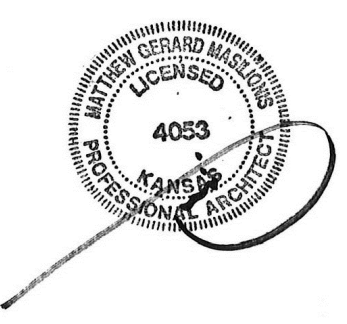


# 50TH & RAINBOW DEVELOPMENT

W 50TH STREET & RAINBOW BLVD  
WESTWOOD, KANSAS 66205



MATTHEW MASILIONIS - ARCHITECT  
KANSAS # 4053

I have prepared the drawings and assume responsibility for the sheets numbered with an "A" prefix for the project named below.

Other drawings and specifications attached for the above-mentioned project have been by and are the responsibility of the licensed engineer whose stamp and firm appear on that sheet.

The Architect is not responsible for the design of the mechanical, electrical, plumbing, civil, landscaping, structural, signage (not specified), fire sprinkler or fire suppression systems, and does not take responsibility for the compliance of these areas with the laws of the above governmental entities. The architect is not responsible for materials, components or equipment, as well as the method in which they are installed on the project by others. The architect is not liable or responsible for verification, during construction or upon completion of construction. The architect is not responsible for improper operation due to faulty installation or product failure during construction or after completion of construction when operation has begun by the landlord or tenant.

The licensed professional whose stamp appears on these sheets other than those specifically noted above shall be responsible for those items in paragraph three.



MAIN BUILDING PERSPECTIVE RENDERING L19

The 50<sup>th</sup> and Rainbow Development is a proposed Planned Development District (PD) located on the west side of Rainbow Boulevard between 50<sup>th</sup> Street and 51<sup>st</sup> Street in the City of Westwood, Kansas. The proposed project will feature approximately 22,509 square feet of retail space on the 1<sup>st</sup> floor of the building and approximately 90,007 square feet of office space on 3 floors above the retail. Adjacent to the main building is a smaller 11,933 square foot single story office / retail building broken into two masses.

Because of the mixed-use nature of the proposed project, it is anticipated that portions of the first and second floors of the buildings may be a mix of retail and office uses in lieu of being strictly office or strictly retail. An underground parking structure is located to the west and north of the main building with 171 covered parking spaces. 125 surface parking spaces are also provided on the east and west sides of the main building.

With regard to the 2017 Westwood Comprehensive Use Plan, the land use map in Section 3.3 identifies the proposed development location as Public / Semi-Public and Open Space. This usage type per Figure 3.2 accounts for only 4.4% and 0.8% of the overall city land use. Given the small percentage of space allocated to these uses, it seems vital to the community to maintain these land use types. The proposed development would offer a mixture of Public and Semi-Public spaces with office and retail buildings, and maintain the Open Space components with the proposed City Park. Alternatively, if the plan reverted to the R-1 Single Family Residence Zoning of the surrounding neighborhood, the location would become private space which would seem in conflict with the Comprehensive Use Plan.

The specific stated desired outcomes of the 5050 Rainbow Site, and the Westwood View Elementary site per the Westwood Comprehensive Use Plan are to:

- Protect and minimize impacts to adjacent residential property.
- Offer indoor and/or outdoor community activity/gathering spaces.
- Attract and keep residents.
- Retain and grow property values.
- Support local / small business development

The proposed project would provide a vital fully integrated, mixed-use, pedestrian oriented commercial neighborhood that would meet all of the desired outcomes as listed in the Comprehensive Use Plan.

Specifically related to Section 1.6.17 of the Zoning Ordinance Criteria for Considering Applications for a Rezoning Request:

- The conformance of the proposed use to the City's Comprehensive Plan and other adopted planning policies. **Per Section 6.2.2, a PD Planned Development district is equivalent to C-1 Zoning. The proposed development would be in substantial compliance with current C-1 Zoning. Minor deviations are anticipated and included in the deviations list on the cover sheet.**
- The character of the neighborhood including, but not limited to: Land use, zoning, density (residential), architectural style, building materials, height, structural mass, siting, open space, and floor-to-area ration (commercial and industrial). **The proposed buildings have intentionally been pushed back from Rainbow Boulevard and the tallest of the buildings are at the center of the site to best fit in with the scale and character of the surrounding neighborhood. Additionally, the majority of existing trees will be preserved at the perimeter of the site to create a large multistory landscape buffer from surrounding neighbors and preserve the existing quality of the streetscape. Building massing has been broken down in plan and elevation to create smaller scaled facades of varying colors to also complement and blend into the surrounding residential neighborhood.**
- The zonings and uses of nearby properties, and the extent to which the proposed use would be in harmony with such zonings and uses. **All nearby properties are Zoned R-1 Single Family Residential. The proposed Development would bring a mix of office and retail uses to the project compatible with the surrounding neighborhood providing residents walkable places to work and shop fulfilling the purpose of a fully integrated, mixed-use, pedestrian oriented neighborhood.**
- The suitability of the property for the uses to which it has been restricted under the applicable zoning district regulations. **While the current property could be utilized for single family residential, adding a mixture of office, retail and park functions would serve to provide additional amenities to the residents in the area.**
- The length of time the property has remained vacant as zoned. **The former church site property along Rainbow Boulevard was acquired by the City of Westwood and the church was demolished to accommodate the city's plan for future development The school, while still in use, is scheduled to be vacated in August 2024.**
- The extent to which approval of the application would detrimentally affect nearby properties. **Approval of the application would have no detrimental effect on nearby properties.**
- The extent to which the proposed use would substantially harm the value of nearby properties. **The proposed use will not harm and may enhance the value of nearby properties.**
- The extent to which the proposed use would adversely affect the capacity or safety of the portion of the road network influenced by the use, or present parking problems in the vicinity of the property. **The existing site functions as both a school and a park, creating peak traffic times as well as various visitor traffic throughout the day. Traffic flow for the proposed development would be of a similar nature with peak traffic times at the beginning and end of the office work day, and various visitor traffic to the retail shops throughout the day. Parking for the proposed development would be handled internally on the site so there would be minimal overflow to the surrounding area.**
- The extent to which the proposed use would create excessive air pollution, water pollution, noise pollution, or other environmental harm. **No excess air, water or noise pollution or other environmental harm would occur.**
- The economic impact of the proposed use on the community. **The Economic Impact of the proposed project would result in a net increase to the sales and property taxes received by the City of Westwood. No tax incentives are being requested by the developer as part of this project apart from a sales tax waiver on construction materials.**
- The gain, if any, to the public health, safety, and welfare due to denial of the application as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application. **No gain to the public health, safety and welfare would occur due to denial of the application, however if the application is denied, a substantial portion of the site would remain vacant and the future of city park would be in jeopardy.**

PROJECT NARRATIVE M01



PAVILION PERSPECTIVE RENDERING A19

The following Deviations from the equivalent C-1 Zoning are requested as part of the proposed PD Planned Development District:

5.3.7 A Unless otherwise indicated in a specific Overlay District, the facade of building in the C-1 District shall be constructed directly on the build-to line along at least seventy percent of the length of the building.

The proposed development is surrounded by residential housing of 2 story scale set back typically 35- 60 feet from Rainbow Boulevard. Placing the buildings at property line is inconsistent with surrounding scale and development. Placing the buildings back from Rainbow allows a softening of the perimeter to create a better scale with the neighboring houses as well as opportunity to create more habitable spaces for pedestrians, restaurants and retail. In effect it allows a place to be created versus a space directly adjacent to a major boulevard.

Additionally, 5.5.1 B states that in C-1 Districts, off-street parking of no less than 75% of the parking places shall be to the rear or side of the building. As proposed 85% of the parking spaces will be .

Underground rock is currently located at elevation 936 only a few feet below grade. Due to the natural slope of the site from a high on the northwest to a low on the southeast, placing all parking to the rear of buildings would create a primary retail entrance via an underground parking garage.

5.3.7 C Parking areas and parking garages shall be recessed or placed to the rear of buildings.

5.5.1 B states that in C-1 Districts, off-street parking of no less than 75% of the parking places shall be to the rear or side of the building. The proposed development has 85% of parking areas and parking garages at the rear or side of the building, hidden from view. The natural topography of the site sets itself up to place a recessed garage at the rear of the buildings with a small surface parking lot in front of the buildings to allow visible access to the retail and office entries.

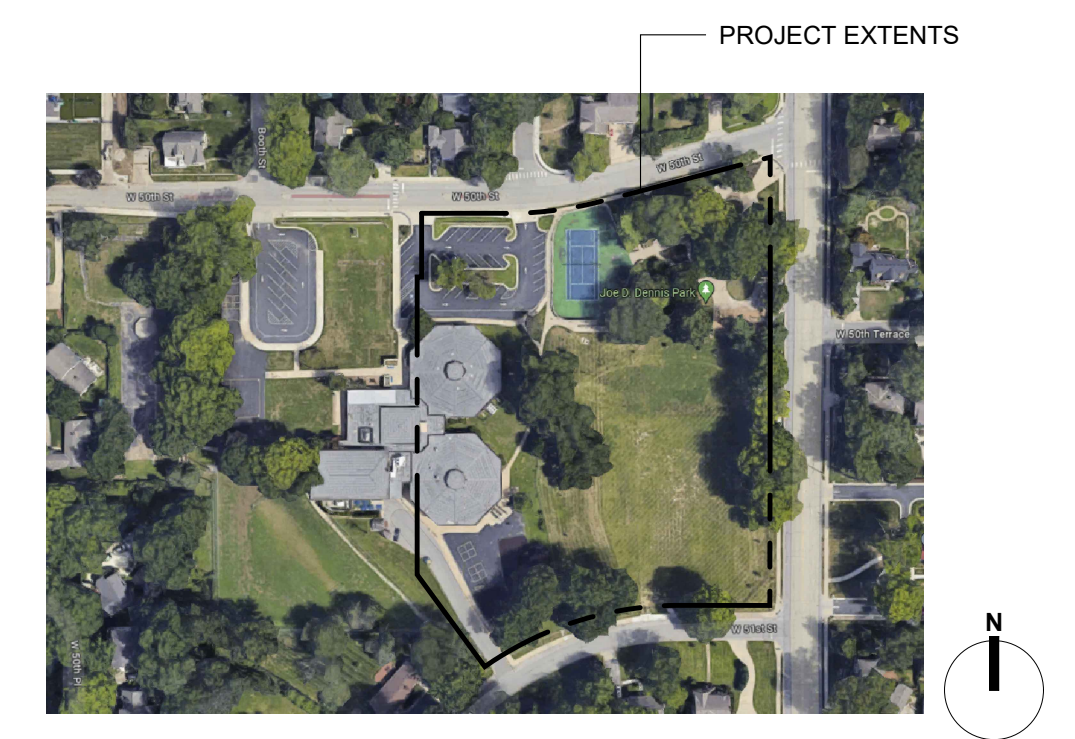
5.3.8 A B C One-, two-, and three-story buildings are permitted in the C-1 Mixed-use Districts.

The proposed four-story portions remain in compliance with the zoning requirements and maximum allowable height restrictions of a "mid-rise building". Portions of the building at the center of the project are 4 stories along Rainbow Boulevard. The additional story creates a stronger mass at the center of the site, allowing for rooftop terraces and a stronger sense of hierarchy and visual interest toward the center of the site. Because the project is set into a hillside, the four-story portions of the building allow for a more varied appearance in keeping with the massing and variety of the neighboring residential area. Moreover, on the west and north sides of the site the buildings will only have 3 stories visible above grade.

5.4.2.1 Minimum Parking Spaces Per Use

Based on the developer's experience with the local market and retail and office uses of a similar type to those of the proposed development, the amount of parking proposed is less than the minimum requirement and in keeping with market expectations and standards in this location.

DEVIATION REQUESTS F01



PROPERTY LOCATION MAP A11

**PROPERTY DEVELOPER**  
ADAM FELDMAN  
KARBANK REAL ESTATE COMPANY  
2000 SHAWNEE MISSION PARKWAY  
SUITE 400  
MISSION WOODS, KANSAS 66205  
816.221.4488  
af@karbank.com

**CIVIL ENGINEER**  
AUSTIN LAGE  
BHC  
7101 COLLEGE BLVD.  
SUITE 400  
OVERLAND PARK, KANSAS 66210  
913.663.1900  
austin.lage@bhcc.com

**ARCHITECT**  
KENNY MILLER  
PERSPECTIVE ARCHITECTURE  
& DESIGN  
2000 SHAWNEE MISSION PKWY  
SUITE 100  
MISSION WOODS, KS 66205  
816.842.1549  
kenny@pad.studio

CONTACT INFORMATION A06

MARK	DATE	DESCRIPTION
▲	08/03/23	CITY COMMENTS

GENERAL	ARCHITECTURAL
▲ A000 COVER SHEET	AS101 ARCHITECTURAL SITE PLAN
▲ A001 PROJECT LOCATION PLAN	AS102 ARCHITECTURAL SITE PLAN
▲ C1.0 OVERALL SITE PLAN	AS103 ARCHITECTURAL SITE PLAN
▲ C1.1 SITE PLAN - GROUND LEVEL	A201 BUILDING ELEVATIONS
▲ C1.2 SITE PLAN - SECOND LEVEL	A202 BUILDING ELEVATIONS
▲ C1.3 SIGHT DISTANCE PLAN	A203 BUILDING ELEVATIONS
▲ C1.4 FIRE TRUCK MANEUVERABILITY	
▲ C2.0 GRADING PLAN	
▲ C3.0 BMP PLAN	
▲ L1.1 TREE PRESERVATION PLAN	
▲ L1.0 LANDSCAPE PLAN - GROUND LEVEL	
▲ L1.1 LANDSCAPE PLAN - SECOND LEVEL	
▲ PH1.1 PHOTOMETRICS PLAN	

SHEET INDEX A01

CONSULTANT



PROJECT  
50TH AND RAINBOW DEVELOPMENT

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION
▲	08/03/23	CITY COMMENTS

SHEET TITLE

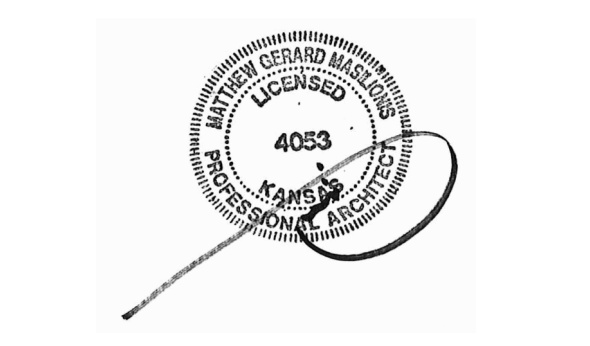
COVER SHEET

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
K. MILLER  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

PDP SUBMITTAL

SHEET NUMBER  
**A000**





MATTHEW MASILIONIS - ARCHITECT  
KANSAS #4053

I have prepared the drawings and assume responsibility for the sheets numbered with an "X" prefix for the project named below.

Other drawings and specifications attached for the above-mentioned project have been by and are the responsibility of the licensed engineer whose stamp and firm appear on that sheet.

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The licensed professional whose stamp appears on sheets other than those specifically noted above shall be responsible for those items in paragraph three.

CONSULTANT



PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION
1	08/03/2023	CITY COMMENTS

SHEET TITLE  
**PROJECT LOCATION PLAN**

PROJECT NUMBER  
2021073.000

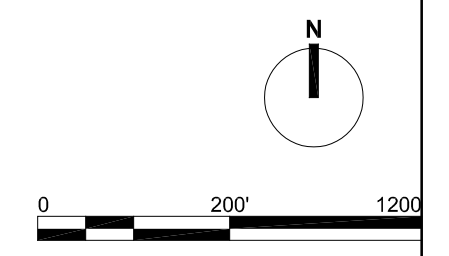
SHEET AUTHOR  
P. MONKS

CHECKED BY  
M. PAXTON

DATE  
8.03.23

PDP SUBMITTAL

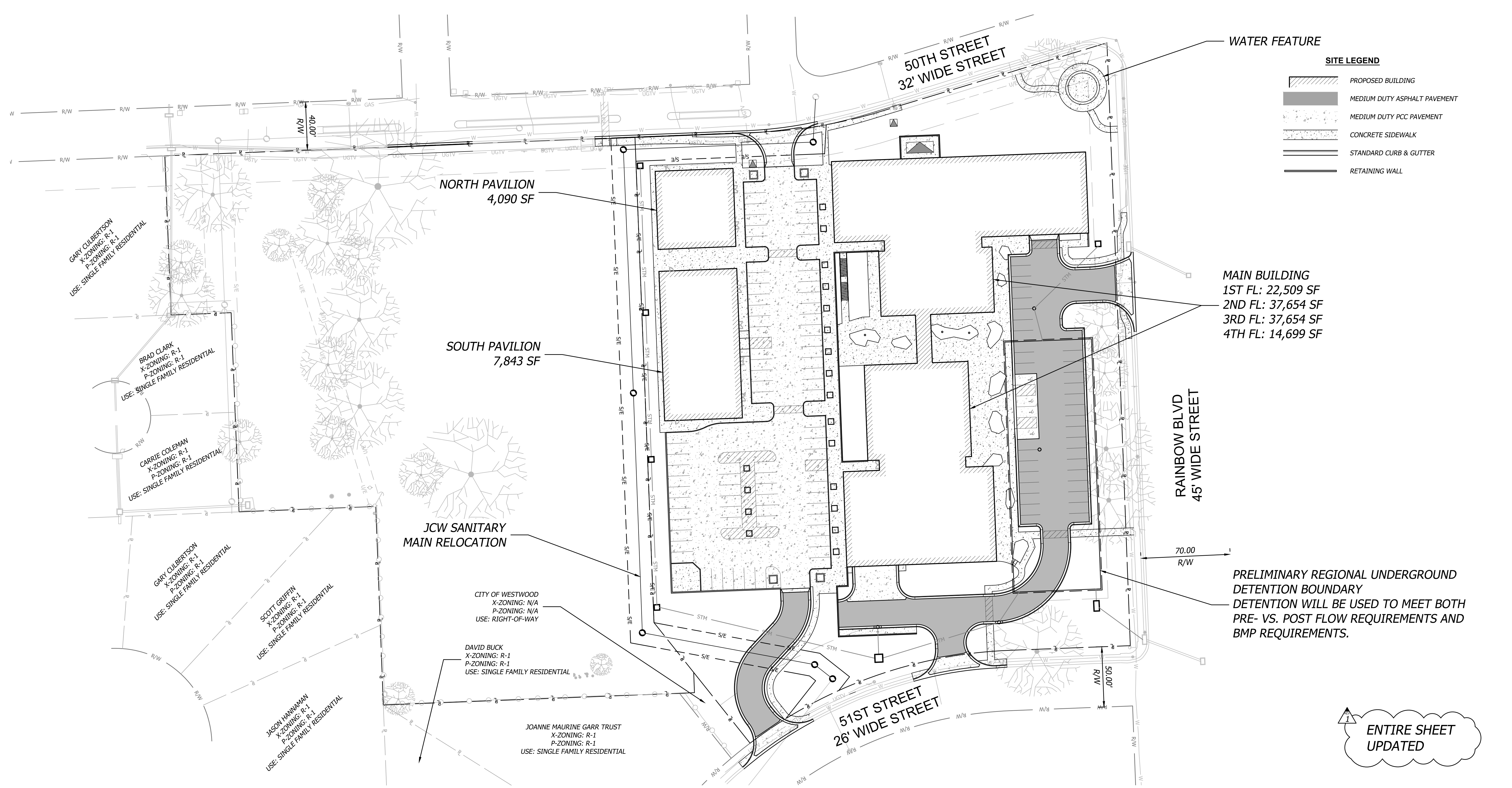
SHEET NUMBER  
**A001**



1" = 600'  
**PROJECT LOCATION PLAN A01**



Aug. 03, 2023 2:03pm Plotted By: austin.lage V:\037920-Westwood\04-DWG\Eng\Sheet\037920-SRFS-SITE.dwg Layout: OVERALL SITE PLAN



**SITE LEGEND**

	PROPOSED BUILDING
	MEDIUM DUTY ASPHALT PAVEMENT
	MEDIUM DUTY PCC PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	RETAINING WALL

**MAIN BUILDING**  
 1ST FL: 22,509 SF  
 2ND FL: 37,654 SF  
 3RD FL: 37,654 SF  
 4TH FL: 14,699 SF

PRELIMINARY REGIONAL UNDERGROUND DETENTION WILL BE USED TO MEET BOTH PRE- VS. POST FLOW REQUIREMENTS AND BMP REQUIREMENTS.

ENTIRE SHEET UPDATED

**SITE DATA**

<b>OVERALL SITE</b>	
SITE AREA:	7.62 AC 332,129 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	121,314 SF (36.5%)
PROPOSED:	140,349 SF (42.3%)
<b>WEST SITE</b>	
SITE AREA:	3.36 AC 146,218 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	55,142 SF (37.7%)
PROPOSED:	1,379 SF (0.01%)
<b>EAST SITE</b>	
SITE AREA:	4.26 AC 185,911 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	66,158 SF (35.6%)
PROPOSED:	138,970 SF (74.8%)

**BUILDING DATA**

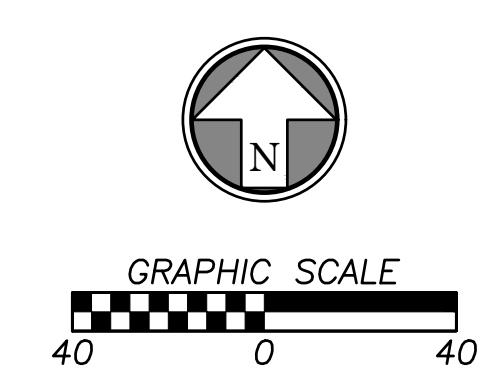
<b>BUILDING</b>	
TOTAL BUILDING FOOTPRINT:	49,587 SF (26.7%)
TOTAL BUILDING SF:	124,449 SF
<b>MAIN BUILDING:</b>	
FOOTPRINT:	37,654 SF (20.3%)
TOTAL SF (4 FLOORS):	112,516 SF
<b>PAVILION BUILDINGS:</b>	
NORTH FOOTPRINT:	4,090 SF (2.20%)
SOUTH FOOTPRINT:	7,843 SF (4.20%)
<b>LOT COVERAGE</b>	
BUILDING/STRUCTURE (100% TOTAL AREA)	88,315 SF (47.5%)
OVERHANG ABOVE OPEN AIR (50% TOTAL AREA)	506 SF (0.30%)
TOTAL	88,821 SF (47.8%)

**PARKING DATA**

<b>PARKING</b>	
PARKING PROVIDED:	294 STANDARD 10 HANDICAP (5 VAN)
<b>PARKING REQUIRED:</b>	287 STANDARD
<b>PARKING STALLS:</b>	
(1 PER 500 SF OFFICE SPACE)	192
(1 PER 300 SF RETAIL SPACE)	95
<b>ADA STALLS:</b>	7 HANDICAP (2 VAN)
(BASED ON 295 PROVIDED PARKING)	

**EXISTING ZONING**  
 R-1 (SINGLE FAMILY RESIDENTIAL)

**PROPOSED ZONING**  
 CP-1 (PLANNED COMMERCIAL)



Design: DSN	Drawn: DRN
Checked: CHK	
Issue Date: 07/20/2023	
Project Number: 037920	
<b>C1.0</b>	

Prepared For:	KARBANK REAL ESTATE COMPANY
	ADAM FELDMAN
	20000 SH PKWY, SUITE 400
	MISSIONS WOODS, KS 66205
	816-221-4488

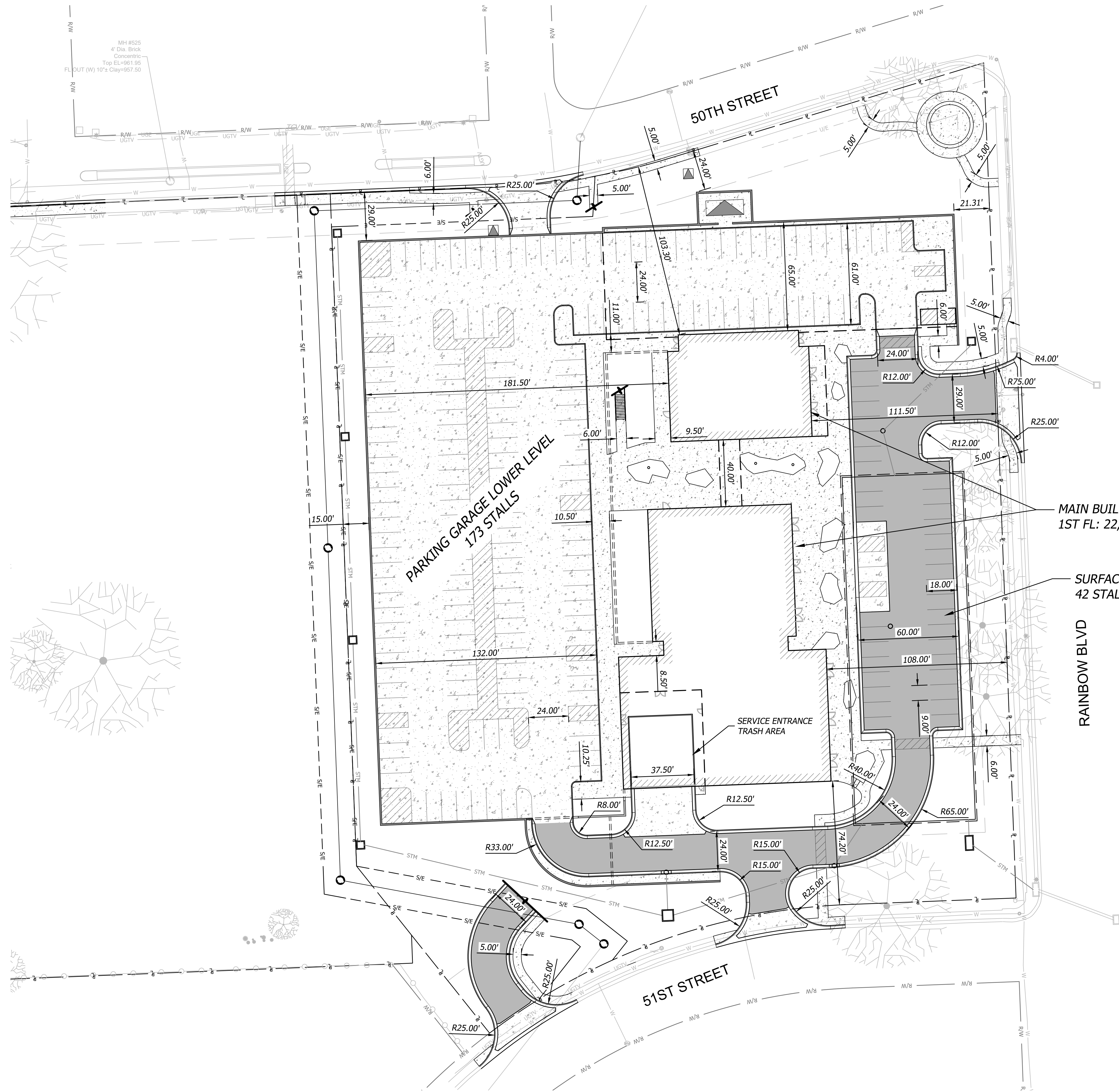
50TH & RAINBOW DEVELOPMENT WESTWOOD, KS 66205 OVERALL SITE PLAN

Rev.	Date	Description
1	08/03/23	CITY COMMENTS



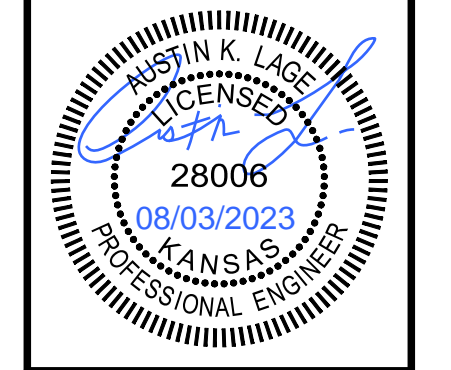
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**SITE LEGEND**

	PROPOSED BUILDING
	MEDIUM DUTY ASPHALT PAVEMENT
	MEDIUM DUTY PCC PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	RETAINING WALL

Rev.	Date	Description	By	App.
1	08/03/23	CITY COMMENTS	AKL	AKL



Prepared For:  
**KARBANK REAL ESTATE COMPANY**  
 ADAM FELDMAN  
 20000 SHY PARKWAY, SUITE 400  
 MISSIONS WOODS, KS 66205  
 816-221-4488

**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**

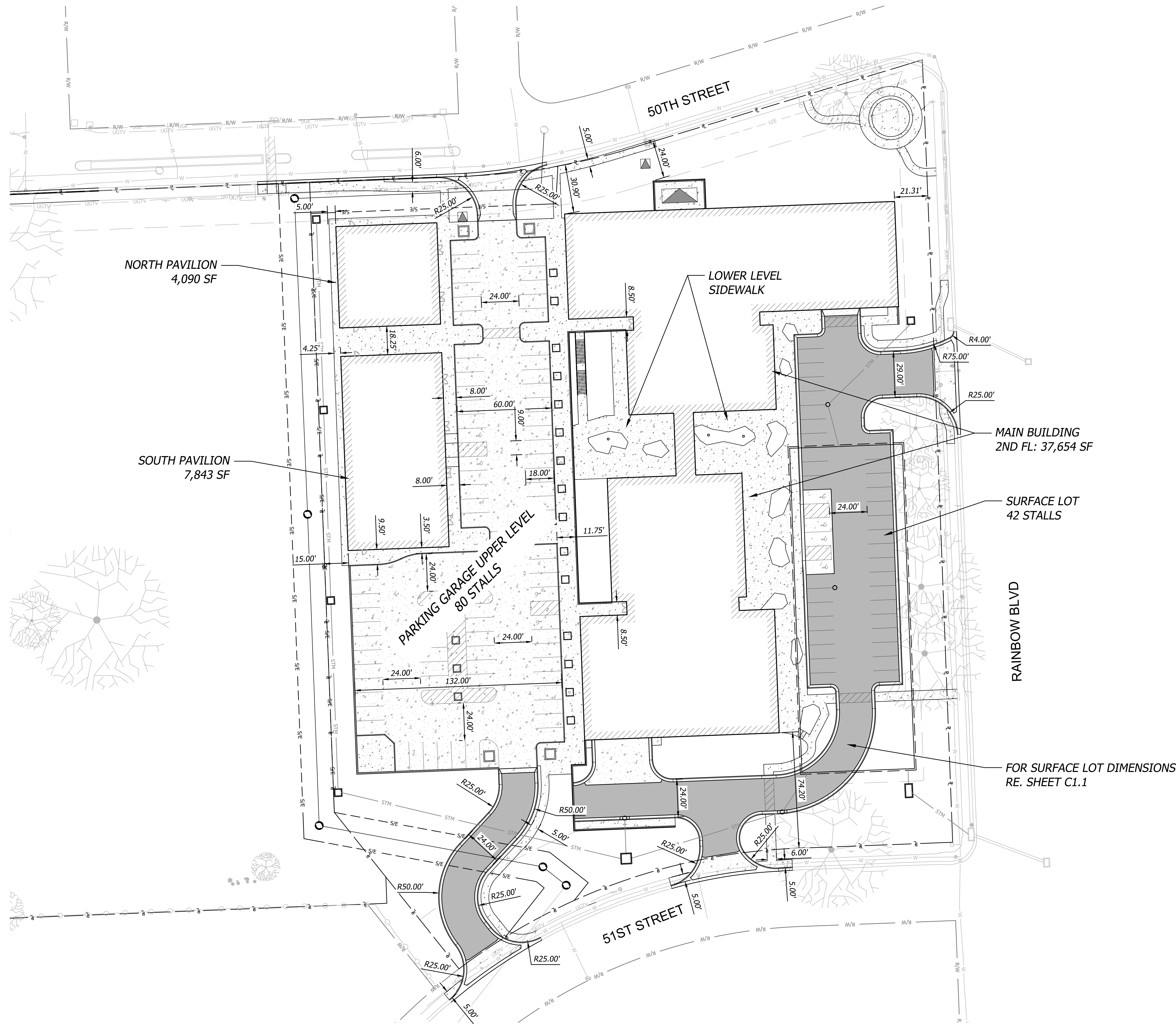
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 Checked: CHK  
 Issue Date: 07/20/2023  
 Project Number: 037920

**C1.1**



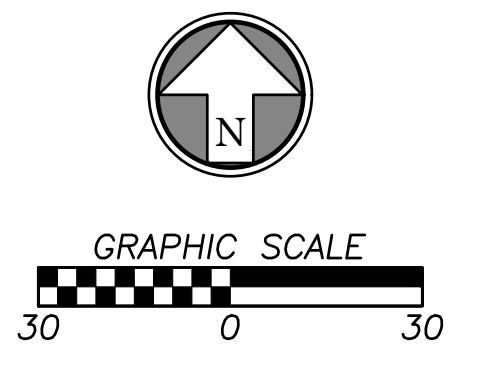
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**SITE LEGEND**

	PROPOSED BUILDING
	MEDIUM DUTY ASPHALT PAVEMENT
	MEDIUM DUTY PCC PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	RETAINING WALL

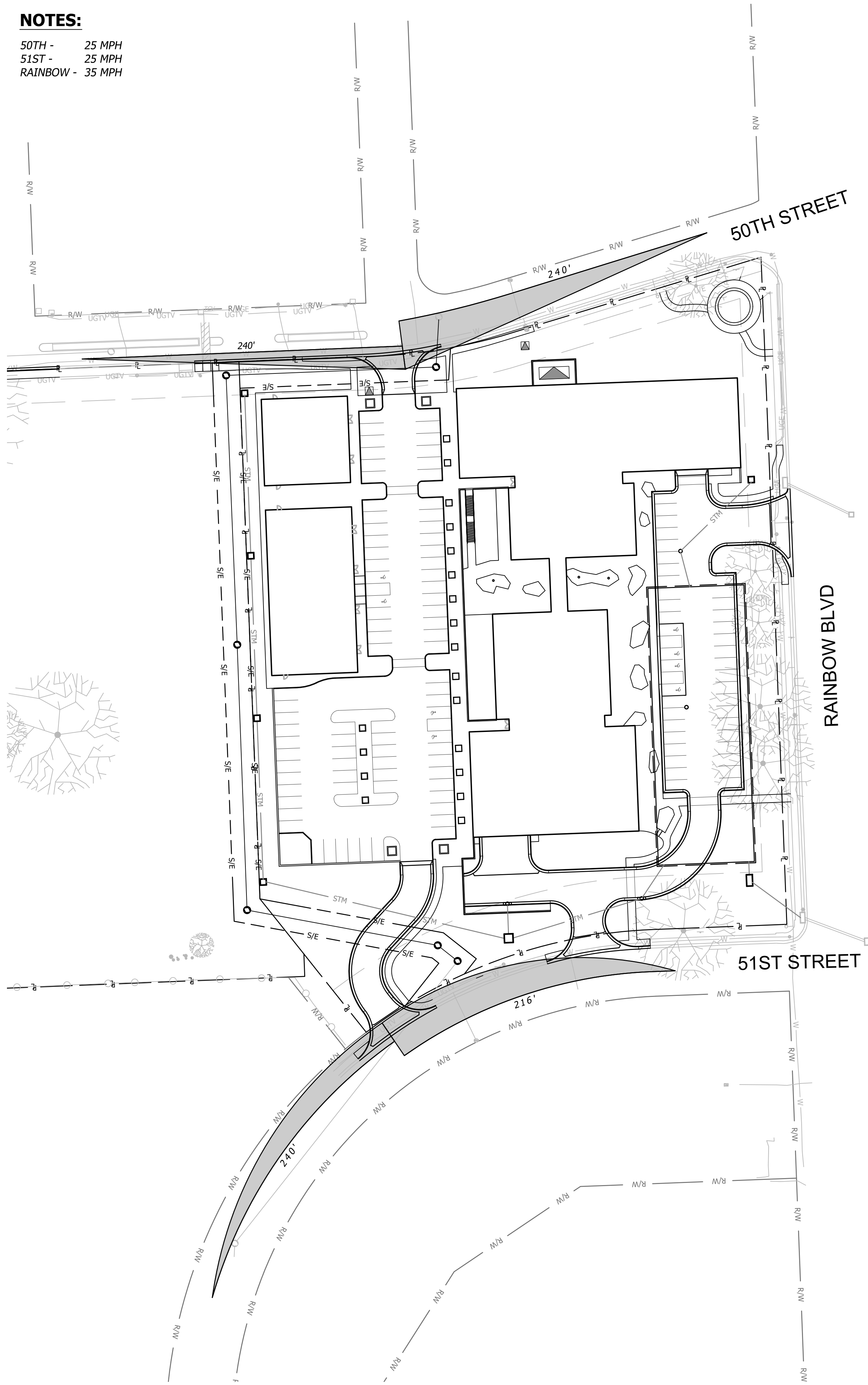
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UPDATED



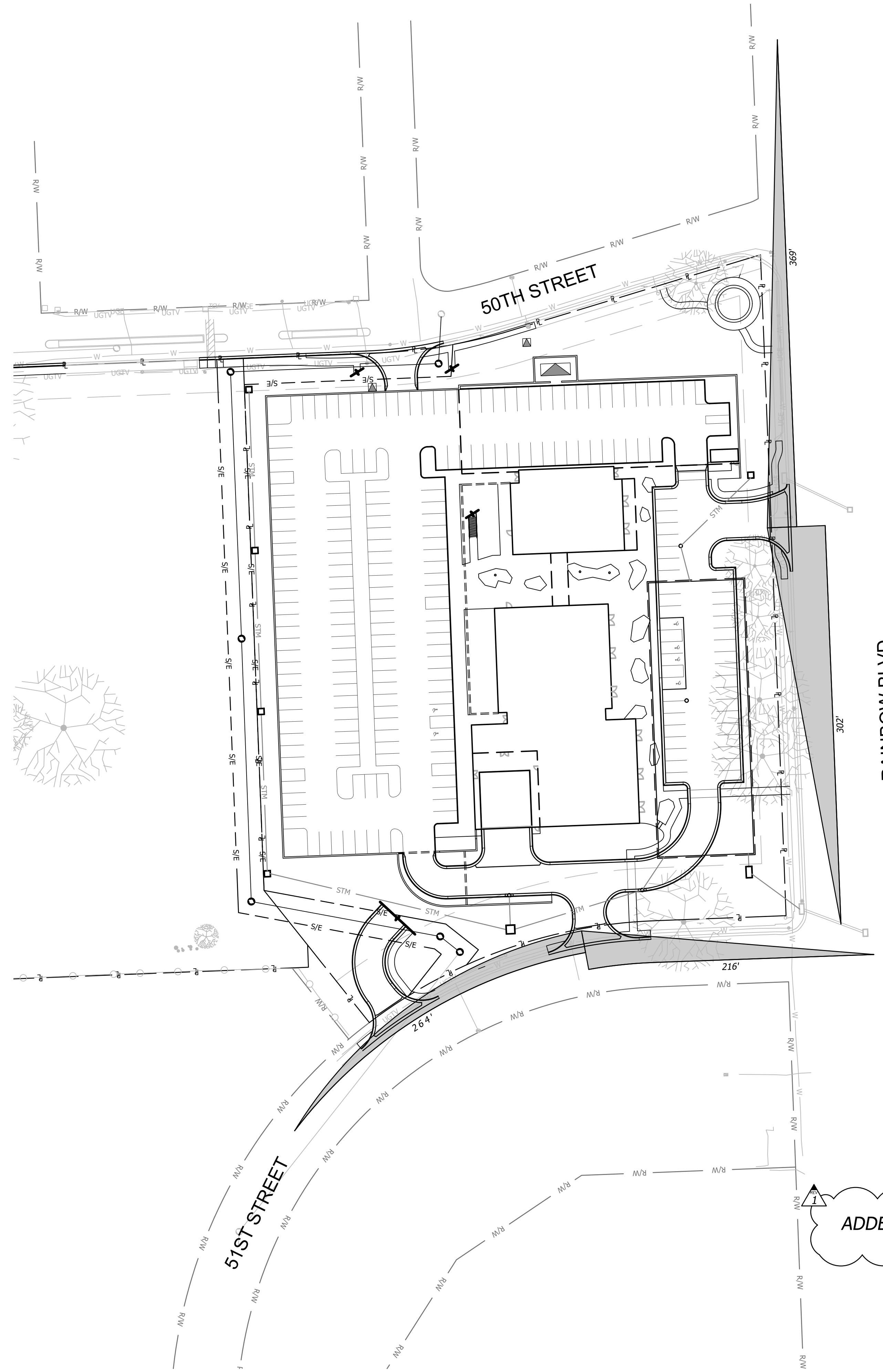
<p><b>PDP SUBMITTAL</b> <b>50TH &amp; RAINBOW DEVELOPMENT</b> <b>WESTWOOD, KS 66205</b></p> <p><b>SITE PLAN-SECOND LEVEL</b></p> <p>Design: DSN   Drawn: DRN Checked: CHK Issue Date: 07/20/2023 Project Number: 037920</p> <p style="font-size: 2em; font-weight: bold;">C1.2</p>	<p>Prepared For: KARBANK REAL ESTATE COMPANY ADAM FELDMAN 20000 SHY PKWY, SUITE 400 MISSIONS WOODS, KS 66205 816-221-4488</p> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center; width: fit-content; margin: 0 auto;"> <p>JUSTIN A. LAGRETT LICENSED 28006 08/03/2023 KANSAS PROFESSIONAL ENGINEER</p> </div> <p><b>BHC</b> Civil Engineering &amp; Surveying Services 101 Cliff Road, Suite 400 Overland Park, Kansas 66210 P. 913.653.1900 BHC is a member of Hensel Phelps Construction Company, P.A.</p>										
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Rev.	Date	Description	By	App.							



**NOTES:**  
 50TH - 25 MPH  
 51ST - 25 MPH  
 RAINBOW - 35 MPH

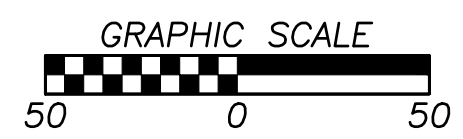
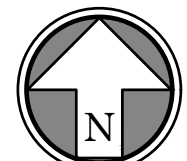


**SECOND LEVEL**



**GROUND LEVEL**

ADDED SHEET



Aug. 03, 2023 - 2:03pm Plotted By: oua@hlog V:\037920-Westwood\04-DWG\Eng\Sheet\037920-SRIS-SITE.dwg Layout: SIGHT\_DISTANCE\_PLAN



Prepared For:  
 KARBANK REAL ESTATE COMPANY  
 ADAM FELDMAN  
 20000 SHY PKWY, SUITE 400  
 MISSIONS WOODS, KS 66205  
 816-221-4488

**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**  
**SIGHT DISTANCE PLAN**

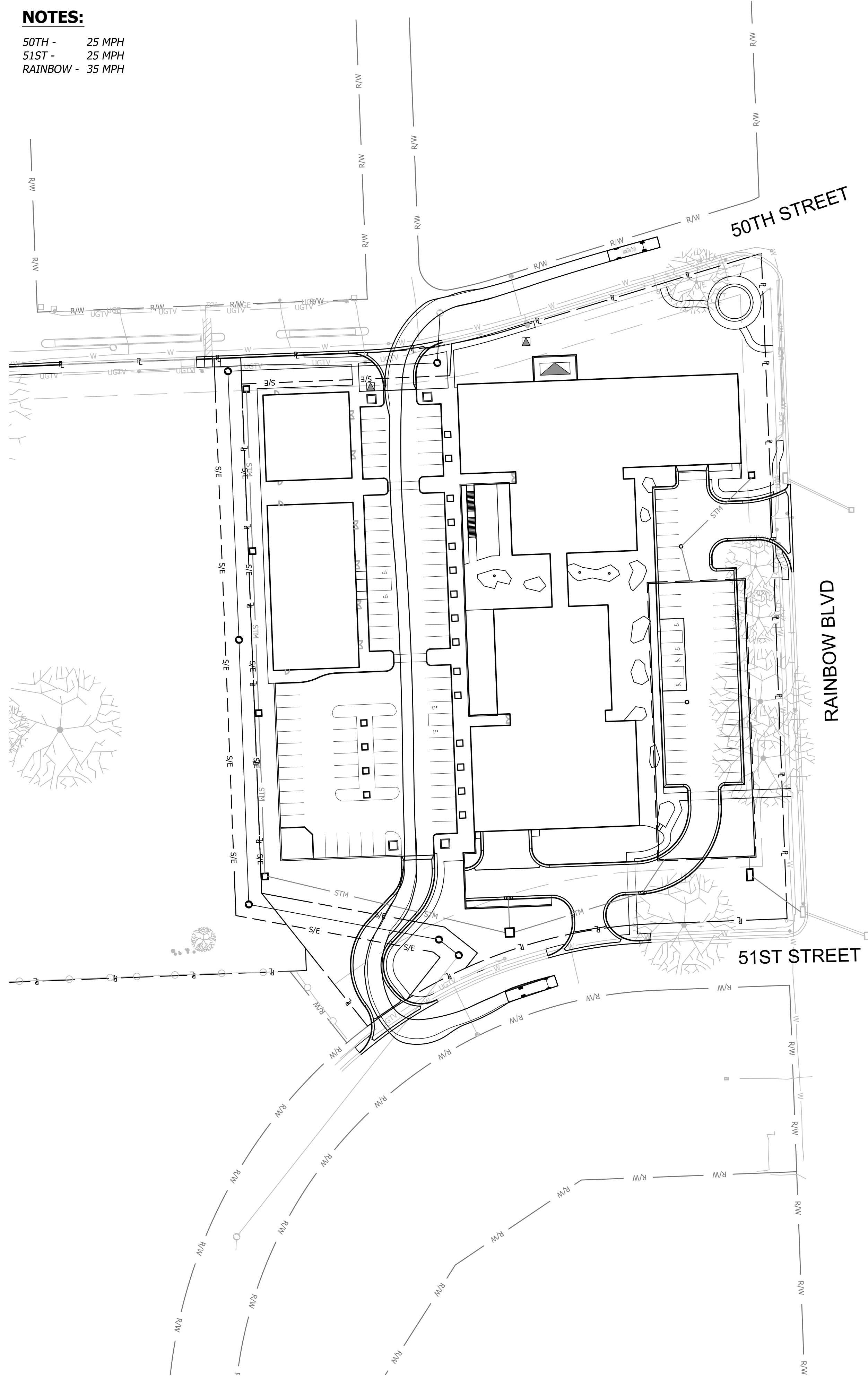
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 Project Number: 037920

**C1.3**

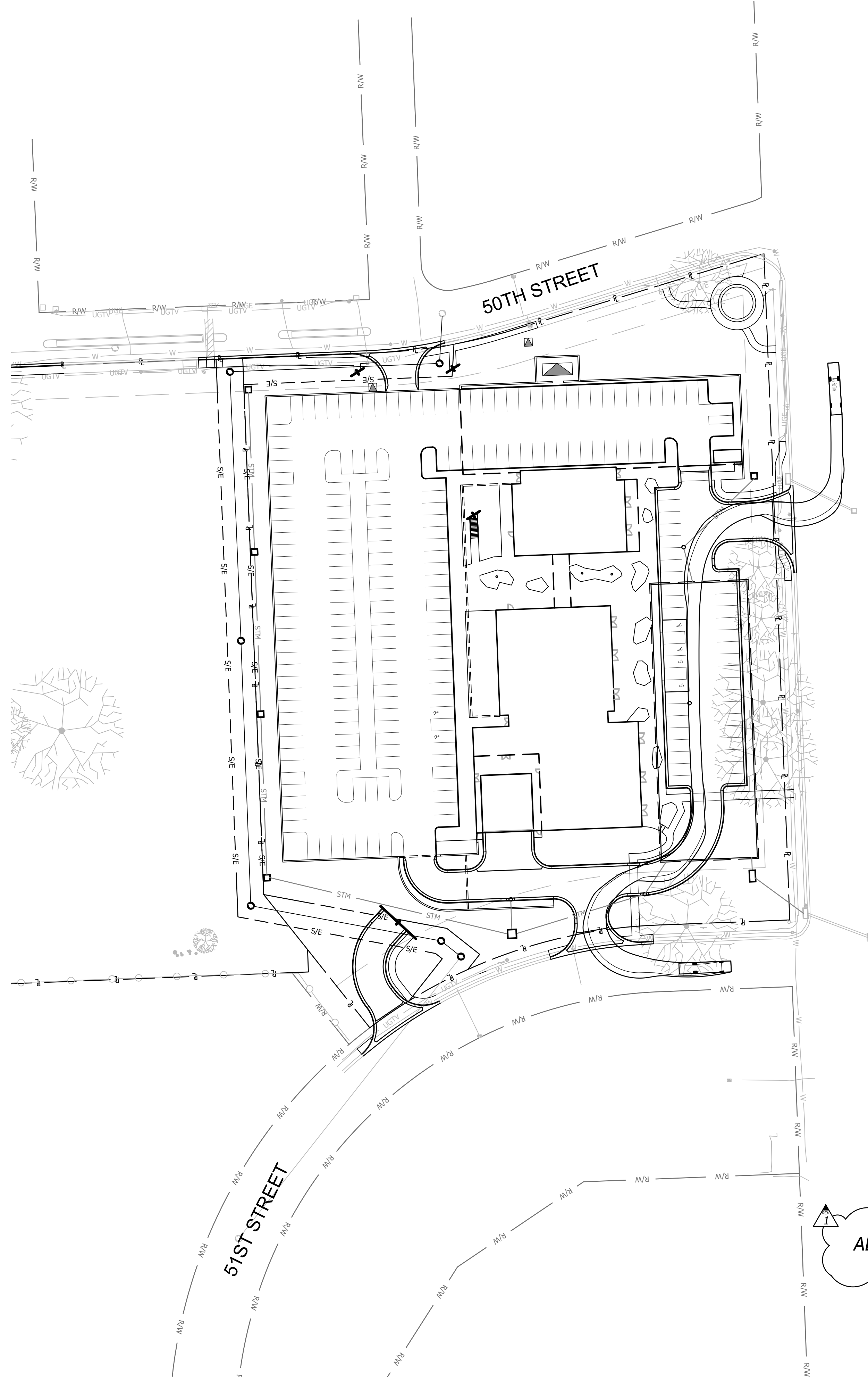
Rev.	Date	Description
1	08/03/23	CITY COMMENTS
		By
		App.



**NOTES:**  
 50TH - 25 MPH  
 51ST - 25 MPH  
 RAINBOW - 35 MPH

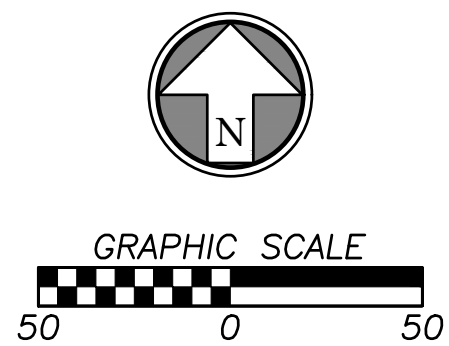


**SECOND LEVEL**

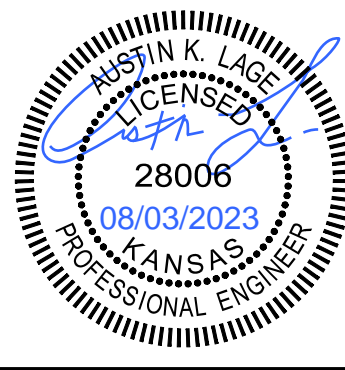


**GROUND LEVEL**

ADDED SHEET



Rev.	Date	Description
1	08/03/23	CITY COMMENTS



Prepared For:  
 KARBANK REAL ESTATE COMPANY  
 ADAM FELDMAN  
 20000 SHY PARKWAY, SUITE 400  
 MISSIONS WOODS, KS 66205  
 816-221-4488

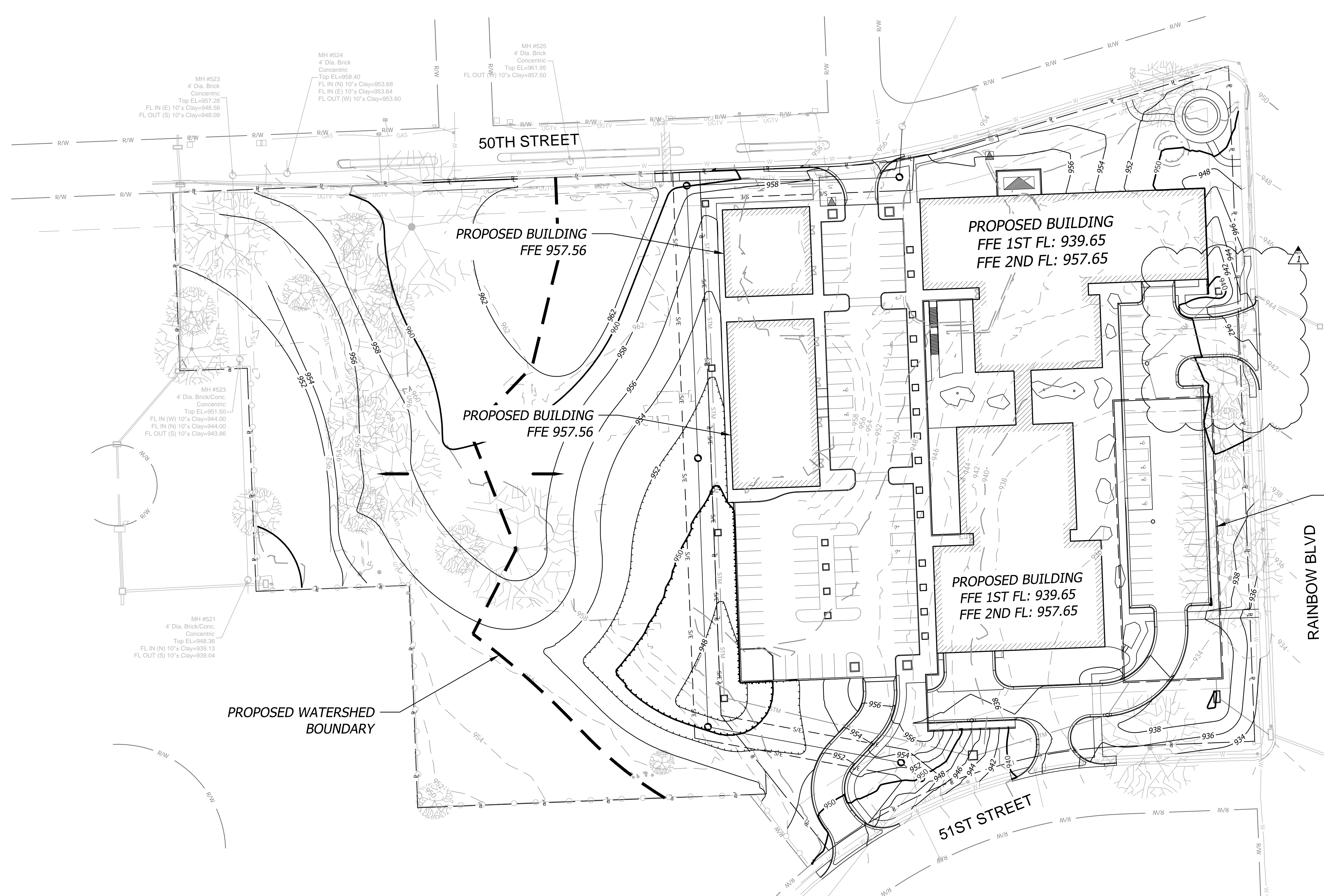
**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**  
**FIRE TRUCK MANEUVERABILITY**

Design: DSN | Drawn: DRN  
 Checked: CHK  
 Issue Date: 07/20/2023  
 Project Number: 037920

**C1.4**



Aug 03, 2023 - 2:15pm Plotted By: outafish.log V:\037920-Westwood\04-DWG\Eng\Sheet\037920-SRIS-GRAD0.dwg Layout: GRADING PLAN



**GRADING LEGEND**

— 980 —	FINISH GRADE MAJOR CONTOURS
— 982 —	FINISH GRADE MINOR CONTOURS
- - - 980 - - -	EXISTING GRADE MAJOR CONTOURS
- - - 982 - - -	EXISTING GRADE MINOR CONTOURS
- - - R - - -	PROPERTY LINE

**GRADING NOTES**

- Contractor shall obtain a copy of the Geotechnical Services Report for the project and be familiar with the existing conditions and recommendations contained in the report if such a report has been prepared.
- Contractor is responsible for any over excavation of existing unsuitable soils will be required under building and pavement areas. Contractor shall perform over excavation of unsuitable soils as a part of this work.
- Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
- Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Kansas. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
- All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the on-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
- All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
- All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
- All excavation and embankments shall comply with the recommendations provided by the geotechnical engineer.
- Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the on-site geotechnical representative. Areas that display rutting or pumping that are unsatisfactory to the geotechnical representative shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime, as approved by the geotechnical engineer.
- Finished grades shall not be steeper than 3:1.
- All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
- A 2.0% maximum cross slope shall be maintained on all pedestrian sidewalks and paths.

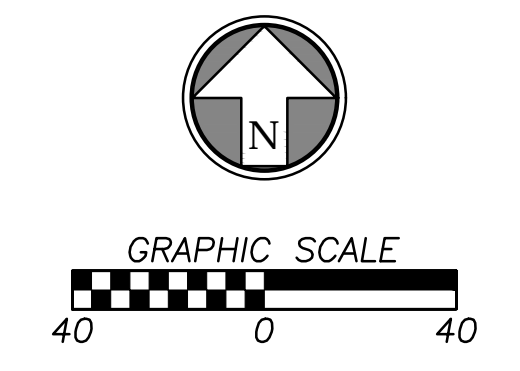
**FLOOD STATEMENT**

The subject property lies within Flood Zone "X" (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain), as shown on the Johnson County, Kansas and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).  
 Map Number: 20091C0010G  
 Panel No: 10 of 161  
 Map Revised Date: August 3, 2009  
 NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.

**BENCHMARKS** (DATUM: NAVD88)

**JOHNSON COUNTY VERTICAL CONTROL POINT BENCHMARK**  
 BENCHMARK NUMBER: 901  
 ELEVATION= 883.46

BERNTSEN ALUMINUM DISK STAMPED BM 901. TOP 24 INCH CONCRETE CURB IN LINE WITH WEST FACE OF RCB, 20 FEET SOUTH OF RCB ON THE NORTH SIDE 50TH TERR.



Design: DSN	Drawn: DRN
Checked: CHK	
Issue Date: 07/20/2023	
Project Number: 037920	
<b>C2.0</b>	

<p><b>PDP SUBMITTAL</b>  <b>50TH &amp; RAINBOW DEVELOPMENT</b>  <b>WESTWOOD, KS 66205</b></p>	<p><b>GRADING PLAN</b></p>
---	----------------------------

<p>Prepared For:                  KARBANK REAL ESTATE COMPANY                  ADAM FELDMAN                  20000 SH PARKWAY, SUITE 400                  MISSIONS WOODS, KS 66205                  816-221-4488</p>	
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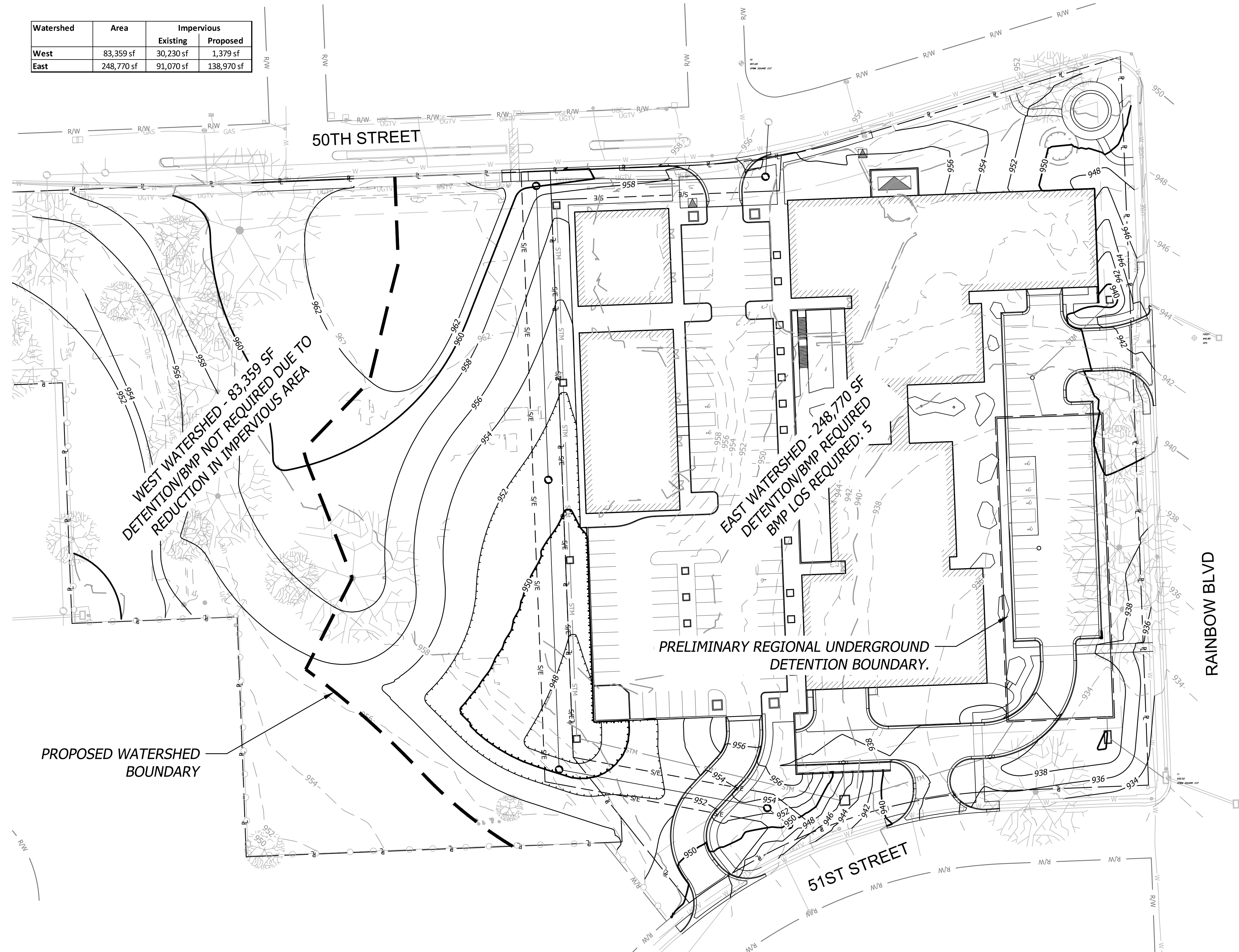
Rev.	Date	Description
1	08/03/23	CITY COMMENTS



Watershed	Area	Impervious	
		Existing	Proposed
West	83,359 sf	30,230 sf	1,379 sf
East	248,770 sf	91,070 sf	138,970 sf

**GRADING LEGEND**

- 980 FINISH GRADE MAJOR CONTOURS
- 982 FINISH GRADE MINOR CONTOURS
- 980 EXISTING GRADE MAJOR CONTOURS
- 982 EXISTING GRADE MINOR CONTOURS
- R PROPERTY LINE



WEST WATERSHED - 83,359 SF  
DETENTION/BMP NOT REQUIRED DUE TO  
REDUCTION IN IMPERVIOUS AREA

EAST WATERSHED - 248,770 SF  
DETENTION/BMP REQUIRED  
BMP LOS REQUIRED: 5

PRELIMINARY REGIONAL UNDERGROUND  
DETENTION BOUNDARY.

PROPOSED WATERSHED  
BOUNDARY

**1. Runoff Curve Number - East Watershed**

**A. Predevelopment CN**

Cover Description	Soil HSG	CN From		Product of	
		Table 1	Area (sf)	Area (ac.)	CN x Area
Open Space (turf), Good	D	80	157700	3.62	289.6
Impervious	D	98	91070	2.09	204.9
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
Totals:				5.71	494.5

Area-Weighted CN = total product/total area = **87** (Round to integer)

**B. Postdevelopment CN**

Cover Description	Soil HSG <sup>1</sup>	CN From		Product of	
		Table 1	Area (sf)	Area (ac.)	CN x Area
Open Space (turf), Good	D	80	109800	2.52	201.7
Impervious	D	98	138970	3.19	312.7
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
				0.00	0.0
Totals:				5.71	514.3

<sup>1</sup> Postdevelopment CN is one HSG higher for all cover types except preserved vegetation, absent documentation showing how postdevelopment soil structure will be preserved.

Area-Weighted CN = total product/total area = **90** (Round to integer)

**C. Level of Service Calculation**

Predevelopment CN:	<b>87</b>	Change in CN	17+	8
Post Development CN:	<b>90</b>		7 to 16	7
Difference:	<b>3</b>		4 to 6	6
			1 to 3	5
			0	4
			-7 to -1	3
			-8 to -17	2
			-18 to -21	1
			-22	0

**2. Proposed BMP Option Package No. 1**

BMP ID	Cover/BMP Description	Treatment Area	VR from Table 4.4 or 4.6 <sup>1</sup>	Product of VR x Area
1	ADS Isolator Row	3.25	9.0	29.3
2	No BMP	2.46	0.0	0.0
3				
4				
Total:		5.71	Total:	5.1

- <sup>1</sup> VR calculated for final BMP only in Treatment Train
- <sup>2</sup> Total treatment area cannot exceed 100 percent of the actual site area.
- \* Blank in Redevelopment

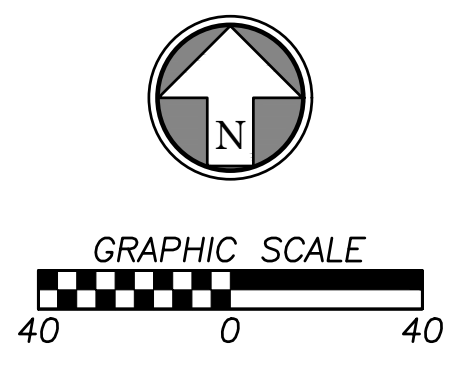
Meets required LS (Yes/No)? **Yes** (If No, or if additional options are being tested, proceed below.)

**NOTE:**

FINAL SIZING, LOCATION, ROUTING OF STORM AND DETENTION WILL BE INCLUDED IN THE FINAL DEVELOPMENT PLANS

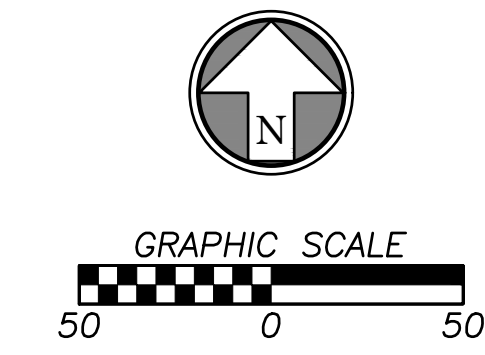
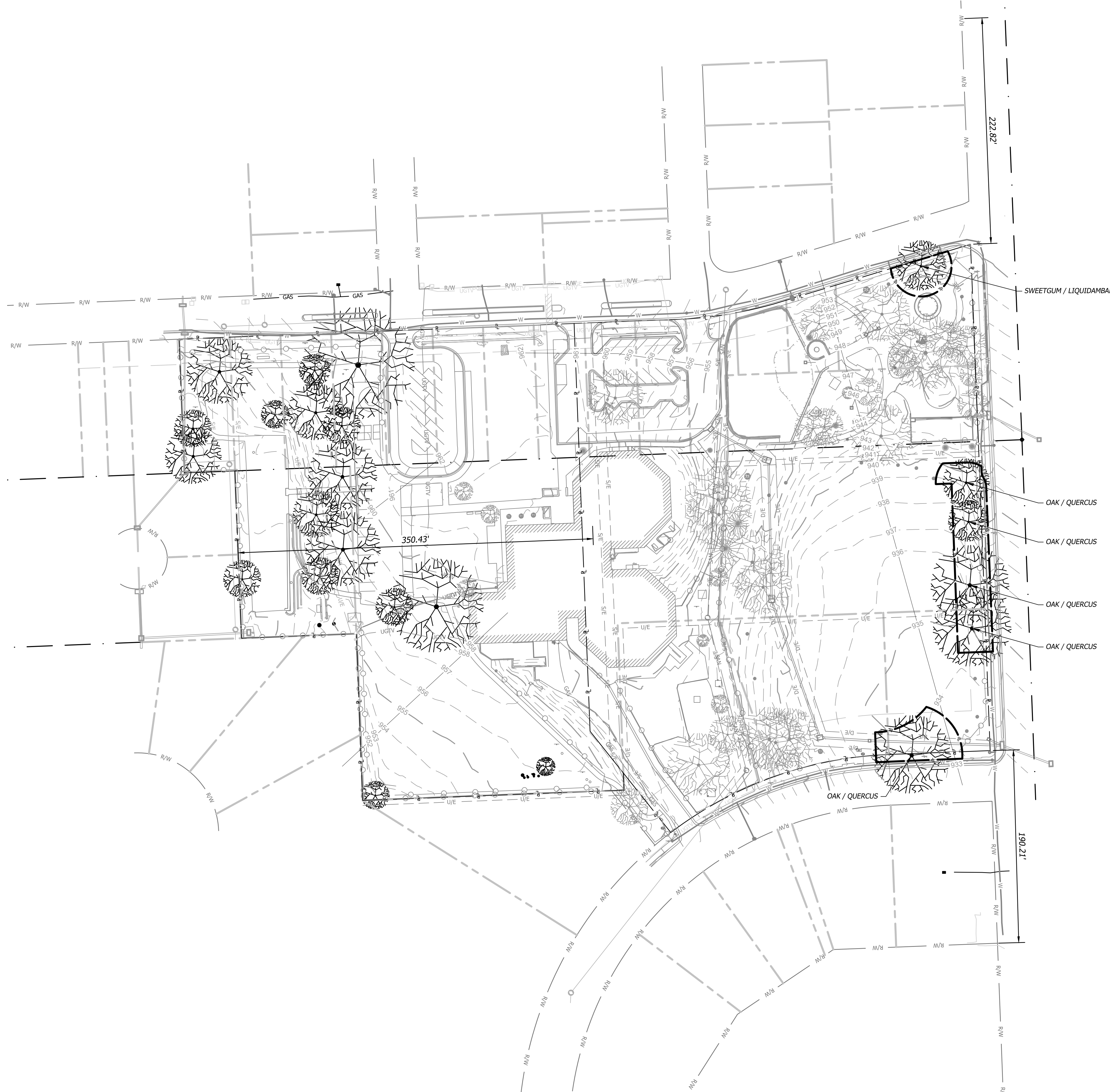
EAST WATERSHED IS TREATED AS A DEVELOPED SITE  
WEST WATERSHED IS TREATED AS AN UNDEVELOPED SITE

ADDED SHEET



<p>Design: DSN   Drawn: DRN Checked: CHK Issue Date: 07/20/2023 Project Number: 037920</p> <p style="font-size: 2em; font-weight: bold;">C3.0</p>	<p style="text-align: center;"><b>BMP PLAN</b></p> <p style="text-align: center;"><b>PDP SUBMITTAL</b> <b>50TH &amp; RAINBOW DEVELOPMENT</b> <b>WESTWOOD, KS 66205</b></p> <p style="text-align: center;">Prepared For: KARBANK REAL ESTATE COMPANY ADAM FELDMAN 20000 SH PARKWAY, SUITE 400 MISSIONS WOODS, KS 66205 816-221-4488</p> <div style="text-align: center;"> <p><b>BHC</b> Civil Engineering &amp; Surveying Ventures 101 Cliff Road, Suite 400 Overland Park, Kansas 66210 p. (913) 653-1900 BHC is a member of Hensel Phelps Construction Co., P.A.</p> </div>
<p>AKL By App.</p>	<p>AKL By App.</p>
<p>1 08/03/23</p>	<p>1 08/03/23</p>
<p>Rev.</p>	<p>Rev.</p>
<p>Date</p>	<p>Date</p>
<p>Description</p>	<p>Description</p>





**LEGEND**

- EXISTING GRADE MAJOR CONTOUR
- EXISTING GRADE MINOR CONTOUR
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- TREE PROTECTION FENCE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

**ADDED SHEET**

**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**  
**EXISTING FEATURES AND**  
**TREE PRESERVATION PLAN**

Design: ADM | Drawn: ADM  
 Checked: ROL  
 Issue Date: 07/20/2023  
 Project Number: 037920

**L1.0**

Prepared For:  
 KARBANK REAL ESTATE COMPANY  
 ADAM FELDMAN  
 20000 SHI PKWY, SUITE 400  
 MISSIONS WOODS, KS 66205  
 816-221-4488

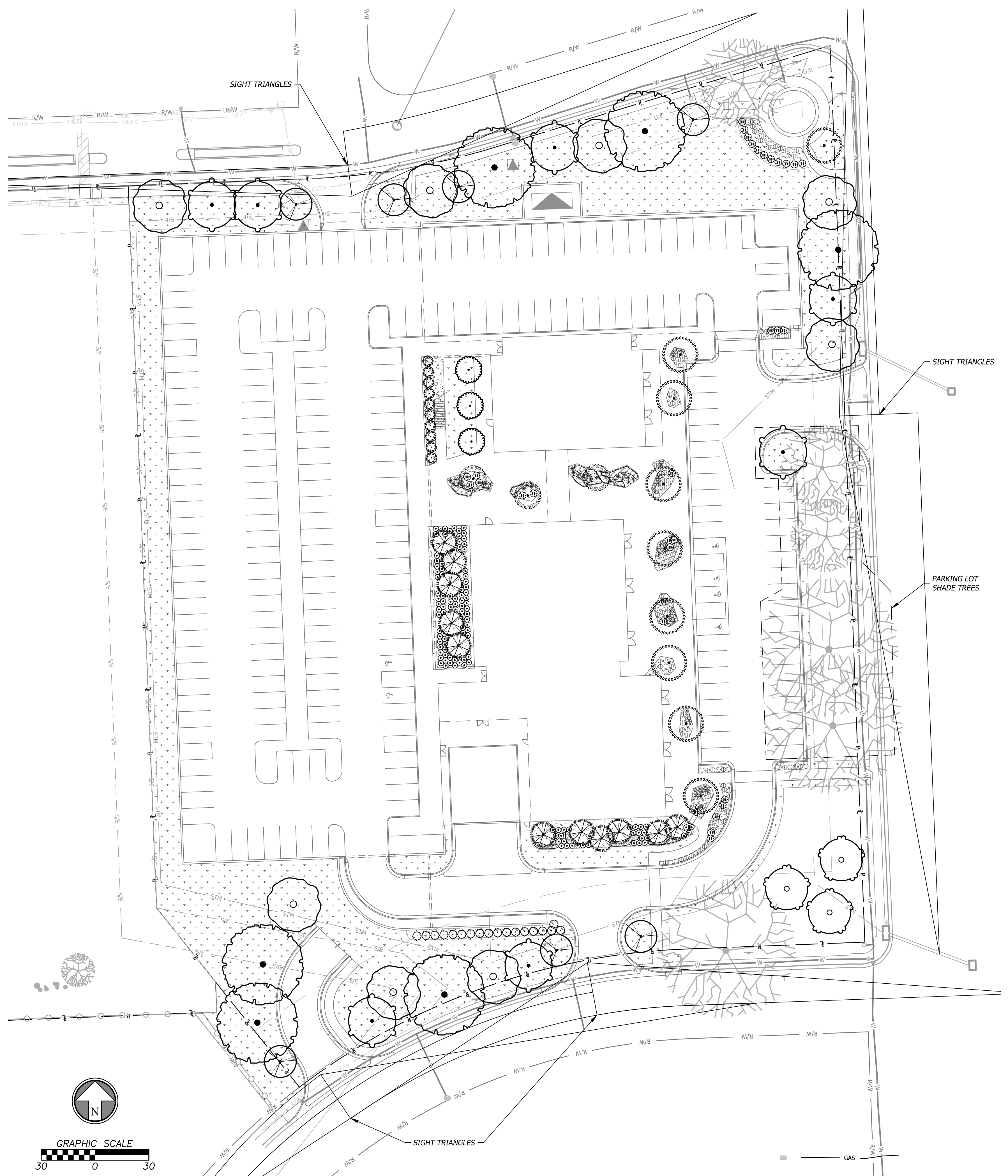
REGISTERED LANDSCAPE ARCHITECT  
 ROBERT O. LINDEBUD  
 197  
 08/03/2023  
 STATE OF KANSAS  
 Robert O. Lindebud, RLA  
 Kansas 197

**BHC**  
 CIVIL ENGINEERING, ARCHITECTURE, INTERIORS  
 101 East Park & Lee, 4th  
 Overland Park, Kansas 66210  
 p. 913.653.1900  
 BHC is a member of Hensel Phelps Construction Company, P.A.

Rev.	Date	Description	By	App.
1	08/03/23	CITY COMMENTS		



Aug. 03, 2023 2:04pm Plotted By: ouathl.jag V:\037920-Westwood\04-DWG\Eng\Sheet\037920-SRIS-LNSC.dwg Layout: Landscape Plan-Ground Level



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	8	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry	B & B	2"	cal
	3	Ginkgo biloba 'PNI 2720' / Princeton Sentry® Maidenhair Tree	B & B	2"	cal
	7	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2"	cal
	3	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	B & B	2"	cal
	6	Quercus imbricaria / Shingle Oak	B & B	2.5"	cal
	7	Zelkova serrata 'JFS-KW1' / City Sprite® Japanese Zelkova	B & B	2"	cal
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	11	Pinus thunbergii / Japanese Black Pine	B & B		6' - 8' H
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	9	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B	1.5"	cal
	3	Chionanthus virginicus 'Dirr' / Dirr White Fringetree	B & B	1.5"	cal
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	18	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal		
	10	Prunus laurocerasus / English Laurel	B&B	6'-8'H	
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	29	Amsonia hubrichtii / Arkansas Bluestar	1 gal		
	34	Baptisia x 'Purple Smoke' / Purple Smoke Wild Indigo	1 gal		
	160	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	1 gal		
	85	Heuchera x 'Plum Pudding' / Plum Pudding Coral Bells	1 gal		
	118	Muhlenbergia capillaris / Pink Muhly Grass	1 gal		
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT		
	143	Asclepias tuberosa / Butterfly Milkweed	quart		
	12	Carex grayi / Gray's Sedge	quart		
	160	Carex muskingumensis / Palm Sedge	quart		
	41	Chelone obliqua 'Armipp02' / Tiny Tortuga Turtlehead	quart		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SPEC		
	39,444 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue	sod		

**MULCH SCHEDULE**

	<b>WOOD MULCH</b> Double ground hardwood mulch. 3" depth.	6,595 sf
	<b>ROCK MULCH</b> 3" depth.	601 sf

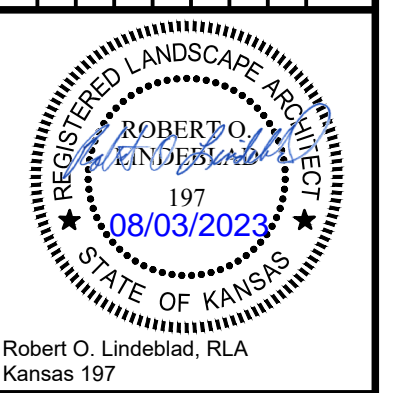
**LEGEND**

	980	PROPOSED FINISH GRADE MAJOR CONTOUR
	982	PROPOSED FINISH GRADE MINOR CONTOUR
	980	EXISTING GRADE MAJOR CONTOUR
	982	EXISTING GRADE MINOR CONTOUR
	STW	PROPOSED STORM SEWER LINE
	RD	PROPOSED ROOF LINE DRAIN
	P	PROPERTY LINE
	R/W	RIGHT-OF-WAY LINE
	Tp	TREE PROTECTION
		EXISTING TREE

**ENTIRE SHEET UPDATED**

Design: ADM	Drawn: ADM
Checked: ADM	
Issue Date: 07/20/2023	
Project Number: 037920	

**1.1**

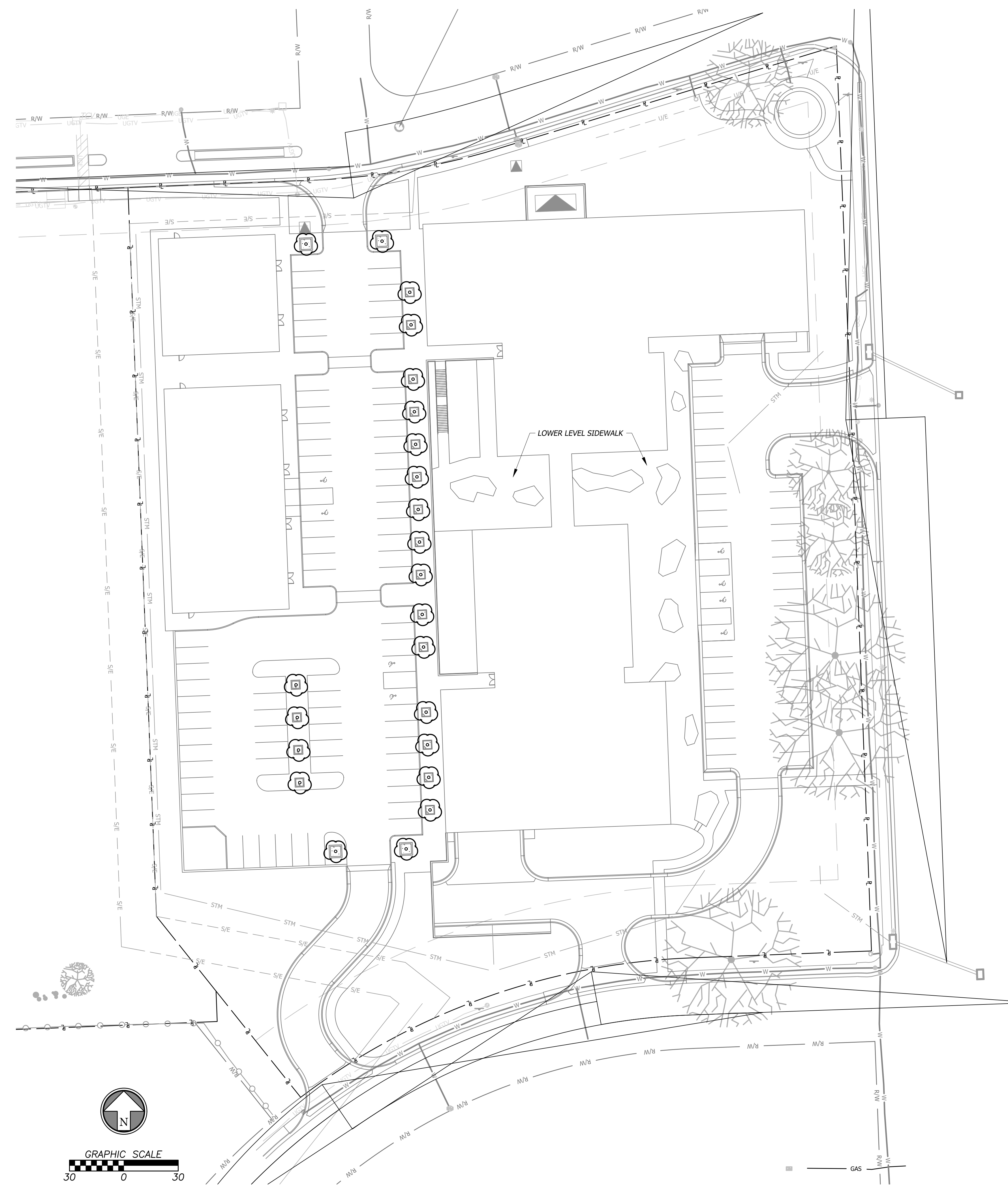


Prepared For:  
**KARBANK REAL ESTATE COMPANY**  
 ADAM FELDMAN  
 20000 SHY PKWY, SUITE 400  
 MISSIONS WOODS, KS 66205  
 816-221-4488

**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**  
**LANDSCAPE PLAN-GROUND LEVEL**



Aug. 03, 2023 2:04pm Plotted By: qautilin.lage V:\037920-Westwood\04-DWG\Eng\Sheet\037920-SRFS-LNSC.dwg Layout: Landscape Plan-Second Level



**PLANT SCHEDULE**

ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	23	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	B & B	1.5" cal

**MULCH SCHEDULE**

	WOOD MULCH Double ground hardwood mulch. 3" depth.	474 sf
--	---	--------

**LEGEND**

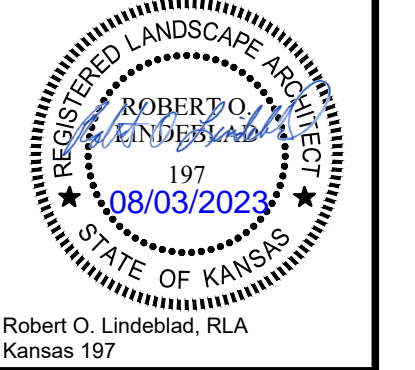
	980	PROPOSED FINISH GRADE MAJOR CONTOUR
	982	PROPOSED FINISH GRADE MINOR CONTOUR
	980	EXISTING GRADE MAJOR CONTOUR
	982	EXISTING GRADE MINOR CONTOUR
		PROPOSED STORM SEWER LINE
	RD	PROPOSED ROOF LINE DRAIN
	R	PROPERTY LINE
	R/W	RIGHT-OF-WAY LINE
	Tp	TREE PROTECTION

**ENTIRE SHEET UPDATED**

**GENERAL LANDSCAPE NOTES**

- The Contractor shall verify and coordinate all final grades with the Landscape Architect and or design team prior to completion.
- Location and placement of all plant material shall be coordinated with the Landscape Architect prior to installation.
- Location of all utilities are approximate, the Contractor shall field verify locations prior to commencement of construction operations.
- Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
- The Contractor shall arrange and conduct a pre-construction meeting onsite with Landscape Architect prior to work.
- Plant quantities are for information only, drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly. Minimum quantities for each category of planting required by City Code must be maintained.
- The Contractor is to notify Landscape Architect after staking is complete and before plant pits are excavated.
- Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
- The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
- The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Westwood, Kansas and the Landscape Architect.
- Aluminum landscape edging to be used on all landscape beds adjoining turf areas as noted on landscape plans. Edging shall not be used between pavement and landscape beds.
- Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
- The Contractor shall provide a submittal to show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
- Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.
- Landscape Contractor shall provide rock mulch sample to owner for approval.

Rev.	Date	Description	By	App.
1	08/03/23	CITY COMMENTS		



Prepared For:  
**KARBANK REAL ESTATE COMPANY**  
 ADAM FELDMAN  
 20000 SH PKWY, SUITE 400  
 MISSIONS WOODS, KS 66205  
 816-221-4488

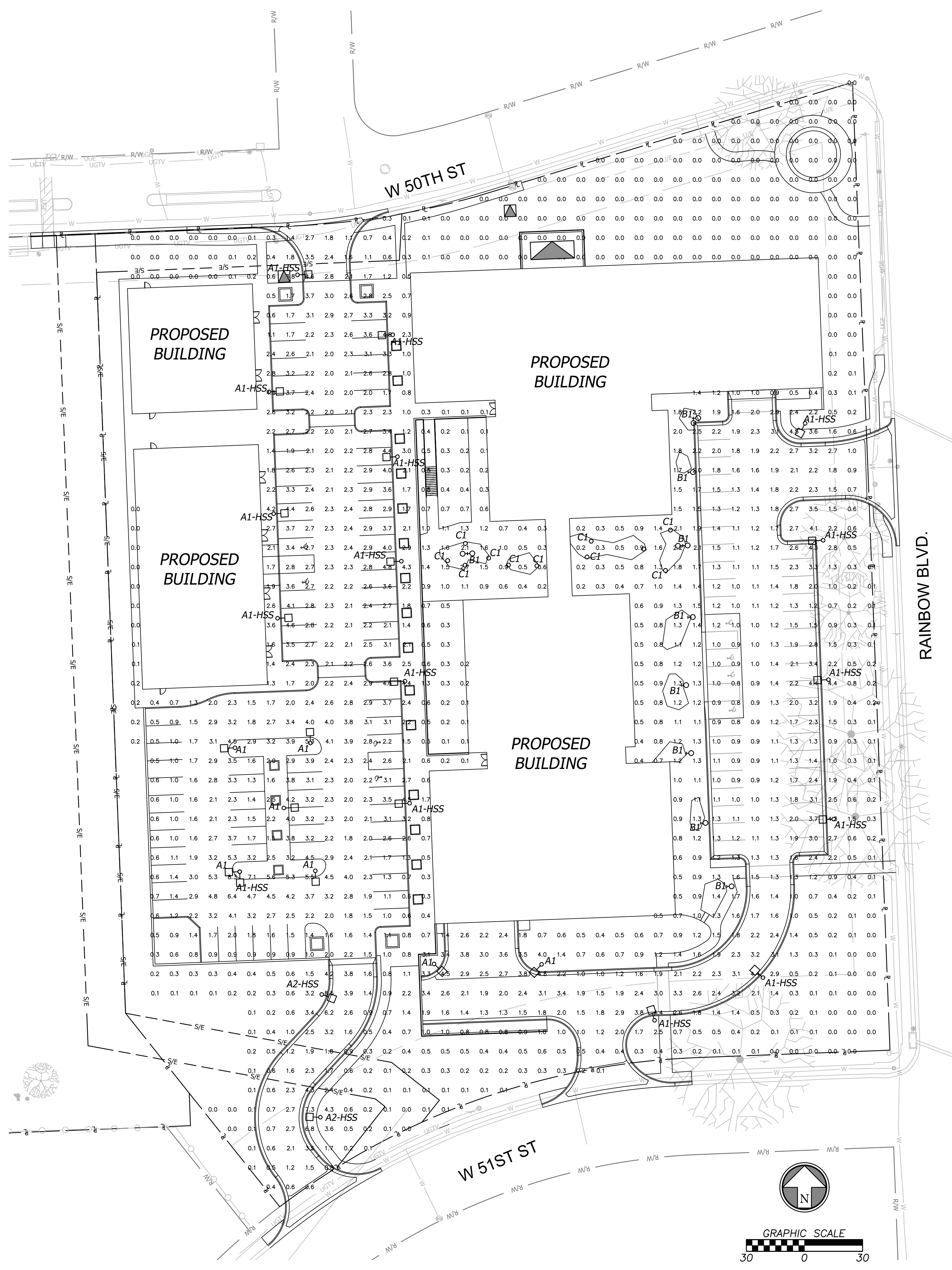
**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
**WESTWOOD, KS 66205**  
**LANDSCAPE PLAN-SECOND LEVEL**

Design: ADM | Drawn: ADM  
 Checked: ADM  
 Issue Date: 07/20/2023  
 Project Number: 037920

**L1.2**



Aug 03, 2023 - 2:04pm Plotted By: out@hinc.com V:\037920-Westwood\04-DWG\Eng\Sheet\037920-SFMS-LING.dwg Layout: PHOTOMETRICS PLAN



### LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	MODEL	QUANTITY	DEFAULT ELEVATION
A1	□	DALVIK 650S	HessAmerica, DAL650S-2LVC-WW-T4	7	15'
A1-HSS	□	DALVIK 650S	HessAmerica, DAL650S-2LVC-WW-T4-HSS	16	15'
A2-HSS	□	DALVIK 650S	HessAmerica, DAL650S-2LVC-WW-T3-HSS	2	15'
B1	○	Formed cast aluminum housing, LED strips with no enclosure	Landscape Forms Inc, CQ701-HE-LO	12	20'
C1	○	Pathway Luminaire	Forms And Surfaces, 104971299CRT-002, Radia Pathway LBRAD CHECK CCT	11	1'

### FIXTURE A

**Dalvik - 650S**  
Pole Mounted Luminaire

**PRIMAR**

DESCRIPTION  
Contemporary LED pole mounted luminaire for public spaces where clean minimalist styling is desired. Concealed hardware and unique fitting uses through two prominent reveals highlight the shallow profile of the extruded aluminum housing. Luminaire is available with up to 3 LED modules in a choice of three asymmetric distributions. Dalvik is available on 15' or 20' four inch diameter poles in aluminum or steel. Steel poles are hot dip galvanized prior to painting for proven long term corrosion protection. Exclusive PRIMAR is available in finely textured matte silver grey, dark grey, graphite grey, black, or bronze. Custom RAL colors available on request. All hardware is stainless steel.

ORDERING INFORMATION

MODEL	LED MODULE	CCT	DISTRIBUTION	VOLTS	MOUNTING	POLE	POLE MAT	FINISH (Primar)	OPTIONS
DAL650S	LVC	30K	T2	UNV	A	15S	A	SG	DM
	Module	3000K	Type I	120/277V	Single Post Mount	15' Round Single	Aluminum	Matte Silver Grey	5' W/ Drilling
	ZVC	40K	T3		Two Mount	20' Round Single	Steel	SG	HSS
	2 Module	4000K	Type II					DG	HSS Side Shield
	ZVC	40K	T3		Two Mount	20' Round Single	Steel	SG	HSS
	3 Module		Type IV					DG	HSS Side Shield

**.hess**

Date: \_\_\_\_\_ Type: \_\_\_\_\_ Catalog Number: \_\_\_\_\_  
Project Name: \_\_\_\_\_

**EXPERIENCE BRANDS** [www.hessamerica.com](http://www.hessamerica.com) For other Experience Brands companies, please visit [www.experiencebrands.com](http://www.experiencebrands.com)  
In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or features. Technical specification sheets that appear on [www.hessamerica.com](http://www.hessamerica.com) are the most recent ones available. Rev: 20230221

### GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDLES	1.4
MAXIMUM FOOT-CANDLES	8.5
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.0
MAXIMUM TO MINIMUM FC RATIO	24113.5
AVERAGE TO MINIMUM FC RATIO	3923.9

### FIXTURE C

**RADIA™ PATHWAY BOLLARD**

**FORMS+SURFACES**

PRODUCT DATA

### FIXTURE B

## Typology Ring Light

Spec Sheet | CQ700

**Housing & Materials**  
Cast aluminum construction. Flexible LED light engine is clamped into fixture housing with aluminum segmented arms. Housing features a clear aluminum glass white powdercoat reflector. All hardware is magnet-coated steel.

**Electrical**  
Surge protected 120V through 277V 50/60Hz electronic driver, 0-10V dimming, -40°C start temperature. Cast aluminum driver housing assembly located at top of pole. Available with optional ANSI C136.41 twist lock receptacle or Watstopper FSP-3115 photolumination sensor.

**Light Engine**  
Fully encapsulated flexible linear LED fixture delivers downward direct and indirect lighting in conjunction with the glass white metal reflector. A Ray-B constant current board is included. Available in 2700K, 3000K, 3500K, and 4000K, 90+ CRI across all available color temperatures.

**Distribution**  
TV

**Warranty**  
LED lighting products are warranted for six years.

**Certification**  
UL Listed for Wet Location, CE, International Dark Sky Approved, Bay Area Compliant, RoHS Compliant

Designed by Designworks, a BMW Group company  
Click here for patent information related to this product.

Click here to view the technical data sheet for the photolumination sensor.

Weight: 48lbs (luminaire and driver housing)  
EPA: 1.6487  
TM21: 1707196; 60,000hrs  
Production Code: P07

Revised January 17, 2022 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49004

Design: DSN | Drawn: DRN  
Checked: CHK  
Issue Date: 07/20/2023  
Project Number: 037920

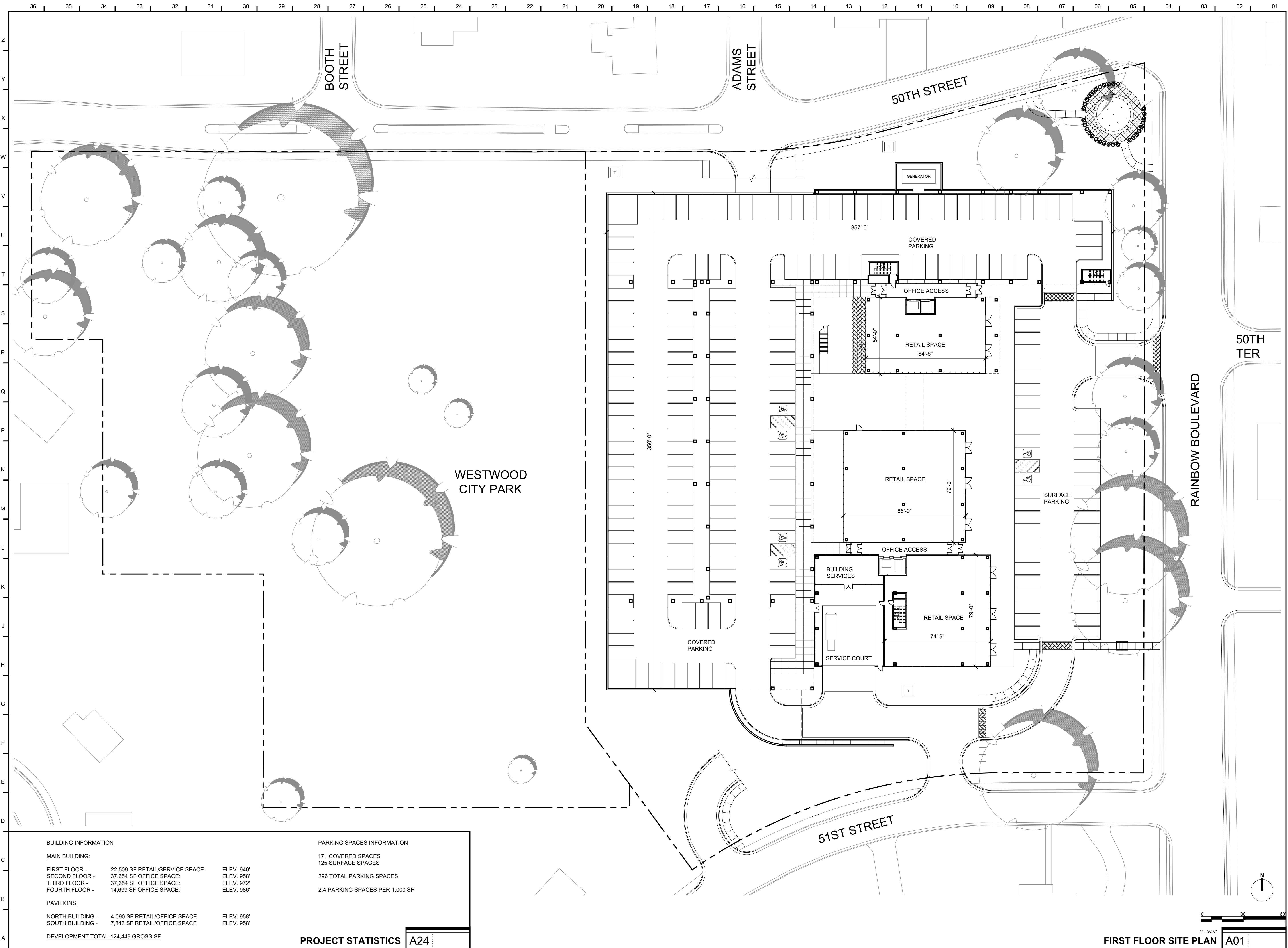
# PH1.1

SKT By App.  
SKT By App.  
CITY COMMENTS Description  
1 08/03/2023 Rev. Date

Prepared For:  
**KARBANK REAL ESTATE COMPANY**  
ADAM FELDMAN  
2000 SH PARKWAY, SUITE 400  
MISSIONS WOODS, KS 66205  
816-221-4488

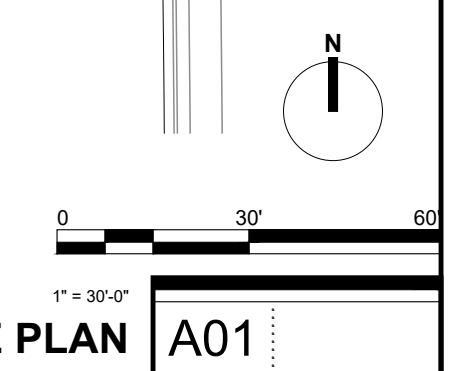
**PDP SUBMITTAL**  
**50TH & RAINBOW DEVELOPMENT**  
WESTWOOD, KS 66205  
**PHOTOMETRICS PLAN**



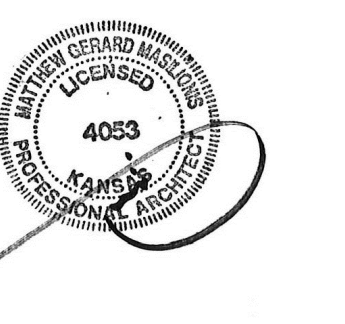


BUILDING INFORMATION		PARKING SPACES INFORMATION	
<b>MAIN BUILDING:</b>			
FIRST FLOOR -	22,509 SF RETAIL/SERVICE SPACE:	ELEV. 940'	171 COVERED SPACES
SECOND FLOOR -	37,654 SF OFFICE SPACE:	ELEV. 958'	125 SURFACE SPACES
THIRD FLOOR -	37,654 SF OFFICE SPACE:	ELEV. 972'	296 TOTAL PARKING SPACES
FOURTH FLOOR -	14,699 SF OFFICE SPACE:	ELEV. 986'	2.4 PARKING SPACES PER 1,000 SF
<b>PAVILIONS:</b>			
NORTH BUILDING -	4,090 SF RETAIL/OFFICE SPACE	ELEV. 958'	
SOUTH BUILDING -	7,843 SF RETAIL/OFFICE SPACE	ELEV. 958'	
<b>DEVELOPMENT TOTAL: 124,449 GROSS SF</b>			

**PROJECT STATISTICS** A24



**FIRST FLOOR SITE PLAN** A01



MATTHEW MASILIONIS - ARCHITECT  
KANSAS # 4053

I have prepared the drawings and assume responsibility for the sheets numbered with an "A" prefix for the project named below.

Other drawings and specifications attached for the above-mentioned project have been by and are the responsibility of the licensed engineer whose stamp and firm appear on that sheet.

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CONSULTANT



PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

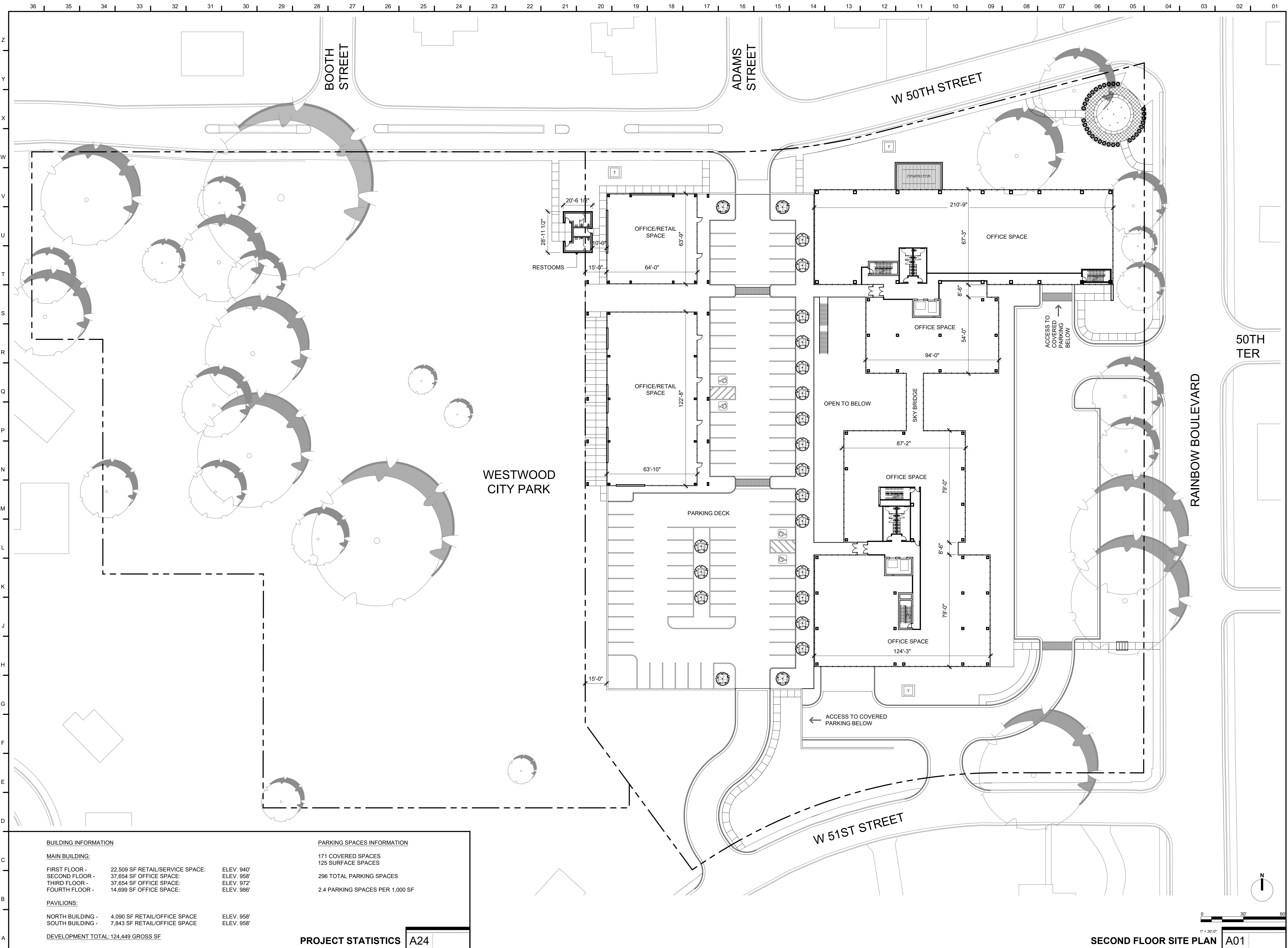
**ARCHITECTURAL SITE PLAN**

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
K. MILLER  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**AS101**

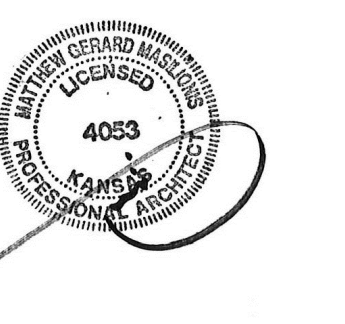
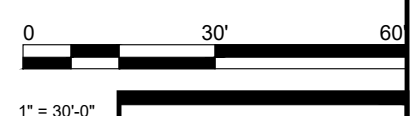




BUILDING INFORMATION		PARKING SPACES INFORMATION	
<b>MAIN BUILDING:</b>			
FIRST FLOOR -	22,509 SF RETAIL/SERVICE SPACE:	ELEV. 940'	171 COVERED SPACES
SECOND FLOOR -	37,654 SF OFFICE SPACE:	ELEV. 958'	125 SURFACE SPACES
THIRD FLOOR -	37,654 SF OFFICE SPACE:	ELEV. 972'	296 TOTAL PARKING SPACES
FOURTH FLOOR -	14,699 SF OFFICE SPACE:	ELEV. 986'	2.4 PARKING SPACES PER 1,000 SF
<b>PAVILIONS:</b>			
NORTH BUILDING -	4,090 SF RETAIL/OFFICE SPACE	ELEV. 958'	
SOUTH BUILDING -	7,843 SF RETAIL/OFFICE SPACE	ELEV. 958'	
<b>DEVELOPMENT TOTAL: 124,449 GROSS SF</b>			

PROJECT STATISTICS **A24**

SECOND FLOOR SITE PLAN **A01**



MATTHEW MASILIONIS - ARCHITECT  
 KANSAS # 4053

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PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
 WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

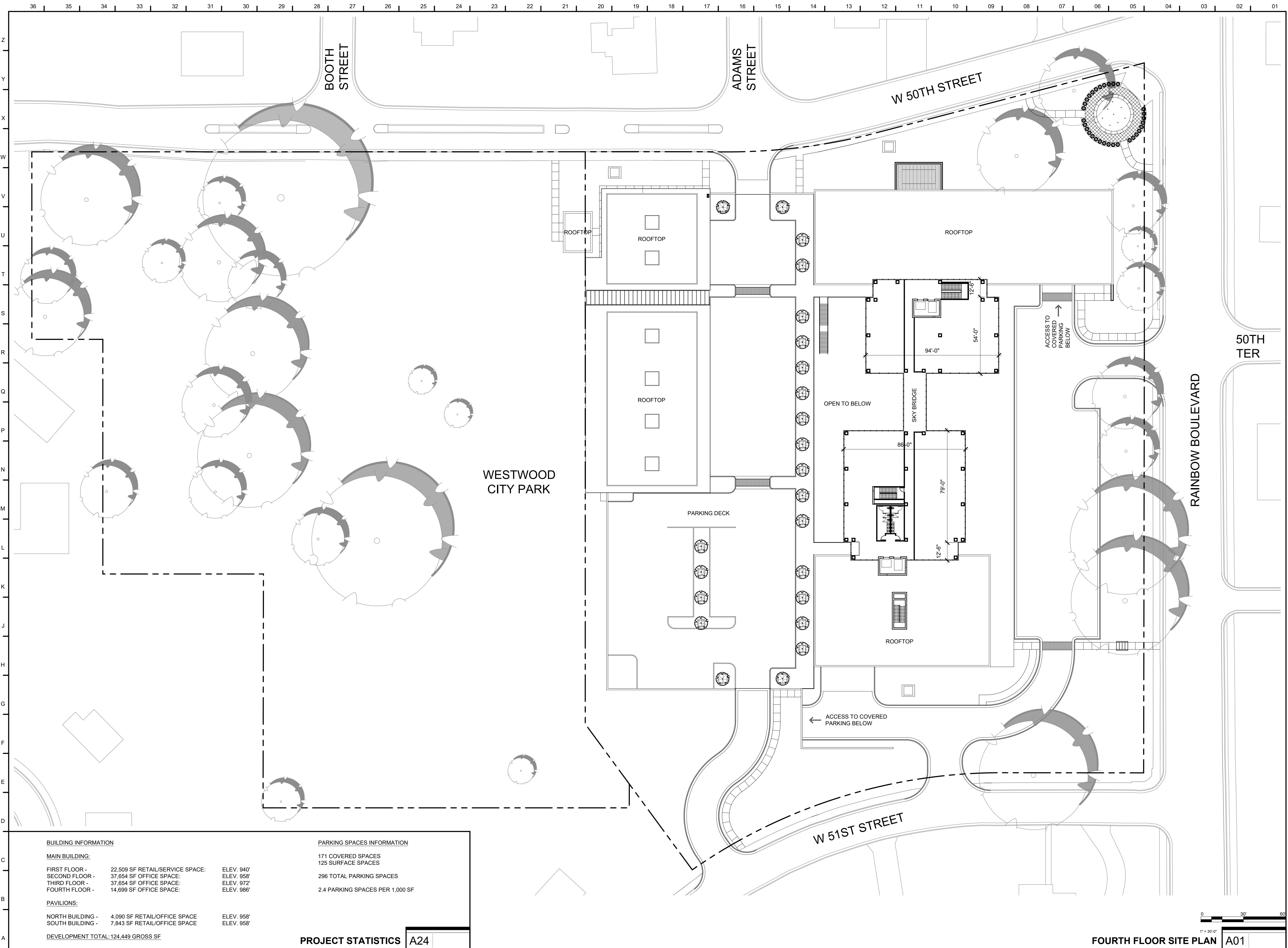
ARCHITECTURAL  
 SITE PLAN

PROJECT NUMBER  
 2021073.000  
 SHEET AUTHOR  
 K. MILLER  
 CHECKED BY  
 M. PAXTON  
 DATE  
 7.20.23

PDP SUBMITTAL

SHEET NUMBER  
**AS102**

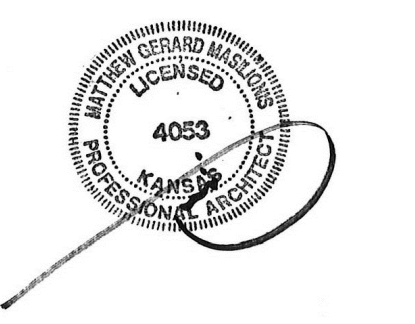




BUILDING INFORMATION		PARKING SPACES INFORMATION	
<b>MAIN BUILDING:</b>			
FIRST FLOOR -	22,509 SF RETAIL/SERVICE SPACE:	ELEV. 940'	171 COVERED SPACES
SECOND FLOOR -	37,654 SF OFFICE SPACE:	ELEV. 958'	125 SURFACE SPACES
THIRD FLOOR -	37,654 SF OFFICE SPACE:	ELEV. 972'	296 TOTAL PARKING SPACES
FOURTH FLOOR -	14,699 SF OFFICE SPACE:	ELEV. 986'	2.4 PARKING SPACES PER 1,000 SF
<b>PAVILIONS:</b>			
NORTH BUILDING -	4,090 SF RETAIL/OFFICE SPACE	ELEV. 958'	
SOUTH BUILDING -	7,843 SF RETAIL/OFFICE SPACE	ELEV. 958'	
<b>DEVELOPMENT TOTAL: 124,449 GROSS SF</b>			

**PROJECT STATISTICS** A24

0 30' 60'  
1" = 30'-0"  
FOURTH FLOOR SITE PLAN A01



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KANSAS # 4053

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PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

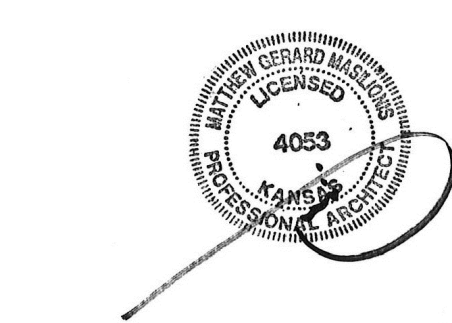
**ARCHITECTURAL SITE PLAN**

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
K. MILLER  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

PDP SUBMITTAL

SHEET NUMBER  
**AS103**





MATTHEW MASILIONIS - ARCHITECT  
KANSAS # 4053

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PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

**ELEVATIONS**

PROJECT NUMBER  
2021073.000

SHEET AUTHOR  
K. MILLER

CHECKED BY  
M. PAXTON

DATE  
7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**A201**



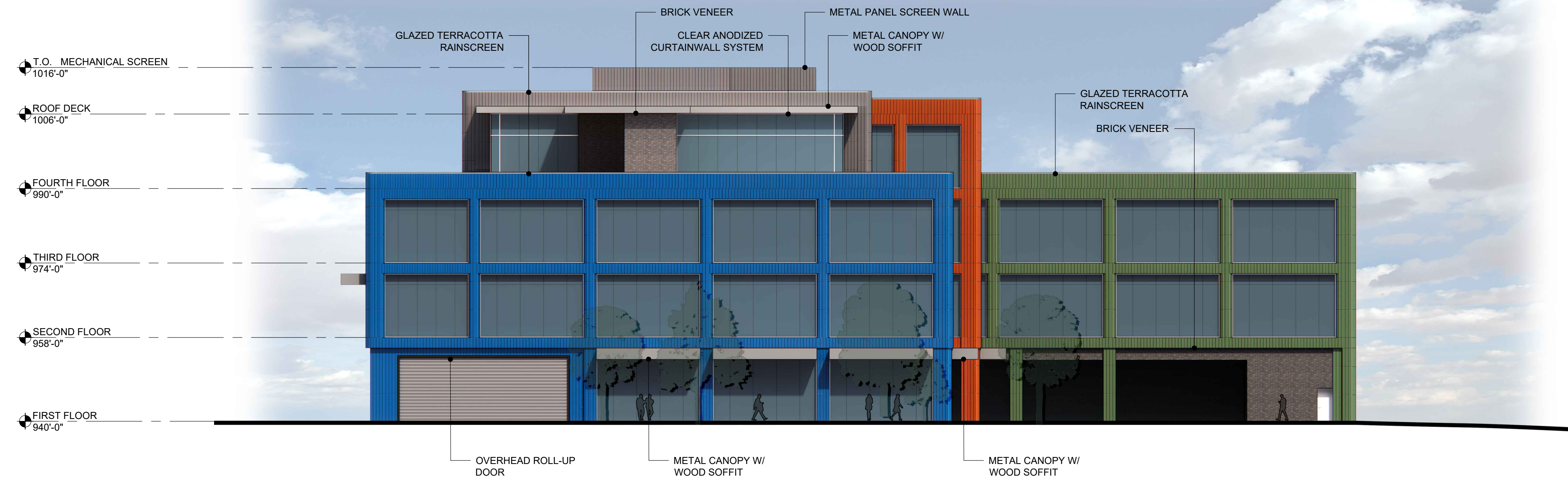
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**MAIN BUILDING - WEST ELEVATION N01**

1/16" = 1'-0"  
**MAIN BUILDING - EAST ELEVATION A01**

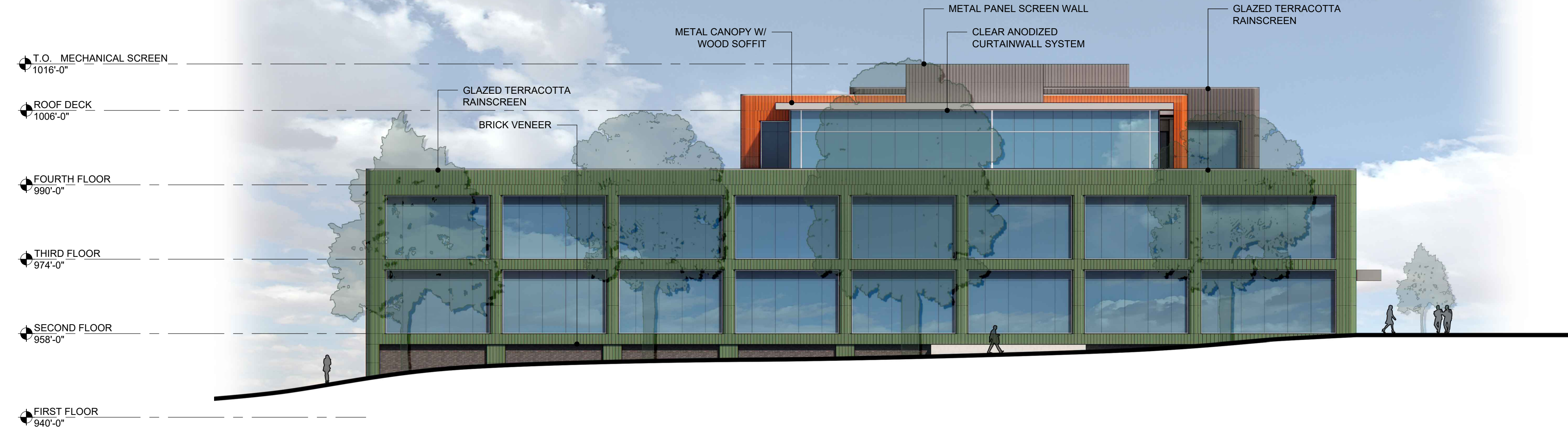


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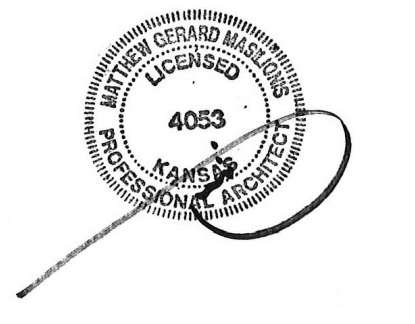
Z  
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E  
D  
C  
B  
A



1/16" = 1'-0"  
MAIN BUILDING - SOUTH ELEVATION N01



1/16" = 1'-0"  
MAIN BUILDING - NORTH ELEVATION A01



MATTHEW MASILIONIS - ARCHITECT  
KANSAS #4053

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PROJECT  
**50TH AND RAINBOW DEVELOPMENT**

50TH ST. & RAINBOW BLVD.  
WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

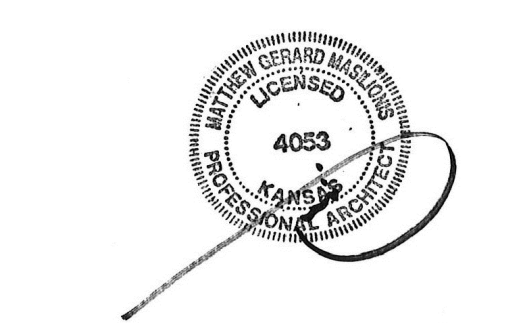
ELEVATIONS

PROJECT NUMBER  
2021073.000  
SHEET AUTHOR  
K. MILLER  
CHECKED BY  
M. PAXTON  
DATE  
7.20.23

PDP SUBMITTAL

SHEET NUMBER  
**A202**





MATTHEW MASILIONIS - ARCHITECT  
KANSAS # 4053

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PROJECT  
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WESTWOOD KS, 66205

MARK	DATE	DESCRIPTION

SHEET TITLE

**ELEVATIONS**

PROJECT NUMBER  
2021073.000

SHEET AUTHOR  
K. MILLER

CHECKED BY  
M. PAXTON

DATE  
7.20.23

**PDP SUBMITTAL**

SHEET NUMBER  
**A203**