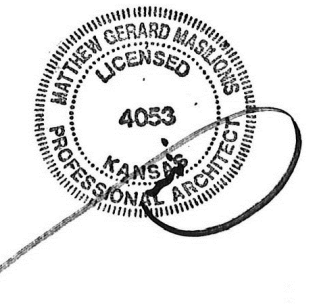


# 50TH & RAINBOW DEVELOPMENT

W 50TH STREET & RAINBOW BLVD  
WESTWOOD, KANSAS 66205



MATTHEW MASILIONIS - ARCHITECT  
KANSAS # 4053

I have prepared the drawings and assume responsibility for the above-mentioned project. I have been by and are the responsibility of the licensed engineer whose stamp and firm appear on this sheet.  
Other drawings and specifications attached for the mechanical, electrical, plumbing, civil, landscaping, structural, signage (not specified), fire suppression systems, and does not take responsibility for the compliance of these areas with the laws of the above governmental entities. The architect is not responsible for materials, components or equipment installed on the project by others. The architect is not liable or responsible for verification, during construction or upon completion of construction. The architect is not responsible for improper operation due to faulty installation or product failure during construction or after completion of construction when operation has begun by the landlord or tenant.  
The licensed professional whose stamp appears on sheets other than those specifically noted above shall be responsible for those items in paragraph three.

CONSULTANT



PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST & RAINBOW BLVD  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION
1	08/03/23	CITY COMMENTS
3	09/06/23	CITY COMMENTS

SHEET TITLE

COVER SHEET

PROJECT NUMBER  
2021073.000

SHEET AUTHOR  
K MILLER

CHECKED BY  
M PAXTON

DATE  
7.20.23

PDP SUBMITTAL

SHEET NUMBER  
**A000**

36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 09 08 07 06 05 04 03 02 01



MAIN BUILDING PERSPECTIVE RENDERING L19



PAVILION PERSPECTIVE RENDERING A19

The 50<sup>th</sup> and Rainbow Development is a proposed Planned Development District (PDD) located on the west side of Rainbow Boulevard between 50<sup>th</sup> Street and 51<sup>st</sup> Street in the City of Westwood, Kansas. The proposed project will feature approximately 19,498 leasable square feet of retail space on the 1<sup>st</sup> floor of the building and approximately 78,351 leasable square feet of office space on 3 floors above the retail. Adjacent to the main building is a smaller 8,750 leasable square foot single story office / retail building broken into two masses.  
Because of the mixed-use nature of the proposed project, it is anticipated that portions of the first and second floors of the buildings may be a mix of retail and office uses in lieu of being strictly office or strictly retail. An underground parking structure is located to the west and north of the main building with 167 covered parking spaces. 123 surface parking spaces are also provided on the east and west sides of the main building.

With regard to the 2017 Westwood Comprehensive Use Plan, the land use map in Section 3.3 identifies the proposed development location as Public / Semi-Public and Open Space. This usage type per Figure 3.2 accounts for only 4.4% and 0.3% of the overall city land use. Given the small percentage of space allocated to these uses, it seems vital to the community to maintain these land use types. The proposed development would offer a mixture of Public and Semi-Public spaces with office and retail buildings, and maintain the Open Space components with the proposed City Park. Alternatively, if the plan reverted to the R-1 Single Family Residence Zoning of the surrounding neighborhood, the location would become private space which would seem in conflict with the Comprehensive Use Plan.

The specific stated desired outcomes of the 5050 Rainbow Site, and the Westwood View Elementary site per the Westwood Comprehensive Use Plan are to:

- Protect and minimize impacts to adjacent residential property.
- Offer indoor and/or outdoor community activity/gathering spaces.
- Attract and keep residents.
- Retain and grow property values.
- Support local / small business development.

The proposed project would provide a vital fully integrated, mixed-use, pedestrian oriented commercial neighborhood that would meet all of the desired outcomes as listed in the Comprehensive Use Plan.

Specifically related to Section 1.6.17 of the Zoning Ordinance Criteria for Considering Applications for a Rezoning Request:

- A. The conformance of the proposed use to the City's Comprehensive Plan and other adopted planning policies. Per Section 6.2.2, a PD Planned Development district is equivalent to C-1 Zoning. The proposed development would be in substantial compliance with current C-1 Zoning. Minor deviations are anticipated and included in the deviations list on the cover sheet.
- B. The character of the neighborhood including, but not limited to: Land use, zoning, density (residential), architectural style, building materials, height, structural mass, siting, open space, and floor-to-area ratio (commercial and industrial). The proposed buildings have intentionally been pushed back from Rainbow Boulevard and the tallest of the buildings are at the center of the site to best fit in with the scale and character of the surrounding neighborhood. Additionally, the majority of existing trees will be preserved at the perimeter of the site to create a large multi-story landscape buffer from surrounding neighbors and preserve the existing quality of the streetscape. Building massing has been broken down in plan and elevation to create smaller scaled facades of varying colors to also complement and blend into the surrounding residential neighborhood.
- C. The zonings and uses of nearby properties, and the extent to which the proposed use would be in harmony with such zonings and uses. All nearby properties are Zoned R-1 Single Family Residential. The proposed Development would bring a mix of office and retail uses to the project compatible with the surrounding neighborhood providing residents walkable places to work and shop fulfilling the purpose of a fully integrated, mixed-use, pedestrian oriented neighborhood.
- D. The suitability of the property for the uses to which it has been restricted under the applicable zoning district regulations. While the current property could be utilized for single family residential, adding a mixture of office, retail and park functions would serve to provide additional amenities to the residents in the area.
- E. The length of time the property has remained vacant as zoned. The former church site property along Rainbow Boulevard was acquired by the City of Westwood and the church was demolished to accommodate the city's plan for future development The school, while still in use, is scheduled to be vacated in August 2024.
- F. The extent to which approval of the application would detrimentally affect nearby properties. Approval of the application would have no detrimental effect on nearby properties.
- G. The extent to which the proposed use would substantially harm the value of nearby properties. The proposed use will not harm and may enhance the value of nearby properties.
- H. The extent to which the proposed use would adversely affect the capacity or safety of the portion of the road network influenced by the use, or present parking problems in the vicinity of the property. The existing site functions as both a school and a park, creating peak traffic times as well as various visitor traffic throughout the day. Traffic flow for the proposed development would be of a similar nature with peak traffic times at the beginning and end of the office work day, and various visitor traffic to retail shops throughout the day. Parking for the proposed development would be handled internally on the site so there would be minimal overflow to the surrounding area.
- I. The extent to which the proposed use would create excessive air pollution, water pollution, noise pollution, or other environmental harm. No excess air, water or noise pollution or other environmental harm would occur.
- J. The economic impact of the proposed use on the community. The economic impact of the proposed project would result in a net increase to the sales and property taxes received by the City of Westwood. No tax incentives are being requested by the developer as part of this project apart from a sales tax waiver on construction materials.
- K. The gain, if any, to the public health, safety, and welfare due to denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application. No gain to the public health, safety and welfare would occur due to denial of the application, however if the application is denied, a substantial portion of the site would remain vacant and the future of city park would be in jeopardy.

PROJECT NARRATIVE M01

The following Deviations from the equivalent C-1 Zoning are requested as part of the proposed PD Planned Development District:

5.3.7 A Unless otherwise indicated in a specific Overlay District, the facade of building in the C-1 District shall be constructed directly on the build-to line along at least seventy percent of the length of the building.

The proposed development is surrounded by residential housing of 2 story scale set back typically 35- 60 feet from Rainbow Boulevard. Placing the buildings at property line is inconsistent with surrounding scale and development. Placing the buildings back from Rainbow allows a softening of the perimeter to create a better scale with the neighboring houses as well as opportunity to create more habitable spaces for pedestrians, restaurants and retail. In effect it allows a place to be created versus a space directly adjacent to a major boulevard.

Additionally, 5.5.1 B states that in C-1 Districts, off-street parking of no less than 75% of the parking places shall be to the rear or side of the building. As proposed 85% of the parking spaces will be.

Underground rock is currently located at elevation 936 only a few feet below grade. Due to the natural slope of the site from a high on the northwest to a low on the southeast, placing all parking to the rear of buildings would create a primary retail entrance via an underground parking garage.

5.3.7 C Parking areas and parking garages shall be recessed or placed to the rear of buildings.

5.3.7.H.2 The required setbacks shall be as indicated in each Overlay District, or, in the absence of such criteria, as follows.  
2. rear setback: 20 feet minimum.

Due to site constraints and in effort to align the drive isle on the upper level of the parking deck with Adams street we would ask for a deviation on the 20' setback requirement in the rear yard adjacent to the future park.

5.5.1 B states that in C-1 Districts, off-street parking of no less than 75% of the parking places shall be to the rear or side of the building. The proposed development has 85% of parking areas and parking garages at the rear or side of the building, hidden from view. The natural topography of the site sets itself up to place a recessed garage at the rear of the buildings with a small surface parking lot in front of the buildings to allow visible access to the retail and office entries.

5.3.8 A B C One-, two-, and three-story buildings are permitted in the C-1 Mixed-use Districts.

The proposed four-story portions remain in compliance with the zoning requirements and maximum allowable height restrictions of a "mid-rise building". Portions of the building at the center of the project are 4 stories along Rainbow Boulevard. The additional story creates a stronger mass at the center of the site, allowing for rooftop terraces and a stronger sense of hierarchy and visual interest toward the center of the site. Because the project is set into a hillside, the four-story portions of the building allow for a more varied appearance in keeping with the massing and variety of the neighboring residential area. Moreover, on the west and north sides of the site the buildings will only have 3 stories visible above grade.

5.4.2.1 Minimum Parking Spaces Per Use

Based on the developer's experience with the local market and retail and office uses of a similar type to those of the proposed development, the amount of parking proposed is less than the minimum requirement and in keeping with market expectations and standards in this location.

DEVIATION REQUESTS F01

**PROPERTY DEVELOPER**  
ADAM FELDMAN  
KARBANK REAL ESTATE COMPANY  
2000 SHAWNEE MISSION PARKWAY  
SUITE 400  
MISSION WOODS, KANSAS 66205  
816.221.4488  
af@karbank.com

**ARCHITECT**  
KENNY MILLER  
PERSPECTIVE ARCHITECTURE  
& DESIGN  
2000 SHAWNEE MISSION PKWY  
SUITE 100  
MISSION WOODS, KS 66205  
816.842.1549  
kenny@pad.studio

**CIVIL ENGINEER**  
AUSTIN LAGE  
BHC  
7101 COLLEGE BLVD.  
SUITE 400  
OVERLAND PARK, KANSAS 66210  
913.663.1900  
austin.lage@bhc.com

PROJECT EXTENTS

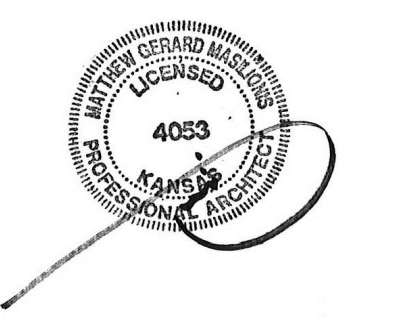
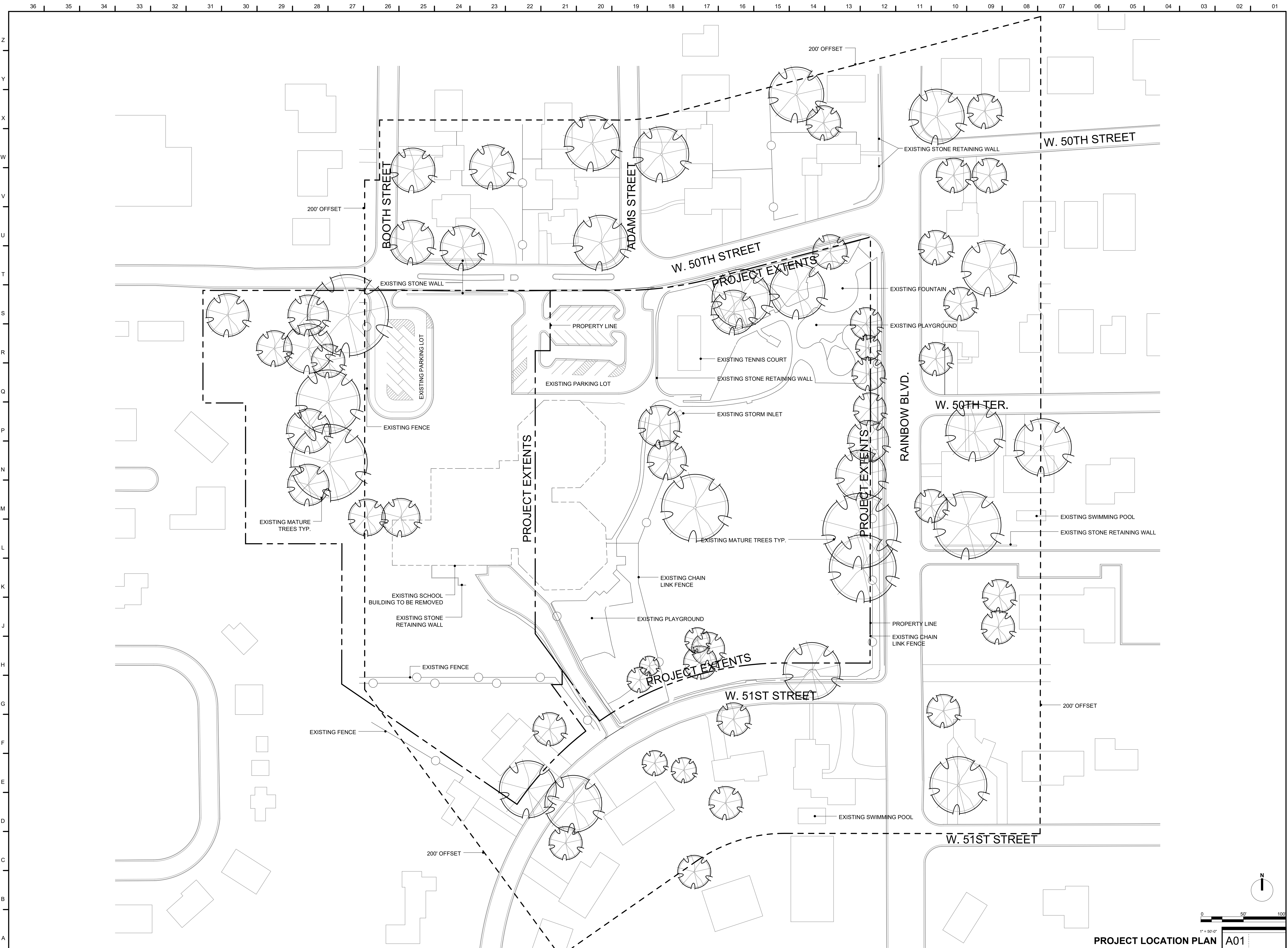
PROPERTY LOCATION MAP A11

GENERAL	COVER SHEET
A000	COVER SHEET
A001	PROJECT LOCATION PLAN
CIVIL	OVERALL SITE PLAN
C1.0	SITE PLAN - GROUND LEVEL
C1.1	SITE PLAN - SECOND LEVEL
C1.2	SIGHT DISTANCE PLAN
C1.3	FIRE TRUCK MANEUVERABILITY
C1.4	GRADING PLAN
C2.0	BMP PLAN
C3.0	TREE PRESERVATION PLAN
L1.0	LANDSCAPE PLAN - GROUND LEVEL
L1.1	LANDSCAPE PLAN - SECOND LEVEL
L1.2	PHOTOMETRICS PLAN
PH1.1	
ARCHITECTURAL	
AS101	ARCHITECTURAL SITE PLAN
AS102	ARCHITECTURAL SITE PLAN
AS103	ARCHITECTURAL SITE PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A203	BUILDING ELEVATIONS

CONTACT INFORMATION A06

GENERAL	COVER SHEET
A000	COVER SHEET
A001	PROJECT LOCATION PLAN
CIVIL	OVERALL SITE PLAN
C1.0	SITE PLAN - GROUND LEVEL
C1.1	SITE PLAN - SECOND LEVEL
C1.2	SIGHT DISTANCE PLAN
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PH1.1	
ARCHITECTURAL	
AS101	ARCHITECTURAL SITE PLAN
AS102	ARCHITECTURAL SITE PLAN
AS103	ARCHITECTURAL SITE PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A203	BUILDING ELEVATIONS

SHEET INDEX A01



MATTHEW MASILIONIS - ARCHITECT  
 KANSAS # 4053

I have prepared the drawings and assume responsibility for the sheets numbered with an "A" prefix for the project named below.

Other drawings and specifications attached for the above-mentioned project have been by and are the responsibility of the licensed engineer whose stamp and firm appear on that sheet.

The Architect is not responsible for the design of the mechanical, electrical, plumbing, civil, landscaping, structural, signage (not specified), fire sprinkler or fire suppression systems, and does not take responsibility for the compliance of these areas with the laws of the above governmental entities. The architect is not responsible for materials, components or equipment, as well as the method in which they are installed on the project by others. The architect is not liable or responsible for verification, during construction or upon completion of construction. The architect is not responsible for improper operation due to faulty installation or product failure during construction or after completion of construction when operation has begun by the landlord or tenant.

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CONSULTANT



PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
 WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

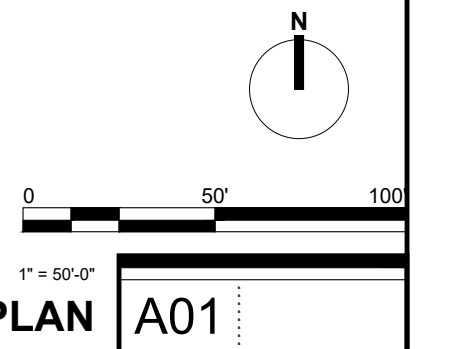
PROJECT  
**LOCATION PLAN**

PROJECT NUMBER  
 2021073.000  
 SHEET AUTHOR  
 K. MILLER

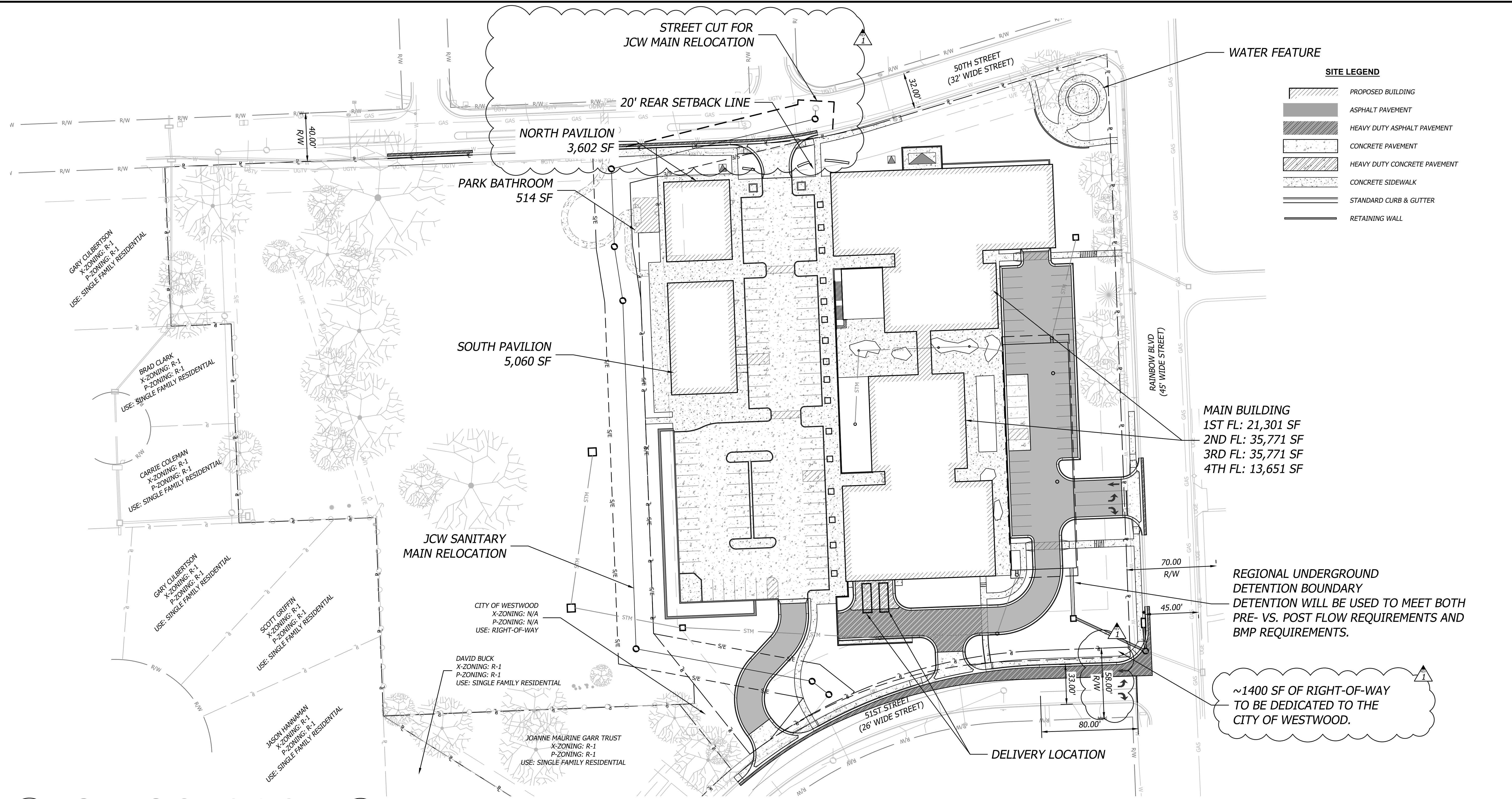
CHECKED BY  
 M. PAXTON  
 DATE  
 7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**A001**



Oct 05, 2023 10:00am Plotted By: custin.lope V:\037920-Westwood\04-DWG\Eng\Sheet\FDP\037920-SITE-SITE.dwg Layout: OVERALL SITE PLAN



**SITE LEGEND**

- PROPOSED BUILDING
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- STANDARD CURB & GUTTER
- RETAINING WALL

**MAIN BUILDING**  
 1ST FL: 21,301 SF  
 2ND FL: 35,771 SF  
 3RD FL: 35,771 SF  
 4TH FL: 13,651 SF

REGIONAL UNDERGROUND  
 DETENTION BOUNDARY  
 DETENTION WILL BE USED TO MEET BOTH  
 PRE- VS. POST FLOW REQUIREMENTS AND  
 BMP REQUIREMENTS.

~1400 SF OF RIGHT-OF-WAY  
 TO BE DEDICATED TO THE  
 CITY OF WESTWOOD.

**SITE DATA**

<b>OVERALL SITE</b>	
SITE AREA:	7.62 AC 332,129 SF
<b>WEST SITE</b>	
SITE AREA:	3.38 AC 147,412 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	56,265 SF (38.2%)
PROPOSED:	3,758 SF (2.55%)
<b>EAST SITE</b>	
SITE AREA:	4.24 AC 184,717 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	65,035 SF (35.2%)
PROPOSED:	127,462 SF (69.0%)

**BUILDING DATA - GROSS AREA**

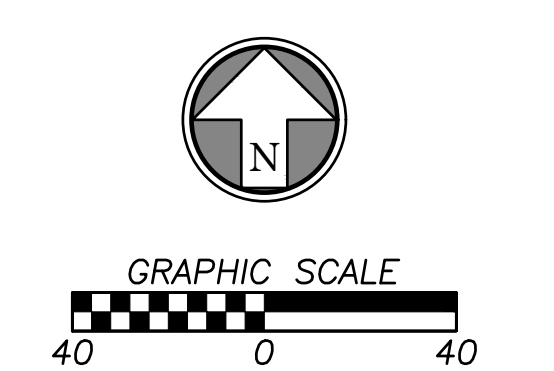
<b>WEST SITE</b>	
PUBLIC BATHROOM:	514 SF (0.35%)
<b>EAST SITE</b>	
TOTAL BUILDING FOOTPRINT:	44,433 SF (24.1%)
TOTAL BUILDING SF:	115,156 SF
<b>MAIN BUILDING:</b>	
FOOTPRINT:	35,771 SF (19.4%)
TOTAL SF (4 FLOORS):	106,494 SF
<b>PAVILION BUILDINGS:</b>	
NORTH FOOTPRINT:	3,602 SF (1.95%)
SOUTH FOOTPRINT:	5,060 SF (2.74%)
<b>LOT COVERAGE</b>	
BUILDING/STRUCTURE (100% TOTAL AREA)	106,906 SF (57.0%)
OVERHANG ABOVE OPEN AIR (50% TOTAL AREA)	4,125 SF (2.20%)
TOTAL	111,031 SF (59.2%)

**PARKING DATA**

<b>PARKING PROVIDED:</b>	291 STANDARD 8 ADA ACCESSIBLE (4 VAN)
<b>PARKING REQUIRED:</b>	STANDARD PARKING STALLS: REFER TO ARCHITECTURAL SHEETS FOR CALCULATIONS
<b>ADA ACCESSIBLE STALLS:</b>	7 ADA ACCESSIBLE (2 VAN) (BASED ON 291 PROVIDED PARKING)

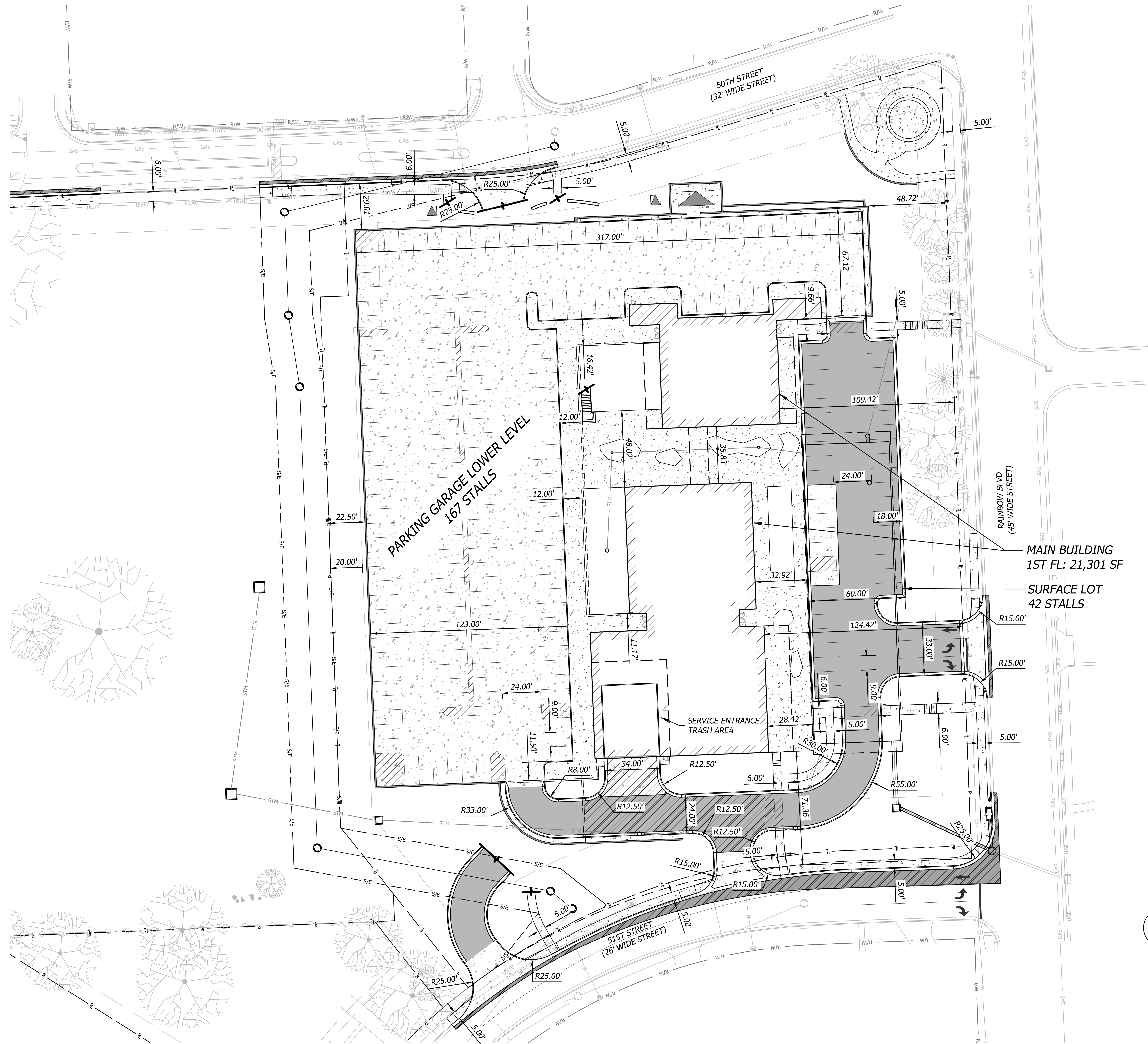
**EXISTING ZONING**  
 R-1 (SINGLE FAMILY RESIDENTIAL)

**PROPOSED ZONING**  
 CP-1 (PLANNED COMMERCIAL)



	<p><b>PROFESSIONAL ENGINEER</b></p>
	<p><b>BHC</b>          CIVIL ENGINEERING AND SURVEYING CONSULTANTS          101 East Park Lane, Suite 400          Overland Park, Kansas 66210          P: 913.653.1900          BHC is a member of Brueggemann &amp; Company, P.A.</p>
<p>Prepared For:          KARBANK REAL ESTATE COMPANY          ADAM FELDMAN          2000 SW PARKWAY, SUITE 400          MISSION WOODS, KS 66205          816-221-4488</p>	<p><b>PDP SUBMITTAL</b>  <b>50TH &amp; RAINBOW DEVELOPMENT</b>  <b>WESTWOOD, KS 66205</b></p> <p><b>OVERALL SITE PLAN</b></p>
<p>Design: DSN   Drawn: DRN          Checked: CHK          Issue Date: 07/20/2023          Project Number: 037920</p>	<p>Rev. 1 10/05/23          Description: CITY COMMENTS</p>
C1.0	

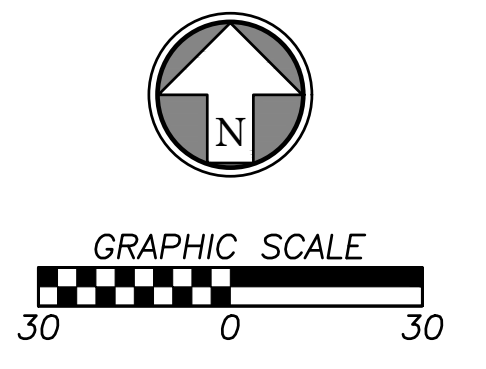
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**SITE LEGEND**

	PROPOSED BUILDING
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	RETAINING WALL

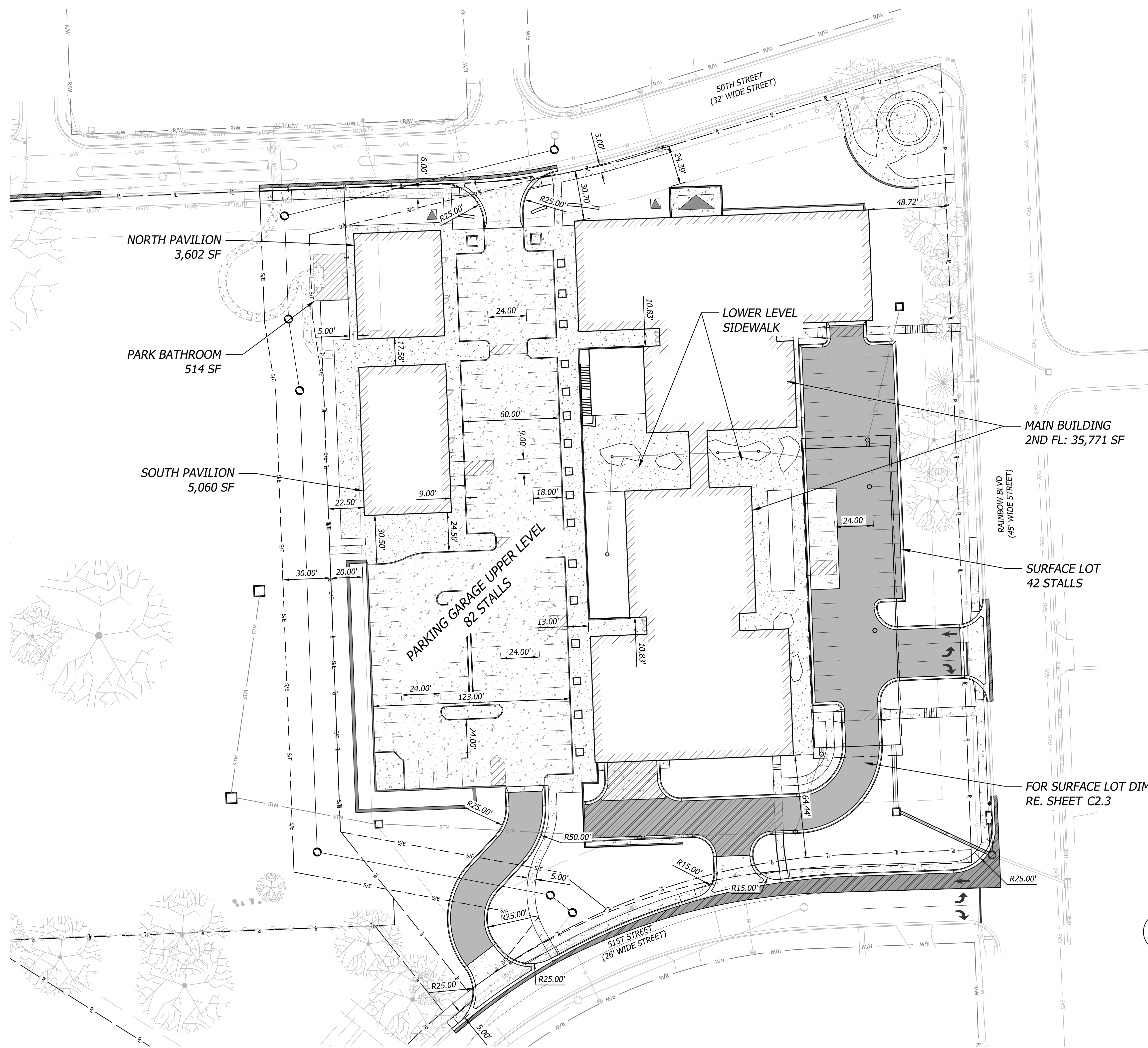
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<p><b>PDP SUBMITTAL</b>  <b>50TH &amp; RAINBOW DEVELOPMENT</b>  <b>WESTWOOD, KS 66205</b></p>		<p><b>SITE PLAN-GROUND LEVEL</b></p>	
<p>Design: DSN   Drawn: DRN                  Checked: CHK                  Issue Date: 07/20/2023                  Project Number: 037920</p>		<p>Prepared For:                  KARBANK REAL ESTATE COMPANY                  ADAM FELDMAN                  2000 SM PKWY, SUITE 400                  MISSION WOODS, KS 66205                  816-221-4488</p>	
<p><b>BHC</b>                  CIVIL ENGINEERING &amp; ARCHITECTURAL SERVICES                  101 Cliff Road, Suite 400                  Overland Park, Kansas 66210                  p. 913.653.1900                  BHC is a member of Hensel Phelps Construction Company, P.A.</p>		<p>Professional Engineer                  License No. 28006                  10/11/2023                  KANSAS                  PROFESSIONAL ENGINEER</p>	
Rev.	Date	Description	By
1	10/05/23	CITY COMMENTS	AKL
			AKL
			App.

**C1.1**

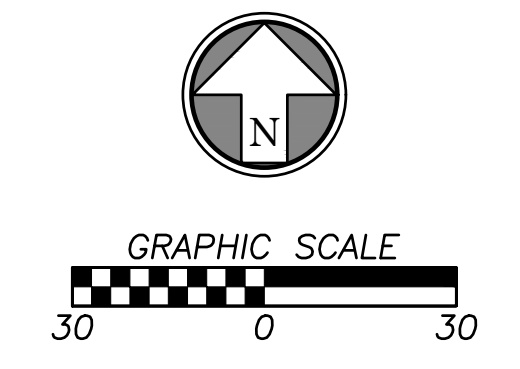
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**SITE LEGEND**

	PROPOSED BUILDING
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	RETAINING WALL

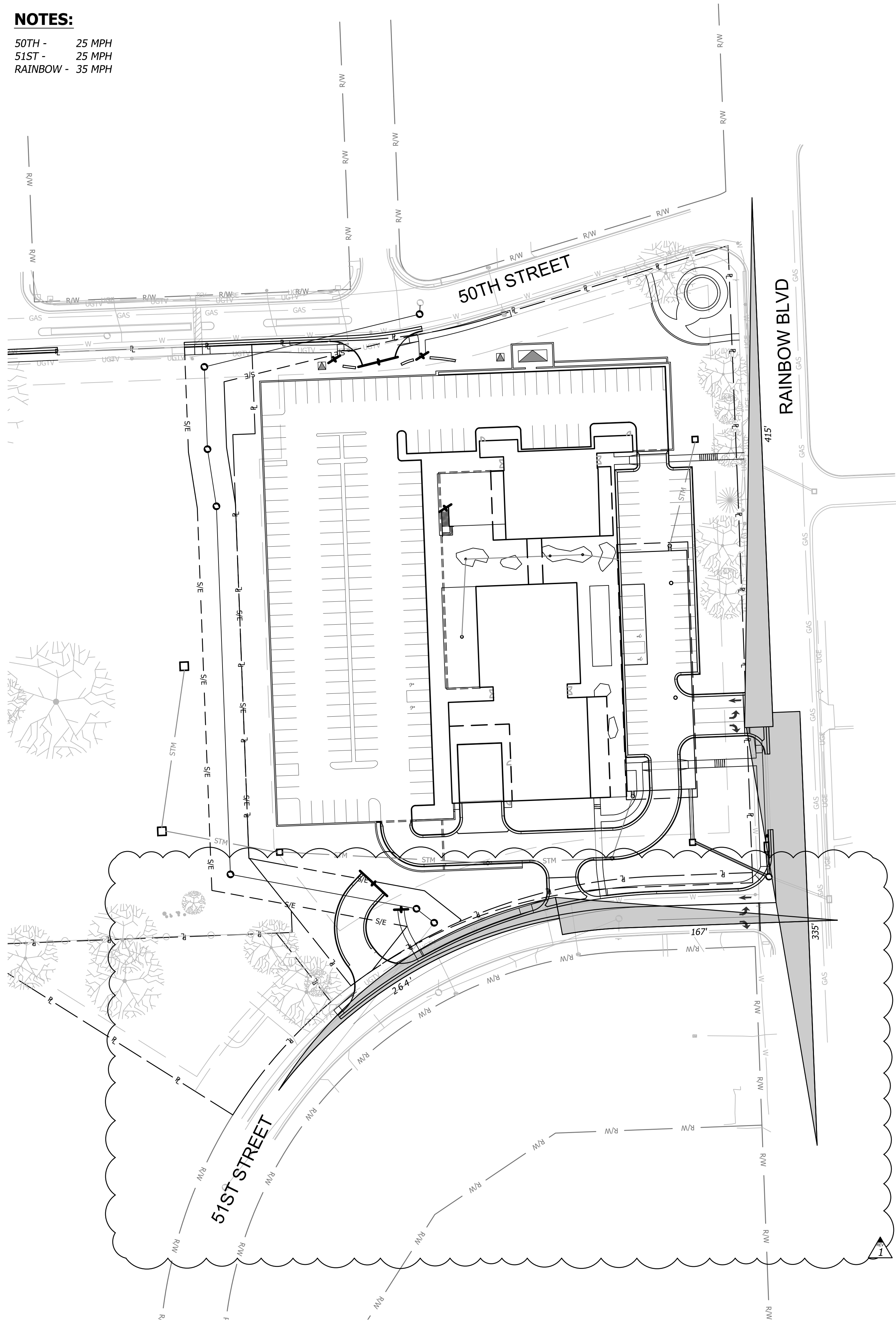
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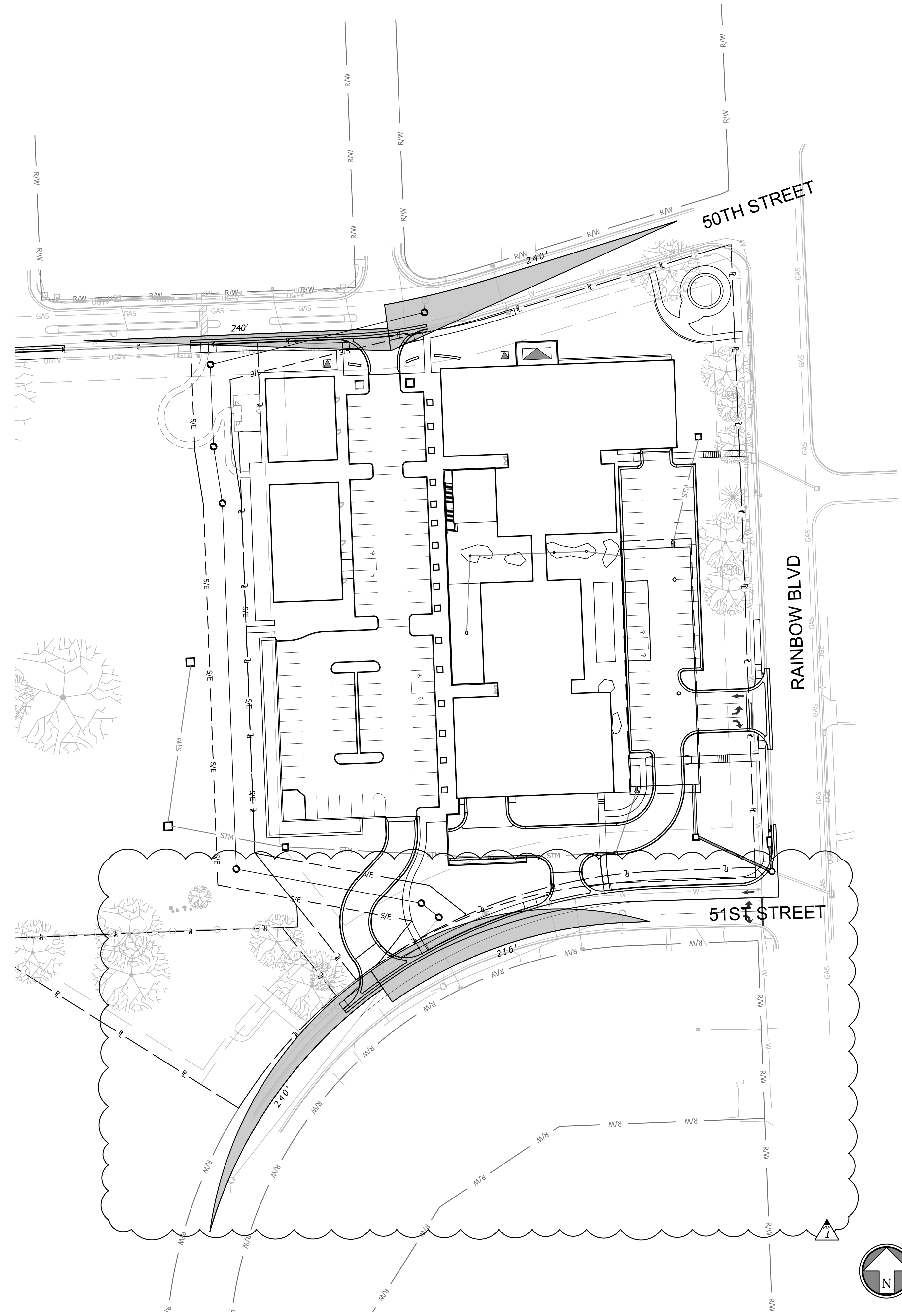
Prepared For: KARBANK REAL ESTATE COMPANY ADAM FELDMAN 2000 SM PKWY, SUITE 400 MISSION WOODS, KS 66205 816-221-4488	Design: DSN   Drawn: DRN Checked: CHK Issue Date: 07/20/2023 Project Number: 037920
<b>PDP SUBMITTAL</b> <b>50TH &amp; RAINBOW DEVELOPMENT</b> <b>WESTWOOD, KS 66205</b> <b>SITE PLAN-SECOND LEVEL</b>	
Description CITY COMMENTS Date Rev.	By AKL AKL App.

**C1.2**

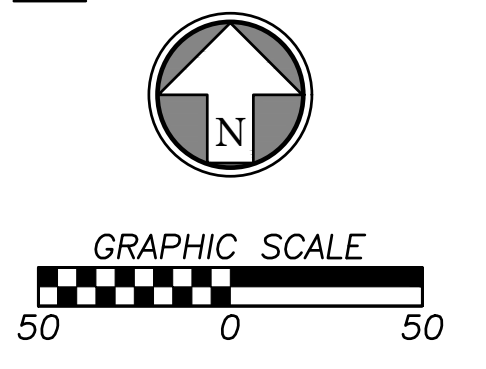
**NOTES:**  
 50TH - 25 MPH  
 51ST - 25 MPH  
 RAINBOW - 35 MPH



**GROUND LEVEL**

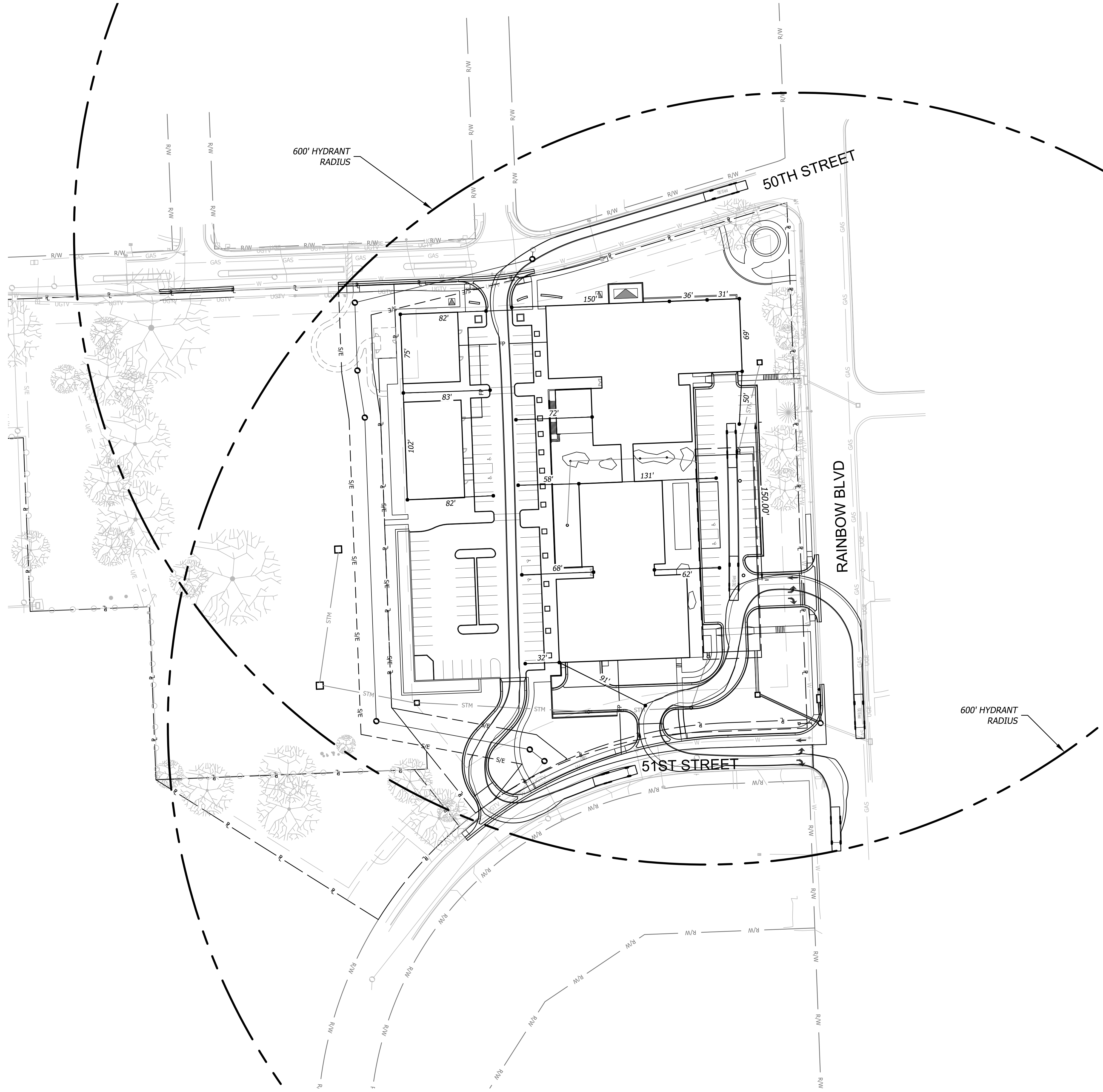


**SECOND LEVEL**

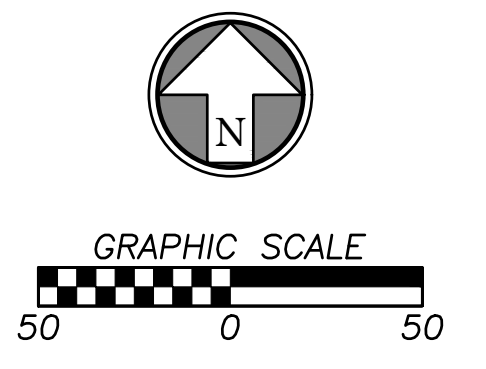


Oct 05, 2023 - 10:00am Plotted By: custin.lope V:\037920-Westwood\04-DWG\Eng\Sheet\FDP\037920-SITS-SITE.dwg Layout: SIGHT DISTANCE PLAN

<p><b>PDP SUBMITTAL</b>  <b>50TH &amp; RAINBOW DEVELOPMENT</b>  <b>WESTWOOD, KS 66205</b></p> <p><b>SIGHT DISTANCE PLAN</b></p>	<p>Prepared For:  <b>KARBANK REAL ESTATE COMPANY</b>  <b>ADAM FELDMAN</b>  <b>2000 SM PKWY, SUITE 400</b>  <b>MISSION WOODS, KS 66205</b>  <b>816-221-4488</b></p>									
<p>Design: <b>DSN</b>   Drawn: <b>DRN</b>        Checked: <b>CHK</b>        Issue Date: <b>07/20/2023</b>        Project Number: <b>037920</b></p>	<p>Professional Engineer  <b>JUSTIN K. LAGRETT</b>  <b>28006</b>  <b>10/11/2023</b>  <b>KANSAS</b>  <b>PROFESSIONAL ENGINEER</b></p>									
<p><b>C1.3</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">10/05/23</td> <td style="text-align: center;">CITY COMMENTS</td> </tr> <tr> <td style="text-align: center;">By</td> <td style="text-align: center;">AKL</td> <td style="text-align: center;">App.</td> </tr> </tbody> </table>	Rev.	Date	Description	1	10/05/23	CITY COMMENTS	By	AKL	App.
Rev.	Date	Description								
1	10/05/23	CITY COMMENTS								
By	AKL	App.								

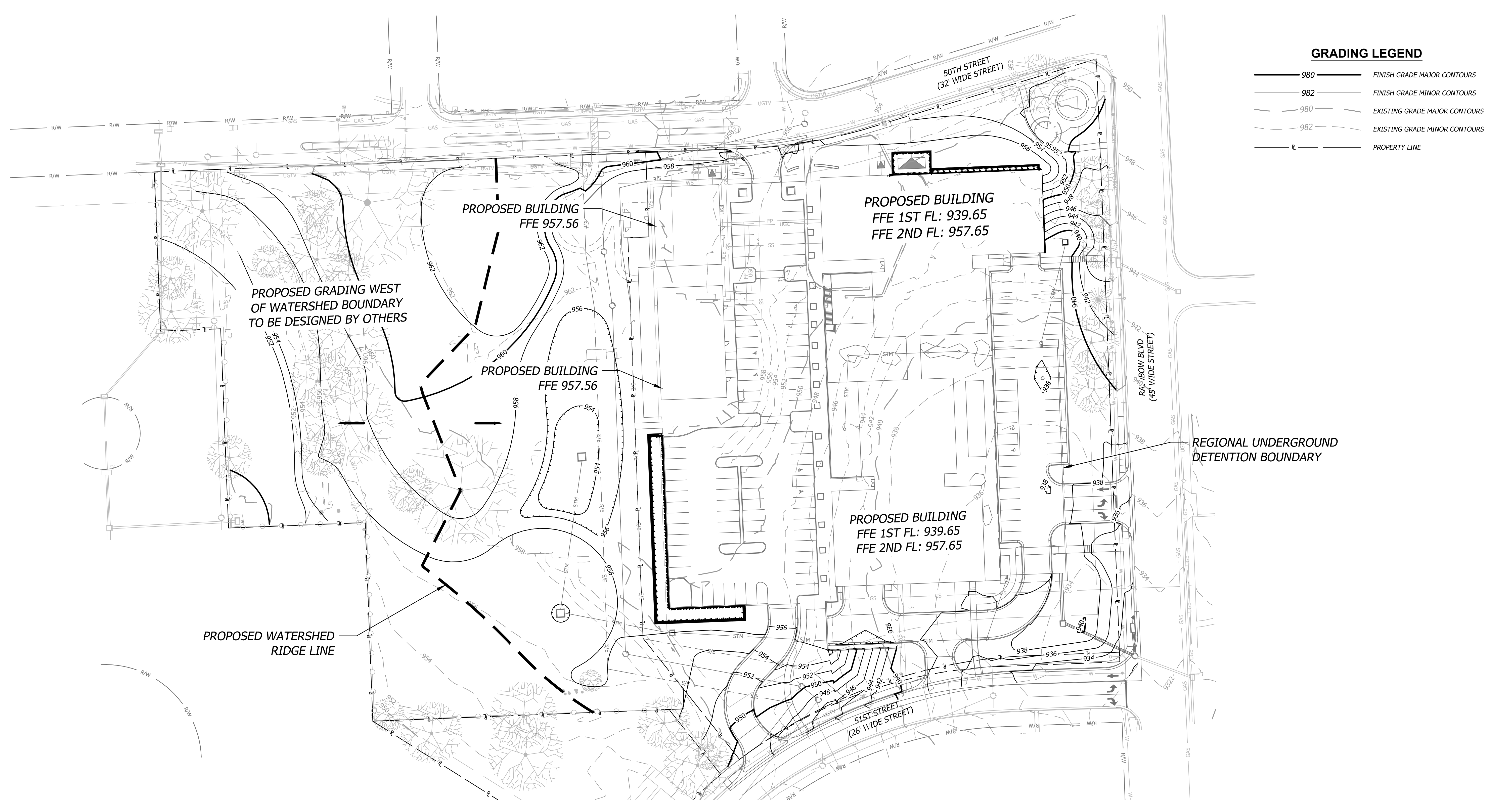


FIRE TRUCK & ENTIRE SHEET WERE UPDATED



<p><b>PDP SUBMITTAL</b>  <b>50TH &amp; RAINBOW DEVELOPMENT</b>  <b>WESTWOOD, KS 66205</b></p>		<p>Prepared For:                  KARIBANK REAL ESTATE COMPANY                  ADAM FELDMAN                  2000 SM PKWY, SUITE 400                  MISSION WOODS, KS 66205                  816-221-4488</p>			
<p><b>FIRE TRUCK MANEUVERABILITY</b></p>		<p>Design: <i>DSN</i>   Drawn: <i>DRN</i>                  Checked: <i>CHK</i>                  Issue Date: 07/20/2023                  Project Number: 037920</p>		<p>Rev. 1 10/05/23                  Description: CITY COMMENTS</p>	
<p><b>C1.4</b></p>		<p>By: [Signature]</p>		<p>App. [Signature]</p>	

Oct 05, 2023 10:12am Plotted By: austin.lope V:\037920-Westwood\04-DWG\Eng\Sheet\FDP\037920-SITS-GRAD.dwg Layout: GRADING PLAN



**GRADING LEGEND**

— 980 —	FINISH GRADE MAJOR CONTOURS
— 982 —	FINISH GRADE MINOR CONTOURS
- - - 980 - - -	EXISTING GRADE MAJOR CONTOURS
- - - 982 - - -	EXISTING GRADE MINOR CONTOURS
- - - R - - -	PROPERTY LINE

**GRADING NOTES**

- Contractor shall obtain a copy of the Geotechnical Services Report for the project and be familiar with the existing conditions and recommendations contained in the report if such a report has been prepared.
- Contractor is responsible for any over excavation of existing unsuitable soils will be required under building and pavement areas. Contractor shall perform over excavation of unsuitable soils as a part of this work.
- Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
- Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Kansas. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
- All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the on-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
- All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
- All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
- All excavation and embankments shall comply with the recommendations provided by the geotechnical engineer.
- Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the on-site geotechnical representative. Areas that display rutting or pumping that are unsatisfactory to the geotechnical representative shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime, as approved by the geotechnical engineer.
- Finished grades shall not be steeper than 3:1.
- All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
- A 2.0% maximum cross slope shall be maintained on all pedestrian sidewalks and paths.

**FLOOD STATEMENT**

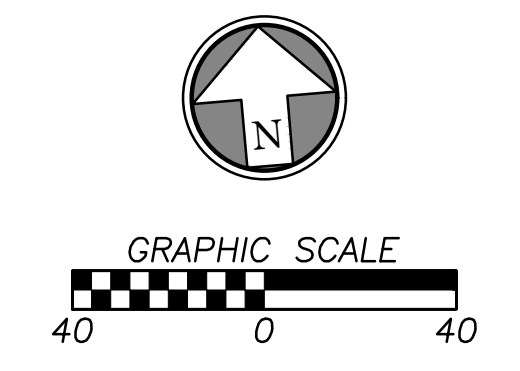
The subject property lies within Flood Zone "X" (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain.), as shown on the Johnson County, Kansas and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).  
 Map Number: 20091C0010G  
 Panel No: 10 of 161  
 Map Revised Date: August 3, 2009  
**NOTE:** This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.

**BENCHMARKS (DATUM: NAVD88)**

**JOHNSON COUNTY VERTICAL CONTROL POINT BENCHMARK**  
 BENCHMARK NUMBER: 901  
 ELEVATION= 883.46

BERNTSEN ALUMINUM DISK STAMPED BM 901. TOP 24 INCH CONCRETE CURB IN LINE WITH WEST FACE OF RCB, 20 FEET SOUTH OF RCB ON THE NORTH SIDE 50TH TERR.

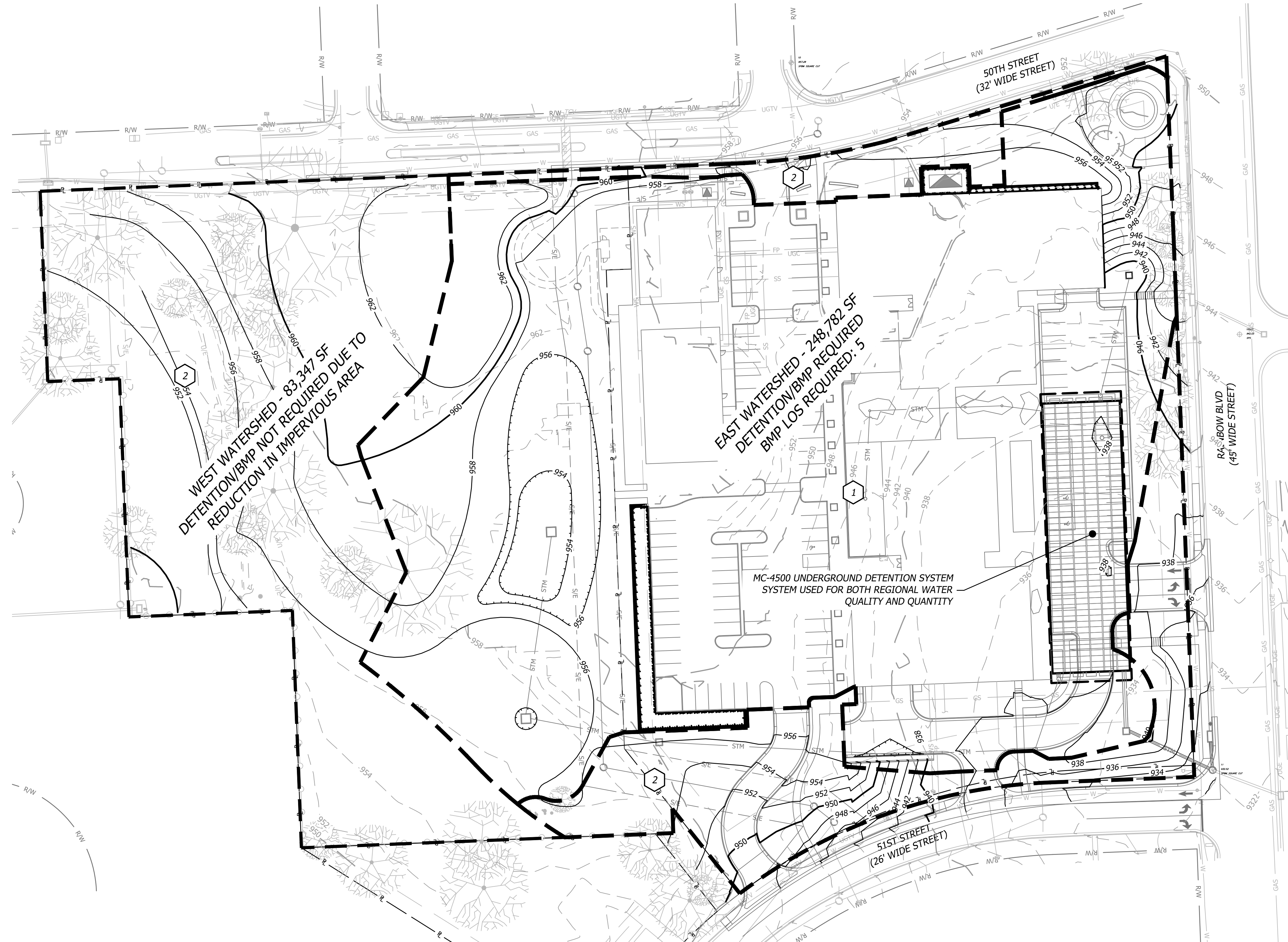
ENTIRETY OF SHEET  
 WAS UPDATED



		Prepared For: <b>KARBANK REAL ESTATE COMPANY</b> ADAM FELDMAN 2000 SM PKWY, SUITE 400 MISSION WOODS, KS 66205 816-221-4488	<b>PDP SUBMITTAL</b> <b>50TH &amp; RAINBOW DEVELOPMENT</b> <b>WESTWOOD, KS 66205</b>	<b>GRADING PLAN</b>	Design: DSN   Drawn: DRN Checked: CHK Issue Date: 07/20/2023 Project Number: 037920
<b>C2.0</b>	Description CITY COMMENTS 10/05/23 Rev. Date	By AKL AKL App.			



Oct 05, 2023 - 10:01am Plotted By: custin.lage V:\037920-Westwood\04-DWG\Eng\Sheet\FDP\037920-SITS-GRAD.dwg Layout: BMP PLAN



**DRAINAGE LEGEND**

- BMP AREA BOUNDARY
- BMP ID
- PROPOSED FINISH GRADE MAJOR CONTOUR
- PROPOSED FINISH GRADE MINOR CONTOUR
- EXISTING GRADE MAJOR CONTOUR
- EXISTING GRADE MINOR CONTOUR
- PROPOSED STORM SEWER LINE
- PROPERTY LINE

**1. Runoff Curve Number - East Watershed**

**A. Predevelopment CN**

Cover Description	Soil HSG	CN From Table 1	Area (sf)	Area (ac.)	Product of CN x Area
Open Space (turf), Good	D	80	162186	3.72	297.9
Impervious	D	98	86596	1.99	194.8
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
Totals:					5.71 492.7

Area-Weighted CN = total product/total area = **86** (Round to integer)

**B. Postdevelopment CN**

Cover Description	Soil HSG	CN From Table 1	Area (sf)	Area (ac.)	Product of CN x Area
Open Space (turf), Good	D	80	117562	2.70	215.9
Impervious	D	98	131220	3.01	295.2
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
Totals:					5.71 511.1

1 Postdevelopment CN is one HSG higher for all cover types except preserved vegetation, absent documentation showing how postdevelopment soil structure will be preserved.

Area-Weighted CN = total product/total area = **89** (Round to integer)

**C. Level of Service Calculation**

	LS
Predevelopment CN: <b>86</b>	Change in CN 17+ 8
Post Development CN: <b>89</b>	7 to 16 7
Difference: <b>3</b>	4 to 6 6
	1 to 3 5
	0 4
	-7 to -1 3
LS Required (see scale at right): <b>5</b>	-8 to -17 2
	-18 to -21 1
	-22- 0

1. Required LS (New Development, Wksht 1) or Total VR (Redevelopment, Wksht 1A): **5**

**2. Proposed BMP Option Package No. 1**

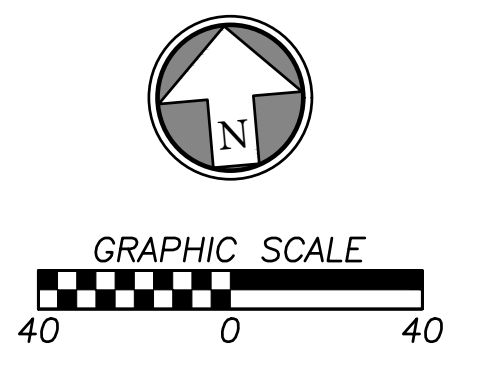
BMP ID	Cover/BMP Description	Treatment Area	VR from Table 4.4 or 4.6	Product of VR x Area
1	ADS Isolator Row	4.82	9.0	43.4
2	No BMP	0.89	0.0	0.0
Total <sup>2</sup> :		5.71	Total:	7.6

1 VR calculated for final BMP only in Treatment Train  
 2 Total treatment area cannot exceed 100 percent of the actual site area.  
 \* Blank in Redevelopment

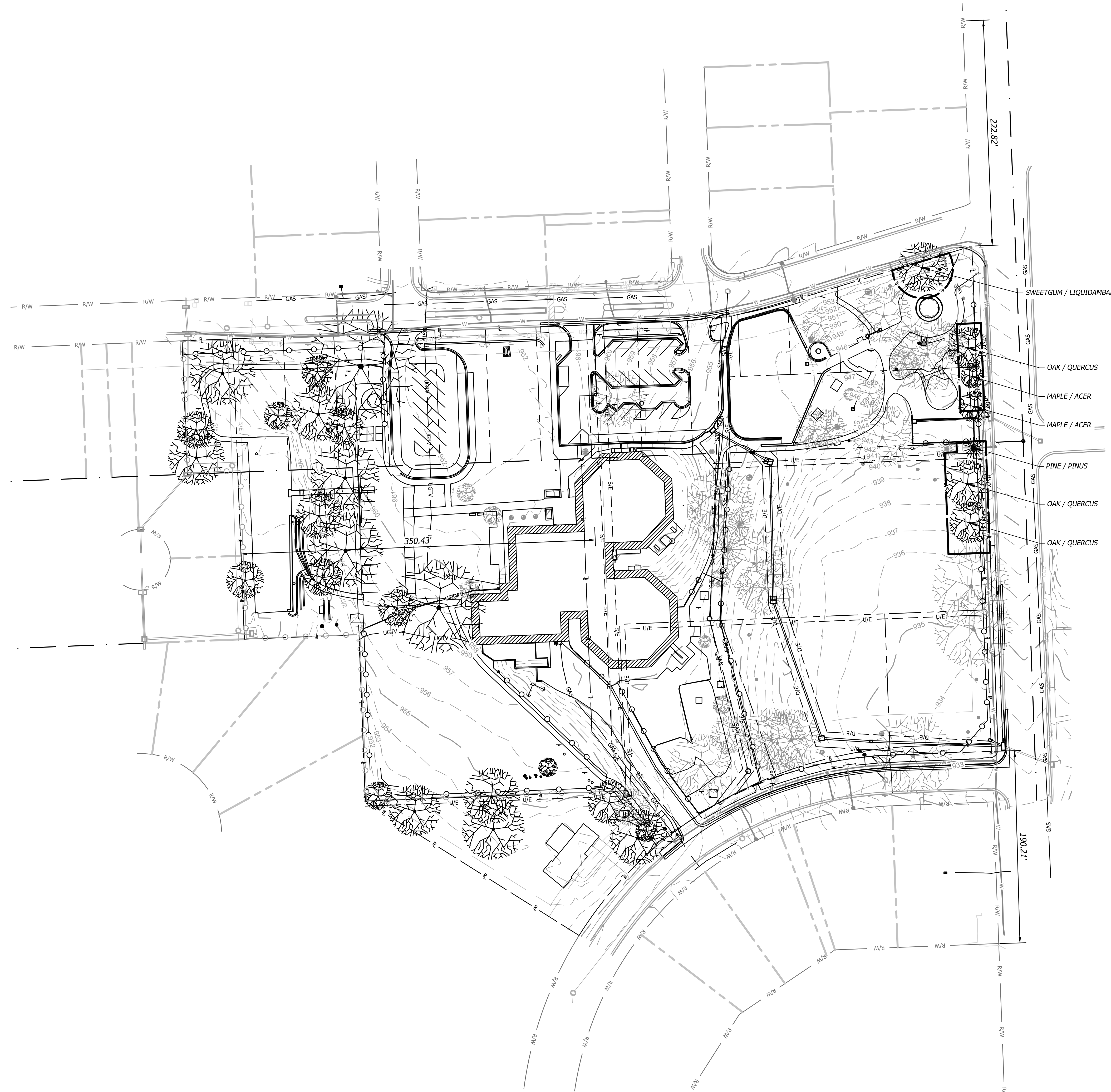
Meets required LS (Yes/No)? **Yes** (If No, or if additional options are being tested, proceed below.)

**NOTE:**  
 EAST WATERSHED IS TREATED AS A DEVELOPED SITE  
 WEST WATERSHED IS TREATED AS AN UNDEVELOPED SITE

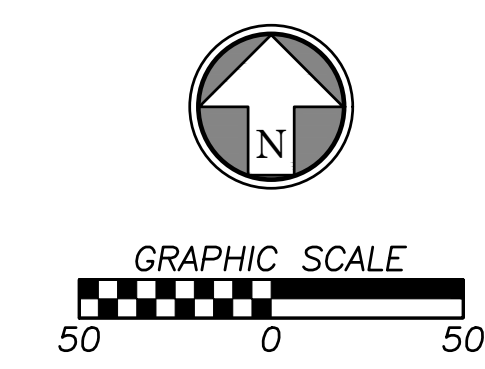
ENTIRETY OF SHEET WAS UPDATED



Prepared For: KARBANK REAL ESTATE COMPANY ADAM FELDMAN 2000 SW PKWY, SUITE 400 MISSION WOODS, KS 66205 816-221-4488	PDP SUBMITTAL 50TH & RAINBOW DEVELOPMENT WESTWOOD, KS 66205 BMP PLAN
Design: DSN   Drawn: DRN Checked: CHK Issue Date: 07/20/2023 Project Number: 037920	C3.0



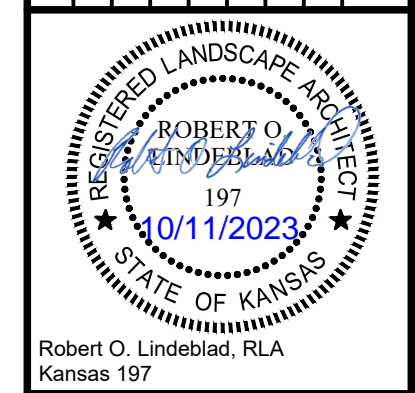
NOTE: Per City requirement, existing trees to be removed shall be replaced based on caliper size and installed in the future park area. Trees with caliper at or below 12" shall be replaced 1:1. Trees with caliper greater than 12" shall be replaced 2:1.



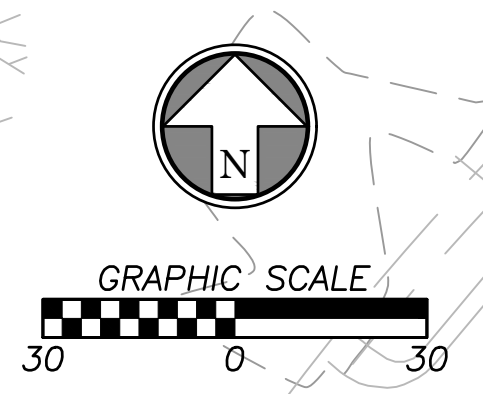
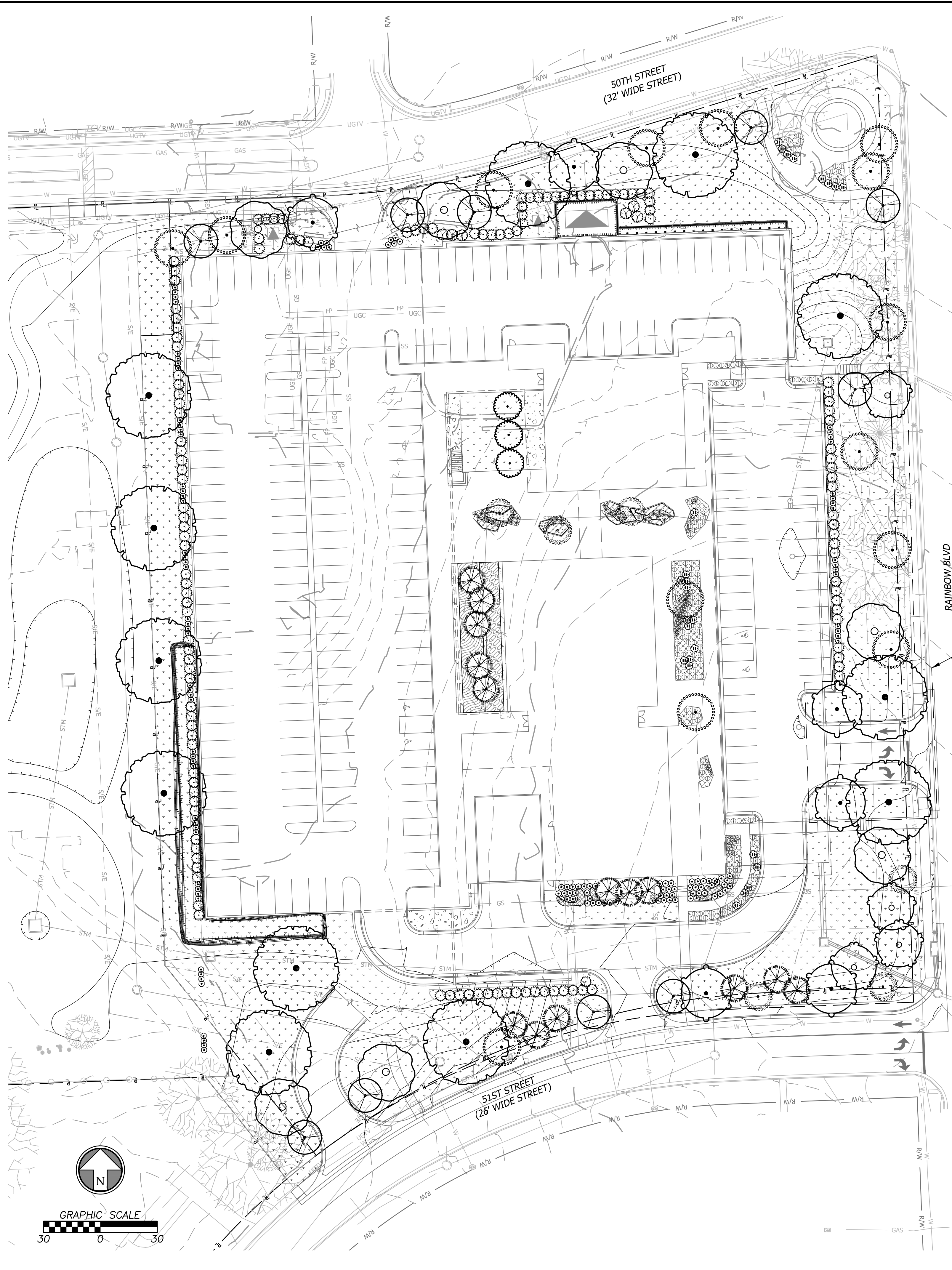
- LEGEND**
- 980 EXISTING GRADE MAJOR CONTOUR
  - 982 EXISTING GRADE MINOR CONTOUR
  - PROPERTY LINE
  - R/W RIGHT-OF-WAY LINE
  - TREE PROTECTION FENCE
  - EXISTING TREE TO REMAIN
  - EXISTING TREE TO BE REMOVED

ENTIRETY OF SHEET WAS UPDATED

<p><b>PDP SUBMITTAL</b>  <b>50TH &amp; RAINBOW DEVELOPMENT</b>  <b>WESTWOOD, KS 66205</b>  <b>EXISTING FEATURES AND</b>  <b>TREE PRESERVATION PLAN</b></p>		<p>Prepared For:                  KARBANK REAL ESTATE COMPANY                  ADAM FELDMAN                  2000 SW PKWY, SUITE 400                  MISSION WOODS, KS 66205                  816-221-4488</p>
<p>Design: ADM   Drawn: ADM                  Checked: ROL                  Issue Date: 07/20/2023                  Project Number: 037920</p>		<p>10/11/2023                  CITY COMMENTS                  Description</p>
<p><b>L1.0</b></p>		<p>Rev. Date</p>



Oct 05, 2023 - 10:01am Plotted By: custom.lgs V:\037920-Westwood\04-DWG\Eng\Sheet\FDP\037920-SITS-LANDSC.dwg Layout: LANDSCAPE PLAN-GROUND LEVEL



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	7	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry	B & B	2"	cal
	3	Ginkgo biloba 'PNI 2720' / Princeton Sentry® Maidenhair Tree	B & B	2"	cal
	6	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2"	cal
	4	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	B & B	2"	cal
	12	Quercus imbricaria / Shingle Oak	B & B	2.5"	cal
	10	Zelkova serrata 'JFS-KW1' / City Sprite® Japanese Zelkova	B & B	2"	cal
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	14	Pinus thunbergii / Japanese Black Pine	B & B	6' - 8'	H
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	14	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B	1.5"	cal
	6	Chionanthus virginicus 'Dirr' / Dirr White Fringetree	B & B	1.5"	cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	6	Viburnum dentatum 'Blue Muffin' / Blue Muffin Arrowwood Viburnum	5 gal		
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	134	Taxus x media 'Densiformis' / Dense Anglo-Japanese Yew	5 gal		
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	28	Amsonia hubrichtii / Arkansas Bluestar	1 gal		
	25	Baptisia x 'Purple Smoke' / Purple Smoke Wild Indigo	1 gal		
	215	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	1 gal		
	101	Heuchera x 'Plum Pudding' / Plum Pudding Coral Bells	1 gal		
	133	Muhlenbergia capillaris / Pink Muhly Grass	1 gal		
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT		
	128	Asclepias tuberosa / Butterfly Milkweed	quart		
	27	Carex grayi / Gray's Sedge	quart		
	199	Carex muskingumensis / Palm Sedge	quart		
	107	Chelone obliqua 'Armtipp02' / Tiny Tortuga Turtlehead	quart		
	263	Helleborus x ballardiae 'Cinnamon Snow' / HGCO Cinnamon Snow Lenten Rose	quart		
	507	Tiarella x 'Sugar and Spice' / Sugar and Spice Foamflower	quart		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SPEC		
	51,917 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue	sod		

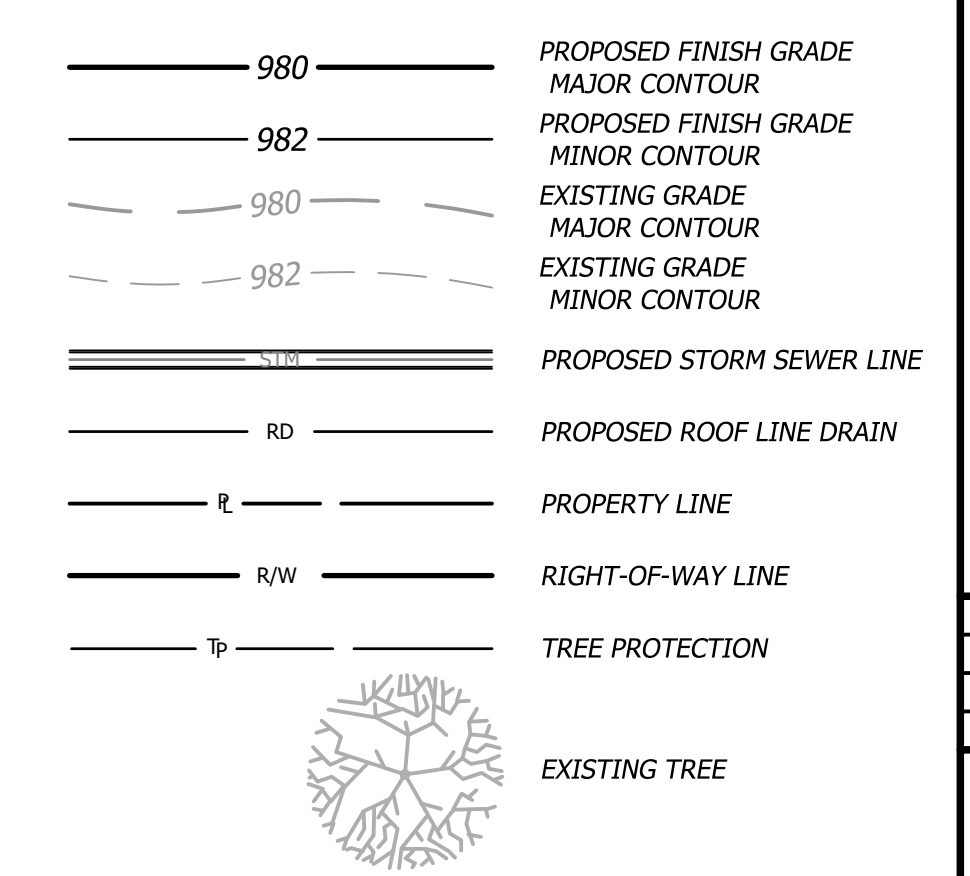
**MULCH SCHEDULE**

	WOOD MULCH	11,899 sf
	Double ground hardwood mulch. 3" depth.	

**SITE DATA**

	Quantity	Required	Existing	Provided	Total
<b>Transitional Buffer</b>					
West 50th Street: 1 tree / 20LF	325	16.25	1	16	17
West 51st Street: 1 tree / 20LF	289	14.45	n/a	18	18
<b>Perimeter Parking Landscape</b>					
continuous screen of 3' shrubs		Y		Y	
<b>Interior Parking Landscape</b>					
surface lot: 1 tree / 8 spaces	42	5.25	3	7	10*
			*(called out on plan as "parking lot shade trees")		
<b>Utility Screening</b>					
all above ground utilities screened		Y		Y	

**LEGEND**



REGISTERED LANDSCAPE ARCHITECT  
 ROBERT O. LINDEBOLD  
 197  
 10/11/2023  
 STATE OF KANSAS  
 Robert O. Lindebold, RLA  
 Kansas 197

**BHC**  
 CIVIL ENGINEERING & ARCHITECTURAL SERVICES  
 101 Cliff Brk., Ste. 400  
 Overland Park, Kansas 66210  
 p. 913.653.1900  
 WE are members of Hensel Phelps Construction Co., P.A.

Prepared For:  
 KARBANK REAL ESTATE COMPANY  
 ADAM FELDMAN  
 2000 SM PKWY, SUITE 400  
 MISSION WOODS, KS 66205  
 816-221-4488

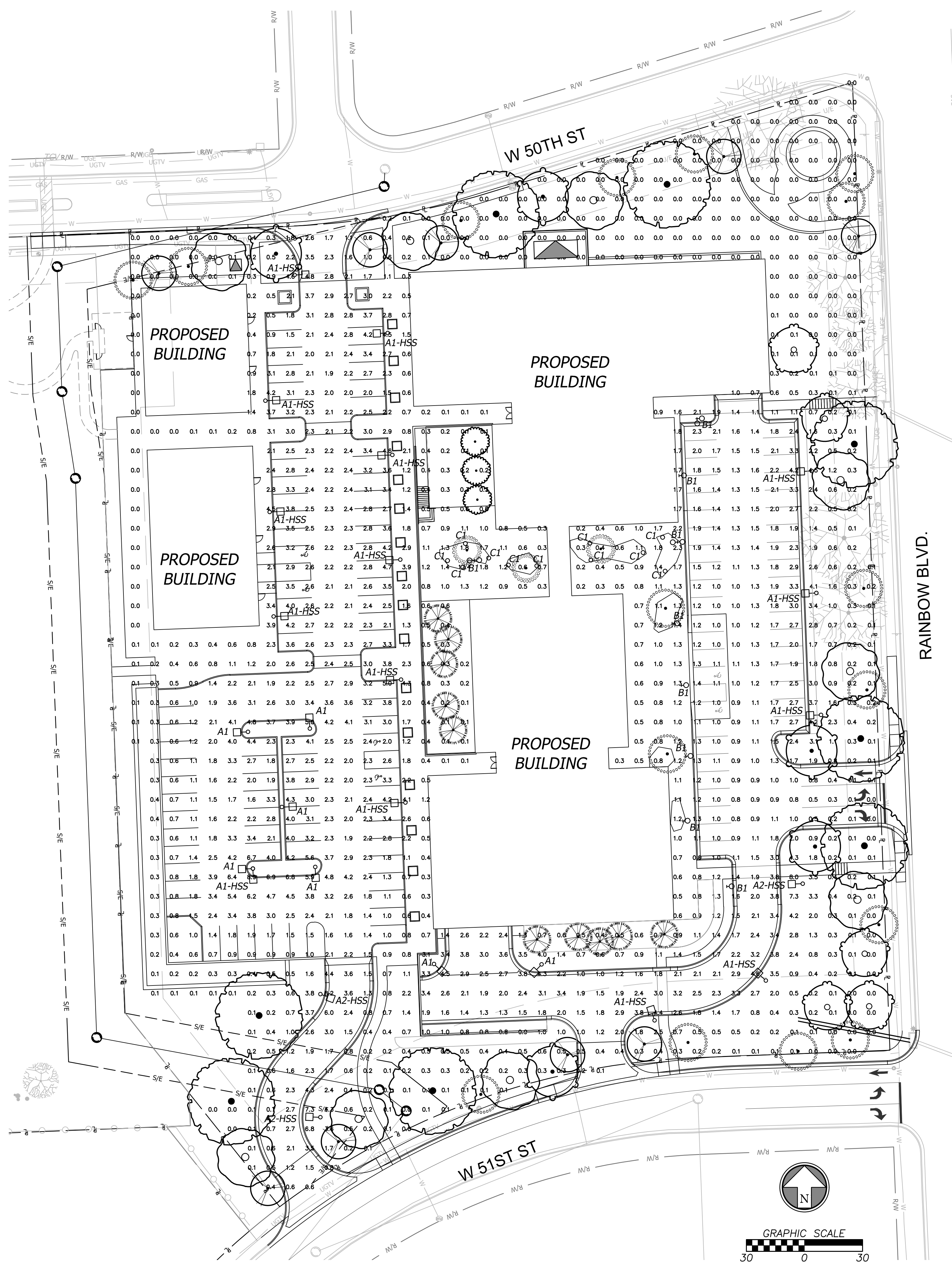
**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**  
**LANDSCAPE PLAN-GROUND LEVEL**

Design: ADM | Drawn: ADM  
 Checked: ADM  
 Issue Date: 07/20/2023  
 Project Number: 037920

**L2.0**



Sep 15, 2023 14:49pm Plotted By: austin.lage V:\037920-Westwood\04-DWG\Eng\Sheet\FDP\037920-SFFS-1-JMC.dwg Layout: PHOTOMETRICS PLAN



### LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	MODEL	QUANTITY	DEFAULT ELEVATION
A1	□	DALVIK 650S	HessAmerica, DAL650S-2LVC-WW-T4	7	15'
A1-HSS	□	DALVIK 650S	HessAmerica, DAL650S-2LVC-WW-T4-HSS	15	15'
A2-HSS	□	DALVIK 650S	HessAmerica, DAL650S-2LVC-WW-T3-HSS	3	15'
B1	○	Formed cast aluminum housing, LED strips with no enclosure	Landscape Forms Inc, CQ701-HE-LO	12	20'
C1	○	Pathway Luminaire	Forms And Surfaces, 104971299CRT-002, Radio Pathway LBRAD CHECK CCT	11	1'

### FIXTURE A

**Dalvik - 650S**  
Pole Mounted Luminaire

**PRIMAR**

DESCRIPTION  
Contemporary LED pole mounted luminaire for public spaces where clean minimalist styling is desired. Concealed hardware and unique styling cast through two prominent reveals highlight the shallow profile of the extruded aluminum housing. Luminaire is available with up to 3 LED modules in a choice of three asymmetric distributions. Dalvik is available on 10" or 20" four inch diameter poles in aluminum or steel. Steel poles are hot-dip galvanized prior to painting for proven long-term corrosion protection. Exclusive PRIMAR is available in finely textured matte silver, dark grey, graphite grey, black, or bronze. Custom RAL colors available on request. All hardware is stainless steel.

ORDERING INFORMATION

MODEL	LED MODULE	CCT	DISTRIBUTION	VOLT	MOUNTING	POLE	POLE MAT	FINISH (Primar)	OPTIONS
DAL650S	1VC	30K	T2	UNV	A	1595	A	SG	DM
	1Module	3000K	Type I	120/277	Single Post Mount	12" Round Single	Aluminum	Matte Silver Grey	0°/180° Dimming
	2VC	40K	T3	208V	W	2085	S	DG	HSS
	2Modules	4000K	Type II	208V	W	20" Round Single	Steel	Dark Grey	House Side Street
	3VC	40K	T4	208V	W	2085	S	GG	TWSSD
	3Modules	4000K	Type IV	208V	W	20" Round Single	Steel	Graphite Grey	180° Surge Suppressor

### GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDLES	2.3
MAXIMUM FOOT-CANDLES	8.8
MINIMUM FOOT-CANDLES	0.2
MINIMUM TO MAXIMUM FC RATIO	0.0
MAXIMUM TO MINIMUM FC RATIO	46.4
AVERAGE TO MINIMUM FC RATIO	12.1

### FIXTURE C

**RADIA™ PATHWAY BOLLARD**

PRODUCT DATA

**FORMS+SURFACES**

### FIXTURE B

## Typology Ring Light

Spec Sheet | CQ700

**Housing & Materials**  
Cast aluminum construction. Flexible LED light engine is clamped into fixture housing with aluminum segmented deck. Housing features a clear aluminum glass white powdercoat reflector. All hardware is magnet-coated steel.

**Electrical**  
Surge protected 120V through 277V 50/60Hz electronic driver, 9-10V dimming, -40°C start temperature. Cast aluminum driver housing assembly located at top of pole. Available with optional ANSI C136.41 twist lock receptacle or Watstopper FSP-3183 photolumination sensor.

**Light Engine**  
Fully encapsulated flexible linear LED fixture delivers downward direct and indirect lighting in conjunction with the glass white metal reflector. A R418 compliant circuit board is included. Available in 2700K, 3000K, 3500K, and 4000K, 500 CRI across all available color temperatures.

**Distribution**  
TV

**Warranty**  
LED lighting products are warranted for six years.

**Certification**  
UL Listed for Wet Location, CE, International Dark Sky Approved, Bay Area Compliant, DLRV Compliant

**Designed by Designworks, a BMW Group company**

Click here for patent information related to this product.

PH1.0

PHOTOMETRICS PLAN

50TH & RAINBOW DEVELOPMENT  
WESTWOOD, KS 66205

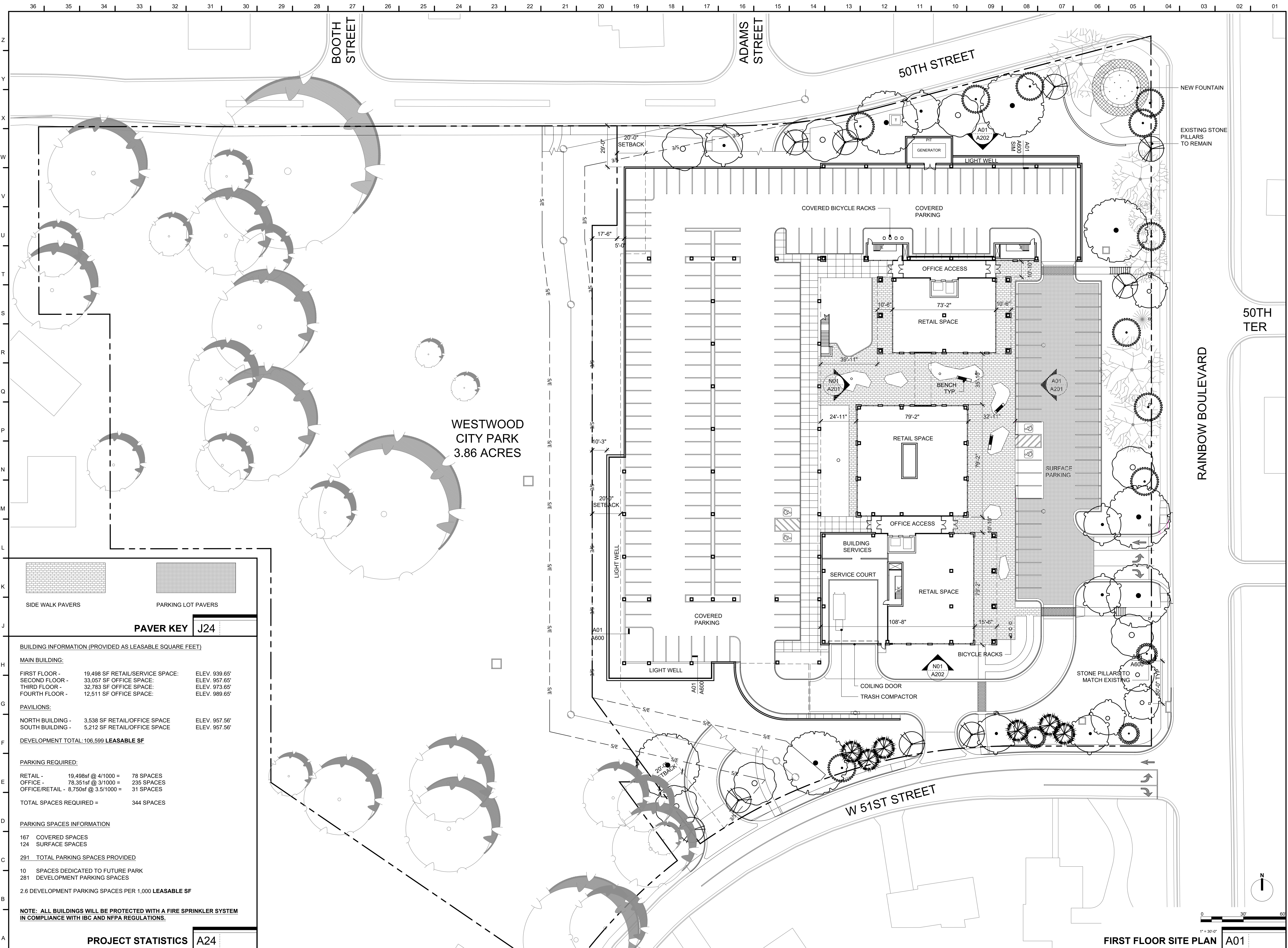
PDP SUBMITTAL

Prepared For:  
**KARBANK REAL ESTATE COMPANY**  
ADAM FELDMAN  
2000 SW PARKWAY SUITE 400  
MISSION WOODS, KS 66205  
816-221-4488

Design: DSN | Drawn: DRN  
Checked: CHK  
Issue Date: 07/20/2023  
Project Number: 037920

Rev. | Date | Description | By | App.

Rev.	Date	Description	By	App.



PAVER KEY J24		
BUILDING INFORMATION (PROVIDED AS LEASABLE SQUARE FEET)		
MAIN BUILDING:		
FIRST FLOOR -	19,498sf RETAIL/SERVICE SPACE:	ELEV. 939.65'
SECOND FLOOR -	33,057sf OFFICE SPACE:	ELEV. 957.65'
THIRD FLOOR -	32,783sf OFFICE SPACE:	ELEV. 973.65'
FOURTH FLOOR -	12,511sf OFFICE SPACE:	ELEV. 989.65'
PAVILIONS:		
NORTH BUILDING -	3,538sf RETAIL/OFFICE SPACE	ELEV. 957.56'
SOUTH BUILDING -	5,212sf RETAIL/OFFICE SPACE	ELEV. 957.56'
DEVELOPMENT TOTAL: 106,599 LEASABLE SF		
PARKING REQUIRED:		
RETAIL -	19,498sf @ 4/1000 =	78 SPACES
OFFICE -	78,351sf @ 3/1000 =	236 SPACES
OFFICE/RETAIL -	8,750sf @ 3.5/1000 =	31 SPACES
TOTAL SPACES REQUIRED = 344 SPACES		
PARKING SPACES INFORMATION		
167	COVERED SPACES	
124	SURFACE SPACES	
291 TOTAL PARKING SPACES PROVIDED		
10	SPACES DEDICATED TO FUTURE PARK	
281	DEVELOPMENT PARKING SPACES	
2.6 DEVELOPMENT PARKING SPACES PER 1,000 LEASABLE SF		
NOTE: ALL BUILDINGS WILL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH IBC AND NFPA REGULATIONS.		
PROJECT STATISTICS A24		

**Perspective**  
 2000 SHAWNEE MISSION PKWY  
 SUITE 100  
 MISSION WOODS, KS 66205  
 816 502 1500  
 WWW.PAD.STUDIO

2000 SHAWNEE MISSION PKWY  
 SUITE 100  
 MISSION WOODS, KS 66205  
 816 502 1500  
 WWW.PAD.STUDIO

MATTHEW MASILIONIS - ARCHITECT  
 KANSAS # 4053

I have prepared the drawings and assume responsibility for the sheets numbered with an "A" prefix for the project named below.  
 Other drawings and specifications attached for the above-mentioned project have been by and are the responsibility of the licensed engineer whose stamp and firm appear on that sheet.  
 The Architect is not responsible for the design of the mechanical, electrical, plumbing, civil, landscaping, structural, signage (not specified), fire sprinkler or fire suppression systems, and does not take responsibility for the compliance of these areas with the laws of the above governmental entities. The architect is not responsible for materials, components or equipment, as well as the method in which they are installed on the project by others. The architect is not responsible for proper operation due to faulty installation or product failure during construction or after completion of construction when operation has begun by the landlord or tenant.  
 The licensed professional whose stamp appears on sheets other than those specifically noted above shall be responsible for those items in paragraph three.

CONSULTANT

**KARBANK**  
 REAL ESTATE COMPANY

PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
 WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

ARCHITECTURAL SITE PLAN

PROJECT NUMBER  
 2021073.000

SHEET AUTHOR  
 K. MILLER

CHECKED BY  
 M. PAXTON

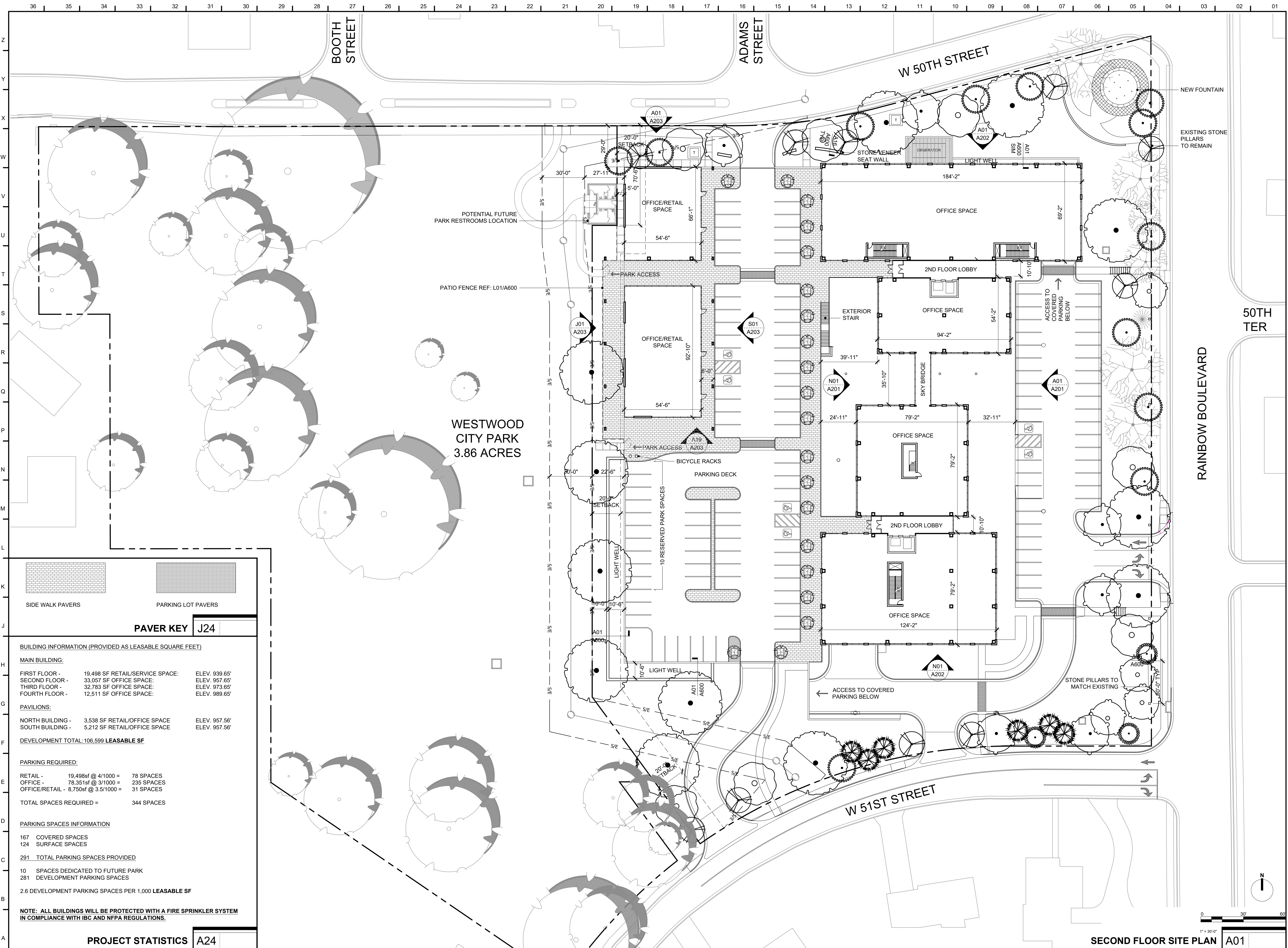
DATE  
 7.20.23

PDP SUBMITTAL

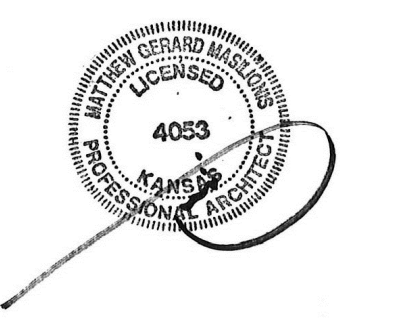
SHEET NUMBER  
**AS101**

1" = 30'-0"

FIRST FLOOR SITE PLAN A01



PAVER KEY J24		
BUILDING INFORMATION (PROVIDED AS LEASABLE SQUARE FEET)		
MAIN BUILDING:		
FIRST FLOOR -	19,498sf RETAIL/SERVICE SPACE:	ELEV. 939.65'
SECOND FLOOR -	33,057 SF OFFICE SPACE:	ELEV. 957.65'
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TOTAL SPACES REQUIRED = 344 SPACES		
PARKING SPACES INFORMATION		
167	COVERED SPACES	
124	SURFACE SPACES	
291 TOTAL PARKING SPACES PROVIDED		
10	SPACES DEDICATED TO FUTURE PARK	
281	DEVELOPMENT PARKING SPACES	
2.6 DEVELOPMENT PARKING SPACES PER 1,000 LEASABLE SF		
NOTE: ALL BUILDINGS WILL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH IBC AND NFPA REGULATIONS.		
PROJECT STATISTICS A24		



MATTHEW MASILIONIS - ARCHITECT  
 KANSAS # 4053

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CONSULTANT

PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
 WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

ARCHITECTURAL  
 SITE PLAN

PROJECT NUMBER  
 2021073.000

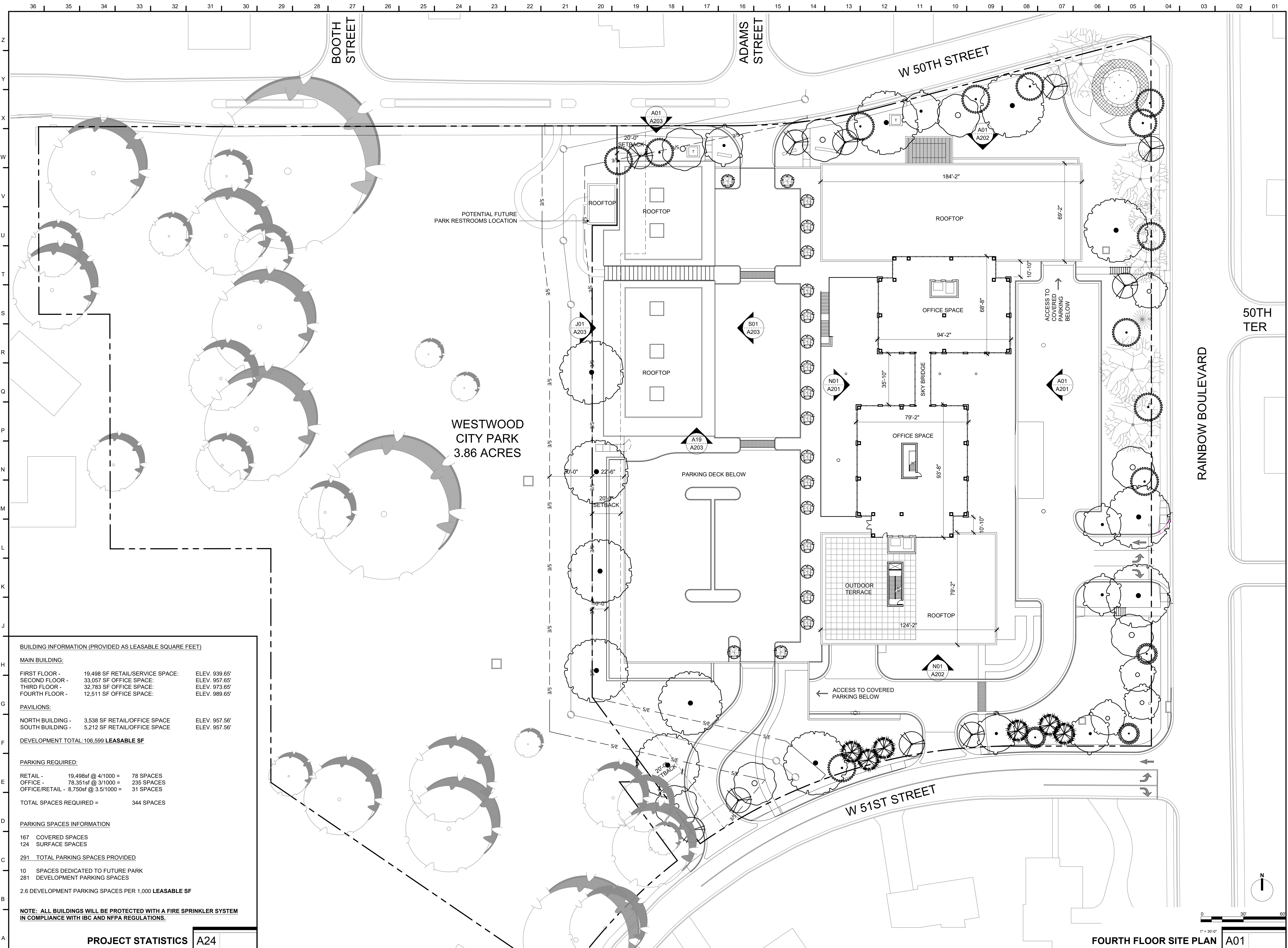
SHEET AUTHOR  
 K. MILLER

CHECKED BY  
 M. PAXTON

DATE  
 7.20.23

PDP SUBMITTAL

SHEET NUMBER  
**AS102**



**BUILDING INFORMATION (PROVIDED AS LEASABLE SQUARE FEET)**

**MAIN BUILDING:**

FIRST FLOOR -	19,498 SF RETAIL/SERVICE SPACE:	ELEV. 939.65'
SECOND FLOOR -	33,057 SF OFFICE SPACE:	ELEV. 957.65'
THIRD FLOOR -	32,783 SF OFFICE SPACE:	ELEV. 973.65'
FOURTH FLOOR -	12,511 SF OFFICE SPACE:	ELEV. 989.65'

**PAVILIONS:**

NORTH BUILDING -	3,538 SF RETAIL/OFFICE SPACE	ELEV. 957.56'
SOUTH BUILDING -	5,212 SF RETAIL/OFFICE SPACE	ELEV. 957.56'

**DEVELOPMENT TOTAL: 106,599 LEASABLE SF**

**PARKING REQUIRED:**

RETAIL -	19,498sf @ 4/1000 =	78 SPACES
OFFICE -	78,351sf @ 3/1000 =	236 SPACES
OFFICE/RETAIL -	8,750sf @ 3.5/1000 =	31 SPACES
<b>TOTAL SPACES REQUIRED =</b>		<b>344 SPACES</b>

**PARKING SPACES INFORMATION**

167	COVERED SPACES
124	SURFACE SPACES
<b>291</b>	<b>TOTAL PARKING SPACES PROVIDED</b>
10	SPACES DEDICATED TO FUTURE PARK
281	DEVELOPMENT PARKING SPACES
2.6 DEVELOPMENT PARKING SPACES PER 1,000 LEASABLE SF	

**NOTE: ALL BUILDINGS WILL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH IBC AND NFPA REGULATIONS.**

**PROJECT STATISTICS** A24

**Perspective**  
ARCHITECTURE + INTERIOR DESIGN

2000 SHAWNEE MISSION PKWY  
 SUITE 100  
 MISSION WOODS, KS 66205  
 816 502 1500  
 WWW.PAD.STUDIO

**MATTHEW MASILIONIS - ARCHITECT**  
 KANSAS # 4053

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CONSULTANT

**KARBANK**  
 REAL ESTATE COMPANY

PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
 WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

**ARCHITECTURAL SITE PLAN**

PROJECT NUMBER  
 2021073.000

SHEET AUTHOR  
 K. MILLER

CHECKED BY  
 M. PAXTON

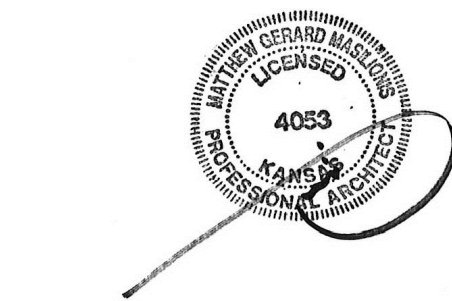
DATE  
 7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**AS103**

1" = 30'-0"  
 FOURTH FLOOR SITE PLAN A01





MATTHEW MASILIONIS - ARCHITECT  
KANSAS #4053

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CONSULTANT



PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION
3	09/06/23	CITY COMMENTS

SHEET TITLE

**BUILDING ELEVATIONS**

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
M. ELSOM  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

**PDP SUBMITTAL**

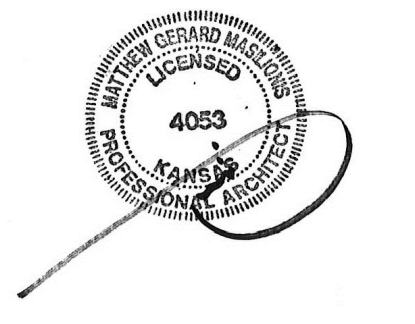
SHEET NUMBER  
**A201**



1/16" = 1'-0"  
**MAIN BUILDING - WEST ELEVATION N01**



1/16" = 1'-0"  
**MAIN BUILDING - EAST ELEVATION A01**



MATTHEW MASILIONIS - ARCHITECT  
KANSAS #4053

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PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

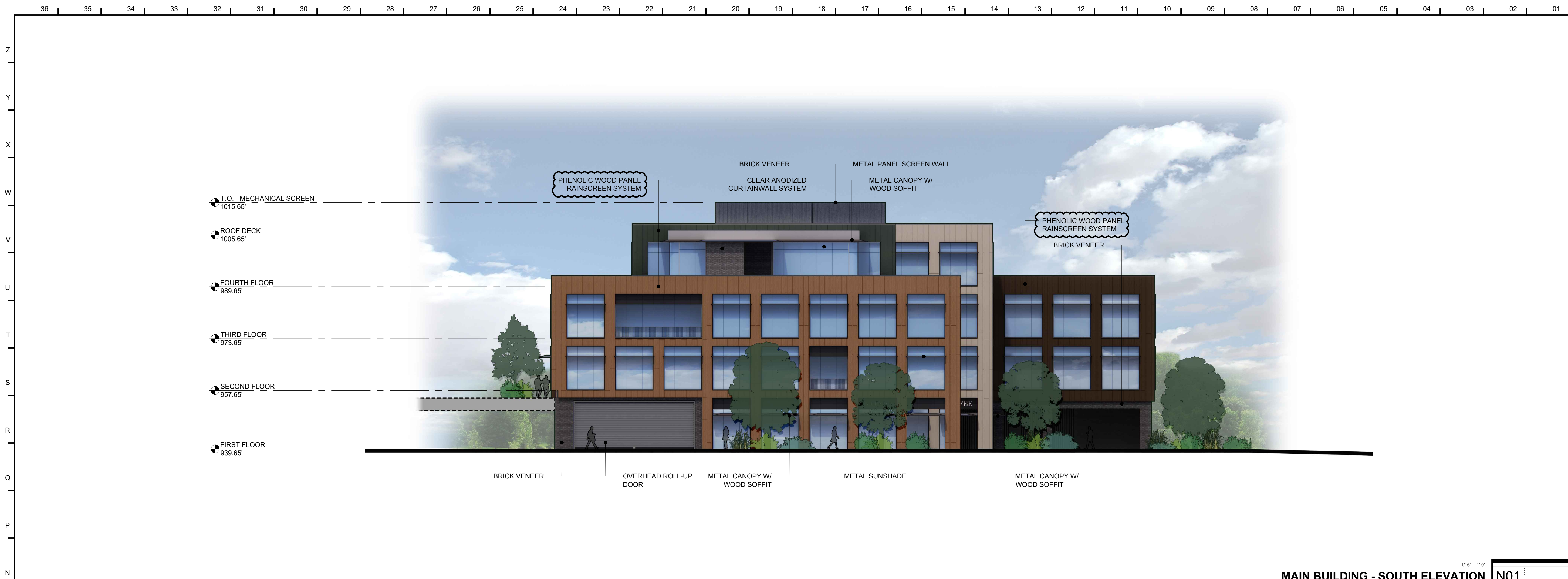
SHEET TITLE

**BUILDING ELEVATIONS**

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
M. ELSOM  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**A202**



1/16" = 1'-0"  
**MAIN BUILDING - SOUTH ELEVATION N01**



1/16" = 1'-0"  
**MAIN BUILDING - NORTH ELEVATION A01**

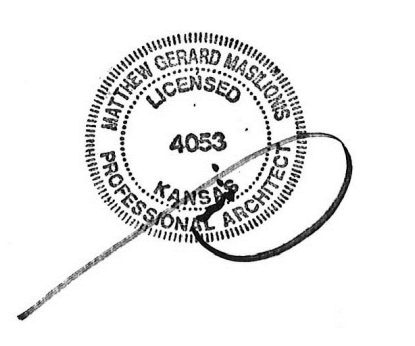


PAVILION BUILDING - EAST ELEVATION 1/16" = 1'-0" S01

PAVILION BUILDING - WEST ELEVATION 1/16" = 1'-0" J01

PAVILION BUILDING - SOUTH ELEVATION 1/16" = 1'-0" A19

PAVILION BUILDING - NORTH ELEVATION 1/16" = 1'-0" A01



MATTHEW MASILIONIS - ARCHITECT  
KANSAS #4053

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PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

**BUILDINGS ELEVATIONS**

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
M. ELSOM  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**A203**