

Director's Report

Project Name: Mack Industries
 Description: Preliminary and final site plan approval
 Date on Agenda this packet pertains to: June 4th, 2026

- | | |
|--|---|
| <input type="checkbox"/> Public Hearing | <input type="checkbox"/> Special Land Use |
| <input type="checkbox"/> Initial Submittal | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Revised Plans | <input type="checkbox"/> Other: |
| <input checked="" type="checkbox"/> Preliminary Approval | |
| <input checked="" type="checkbox"/> Final Approval | |

You will check all the boxes the project applies to above

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Community Development Director	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Based on comments from staff & consultants
Mike Leuffgen	DLZ	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 05/15/2026
Matteo Passalacqua	Carlisle Wortman Associates, Inc	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 05/11/2026
Jason Hanifen	WLT Fire Marshal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	05/13/2026



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May 15, 2026

Sean O' Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

**RE: Mack Industries Addition - Preliminary Site Plan Review- 2nd Review
-Final Site Plan Review-1st Review**

DLZ # 2645-8022-03

Dear Mr. O' Neil,

Our office has reviewed the above-mentioned plan prepared by PEA Group and dated April 30, 2026. This plan was reviewed for general engineering feasibility and conformance with the Township Engineering Design Standards. We offer the following comments for your consideration:

Site Improvement Information-

- Expansion of existing 14,000 SF manufacturing building to 134,708 SF.
- Removal of existing building to the east of proposed building expansion.
- Proposed 3,440 SF office/ employee training room building.
- Proposed detention and infiltration system as well as leaching basins for stormwater management.
- Manufacturing and training buildings to be serviced by proposed well for water.
- Office/employee training building to be serviced by proposed septic for sanitary.

The following items should be noted with respect to Planning Commission review:

Please note that comments from our April 16, 2026 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

General

1. Cover Sheet C-0.0- Project Narrative- Paragraph 1- Building square footage has changed to 134,708. Please update.

2. We note that when using the scale provided on Sheet C-3.0 that the scale does not correspond to the plan dimensions proposed. Please revise.

Grading/Paving

1. *We defer to the Township as to whether the existing parking lot shall be brought up to current standards in terms of paving, curbing, and striping (Zoning Ordinance 5.11.Q xi and xviii). At a minimum, we recommend a paved van accessible ADA space(s) and associated loading zone be provided either within the existing parking lot or adjacent to the proposed training room building (Zoning Ordinance 5.11 O. i-iii) An ADA compliant access ramp to this building is also recommended.*
Comment partially addressed. The engineer response letter notes that the existing office parking lot near the entrance to White Lake Road is concrete; two of the 3 existing ADA spaces will be restriped. Please provide dimensions for the 2 ADA spaces, at the existing office building, that are proposed to be restriped to demonstrate compliance with current ADA space width and length standards. The existing employee parking for the manufacturing building and yard employees is gravel. We continue to defer to the Township as to whether this parking lot shall be required to be brought up to current standards in terms of paving, curbing, and striping. The plan now shows a van accessible parking space and loading zone at the training room building.
2. *We defer to the Township Planning department related to extending sidewalk along the property frontage. Will the improvements trigger this requirement?* **Comment addressed and remains as a notation. The applicant is requesting a waiver from the Township to not construct sidewalk along the White Lake Road frontage.**
3. *Sheet C-9.0- Remove duplicate concrete sidewalk detail on this sheet.* **Comment addressed. Duplicate detail has been removed.**

Sanitary Sewer

1. *Oakland County Health Department will need to approve and permit septic field for this property.*
Comment remains as a notation.
2. *It is not clear as to whether restrooms are proposed in the proposed manufacturing building expansion or whether there are existing facilities in the existing 14,000 SF building. Is the existing manufacturing building on septic? Please clarify. We note that any building floor drains shall be required to be connected to the septic system as the proposed expansion is required to be brought up to current Township requirements.* **Comment addressed. Engineer response letter notes that the existing manufacturing building does not have restrooms or floor drains.**

Watermain

1. *We defer to the Township Fire Department regarding adequate fire suppression requirements.*
Comment addressed. Design engineer notes " The building does not require fire suppression per 903.2 for use Group F-2 as noted on the architectural sheets."

2. *Provide a fire truck turning plan for a 40 foot fire truck to demonstrate all proposed buildings are accessible by a fire truck. **Comment partially addressed. Fire truck maneuvering path is now shown on plan; however, a portion of the path (see two small areas west and south of proposed 134,708 SF building)is shown in a couple areas where material storage is still shown. Are these materials within the proposed fire truck path proposed to be relocated?***
3. *Clarify if the existing manufacturing building has water service. **Comment addressed. Expanded manufacturing building is proposed to have water service; this is now shown on plan.***
4. *Oakland County will need to approve the well permit for this property. **Comment remains as a notation.***

Stormwater Management

1. *Leaching basins are only allowed per the following requirements from WLT Engineering Design Standards C.5.a.-c.Please confirm the following conditions apply:*

Engineered Infiltration Systems may be utilized when all the following conditions exist:

- a. *No adequate storm sewer, open ditch, or road drain is available for storm water disposal, and an open retention pond is not prudent or feasible. **Condition has been met.***
- b. *Soil composition is optimum and ground water table is suitable for percolation. Optimum soil conditions defines soil composed entirely of coarse sand, gravel, or a coarse sand gravel mixture. A soils report by a licensed engineer with borings to 10 feet below the bottom of the infiltration system with groundwater level data and in situ or laboratory determined permeability rates and recommending the advisability of an Engineered Infiltration System shall be provided. **Condition not met. Per design engineer response, a soils and infiltration report shall be provided at the time of Final Engineering Plan submittal.***
- c. *Leaching basins shall be sized as a combination storage and groundwater discharge detention basin with storage volume determined the same as open detention basins. The discharge rate shall not exceed a perc rate of 6" per hour for the bottom and sides of the soil/stone interface (sides of the trenches). Stone voids ratio may be assumed as 0.40. **Condition has been met.***

*One of two standard basins based on the designs shown on the Township Standard Storm Sewer Detail Sheet or proprietary underground storage/infiltration systems or other engineered systems if approved by the Township Engineer may be used. **Comment addressed. A StormArc system and associated calculations have been specified/provided. In addition, standard leaching basins per Township standards are proposed.***

3. *The leaching basin detail shown on Sheet C-9.0 shall be per Township Storm Sewer Details or subject to DLZ's review and approval. See Comment 1c above. **Comment addressed. The detail is per Township standard detail and has now been labeled as such.***

4. *Provide preliminary storm/infiltration calculations for the proposed leaching basins.* **Comment partially addressed. Storm/infiltration calculations have been provided; we note that for calculation for I1, we calculate 2.76 in/hr; please verify.**
5. *What is the intent to collect stormwater drainage from the proposed training room building? We note that the building FG and FF elevations will sit slightly lower than some existing surrounding grades including proposed septic field grades. At a minimum, the proposed building downspouts shall be routed into a leaching trench/basin system instead of spilling to grade.* **Comment addressed. A StormArc detention and infiltration system is now proposed for this building for collection of stormwater runoff.**
6. *The leaching basins for the proposed manufacturing building expansion are proposed in the designated clear path which is not to be paved. Please specify how the basins will be kept free of dirt and debris.* **Comment addressed. The proposed StormArc system is a protected concrete system.**
7. *The condition of the existing leaching trench on the south side of the existing 14,000 SF manufacturing building shall be evaluated and any maintenance performed as required.* **Comment remains as a notation. A note has been added to plan to evaluate this existing trench.**
8. Additional information regarding the rim elevations of the ‘Ultimate Overflow Outlets with Weir/Orifice Elevation at Top of Detention System’ as well as a profile of these areas will be required at time of FEP submittal.

Recommendation

The plan now demonstrated engineering feasibility. There are a few items listed above which can be addressed on the Final Engineering Plan. We are now recommending approval of the Preliminary and Final Site Plan subject to Township acceptance of the parking lot as presented and waiver of sidewalk construction along the White Lake Road frontage.

Please contact our office should you have any questions.

Sincerely,

DLZ Michigan



Michael Leuffgen, P.E.
Department Manager



Victoria Loemker, P.E.
Senior Engineer



Cc: David Waligora, Community Development, White Lake Township, *via email*
Hannah Kennedy-Galley, Community Development, White Lake Township, *via email*
Paige Myers, Community Development, White Lake Township, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Jason Hanifen, Fire Marshall, White Lake Township, *via email*
Nick Spencer, Building Official, White Lake Township, *via email*
Matteo Passalacqua, Carlisle Wortman, *via email*

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Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

May 11th, 2026

Amended Site Plan Review for White Lake Charter Township, Michigan



Applicant:	Mack Industries
Project Name:	Structure Expansion / Amended Site Plan
Plan Date:	March 30, 2026
First Revision	April 30, 2026
Location:	8275 White Lake Road / Parcel ID 12-01-176-004
Action Requested:	Amended Site Plan Review

PROJECT NARRATIVE

The applicant is requesting to amend their final site plan by expanding the existing 14,000 sqft structure to 148,708 sqft. A small 3,440 sqft building is proposed northeast of the new building as well. The existing building at the entrance of the facility is to remain while the existing building directly east of the new building is to be demolished.

The Site Data table on Sheet C-3.0 states the expanded building is to be used for manufacturing and the small new building is to be used as an office and training. The applicant states the expansion of the existing warehouse building will accommodate expanded manufacturing of manholes, vaults, and culverts. The building will also house concrete batch plant production and pipe fabrication activities.

The response letter dated May 1st, 2026 states the existing areas of outside storage will remain. The stored materials within the area of building expansion will be relocated to areas of existing outside storage, as existing inventory is either shipped out of the yard or un-used inventory is sent to the concrete crusher.

A note on the sheet states the materials stored in the dashed area are to be removed to allow storage of inventory within the expanded building. Dotted areas that are within the footprint of the expanded building are to be removed to make way for the expansion and a 26 foot access path around the perimeter of the expanded building.

Outdoor storage of pallets, containers, materials, or products incidental to the principal permitted use requires a special land use permit. Township records indicate the site has been permitted to operate

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

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May 11, 2026

continuously as a concrete production facility with outdoor storage since the 1960's. Under these circumstances, the site's outdoor storage may be an existing non-conforming use which may continue to operate with the following guidance from Section 7.24 of the zoning ordinance:

- A. The nonconforming use shall not be enlarged or increased, nor extended to occupy a greater area of land than was occupied at the effective date of adoption or amendment of this Ordinance.
- B. The nonconforming use shall not be moved in whole or in part to any portion of the lot or parcel other than that occupied by such use at the effective date of adoption or amendment of this Ordinance.
- C. If the nonconforming use of land ceases for any reason for a period of more than one (1) year, thereafter such land shall conform to the regulations specified by this Ordinance for the district in which such land is located.
- D. Only structures conforming to the requirements of this Ordinance shall be erected in connection

From the statements made by the applicant, it appears there is no proposed expansion of the outdoor storage footprint. However, we recommend the site plan be updated showing specifically where existing materials stored outside are to be relocated prior to the issuance of a certificate of occupancy. This will ensure no unintended expansion of the outdoor storage has taken place. If the outdoor storage must be expanded to accommodate the proposed improvements, or the applicant seeks to expand outdoor storage for future operations, then a special land use permit shall be required.

Items to be Address: *We recommend the site plan be updated showing specifically where existing materials stored outside are to be relocated prior to the issuance of a certificate of occupancy. This will ensure no unintended expansion of the outdoor storage has taken place. If the outdoor storage must be expanded to accommodate the proposed improvements, or the applicant seeks to expand outdoor storage for future operations, then a special land use permit shall be required.*

SITE DESCRIPTION

Lot Area:	93.20 net/gross acres
Frontage:	Approx. 2,400 feet along White Lake Road
Address:	8275 White Lake Road
Current Use:	Light Industrial Pre-Cast Concrete Product Manufacturing

Aerial image of the site



Source: NearMap September 2025

Mack Industries

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	North	East	South	West
Surrounding Zoning	<i>LM, Light Manufacturing</i>	<i>AG, Agricultural Farm / ROS, Recreation and Open Space</i>	<i>ROS, Recreation and Open Space</i>	<i>AG, Agricultural</i>
Surrounding Land Uses	<i>Small Scale Industrial</i>	<i>Vacant</i>	<i>Vacant</i>	<i>Vacant</i>
Future Land-Use Map	<i>Production / Technology</i>	<i>Production / Technology – Recreation / Open Space</i>	<i>Recreation / Open Space</i>	<i>Production / Technology</i>

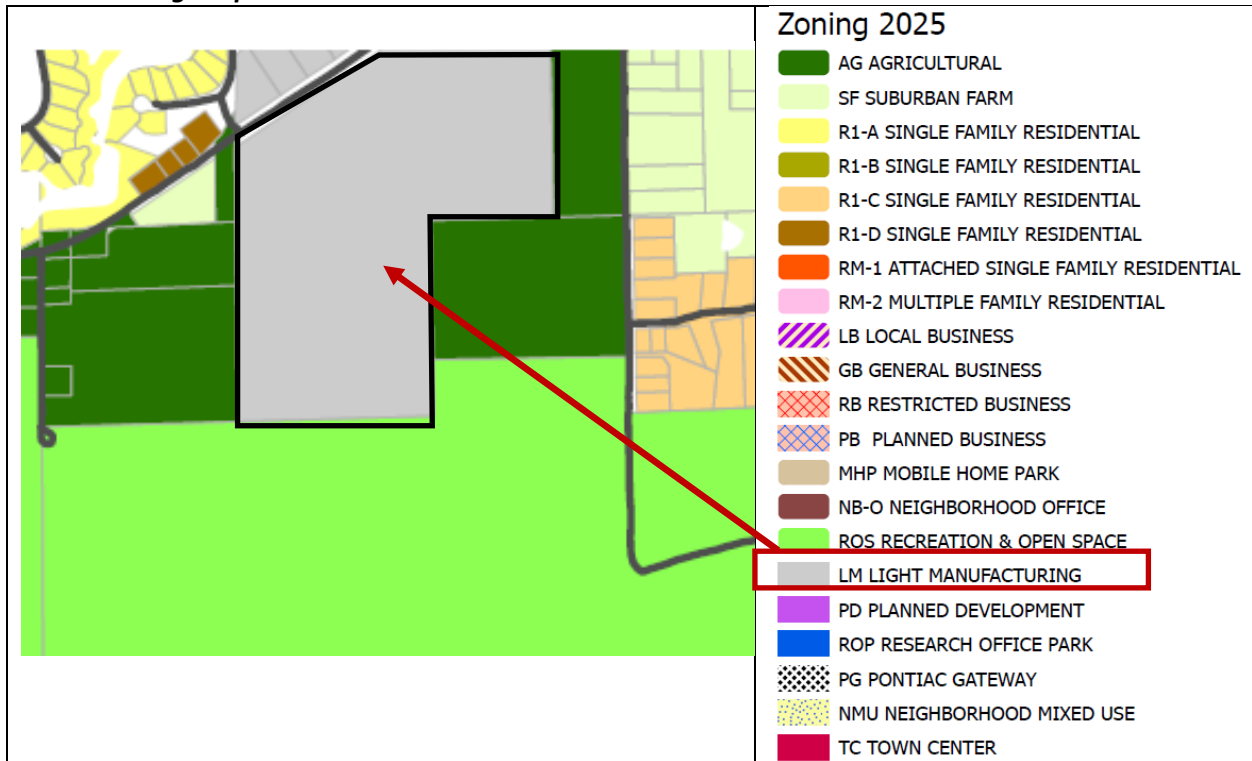
Current Zoning	<p>LM, Light Manufacturing</p> <p><i>The LM, Light Manufacturing District is established as a district in which the principal uses allowed are light manufacturing, fabrication, processing, wholesale activities or warehousing activities. The intent of this article is to control nuisance effects of warehousing, wholesale activities, open storage, and light industry such as smoke, noise, odor, dust, dirt, glare, vibrations, and other adverse effects so that such uses could be compatible with other nearby land uses such as commercial or residential.</i></p> <p><i>The light manufacturing district encourages uses to locate on major highways so that traffic generated by these uses would not utilize local residential streets. In LM Light Manufacturing Districts principal permitted uses are those which are characterized by less intensive activities of a smaller size and scale than typically found in heavy industrial, general manufacturing areas. Light industrial uses are anticipated to locate in industrial park types of settings where uses are conducted within totally enclosed buildings with little or no outside activities permitted. Typical light manufacturing activities concentrate upon production and processing activities together with related technical, design and administrative functions. Activities which involve large volumes of truck traffic are not light manufacturing activities.</i></p>
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Mack Industries

Amended Site Plan Review / First Revision

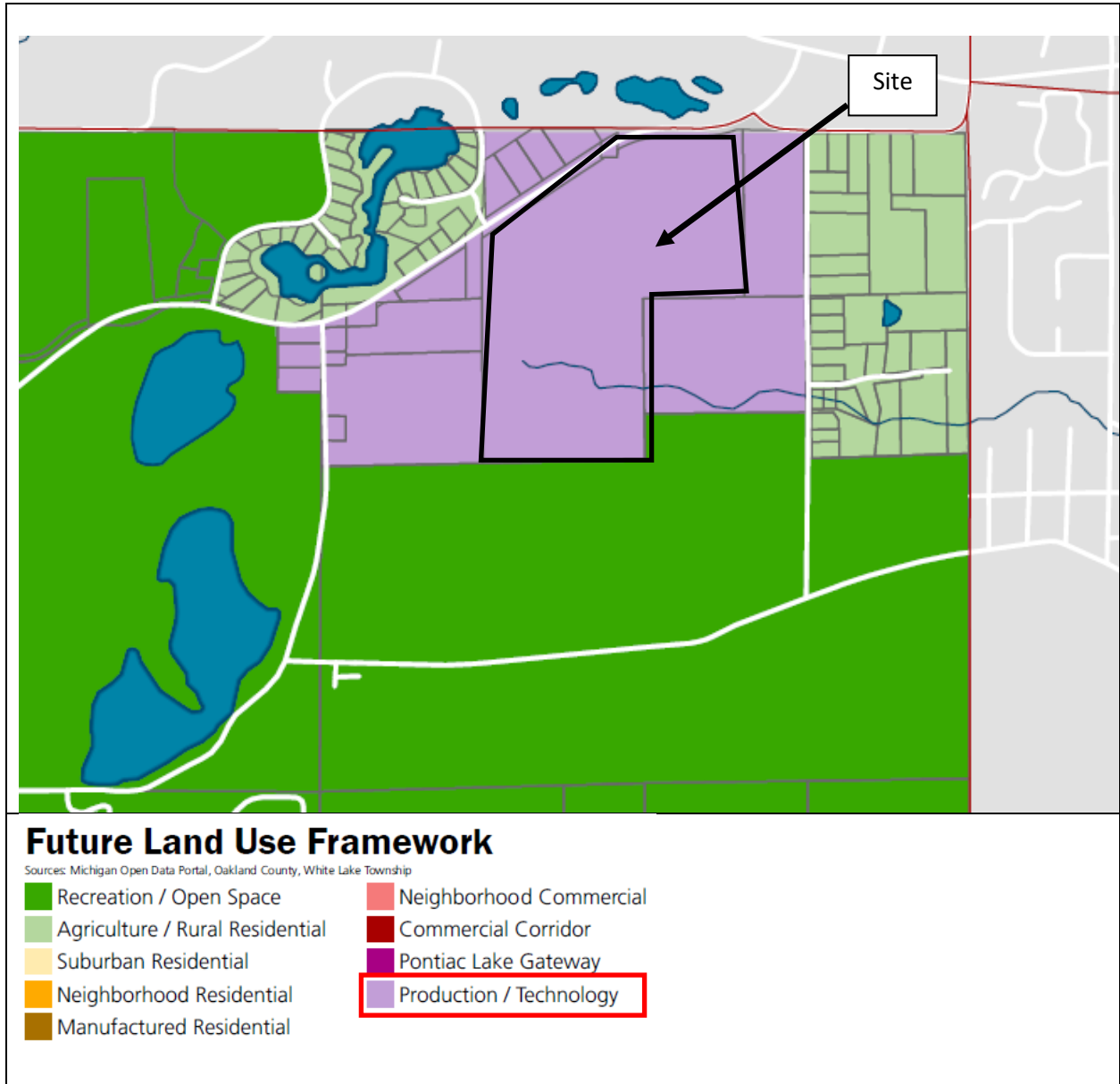
May 11, 2026

Current Zoning Map



Future Land Use	Production / Technology <i>Serves community's need for research facilities and light industrial opportunities.</i>
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Future Land Use Map



Item to be Addressed: None.

NATURAL RESOURCES

Topography: Sheet C-1.0 shows existing site topography for the developed portion of parcel. The portion of the site dedicated to operations is relatively flat. No proposed grading plans have been provided.

We defer to Township Engineering for any concerns with the proposed grading plans as well as any issues cited regarding stormwater management and natural environment protection.

Wetlands: Per the Department of Environment, Great Lakes and Energy (EGLE) wetland mapper tool, it is possible that some wetlands may exist at the extreme southern end of the parcel. However, this area is not proposed for any development in this plan.

Woodland: The portion of the site used for operations is clear of trees and vegetation. The area to the south of operations contains mature vegetation. The proposed expansion of the structure would not impact the natural portions of the site.

Soils: Predominant soils are Leoni Gravelly Sandy Loam, Urban Land and Houghton and Adrian Mucks.

Water: No waterbodies are present onsite.

General Notes: None.

Item to be Addressed: Any items cited by Township Engineering.

AREA, WIDTH, HEIGHT, SETBACKS

Standard bulk and lot regulations for the LM zoning district are set forth in Section 3.1.20 and Section 3.11.

Light Manufacturing District Standards

	Required	Proposed	Compliant
Expanded Building Setbacks			
Front	70 feet	175.24 feet	Yes
Side	50 feet	West Line / 1,026.38 feet East Line / 692.99 feet	Yes
Rear	50 feet	546.38 feet	Yes
Wetland	25 feet	N/A	N/A
Height	40 feet or 2 stories	50.33 feet	No / Variance granted April 23, 2026

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Accessory Office Building			
Front	70 feet	314.47 feet	Yes
Side	50 feet	West Line / Not Provided East Line / 570.94 feet	Likely Yes
Rear	50 feet	937.26 feet	Yes
Wetland	25 feet	N/A	N/A
Height	40 feet or 2 stories	16.83 feet	Yes
Lot Standards			
Minimum Lot Size	1 acre	93.20	Yes
Minimum Lot Width	175 feet	Approx. 2,400 feet	Yes
Maximum Lot Coverage	30%	4.88%	Yes
Lot Depth to Width Ratio	4 to 1	Not Provided	Likely

Items to be Addressed: None.

ACCESS & CIRCULATION

Vehicle Access & Circulation

The site’s sole ingress/egress is an approx. 40-foot-wide concrete drive located on White Lake Road. Distances between the existing drive and the nearest site access drives and intersections have not been provided, however they appear to comply with the minimum distances established in Section 6.4.C.i.

The response letter dated May 1, 2026 states the expansion is anticipated to generate seven additional trucks per day including two additional aggregate truck deliveries, one additional cement truck delivery, and four additional delivery trucks shipping materials offsite. The Township will need to determine if this increase in truck traffic warrants additional traffic information.

26-foot-wide clear paths are shown at the entrance of the site and around the new structures. A secondary access point from White Lake Road is shown west of the primary access drive. Emergency vehicle access circulation is provided on Shet C-3.0. No truck wells are proposed as part of the building expansion.

Non-Motorized Access and Circulation

5-foot-wide concrete pathways are proposed around the accessory office building. No pedestrian pathways are outlined around the expanded structure.

Per Section 5.21, a 6-foot-wide sidewalk is required along the White Lake Road frontage. The applicant is requesting a waiver from this requirement due to the fact that installing such a pathway would require the removal of a significant number of trees and berm that currently provide screening of the facility along White Lake Road.

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Public Transit

No public transit services are offered in this area of the Township.

White Lake Township is also served by the Western Oakland Transportation Authority which provides schedule transportation for Township residents with specific needs.

Items to be Addressed:

- 1) *Township Engineering concerns.*
- 2) *Township Public Safety concerns.*
- 3) *The Township will need to determine if the increase in truck traffic warrants additional traffic information.*

PARKING & LOADING

The site currently provides a total of 98 parking spaces. Sheet C-3.0 states the existing parking located near the site’s main entrance is sufficient for current and future parking needs. Section 5.11.M states “The amount of required off-street parking space for new uses of buildings, additions thereto, and additions to existing buildings as specified shall be determined in accordance with table in Section 5.11.M.” Utilizing the calculations provided in Section 5.11.M, it is estimated that current uses on the site would require 83 parking spaces. Per the flexibility granted to the Planning Commission via to allow 75%-125% of required parking, the existing parking appears to be sufficient.

Parking lots are required to be constructed of asphalt or concrete and require concrete curbing around the perimeter of the parking area. However given the current parking lot was accepted during the last amended site plan review in 2020, the lot may remain as-is so long as sufficient parking is provided by the lot in its current condition. If additional parking is needed, the parking lot will need to be brought into compliance with current layout, construction, and placement standards.

The response letter dated May 1,2026 states loading zones are utilized throughout the site but are not permanently placed due to the nature of operations. Trucks are loaded and unloaded per the type of materials being handled and their location on the lot at any given time. Therefore, loading zones cannot be provided on the site plan.

Items to be Addressed:

1. *Planning Commission to determine applicants request to not show loading zones on the site plan per applicants explanation provided in the response letter dated May 1, 2026.*
2. *The parking lot may remain as-is so long as sufficient parking is provided by the lot in its current condition. If additional parking is needed, the parking lot will need to be brought into compliance with current layout, construction, and placement standards.*

ESSENTIAL SERVICES & UTILITIES

The site is served by DTE for electricity and Consumers for gas. Proposed septic and well are shown on Sheet C-4.1. We defer to Township Engineering on the designs and placement of these systems.

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We defer to Township Public Safety to determine the feasibility of site design and fire lanes.

Items to be Addressed:

- 1) Any cited concerns of Township Engineering.
- 2) Any cited concerns of Township Public Safety.

LANDSCAPING & SCREENING

Sheets C-10.0 and L-1 provide information regarding proposed landscaping screening along White Lake Road.

Greenbelts

Property Line	Required	Provided	Compliant
North (ROW)	Approx. 2,440 feet – 81 large deciduous or evergreen trees and 650 shrubs	31 large deciduous or evergreen trees, and 0 shrubs. Existing vegetation	No / Waiver Required
East (AG)	A1 or A2 Land Form Buffer and Screen Wall	Existing Vegetation	No / Waiver Required
South (ROS)	None	Existing Vegetation	Yes
West (AG)	A1 or A2 Land Form Buffer and Screen Wall	Existing Vegetation	No / Waiver Required

The Planning Commission will need to consider the site’s existing vegetation and proposed infill landscaping to assess if waivers are appropriate or additional landscaping or screening is necessary.

Parking lot landscaping will be required if the parking area requires expansion and therefore current standards shall apply.

The response letter dated May 1, 2026, states the site does not have, nor plans to install, a trash enclosure. The property utilizes several 10-yard dumpsters that are moved throughout the site according to operations.

All ground and rooftop equipment will need to be screened per Section 5.19. The applicant states the only rooftop equipment proposed are for the new 3,440 training building and will be screened on three sides as shown on Sheet A4.

Items to be Addressed: The Planning Commission will need to consider the site’s existing vegetation and proposed infill landscaping to assess if waivers are appropriate or additional landscaping or screening is

Mack Industries

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necessary. If waivers are granted, they should only apply to this specific amended site plan. Future expansions of structure or operations will require new waiver requests.

PERFORMANCE STANDARDS

The performance standards are outlined in Section 5.18. The applicant states no additional noise is anticipated from the expanded operations.

Building lighting is proposed for the expanded structure and small accessory office building. The proposed lighting meets standards.

Items to be Addressed: None.

SIGNAGE

No signage is proposed on the site plan.

Items to be Addressed: None.

ARCHITECTURE & LAYOUT

Elevations and floor plans for both buildings are provided on Sheets A1 through A4. The expanded structure will be constructed of split faced concrete block and metal siding. The accessory office building will be constructed solely of split faced concrete block with four clear windows on the east and west elevation.

Items to be Addressed: None

SUMMARY

This review has concluded that due to the relatively unique requirements of concrete product manufacturing and the consistency of long-standing operations on the site, there is enough information provided for the Planning Commission to consider the proposed building expansion and new construction.

We do note that one of the most important considerations for the proposal is ensuring the screening of the existing and proposed site operations from White Lake Road as well as ensuring that if the onsite outdoor storage area requires expansion due to the amended site plan, or any future operations, a special land use permit shall be required.

Waivers, modifications and determinations, as well as potential conditions of approval, are provided on the next page for the Planning Commissions consideration.

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Waivers / Modifications / Determinations

1. *We recommend the site plan be updated showing specifically where existing materials stored outside are to be relocated prior to the issuance of a certificate of occupancy. This will ensure no unintended expansion of the outdoor storage has taken place. If the outdoor storage must be expanded to accommodate the proposed improvements, or the applicant seeks to expand outdoor storage for future operations, then a special land use permit shall be required.*
2. *Planning Commission to determine applicants request to not show loading zones on the site plan per applicant's explanation provided in the response letter dated May 1, 2026.*
3. *The Planning Commission will need to consider the site's existing vegetation and proposed infill landscaping to assess if waivers are appropriate or additional landscaping or screening is necessary. If waivers are granted, they should only apply to this specific amended site plan. Future expansions of structure or operations will require new waiver requests.*

Potential Conditions

1. *Any items cited by Township Engineering.*
2. *Any items cited by Township Public Safety.*
3. *The Township will need to determine if the increase in truck traffic warrants additional traffic information.*
4. *The parking lot may remain as-is so long as sufficient parking is provided by the lot in its current condition. If additional parking is needed, the parking lot will need to be brought into compliance with current layout, construction, and placement standards.*

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner



Fire Department
Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 05-13-2026

Project: MACK INDUSTRIES

Job #: 20-0295.01

Date on Plans: 04-30-2026

The Fire Department has the following comments regarding the 2nd review of preliminary site plans for the project known as MACK INDUSTRIES

1. The Fire Dept has no further comments at this time.
2. The access drive and parking lot shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced to provide all weather driving capabilities.
3. Due to the proposed building height (exceeding 30 feet), Aerial Fire Apparatus Access Roads shall apply.
 - a. Shown the access drive to the proposed building with dimensions on future reviews.
 - b. Width. The access drive shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building.
 - c. Proximity to the Building. A minimum of 15 feet, and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building as approved.
 - d. Obstructions. Overhead utility and power lines shall not be located over the Aerial Fire Apparatus Road / drive or between the road / drive and the building.
4. D104.1 Buildings or facilities exceeding 30 feet or three stories in height shall not have fewer than two means of fire apparatus access for each structure.

D104.2 Buildings or facilities having a gross building area of more than 62,000 square feet shall be provided with two separate and approved fire apparatus access roads.
5. The required turning radius shall accommodate the largest Fire Department apparatus (50') and provide a turn radius profile showing apparatus movement on future plans.



Fire Department
Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

6. The angle of approach/Departure to and from White Lake roads shall not exceed 8 degrees.
7. Provide a complete scope of use including manufacturing details.

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2021 Edition and Referenced NFPA Standards.