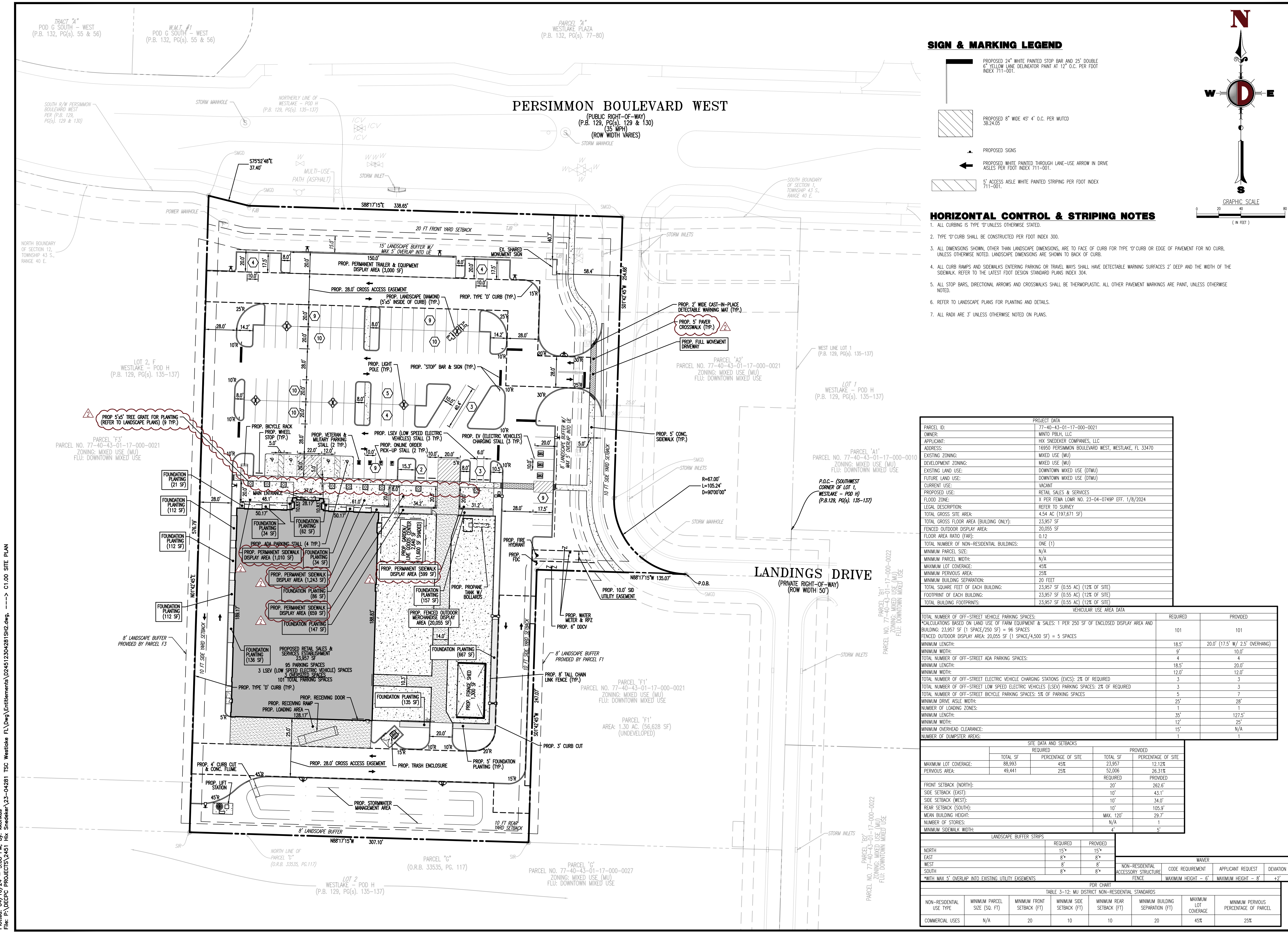
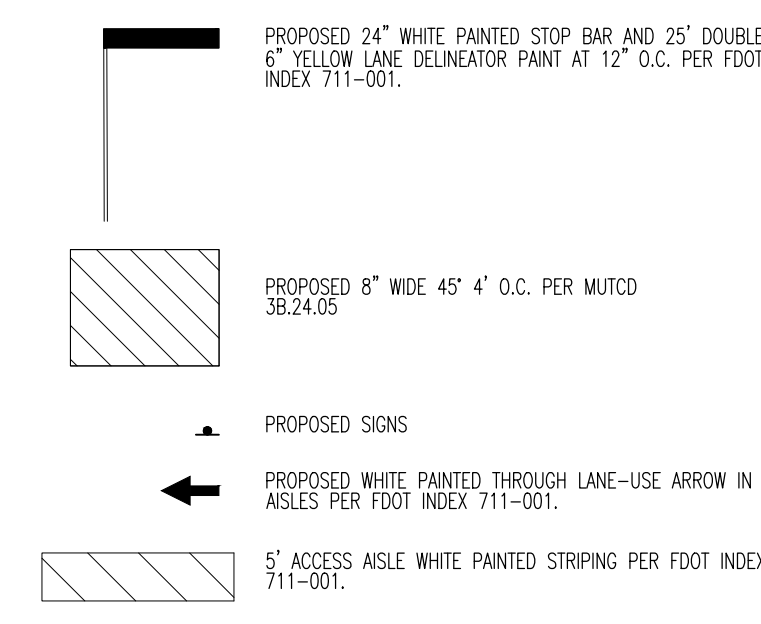


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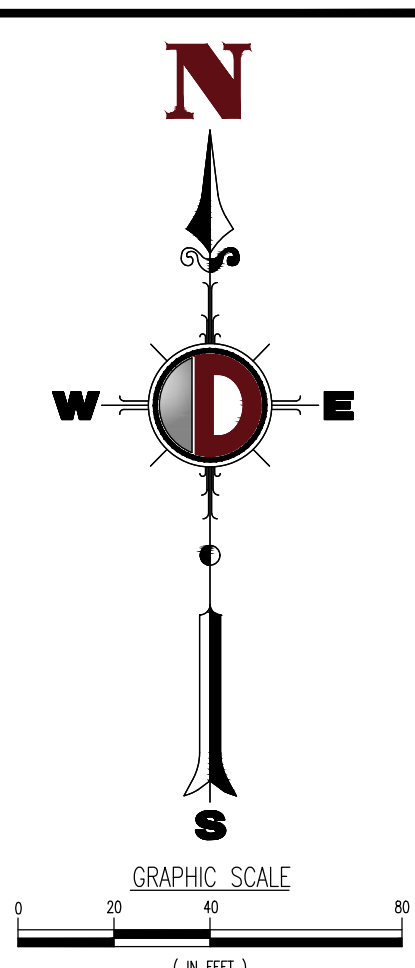


SIGN & MARKING LEGEND



HORIZONTAL CONTROL & STRIPING NOTES

1. ALL CURBING IS TYPE "UNLESS OTHERWISE STATED."
2. TYPE "D" CURB SHALL BE CONSTRUCTED PER FOOT INDEX 300.
3. ALL DIMENSIONS SHOWN, OTHER THAN LANDSCAPE DIMENSIONS, ARE TO FACE OF CURB FOR TYPE "D" CURB OR EDGE OF PAVEMENT FOR NO CURB, UNLESS OTHERWISE NOTED. LANDSCAPE DIMENSIONS ARE SHOWN TO BACK OF CURB.
4. ALL CURB RAMPS AND SIDEWALKS ENTERING PARKING OR TRAVEL WAYS SHALL HAVE DETECTABLE WARNING SURFACES 2" DEEP AND THE WIDTH OF THE SIDEWALK. REFER TO THE LATEST FOOT DESIGN STANDARD PLANS INDEX 304.
5. ALL STOP BARS, DIRECTIONAL ARROWS AND CROSSWALKS SHALL BE THERMOPLASTIC. ALL OTHER PAVEMENT MARKINGS ARE PAINT, UNLESS OTHERWISE NOTED.
6. REFER TO LANDSCAPE PLANS FOR PLANTING AND DETAILS.
7. ALL RADII ARE 3' UNLESS OTHERWISE NOTED ON PLANS.



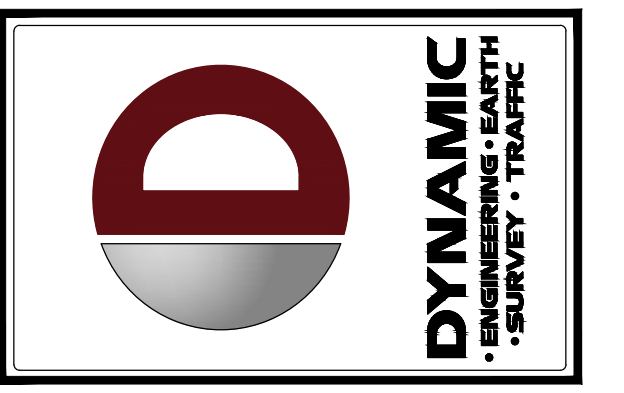
PROJECT DATA	
PARCEL ID:	77-40-43-01-17-000-0021
OWNER:	MINTO FERRA, LLC
APPLICANT:	HIX SNEDEKER COMPANIES, LLC
ADDRESS:	16950 PERSIMMON BOULEVARD WEST, WESTLAKE, FL 33470
EXISTING ZONING:	MIXED USE (MU)
DEVELOPMENT ZONING:	MIXED USE (MU)
EXISTING LAND USE:	DOWNTOWN MIXED USE (DTMU)
FUTURE LAND USE:	DOWNTOWN MIXED USE (DTMU)
CURRENT USE:	VACANT
PROPOSED USE:	RETAIL SALES & SERVICES
FLOOD ZONE:	1% PER FEMA LHM NO. 23-04-0749P EFF. 1/8/2024
LEGAL DESCRIPTION:	REFER TO SURVEY
TOTAL GROSS SITE AREA:	4.54 AC (197,671 SF)
TOTAL GROSS FLOOR AREA (BUILDING ONLY):	23,957 SF
FENCED OUTDOOR DISPLAY AREA:	20,055 SF
FLOOR AREA RATIO (FAR):	0.12
TOTAL NUMBER OF NON-RESIDENTIAL BUILDINGS:	ONE (1)
MINIMUM PARCEL SIZE:	N/A
MINIMUM PARCEL WIDTH:	N/A
MINIMUM LOT COVERAGE:	45%
MINIMUM PERVIOUS AREA:	25%
MINIMUM BUILDING SEPARATION:	20 FEET
TOTAL SQUARE FEET OF EACH BUILDING:	23,957 SF (0.55 AC) (12% OF SITE)
FOOTPRINT OF EACH BUILDING:	23,957 SF (0.55 AC) (12% OF SITE)
TOTAL BUILDING FOOTPRINTS:	23,957 SF (0.55 AC) (12% OF SITE)

VEHICULAR USE AREA DATA		
TOTAL NUMBER OF OFF-STREET VEHICLE PARKING SPACES:	REQUIRED	PROVIDED
*CALCULATIONS BASED ON LAND USE OF FARM EQUIPMENT & SALES: 1 PER 250 SF OF ENCLOSED DISPLAY AREA AND BUILDING: 23,957 SF (1 SPACE/250 SF) = 96 SPACES	101	101
FENCED OUTDOOR DISPLAY AREA: 20,055 SF (1 SPACE/4,500 SF) = 5 SPACES		
MINIMUM LENGTH:	18.5'	20.0' (17.5' W/ 2.5' OVERHANG)
MINIMUM WIDTH:	9'	10.0'
TOTAL NUMBER OF OFF-STREET ADA PARKING SPACES:	4	4
MINIMUM LENGTH:	18.5'	20.0'
MINIMUM WIDTH:	12.0'	12.0'
TOTAL NUMBER OF OFF-STREET ELECTRIC VEHICLE CHARGING STATIONS (EVCS): 2% OF REQUIRED	3	3
TOTAL NUMBER OF OFF-STREET LOW SPEED ELECTRIC VEHICLES (LSEV) PARKING SPACES: 2% OF REQUIRED	3	3
TOTAL NUMBER OF OFF-STREET BICYCLE PARKING SPACES: 5% OF PARKING SPACES	5	7
MINIMUM DRIVE AISLE WIDTH:	25'	28'
NUMBER OF LOADING ZONES:	1	1
MINIMUM LENGTH:	1	35'
MINIMUM WIDTH:	12'	127.5'
MINIMUM OVERHEAD CLEARANCE:	15'	N/A
NUMBER OF DUMPSTER AREAS:	1	1

SITE DATA AND SETBACKS			
	REQUIRED	PROVIDED	
MAXIMUM LOT COVERAGE:	88,993	23,957	PERCENTAGE OF SITE 12.12%
PERVIOUS AREA:	49,441	52,006	PERCENTAGE OF SITE 26.31%
FRONT SETBACK (NORTH):	20'	262.6'	
SIDE SETBACK (EAST):	10'	43.1'	
SIDE SETBACK (WEST):	10'	34.0'	
REAR SETBACK (SOUTH):	10'	105.9'	
MEAN BUILDING HEIGHT:	MAX. 120'	29.7'	
NUMBER OF STOREYS:	N/A	1	
MINIMUM SIDEWALK WIDTH:	4'	5'	

LANDSCAPE BUFFER STRIPS	
	REQUIRED
NORTH	15'
EAST	8'
WEST	8'
SOUTH	8'

TABLE 3-12: MU DISTRICT NON-RESIDENTIAL STANDARDS						
NON-RESIDENTIAL USE TYPE	MINIMUM PARCEL SIZE (SQ. FT)	MINIMUM FRONT SETBACK (FT)	MINIMUM SIDE SETBACK (FT)	MINIMUM REAR SETBACK (FT)	MINIMUM BUILDING SEPARATION (FT)	MINIMUM PERVIOUS PERCENTAGE OF PARCEL
COMMERCIAL USES	N/A	20	10	10	20	45%



REV.	DATE	COMMENTS
1	03/27/24	
2	04/12/24	

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DESIGNED BY: GJZ
 CHECKED BY: JMP
 MDW
 MDM

HIX SNEDEKER COMPANIES, LLC
 PROPOSED TRACTOR SUPPLY
 PERSIMMON BLVD & SEMINOLE PRATT, WHITNEY RD
 WESTLAKE, PALM BEACH COUNTY, FLORIDA

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 Delray Beach, FL 33483
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Digitally signed by Michael D. Miles
 Date: 2024.04.16
 21:34:48-0400'

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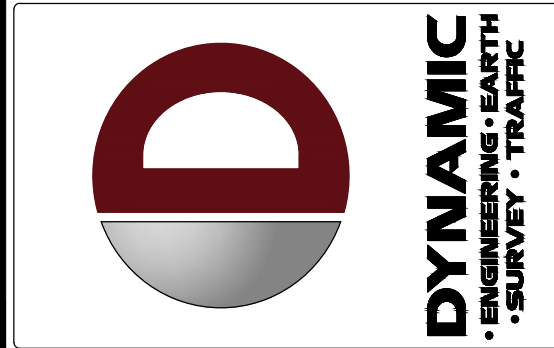
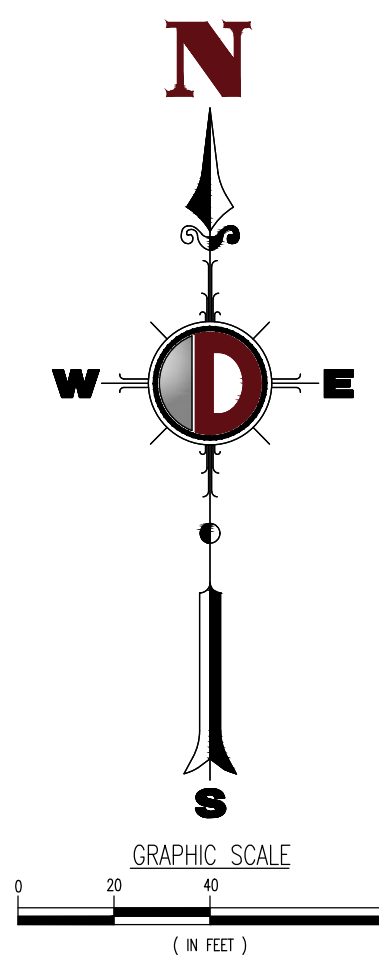
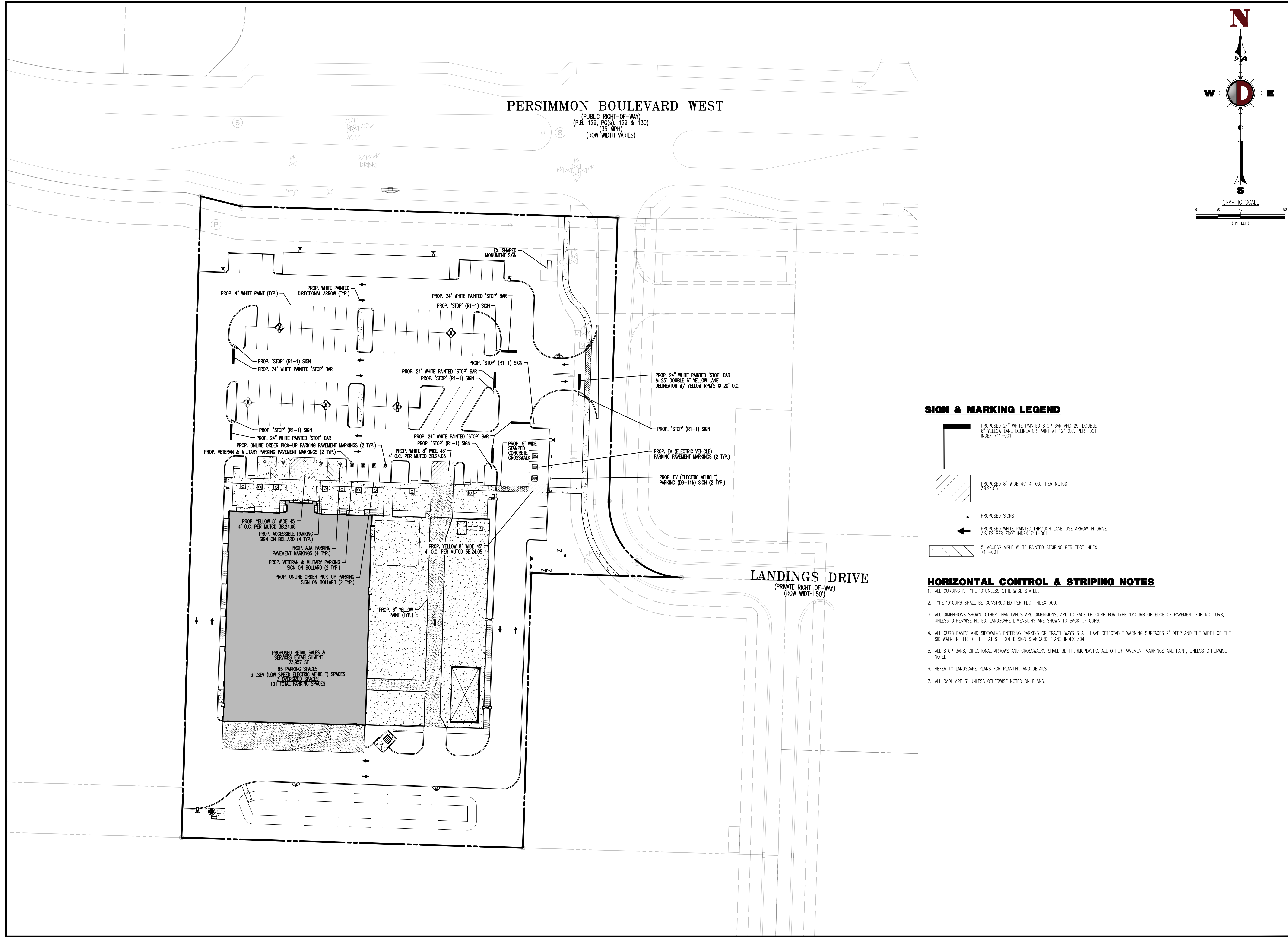
TITLE: **SITE PLAN**

SCALE: (H) AS NOTED (V) NOTED DATE: 02/01/2024
 PROJECT No: 2451-23-04281

SHEET No: **C100** Rev. #: **2**

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1	03/27/24	AGENCY COMMENTS
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PROJECT: **HIX SNEDEKER COMPANIES, LLC**
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TITLE: **SIGNING & STRIPING PLAN**

SCALE: (H) AS NOTED (M) NOTED DATE: 02/01/2024
 PROJECT No: 2451-23-04281

SHEET No: **C1.01** Rev. #: **2**

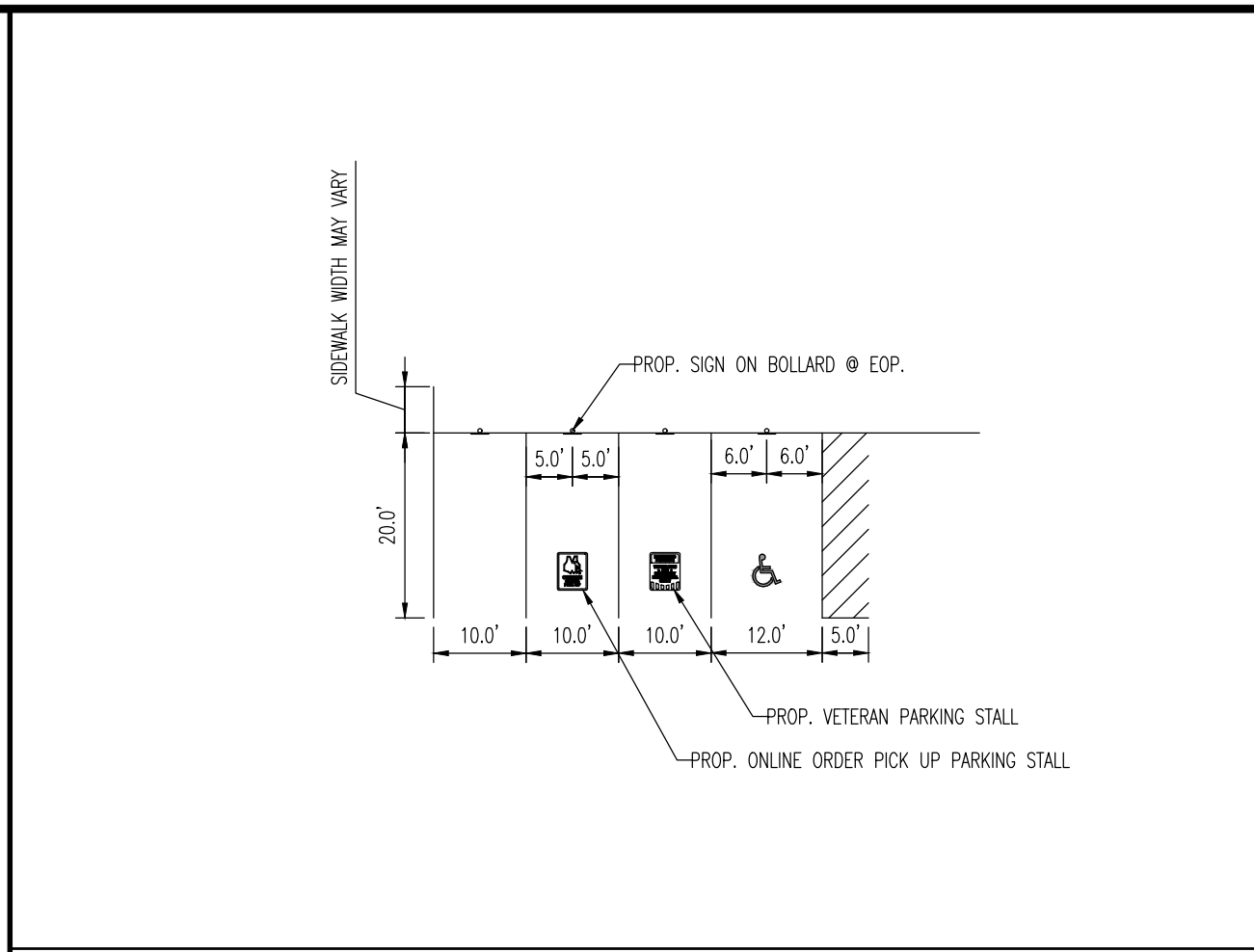
SIGN & MARKING LEGEND

- PROPOSED 24" WHITE PAINTED STOP BAR AND 25' DOUBLE 6" YELLOW LANE DELINEATOR PAINT AT 12" O.C. PER FOOT INDEX 711-301.
- PROPOSED 8" WIDE 45' 4" O.C. PER MUTCD 3B.24.05
- PROPOSED SIGNS
- PROPOSED WHITE PAINTED THROUGH LANE-USE ARROW IN DRIVE AISLES PER FOOT INDEX 711-301.
- 5' ACCESS AISLE WHITE PAINTED STRIPING PER FOOT INDEX 711-301.

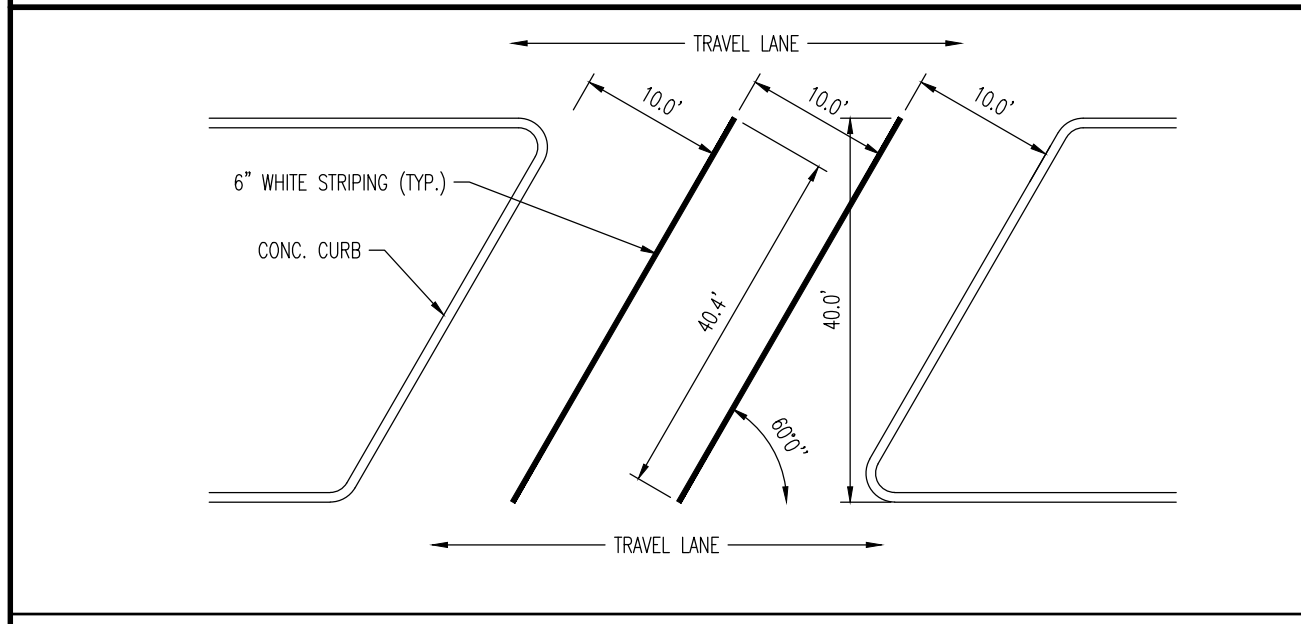
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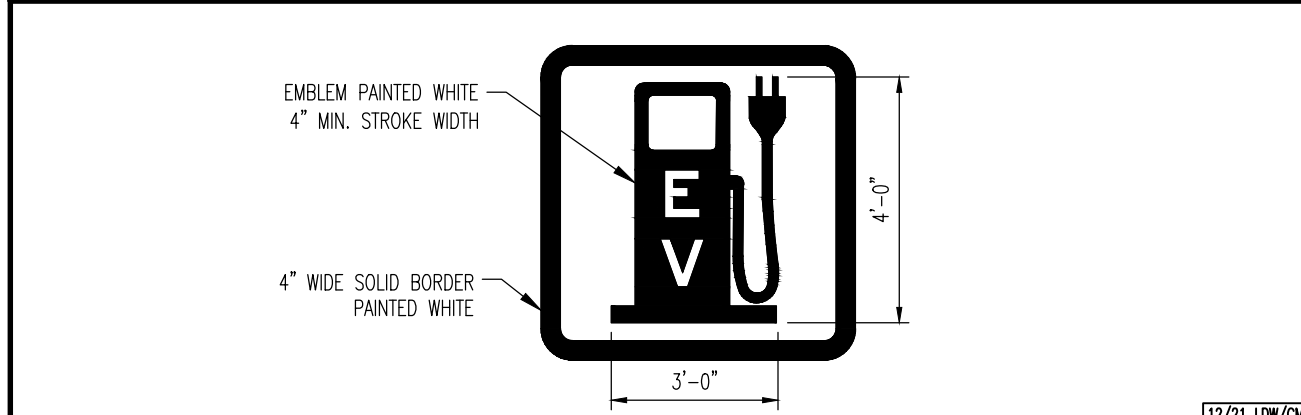
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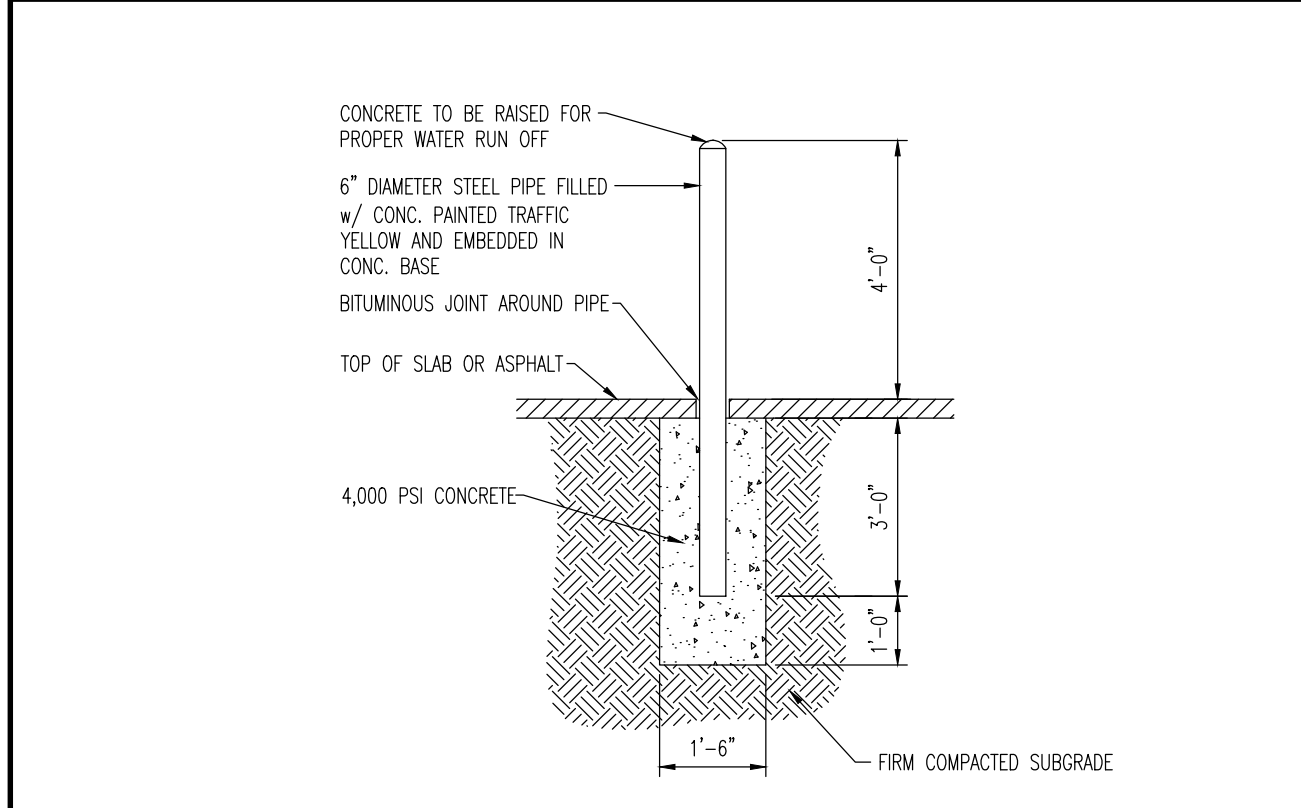
ADA, ONLINE ORDER PICKUP, AND VETERAN PARKING STALL SIGNS ON BOLLARDS TYPICAL DETAIL AT STORE FRONTAGE
 NOT TO SCALE



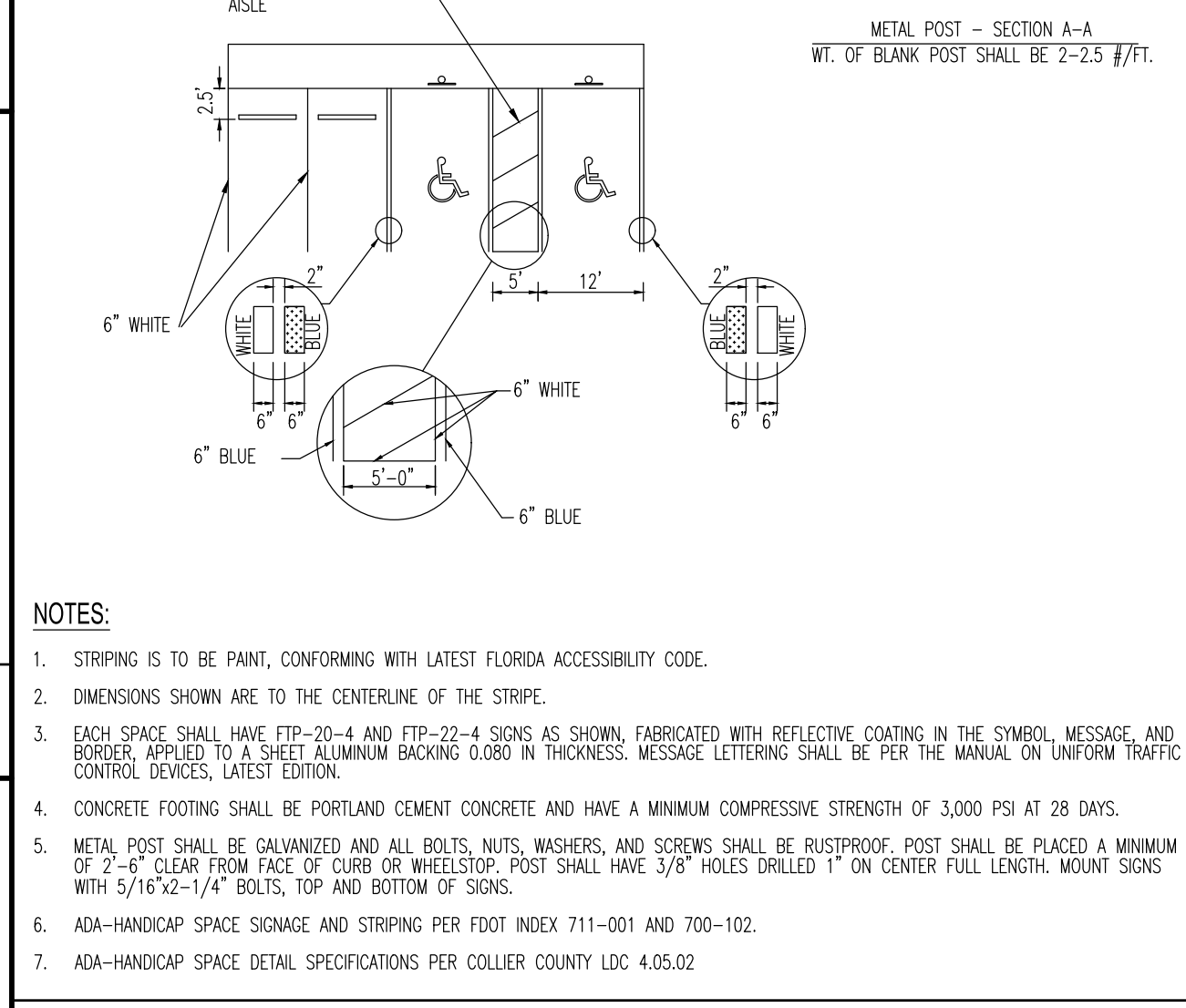
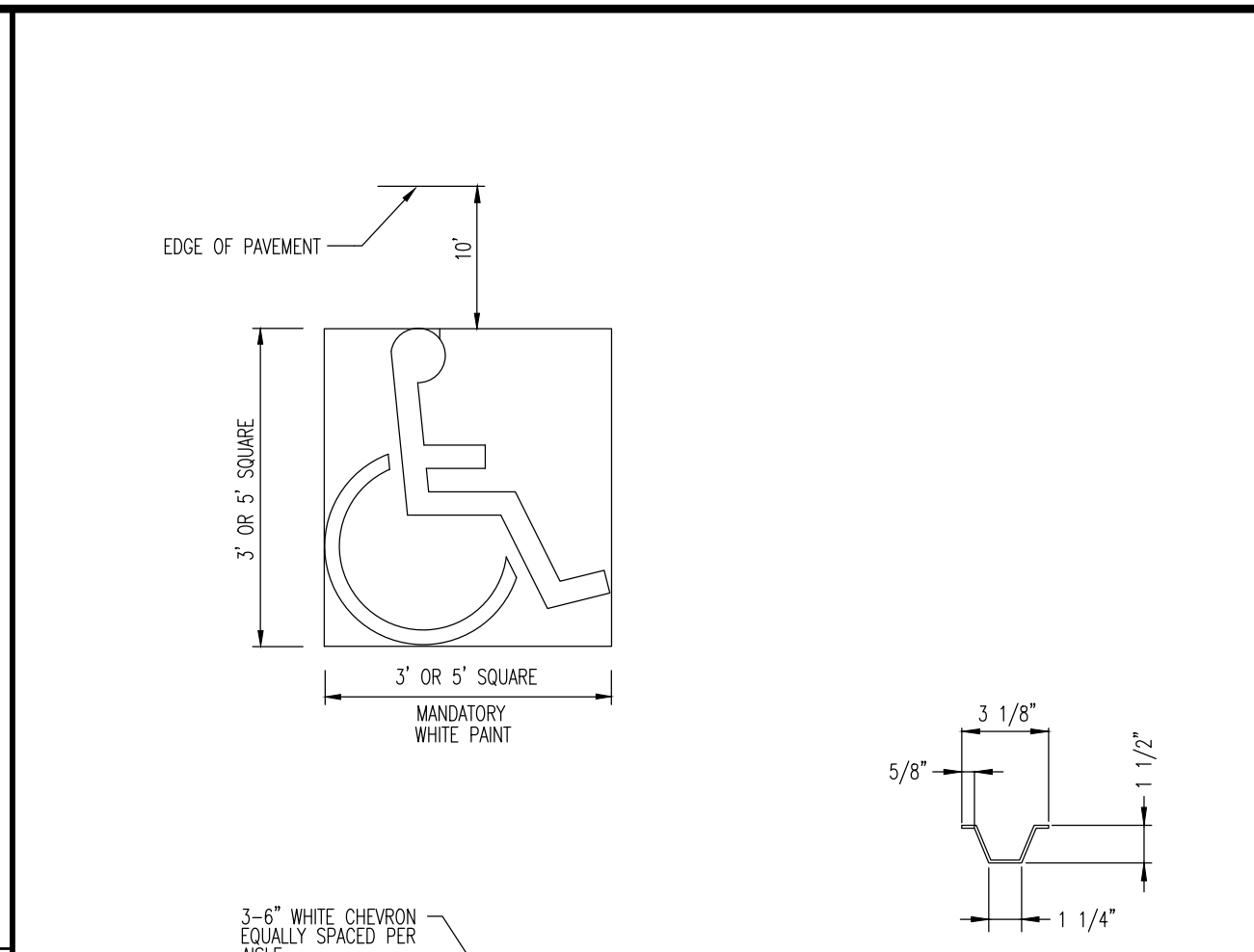
OVERSIZED PARKING STALL DETAILS
 NOT TO SCALE



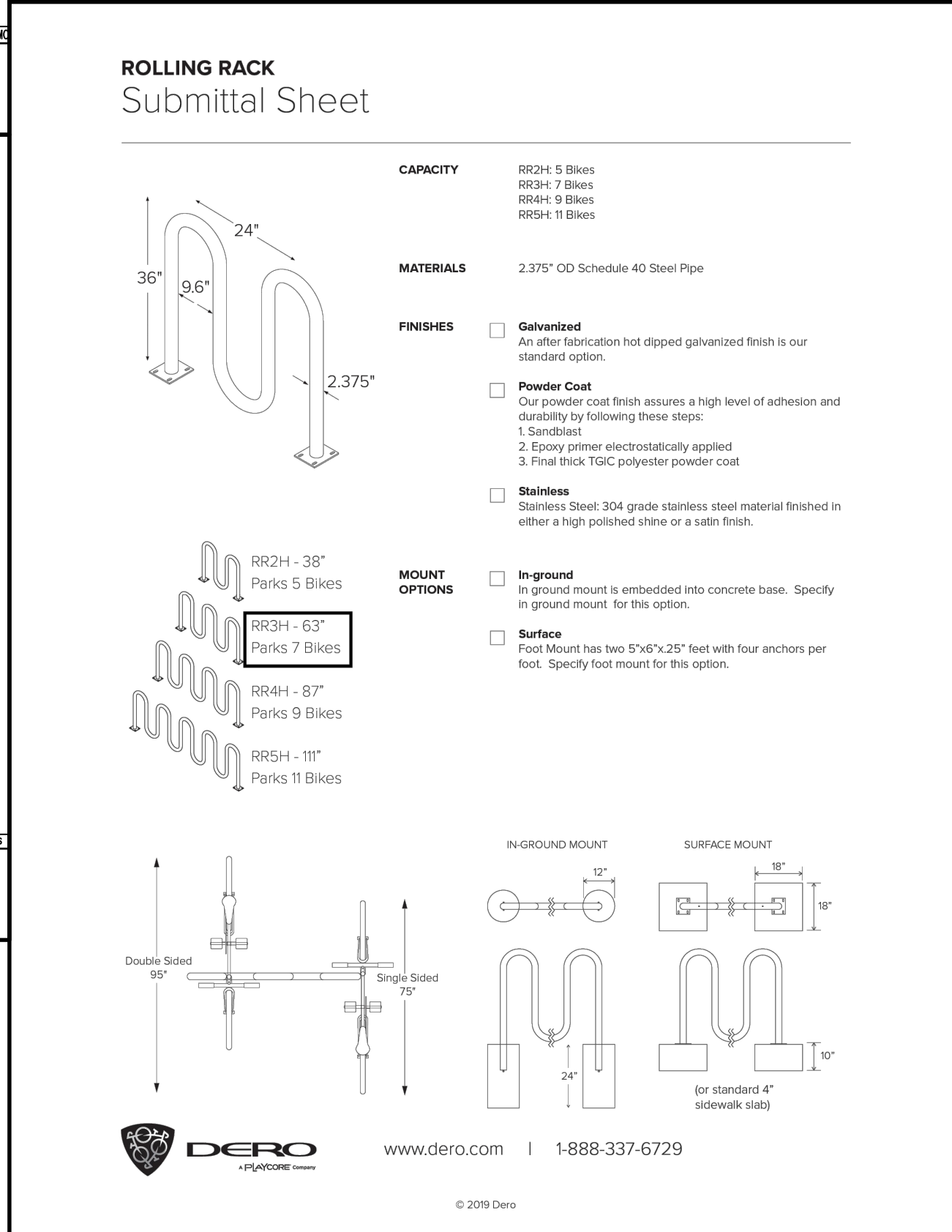
PAINTED ELECTRIC VEHICLE (EV) CHARGE STATION PARKING SYMBOL DETAIL
 NOT TO SCALE



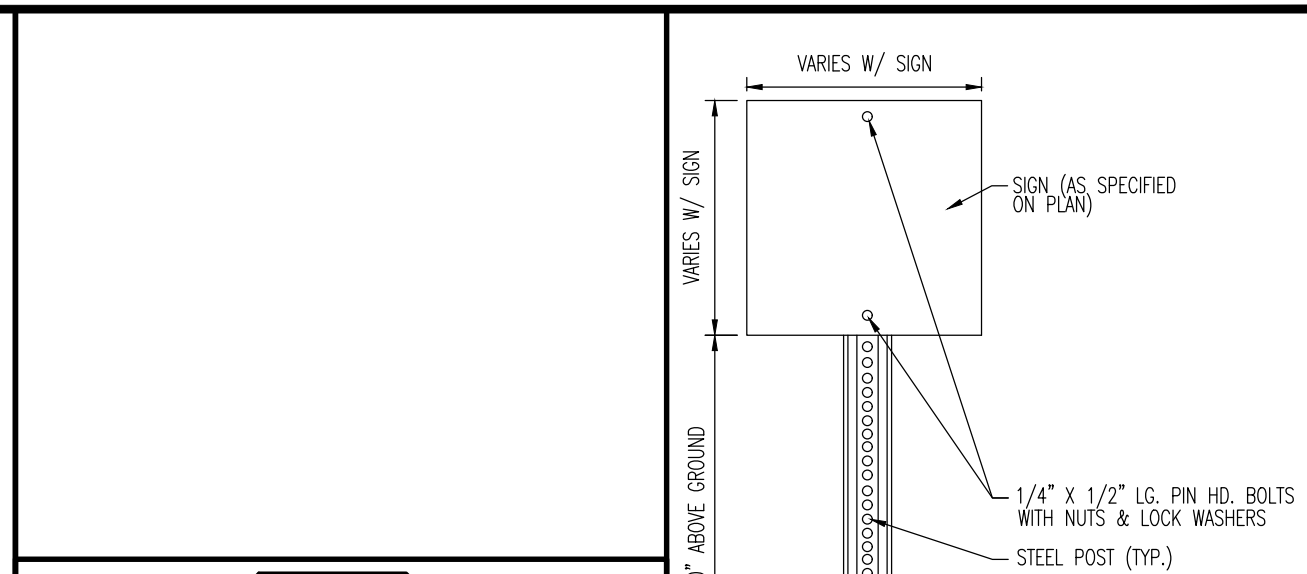
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 NOT TO SCALE**



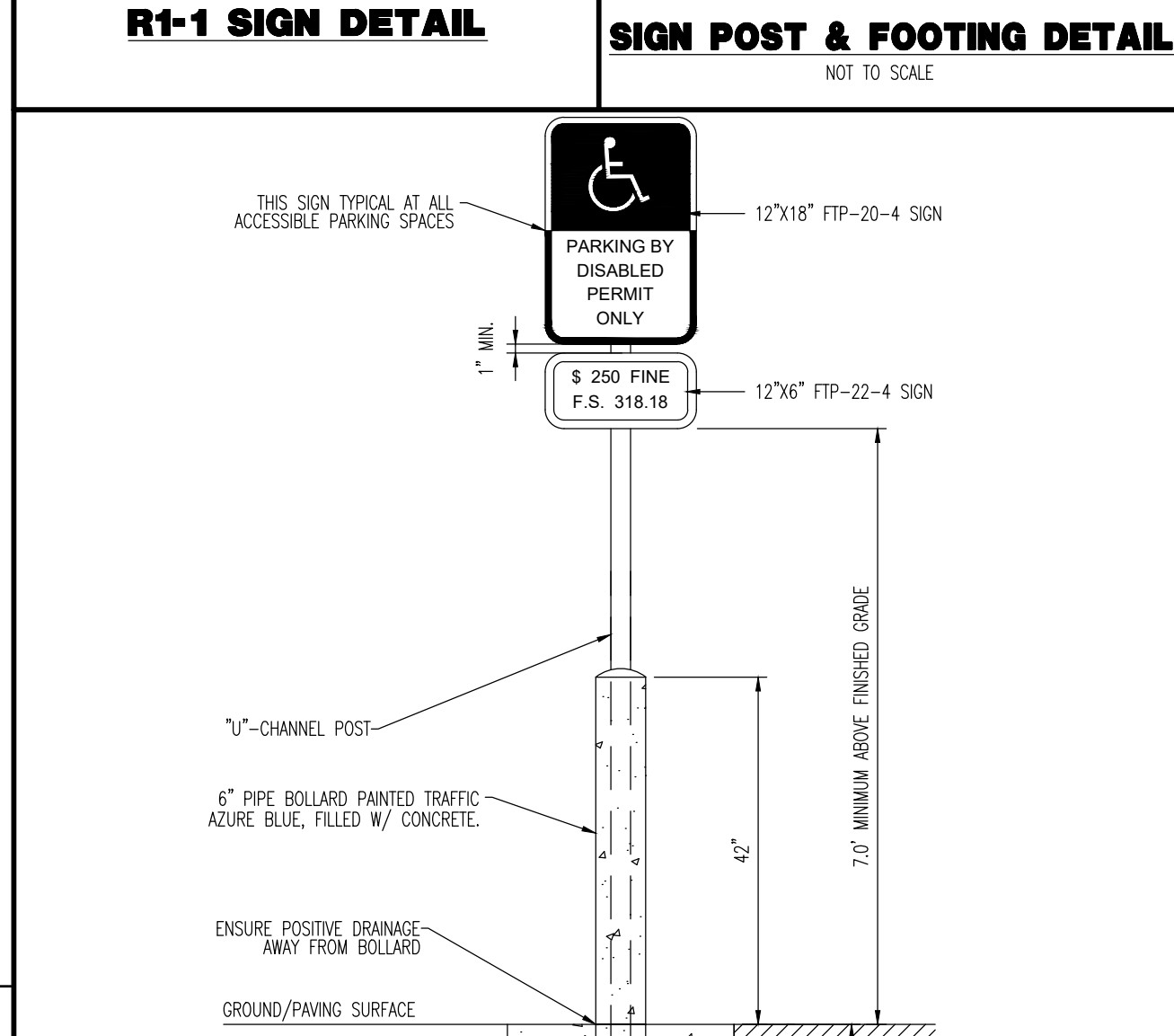
ADA SIGNAGE AND STRIPING DETAIL
 NOT TO SCALE



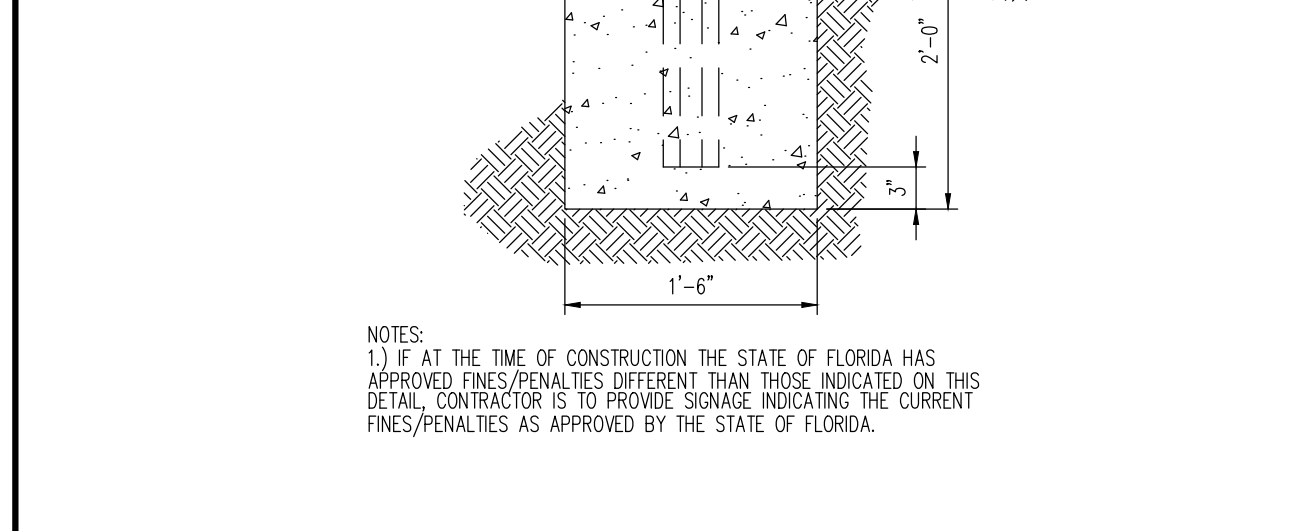
RR4H BICYCLE RACK DETAIL (5 BIKE CAPACITY)
 NOT TO SCALE



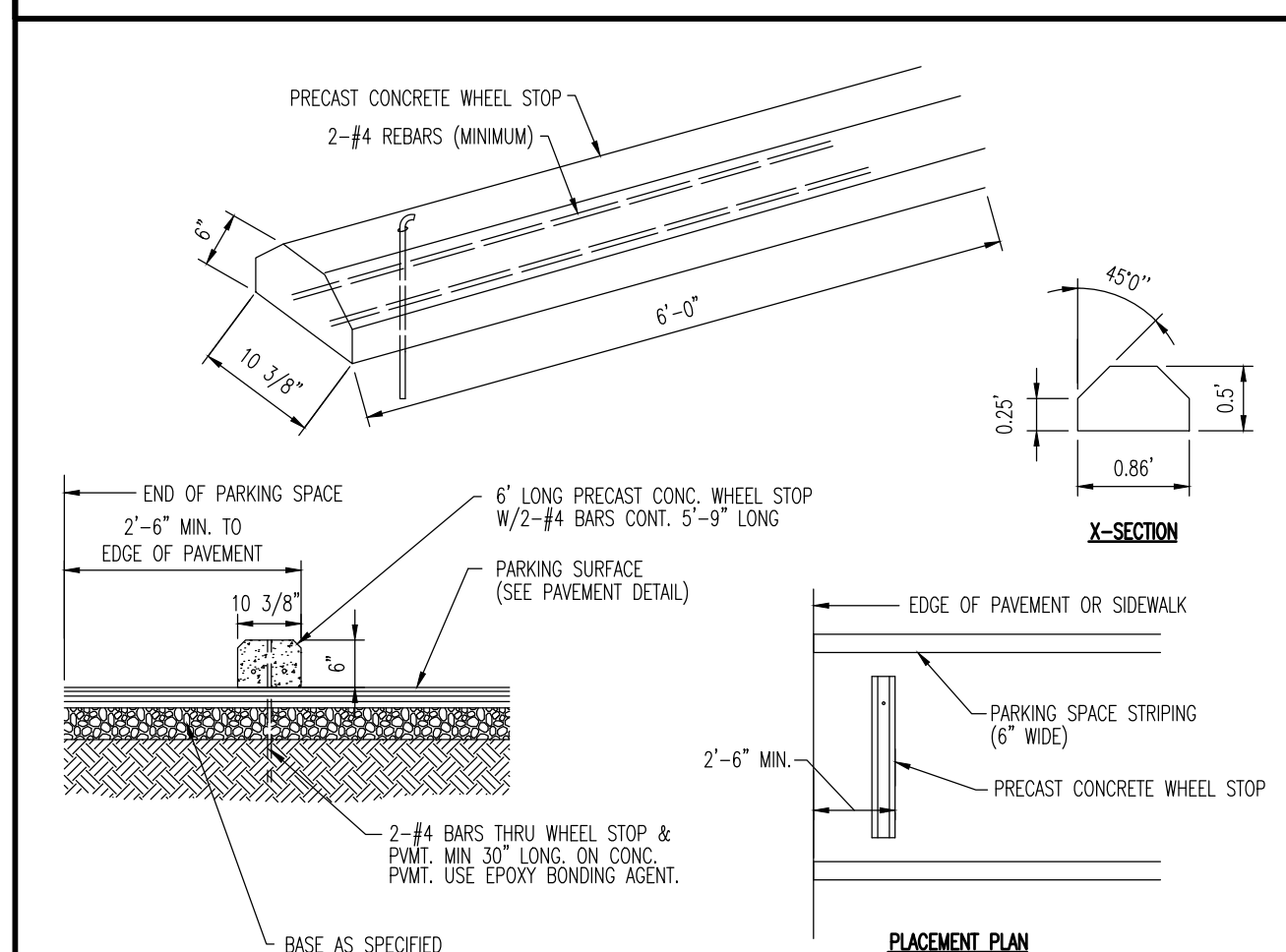
R1-1 SIGN DETAIL



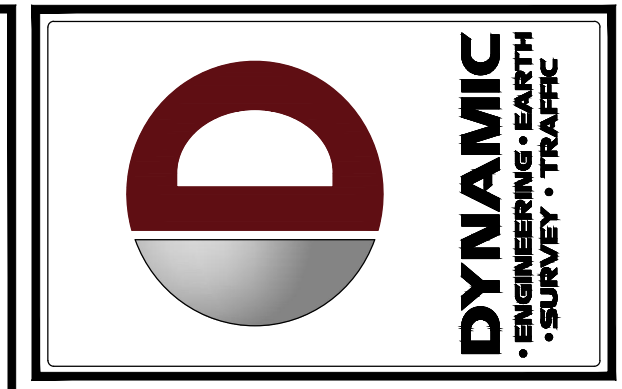
SIGN POST & FOOTING DETAIL
 NOT TO SCALE



A.D.A. PARKING SIGN ON BOLLARD DETAIL
 NOT TO SCALE



PRECAST CONCRETE WHEEL STOP DETAIL
 NOT TO SCALE



REV.	DATE	COMMENTS
1	03/27/24	AGENCY COMMENTS
2	04/12/24	AGENCY COMMENTS

HIX SNEDEKER COMPANIES, LLC
 PROPOSED TRACTOR SUPPLY
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 PROFESSIONAL ENGINEER
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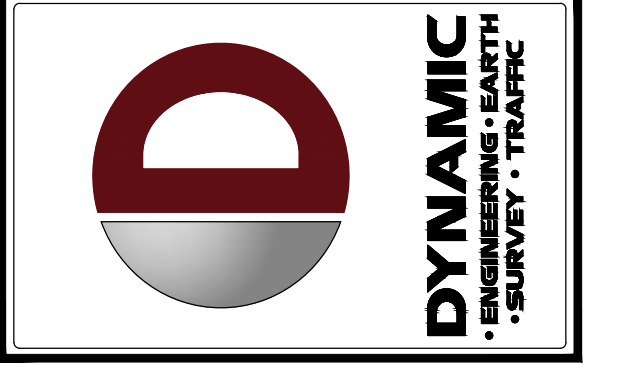
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TITLE:
 SITE DETAILS

SCALE: (H) NOT TO SCALE (V) SCALE
 DATE: 02/01/2024
 PROJECT No: 2451-23-04281

SHEET No: **C1.02** Rev. #: **2**

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1	03/27/24	AGENCY COMMENTS	KSK
2	04/16/24	AGENCY COMMENTS	KSK

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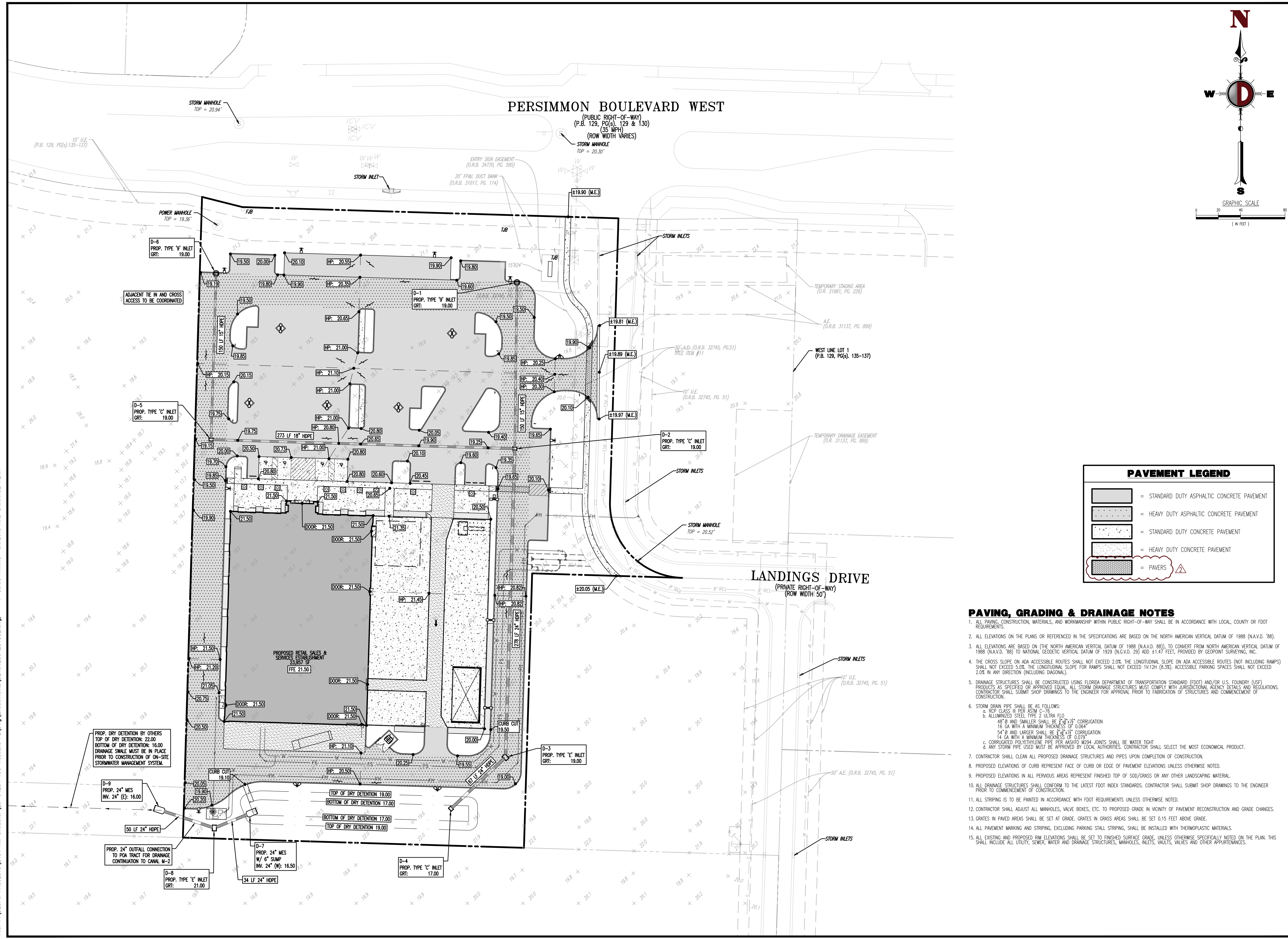
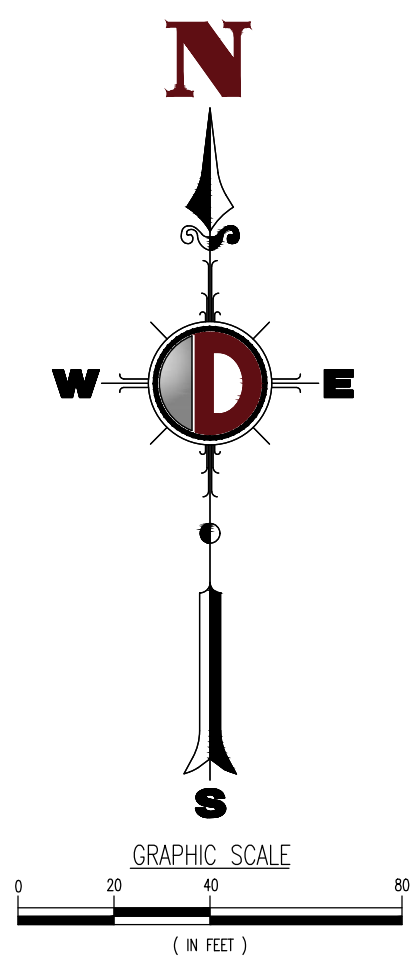
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TITLE: **PAVING, GRADING AND DRAINAGE PLAN**

SCALE: (H) AS NOTED (M) NOTED DATE: 02/01/2024
PROJECT NO: 2451-23-04281

SHEET NO: **C3.00** Rev. #: **2**



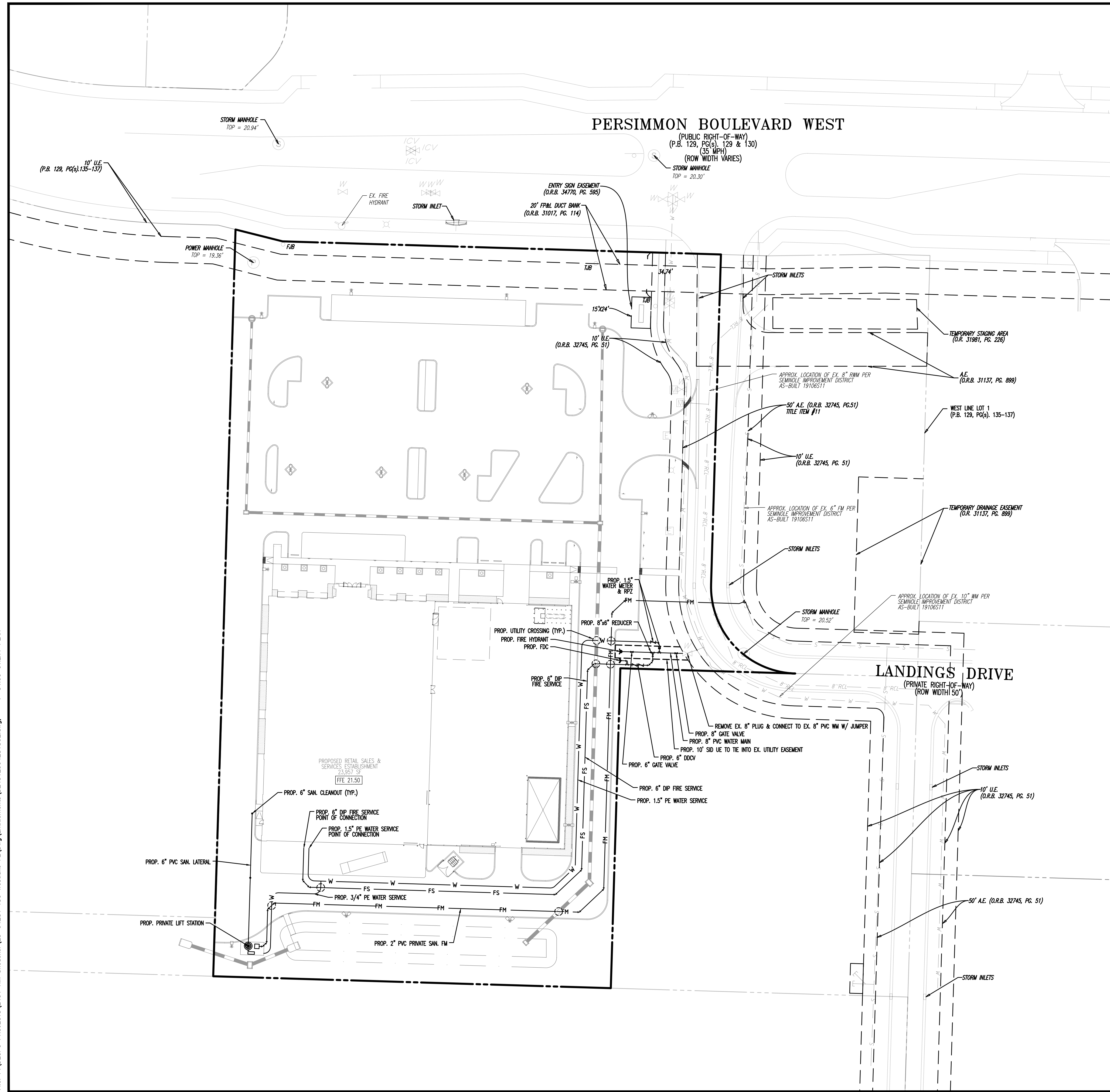
PAVEMENT LEGEND

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- [Pattern] = HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- [Pattern] = STANDARD DUTY CONCRETE PAVEMENT
- [Pattern] = HEAVY DUTY CONCRETE PAVEMENT
- [Pattern] = PAVERS

- PAVING, GRADING & DRAINAGE NOTES**
- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL, COUNTY OR FOOT REQUIREMENTS.
 - ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1989 (N.A.V.D. '89).
 - ALL ELEVATIONS ARE BASED ON THE (NORTH AMERICAN VERTICAL DATUM OF 1989 (N.A.V.D. '89)), TO CONVERT FROM NORTH AMERICAN VERTICAL DATUM OF 1989 (N.A.V.D. '89) TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. '29) ADD +14.7 FEET, PROVIDED BY GEOPUNT SURVEYING, INC.
 - THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 1:12H (8.33%). ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION (INCLUDING DIAGONAL).
 - DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD (FDOT) AND/OR U.S. FOUNDRY (USF) PRODUCTS AS SPECIFIED OR APPROVED EQUAL. ALL STORM DRAINAGE STRUCTURES MUST COMPLY WITH JURISDICTIONAL AGENCY DETAILS AND REGULATIONS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION OF STRUCTURES AND COMMENCEMENT OF CONSTRUCTION.
 - STORM DRAIN PIPE SHALL BE AS FOLLOWS:
 - a. TOP CLASS III PER ASTM C-76
 - b. ALUMINIZED STEEL TYPE 2 ULTRA FLO 48" AND SMALLER SHALL BE 1/2" X 1/2" CORRUGATION 16 GA WITH A MINIMUM THICKNESS OF 0.084"
 - c. 54" AND LARGER SHALL BE 1/2" X 1/2" CORRUGATION 14 GA WITH A MINIMUM THICKNESS OF 0.073"
 - d. CORRUGATED POLYETHYLENE PIPE PER ASHOTO M294 JOINTS SHALL BE WATER TIGHT
 - e. ANY STORM PIPE USED MUST BE APPROVED BY LOCAL AUTHORITIES. CONTRACTOR SHALL SELECT THE MOST ECONOMICAL PRODUCT.
 - CONTRACTOR SHALL CLEAN ALL PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
 - PROPOSED ELEVATIONS OF CURB REPRESENT FACE OF CURB OR EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 - PROPOSED ELEVATIONS IN ALL PERVIOUS AREAS REPRESENT FINISHED TOP OF SOG/GRASS OR ANY OTHER LANDSCAPING MATERIAL.
 - ALL DRAINAGE STRUCTURES SHALL CONFORM TO THE LATEST FDOT INDEX STANDARDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL STRIPING IS TO BE PAINTED IN ACCORDANCE WITH FDOT REQUIREMENTS UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE BOXES, ETC. TO PROPOSED GRADE IN VICINITY OF PAVEMENT RECONSTRUCTION AND GRADE CHANGES.
 - GRATES IN PAVED AREAS SHALL BE SET AT GRADE. GRATES IN GRASS AREAS SHALL BE SET 0.15 FEET ABOVE GRADE.
 - ALL PAVEMENT MARKING AND STRIPING, EXCLUDING PARKING STALL STRIPING, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.
 - ALL EXISTING AND PROPOSED RIM ELEVATIONS SHALL BE SET TO FINISHED SURFACE GRADE. UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLAN, THIS SHALL INCLUDE ALL UTILITY, SEWER, WATER AND DRAINAGE STRUCTURES, MANHOLES, INLETS, VAULTS, VALVES AND OTHER APPURTENANCES.

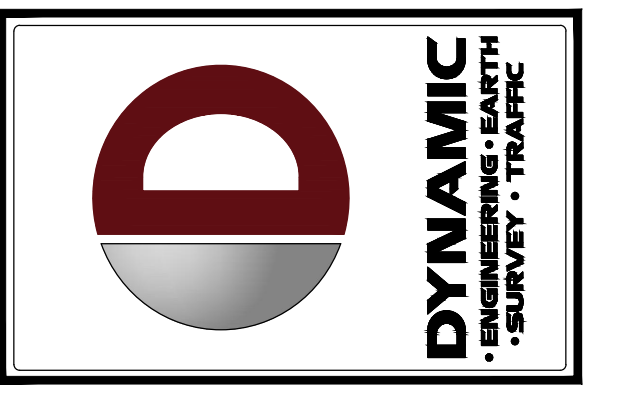
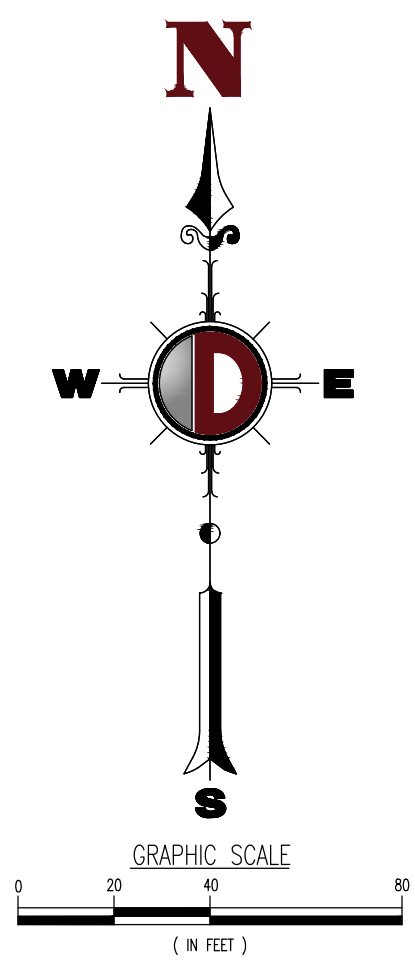
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File: F:\CEPC PROJECTS\2451 Hix_Sneeder\23-04281 TSC Westlake FL Dwg\Entitlements\24512304281S22.dwg. ---> C3.00 PAVING GRADING AND DRAINAGE PLAN

Plotted: 04/16/24 - 5:08 PM, By: kkonius
 File: F:\DEPC PROJECTS\2451 Hix, Sheddler\23-04281 TSC Westlake FL\DWG\Entitlements\024512304281S02.dwg, ----> C4.00 UTILITY PLAN



UTILITY NOTES

- CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY PIPE AND FITTINGS TO TRANSITION PIPE MATERIALS WHEN REQUIRED AND TO CONNECT TO BUILDING PLUMBING.
- ALL MANHOLES, VALVES, CLEANOUTS AND OTHER SUCH BOXES IN PAVEMENT OR SIDEWALKS SHALL BE SET FLUSH WITH PAVEMENT TO MATCH THE PROPOSED SLOPE AND SHALL BE H-20 TRAFFIC RATED.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE AHJ STANDARD DETAILS.
- NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER, OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE AHJ ENGINEER.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10 FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER, OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE AHJ ENGINEER.
- ALL WATER MAIN (WM) SHALL BE PVC C-900 DR-18 UNLESS OTHERWISE NOTED.
- ALL WATER MAIN SHALL HAVE A MINIMUM 36" COVER OVER THE TOP OF THE PIPE UNLESS OTHERWISE NOTED. WATER AND FIRE MAINS SHALL HAVE MIN. 6" VERTICAL SEPARATION FROM EACH OTHER.
- ALL FITTINGS FOR WATER MAIN AND FIRE MAIN SHALL BE DUCTILE IRON MECHANICAL JOINT FITTINGS UNLESS OTHERWISE NOTED.
- PIPE DEFLECTION OF WATER MAIN AND FIRE MAIN SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
- ALL GRAVITY SEWER MAINS SHALL BE PVC SDR-26 UNLESS OTHERWISE NOTED.
- ALL GRAVITY SEWER LATERALS SHALL BE PVC SDR-35 UNLESS OTHERWISE NOTED.
- ALL SEWER FORCE MAIN (SFM) SHALL BE PVC C-900 DR-18 UNLESS OTHERWISE NOTED. ALL SEWER FORCE MAIN IS PRIVATE.
- CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRIC SERVICE CONNECTION WITH FPL FOR CONDUIT SIZE AND BURIED DEPTH REQUIREMENT.
- ANY VITRIFIED CLAY PIPE (VCP) DAMAGED BY NEW CONSTRUCTION OR CONNECTIONS SHALL BE REPLACED WITH NEW SANITARY SEWER MAIN PIPE.
- WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY THE AHJ UTILITIES DIVISION.
- ALL SEWER LATERALS SHALL BE CONNECTED TO SEWER MAIN AND NOT DIRECTLY INTO SEWER MANHOLES.
- EXISTING WATER MAIN AND SEWER MAIN SHALL BE REMOVED AFTER PROPOSED WATER MAIN AND/OR SEWER MAIN HAS BEEN TESTED AND ACCEPTED BY AHJ HEALTH DEPARTMENT AND EXISTING SERVICES HAVE BEEN RELOCATED.
- THE AHJ UTILITIES DIVISION MUST BE GIVEN AT LEAST 48 HOURS NOTIFICATION PRIOR TO ANY SHUT-DOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT (561) 243-7312.
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET MUST BE PROVIDED BETWEEN WATER MAINS AND STORM OR SANITARY SEWERS.
- PRIOR TO ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT THE EXISTING SEWER LINE WILL BE TELEVIEWED AND CD-SUBMITTED TO THE AHJ UTILITIES DIVISION.
- PROPOSED WATER AND SEWER IMPROVEMENTS IN PRIVATE PROPERTY SHALL MEET THE AHJ COUNTY HEALTH DEPARTMENT SEPARATION REQUIREMENTS, THESE CONFLICTS WILL BE ADDRESS DURING CONSTRUCTION AND WORK AFFECT THE PUBLIC SAFETY.
- CITY MAINTAINED UTILITIES WILL NEED TO BE TESTED AND PROTECTED (E. PAVED AT LEAST UP TO FIRST LIFT, IF NOT ROADWAY) PRIOR TO ISSUANCE OF CERTIFICATION OF OCCUPANCY.



REV.	DATE	COMMENTS
1	03/27/24	AGENCY COMMENTS
2	04/16/24	AGENCY COMMENTS

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DESIGNED BY: GJZ
 CHECKED BY: JMP
 MDW
 MDM

PROJECT: **HIX SNEDEKER COMPANIES, LLC**
PROPOSED TRACTOR SUPPLY
 PERSIMMON BLVD & SEMINOLE PRATT, WHITNEY RD
 WESTLAKE, PALM BEACH COUNTY, FLORIDA

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MICHAEL D. MILES
 PROFESSIONAL ENGINEER
 FLORIDA LICENSE No. 81313
 DATE:

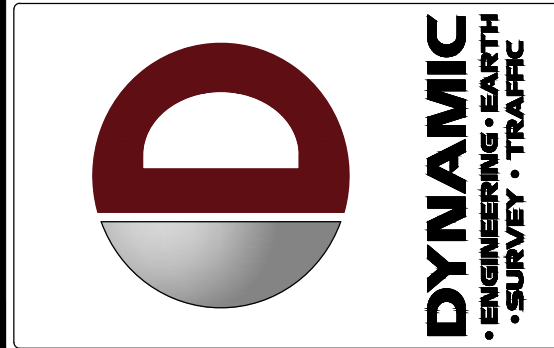
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TITLE:
UTILITY PLAN

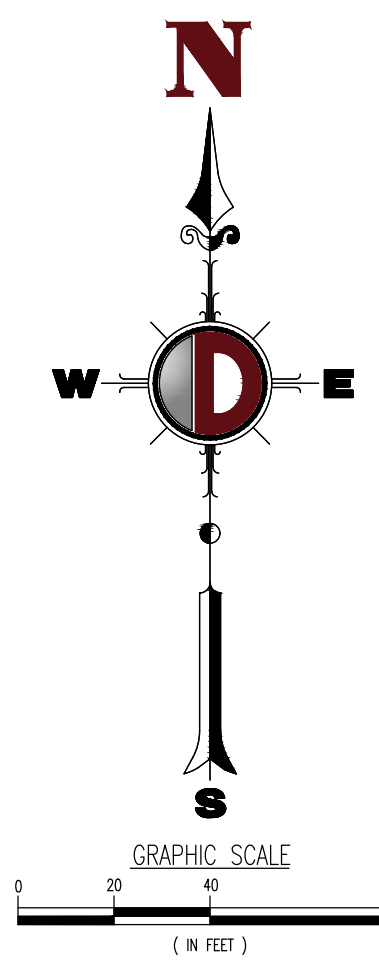
SCALE: (H) AS NOTED
 DATE: 02/01/2024
 PROJECT No: 2451-23-04281

SHEET No: **C4.00**
 Rev. #: **2**

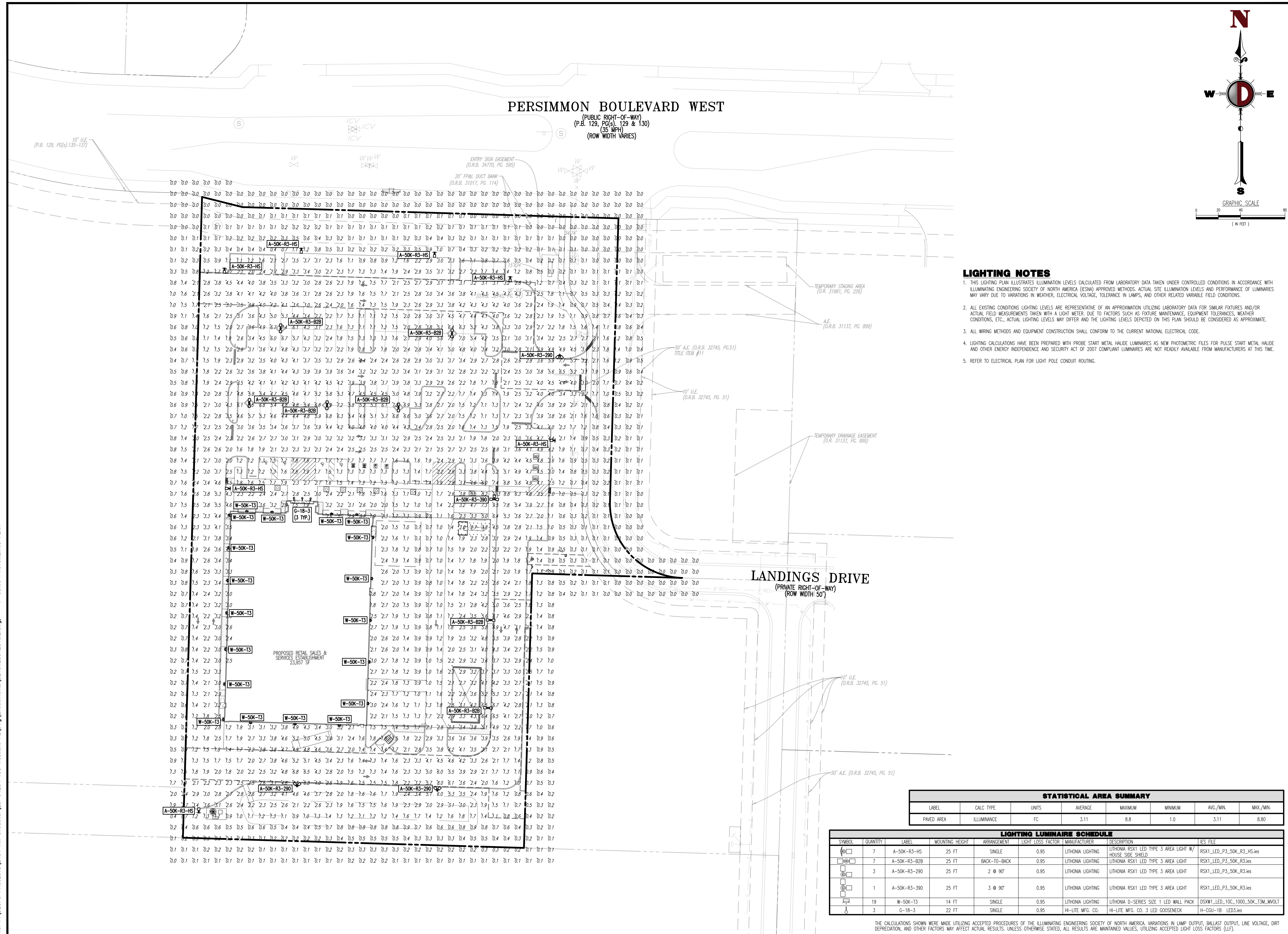
MICHAEL D. MILES, STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 81313, HAS REVIEWED THIS PLAN SET AND SIGNED AND SEALED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING STATUTES OF THE STATE OF FLORIDA. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THEY ARE SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



REV.	DATE	COMMENTS
1	02/27/24	AGENCY COMMENTS
2	04/16/24	AGENCY COMMENTS



PERSIMMON BOULEVARD WEST
(PUBLIC RIGHT-OF-WAY)
(P.B. 129, PG(6), 129 & 130)
(35 MPH)
(ROW WIDTH VARIES)



LIGHTING NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- LIGHTING CALCULATIONS HAVE BEEN PREPARED WITH PROBE START METAL HALIDE LUMINAIRES AS NEW PHOTOMETRIC FILES FOR PULSE START METAL HALIDE AND OTHER ENERGY INDEPENDENCE AND SECURITY ACT OF 2007 COMPLIANT LUMINAIRES ARE NOT READILY AVAILABLE FROM MANUFACTURERS AT THIS TIME.
- REFER TO ELECTRICAL PLAN FOR LIGHT POLE CONDUIT ROUTING.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: GJZ
CHECKED BY: JMP
DATE: 02/27/24

PROJECT: **HIX SNEDEKER COMPANIES, LLC**
PROPOSED TRACTOR SUPPLY
PERSIMMON BLVD & SEMINOLE PRATT WHITNEY RD
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MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE:

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PHOTOMETRIC PLAN

SCALE: (H) AS SHOWN
(V) NOTED
DATE: 02/01/2024
PROJECT No: 2451-23-04281

SHEET No: **C5.00** Rev. #: **2**

STATISTICAL AREA SUMMARY

LABEL	CALC TYPE	UNITS	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
PAVED AREA	ILLUMINANCE	FC	3.11	8.8	1.0	3.11	8.80

LIGHTING LUMINAIRE SCHEDULE

SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
⊙	7	A-SOK-R3-HS	25 FT	SINGLE	0.95	LITHONIA LIGHTING	LITHONIA RSX1 LED TYPE 3 AREA LIGHT W/ HOUSE SIDE SHIELD	RSX1_LED_P3_SOK_R3_HS.ies
⊙	7	A-SOK-R3-B2B	25 FT	BACK-TO-BACK	0.95	LITHONIA LIGHTING	LITHONIA RSX1 LED TYPE 3 AREA LIGHT	RSX1_LED_P3_SOK_R3.ies
⊙	3	A-SOK-R3-290	25 FT	2 @ 90°	0.95	LITHONIA LIGHTING	LITHONIA RSX1 LED TYPE 3 AREA LIGHT	RSX1_LED_P3_SOK_R3.ies
⊙	1	A-SOK-R3-390	25 FT	3 @ 90°	0.95	LITHONIA LIGHTING	LITHONIA RSX1 LED TYPE 3 AREA LIGHT	RSX1_LED_P3_SOK_R3.ies
⊙	19	W-SOK-T3	14 FT	SINGLE	0.95	LITHONIA LIGHTING	LITHONIA D-SERIES SIZE 1 LED WALL PACK	DSW1_LED_LOC_1000_SOK_T3M_MV0LT.ies
⊙	3	G-18-3	22 FT	SINGLE	0.95	HI-LITE MFG. CO.	HI-LITE MFG. CO. 3 LED GOOSENECK	H-COU-18_LED3.ies

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

Plotted: 04/16/24 - 5:08 PM, By: Klonous
File: F:\DECP PROJECTS\2451 Hix_Snedeker\23-04281\23-04281_Photometric.dwg, ---> C5.00 PHOTOMETRIC PLAN
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