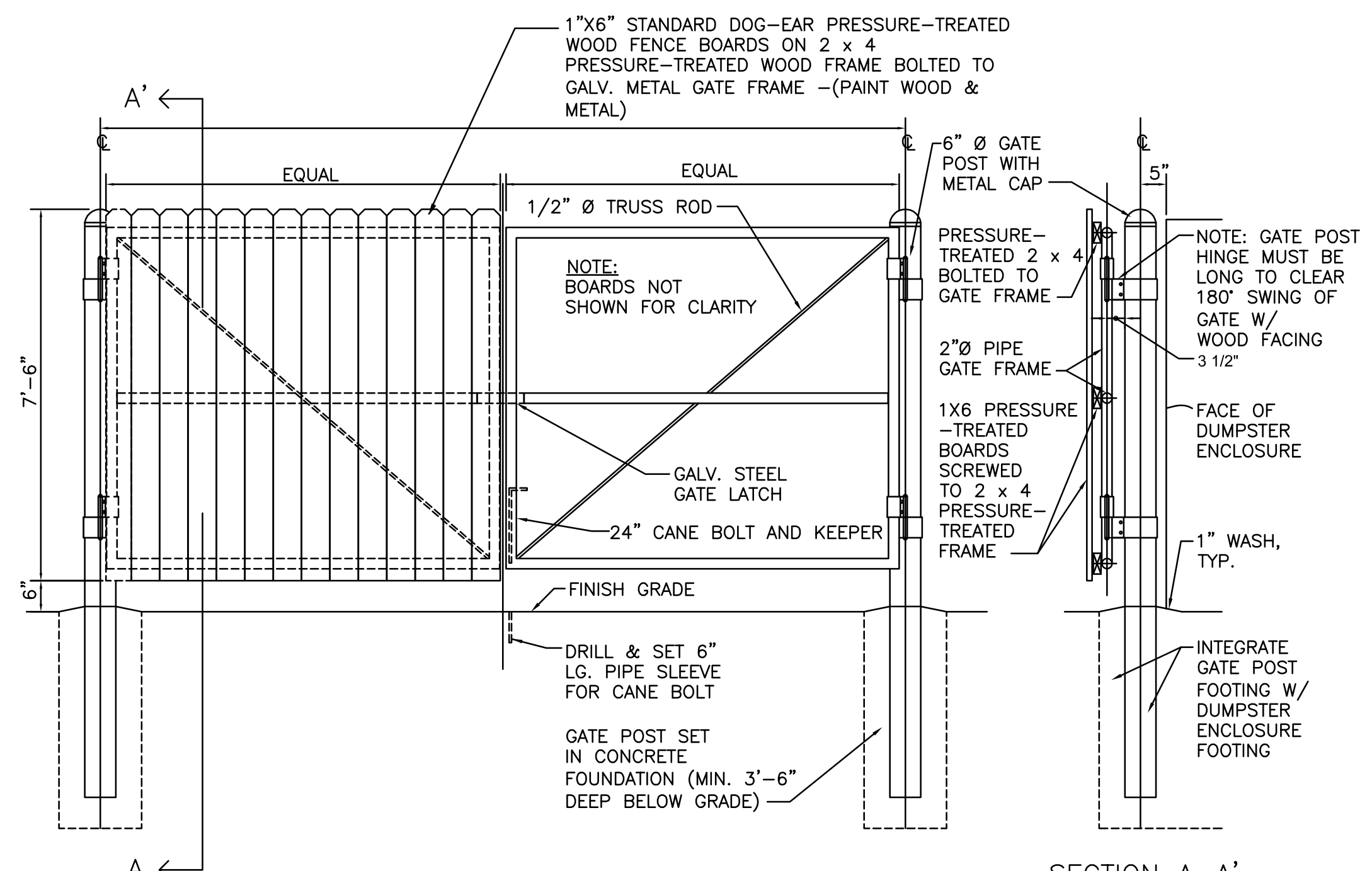


VINYL FENCE  
N.T.S.

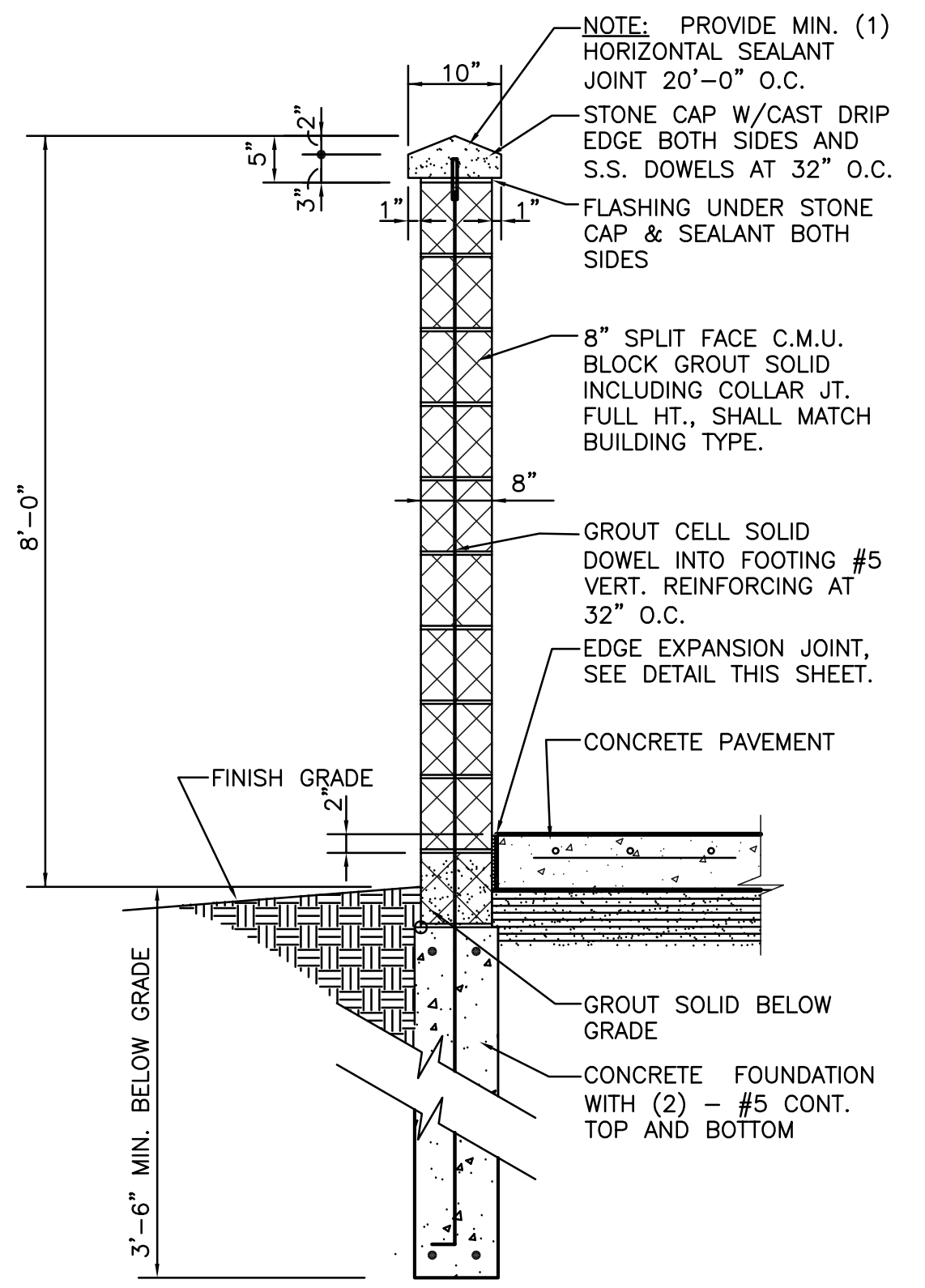
DOG-EAR FENCE  
N.T.S.



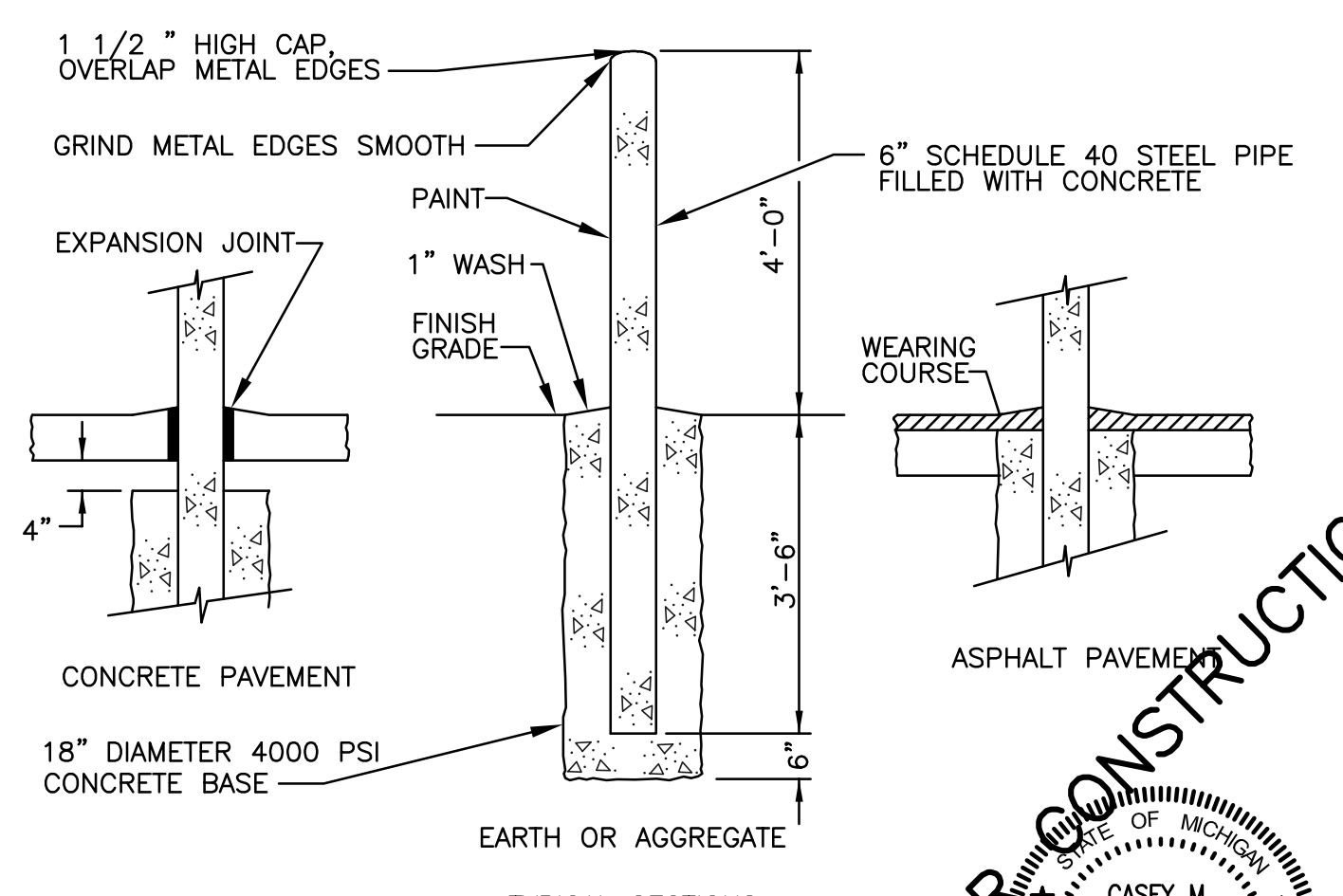
DUMPSTER ENCLOSURE PLAN  
N.T.S.



ELEVATION AT DUMPSTER ENCLOSURE GATES  
N.T.S.



DUMPSTER ENCLOSURE WALL SECTION  
N.T.S.



PROTECTION BOLLARD  
N.T.S.

NOT FOR CONSTRUCTION

CASEY M. LEACH  
PROFESSIONAL ENGINEER  
6201058383

DATE	ISSUE
04/19/24	PRELIMINARY SITE PLAN

**PROPRIETOR:**  
LASTING IMPRESSIONS  
2255 PORTER ROAD  
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DATE: 04/18/24	CKD. BY: CL	DATE: 04/19/24
DRAWN: CL		
DESIGN: CL		
SECTION: 1	T- 3 -N- R- 8 -E-	



**DETAILS - DUMPSTER ENCLOSURE & FENCING**  
LASTING IMPRESSIONS  
PART OF THE NORTH 1/2 OF SECTION 1, T3N, R8E,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE: AS SHOWN
SHEET NO: C5.02
KE 2023.104

LASTING IMPRESSIONS















