

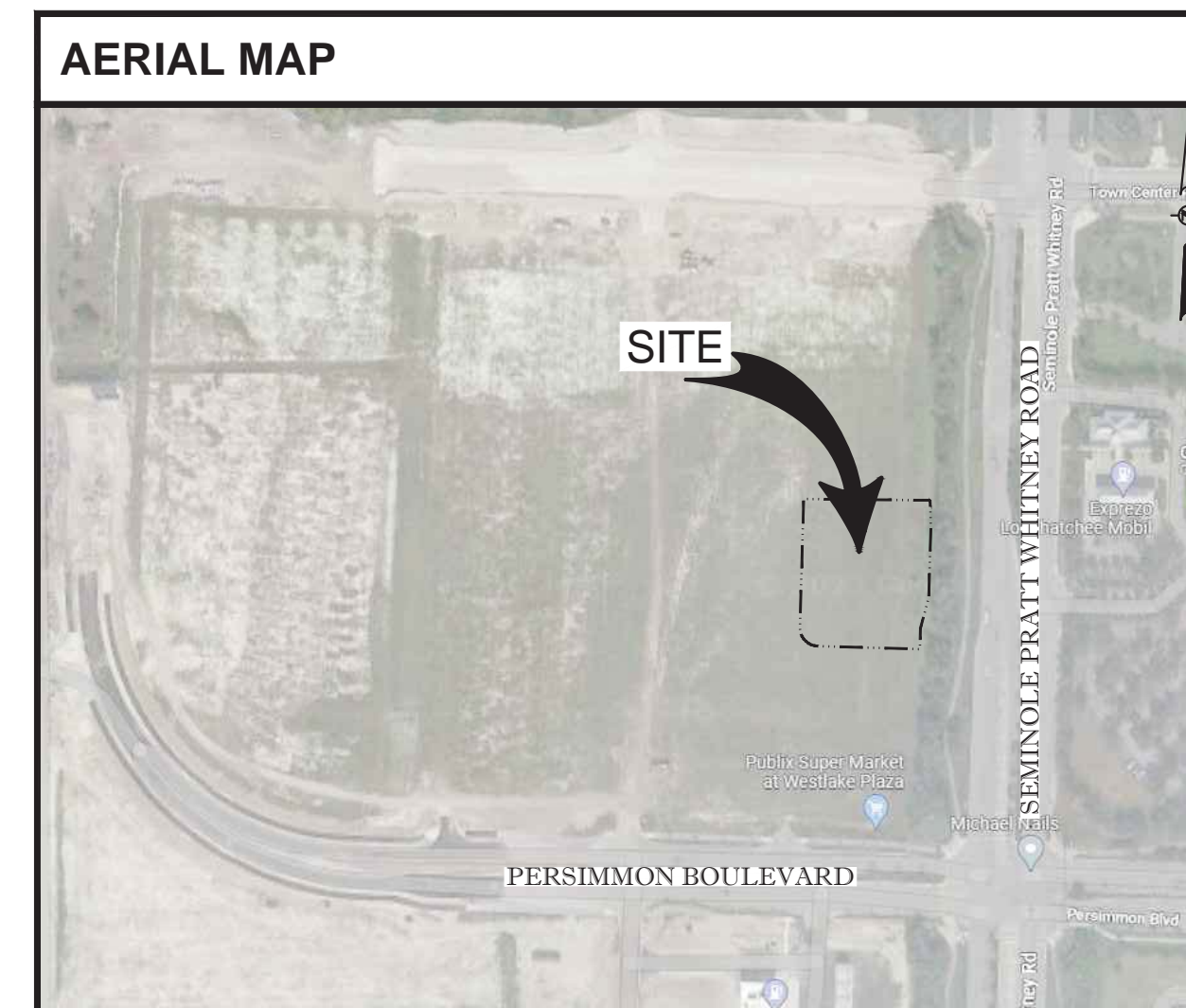
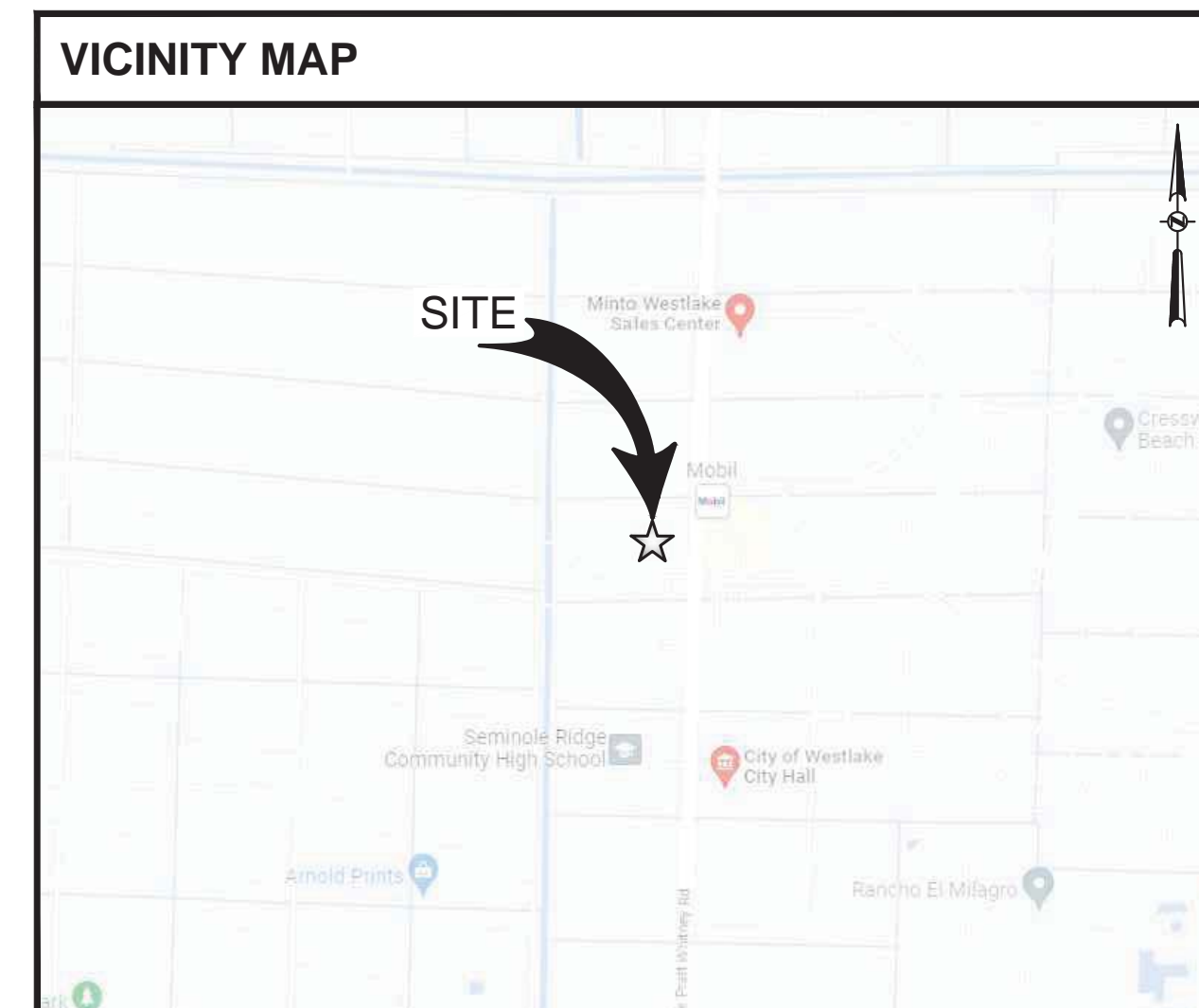
CONSTRUCTION PLANS FOR:



WESTLAKE

NWC SEMINOLE PRATT WHITNEY & PERSIMMON WESTLAKE, FL 33470

PROJECT TEAM	
PROPERTY OWNER/DEVELOPER: FIFTH THIRD BANK 38 FOUNTAIN SQUARE PLAZA, MD 10903K CINCINNATI, OH 45202 PH: (513) 534-0706 CONTACT: TAMMALA BROOKS	CIVIL ENGINEER: INFINITY ENGINEERING GROUP, LLC 1208 EAST KENNEDY BOULEVARD SUITE 230 TAMPA, FLORIDA 33602 PH: (813) 434-4770 CONTACT: NISIT SAPPARKHAO
SURVEYORS: EBI SURVEYING 8415 SUNSTATE STREET TAMPA, FLORIDA 33634 CONTACT: THOMAS SERBU PH: (813) 886-6080 EMAIL: THOMAS@EBISURVEY.COM	ARCHITECT: BDG ARCHITECTS 550 SOUTH CALDWELL STREET SUITE 1800 CHARLOTTE, NORTH CAROLINA 28202 PH: (704) 981-8951 CONTACT: JUAN C. QUINONES EMAIL: JUAN.QUINONES@BDGLLP.COM



PARCEL CONTROL NUMBER: 77-40-43-01-24-001-0000
PALM BEACH COUNTY, FLORIDA

DRAWING INDEX	
SHEET NO.	SHEET TITLE
C00.00	COVER SHEET
C00.01	CIVIL SPECIFICATIONS
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C03.01	GRADING PLAN
C03.02	STORM PIPING PLAN
C04.01	UTILITY PLAN
C05.01	DETAILS
C05.02	DETAILS
C05.03	DETAILS
C06.01	SWPPP GENERAL REQUIREMENTS
C06.02	EROSION CONTROL PLAN PHASE I
C06.03	EROSION CONTROL PLAN PHASE II
C06.04	EROSION AND SEDIMENTATION CONTROL DETAILS
C07.01	LANDSCAPE PLAN
L01.01	LANDSCAPE DETAILS
L01.02	IRRIGATION PLAN
L02.01	IRRIGATION DETAILS
1 OF 1	COPY FROM SURVEY PLANS

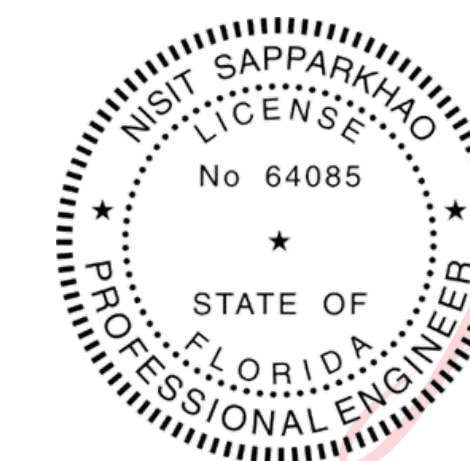


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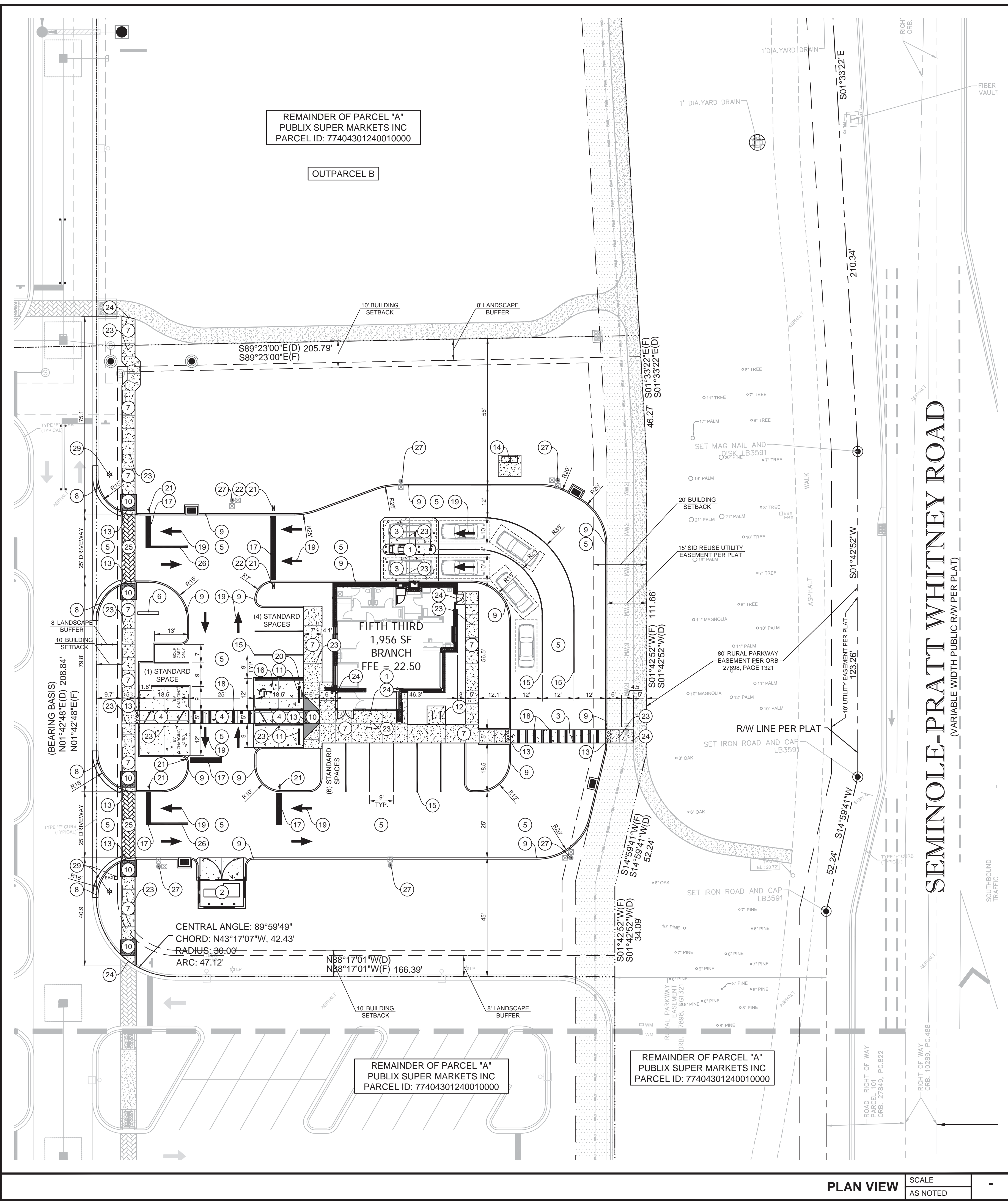
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Date: 2023.03.02 11:34:02 -06'00'
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SHEET
C00.00



KEYED NOTES

- NEW FIFTH THIRD BANK BUILDING AND DRIVE-THRU CANOPY (SEE ARCHITECTURAL PLANS).
- NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS).
- NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
- NEW 6" BLACK TINTED CONCRETE. SEE DETAILS, SHEET C05.01.
- NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
- NEW ID SIGN (DESIGNED AND PERMITTED BY OTHERS).
- NEW 4" CONCRETE SIDEWALK, SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
- NEW 18" CURB AND GUTTER. SEE DETAILS, SHEET C05.01.
- NEW 6" X 18" VERTICAL CURB, 3-FOOT CURB TRANSITION AT PATHWAYS. SEE DETAILS, SHEET C05.01.
- NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
- NEW WHEEL STOPS (TYPICAL OF 2). SEE DETAILS, SHEET C05.01.
- NEW FIFTH THIRD STANDARD BICYCLE RACKS. SEE DETAILS, SHEET C05.01.
- NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
- NEW TRANSFORMER PAD. SEE UTILITY PLAN, SHEET C04.01.
- NEW 6-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT).
- NEW ACCESSIBLE PARKING SPACE AND ACCESS AISLE. SEE DETAILS, SHEET C05.01.
- NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
- NEW 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT).
- NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT).
- NEW ACCESSIBLE PARKING SIGN. SEE DETAILS, SHEET C05.02.
- NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 6). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
- NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 2). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
- SAWCUT A 1/4" CONTROL JOINT IN NEW SIDEWALK AS SHOWN. NEW CONTROL JOINT DEPTH MUST BE A MINIMUM OF 25% OF THE OVERALL SLAB DEPTH AND BE PERFORMED WITHIN 12 HR OF POUR. (TYPICAL). SEE DETAILS, SHEET C05.01.
- EXPANSION JOINTS (TYPICAL).
- NEW CROSSWALK PAVERS TO MATCH EXISTING DEVELOPMENT.
- NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT).
- NEW AREA LIGHT POLE. SEE ELECTRICAL SITE PLANS.
- ELECTRICAL STUB-UP FOR FUTURE ELECTRIC VEHICLE (EV) CHARGING STATION. SEE ELECTRICAL SHEET FOR MORE DETAILS.
- EXISTING DEVELOPMENT LIGHT POLE AND ELECTRICAL JUNCTION BOX TO BE RELOCATED BY GENERAL CONTRACTOR / ELECTRICAL CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE WITH DEVELOPER.

SITE PLAN GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
- ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

LANDSCAPE NOTE

- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
- CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
- CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

LEGEND

	PROPERTY LINE
	EXISTING TO REMAIN
	EXISTING CONCRETE TO REMAIN
	PROPOSED CONCRETE LESS THAN 6"
	PROPOSED CONCRETE 6" OR GREATER
	NEW ASPHALT PAVEMENT
	SETBACK/BUFFER
	PROPOSED CURB
	PROPOSED CURB AND GUTTER

SITE DATA

FUTURE LAND USE DESIGNATION: DOWNTOWN MIXED USE
 EXISTING ZONING DISTRICT: MIXED USE

SECTION/TOWNSHIP/RANGE: 01 43 40
 PROPERTY CONTROL NUMBER: 77-40-43-01-24-001-0000

EXISTING USE: VACANT/COMMERCIAL
 APPROVED USE: MIXED USE
 PROPOSED USE: COMMERCIAL / BANK W/ DRIVE-THRU

PARCEL DATA

PART OF PUBLIX RETAIL CENTER: 379,626 SF (8.72 AC)
 OUTPARCEL C: 49,220 SF (1.13 AC)
 PROPOSED PLAT AREA: 49,220 SF (1.13 AC)

BUILDING DATA

FIFTH THIRD BANK W/ DRIVE-THRU: 1,956 SF
 NUMBER OF FLOORS: 1
 PROPOSED BUILDING HEIGHT: 23 FT
 MAX. BUILDING HEIGHT FOR MU: 120 FT

MINIMUM PARCEL SIZE: 43,560 SF
 MAXIMUM LOT COVERAGE: 45%
 MINIMUM PERVIOUS AREA: 25%
 MINIMUM BUILDING SEPARATION: 20 FT

PARKING DATA

BANK W. DRIVE-THRU: 1 SPACE PER 300 SF OF G.F.A.
 1,956 SF x (1 / 300) = 7 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING: 11 SPACES
 EV/CPV PARKING: 2 SPACES
 LSEV PARKING: 1 SPACE
 ACCESSIBLE PARKING: 1 SPACE
 TOTAL PARKING: 15 SPACES

PARKING SPACE SIZE: 9' X 18.5' MINIMUM / 25' DRIVE AISLE
 BICYCLE PARKING REQUIRED: 5% OF REQUIRED PARKING
 7 SPACES * 5% = 1 SPACE REQUIRED
 4 BICYCLE PARKING PROVIDED

LOADING ZONE: *NOTE: FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES. DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.

LANDSCAPE REQUIREMENTS

LANDSCAPE BUFFER - SEMINOLE PRATT WHITNEY ROAD = 0'
 LANDSCAPE BUFFER - SIDE (NORTH) = 8'
 LANDSCAPE BUFFER - SIDE (SOUTH) = 8'
 LANDSCAPE BUFFER - REAR (WEST) = 8'

BUILDING REQUIREMENTS

BUILDING SETBACK - SEMINOLE PRATT WHITNEY ROAD = 20'
 BUILDING SETBACK - SIDE (NORTH) = 10'
 BUILDING SETBACK - SIDE (SOUTH) = 10'
 BUILDING SETBACK - REAR (WEST) = 10'

FLOOD ZONE

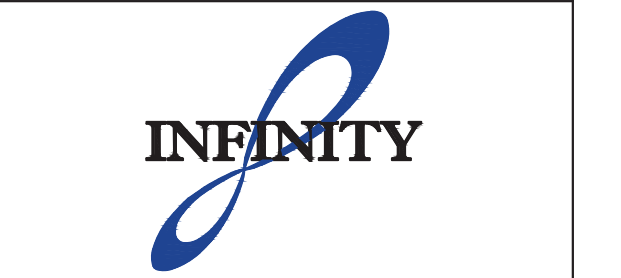
FLOOD ZONE AE ELEVATION 18.5' PER FEMA MAP 12099C0531F DATED 10.05.17.



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FIFTH THIRD BANK
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ISSUE	BY	DATE	DESCRIPTION
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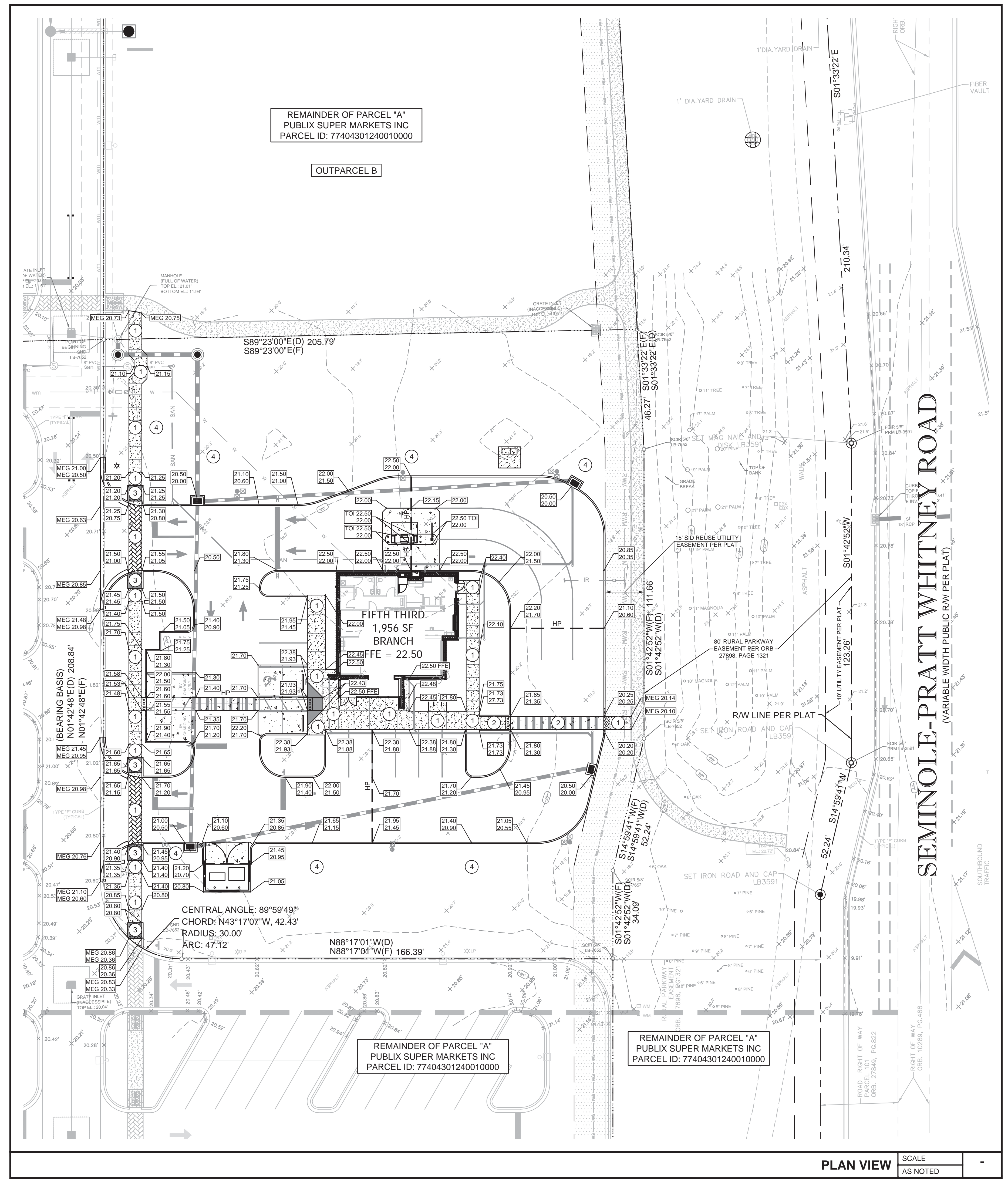
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SHEET TITLE

SITE PLAN

SHEET NUMBER

C02.01



REMAINDER OF PARCEL "A"
PUBLIX SUPER MARKETS INC
PARCEL ID: 77404301240010000

OUTPARCEL B

REMAINDER OF PARCEL "A"
PUBLIX SUPER MARKETS INC
PARCEL ID: 77404301240010000

REMAINDER OF PARCEL "A"
PUBLIX SUPER MARKETS INC
PARCEL ID: 77404301240010000

PLAN VIEW SCALE AS NOTED

KEYED NOTES:

- 1 SURFACE SLOPES NOT TO EXCEED 1:48 IN ALL DIRECTIONS.
- 2 SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:20 RUNNING.
- 3 SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:12 RUNNING.
- 4 RE-GRADE SURROUNDING LANDSCAPING GRADE ELEVATION AND RE-SOD/RE-MULCH AS REQUIRED TO MATCH EXISTING GRADE ELEVATIONS, SLOPES NOT TO EXCEED 4:1.

CONTROL BENCHMARKS

CONTROL BENCHMARK: STATION IS A P.B.C BRASS DISK STAMPED "GRIFFIN". LOCATED IN THE TOP OF THE SOUTH CONCRETE CURB OF THE ENTRANCE OF GROVE MARKET SHOPPING CENTER 3' NORTH OF A CONCRETE LIGHT POLE AND 25' EAST OF THE EAST EDGE OF A 5' WIDE CONCRETE SIDEWALK. EL.: 20.03' (NAVD88)

TBM #1: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 77.6' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PARCEL. EL.: 20.72' (NAVD88)

TBM #2: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 64.6' SOUTHWEST OF THE POINT OF CURVE ON THE SOUTH LINE OF SUBJECT PARCEL. EL.: 20.36' (NAVD88)

NOTE: CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.

LEGEND

EL	ELEVATION	RCP	REINFORCED CONCRETE PIPE
TYP	TYPICAL	HP	HIGH POINT
CO	CLEANOUT	MEG	MATCH EXISTING GRADE
IE	INVERT ELEVATION	TOI	TOP OF ISLAND
SE	SUMP ELEVATION	DS	BUILDING DOWN SPOUT
X 49.58	EXISTING ELEVATION		12" OR GREATER STORMWATER PIPE
0.00	PROPOSED PAVEMENT ELEVATION		LESS THAN 12" STORMWATER PIPE
0.00	TOP OF SIDEWALK/CURB EDGE OF PAVEMENT		PROPOSED SURFACE STORMWATER FLOW
	DITCH BOTTOM INLET		PROPOSED SWALE STORMWATER FLOW
	CURB INLET		EXISTING CONTOUR
FFE	FINISH FLOOR ELEVATION		PROPOSED CONTOUR

EROSION CONTROL MEASURE NOTE

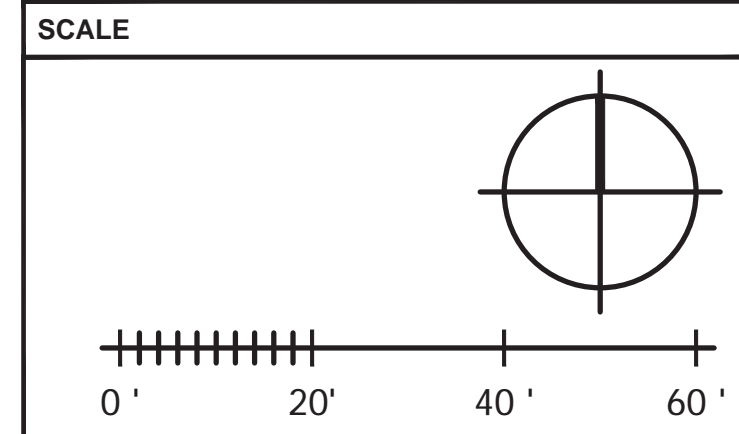
REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.

PAVING AND GRADING GENERAL NOTES

1. SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
2. SEE SITE PLAN SHEET FOR SITE DATA.
3. SEE SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
4. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
5. ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
6. ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
7. CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
8. THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.

ACCESSIBILITY NOTES

1. ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESS ROUTE SHALL BE A MINIMUM OF 48" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
4. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALK/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
5. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



bdg architects

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FIFTH THIRD BANK

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INFINITY

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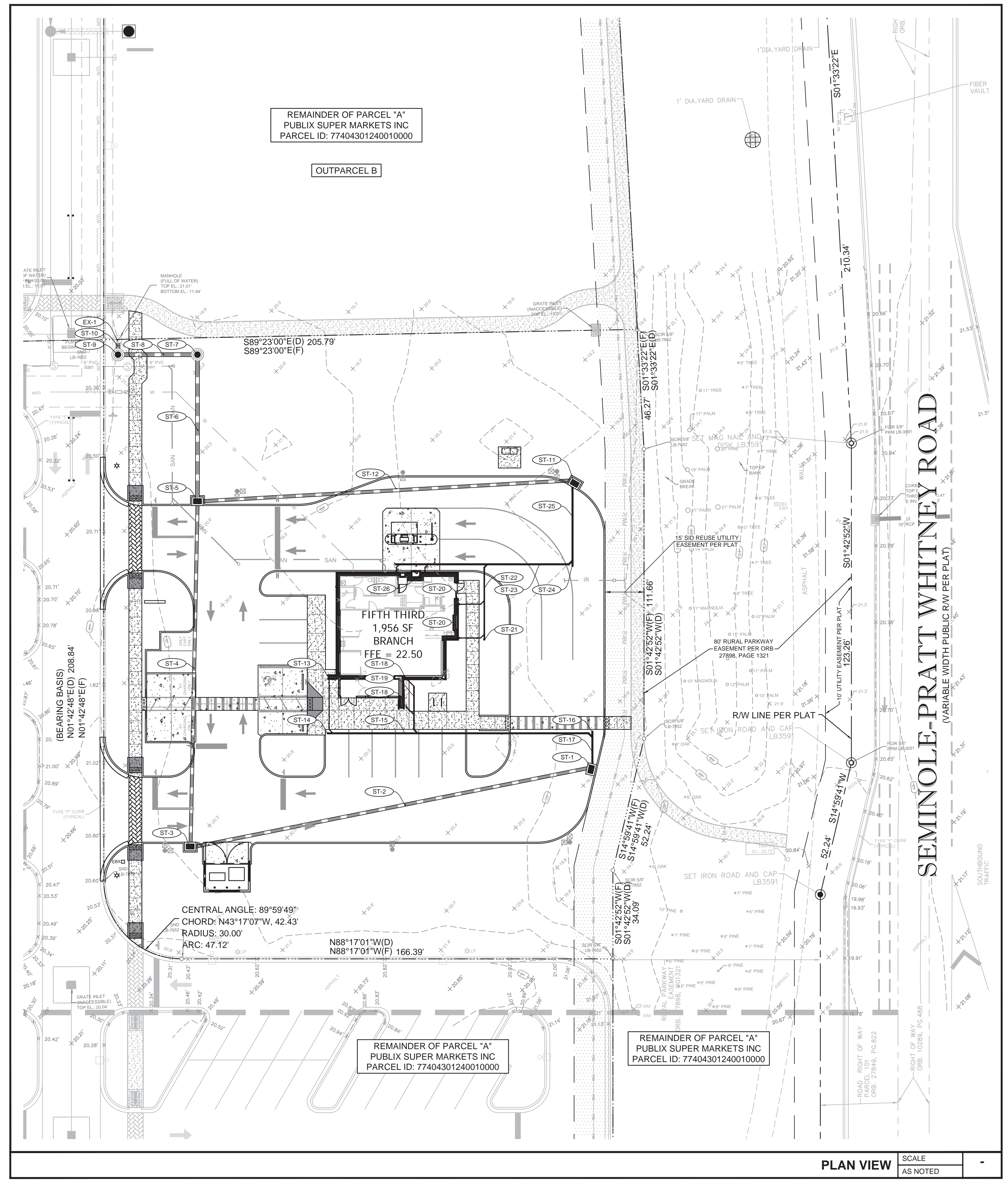
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		03/01/23	REVIEW SET

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DATE: 02/23/23
DRAWN BY: IEG
CHECKED BY: IEG

SHEET TITLE
GRADING PLAN

SHEET NUMBER
C03.01



EXISTING STORM STRUCTURE/PIPING DATA

EX-1	EXISTING MANHOLE
TOP	= 21.01'
BOTTOM EL	= 11.94'

STORM STRUCTURE/PIPING DATA

ST-1	TYPE "C" CATCH BASIN FDOT INDEX NO. 425-052 GRATE = 20.00 IE (N) = 18.50 IE (W) = 17.50	ST-14	CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 19.75
ST-2	155 LF OF 15" HDPE @ 0.5% SLOPE	ST-15	105 LF OF 8" PVC @ 1.0% MIN. SLOPE
ST-3	TYPE "C" CATCH BASIN FDOT INDEX NO. 425-052 GRATE = 20.50 IE (E) = 16.70 IE (N) = 16.70	ST-16	CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 18.70
ST-4	130 LF OF 15" HDPE @ 0.5% SLOPE	ST-17	13 LF OF 8" PVC @ 1.0% MIN. SLOPE
ST-5	TYPE "C" CATCH BASIN FDOT INDEX NO. 425-052 GRATE = 20.00 IE (S,N) = 16.80 IE (E) = 16.05	ST-18	BUILDING DOWNSPOUT AND CLEANOUT TOP TO BE SET AT GRADE WITH 4 LF OF 4" PVC PIPE @ 1.0% MIN. SLOPE IE = 22.00
ST-6	55 LF OF 18" HDPE @ 0.5% SLOPE	ST-19	20 LF OF 6" PVC @ 1.0% MIN. SLOPE
ST-7	TYPE "P" MANHOLE FDOT INDEX NO. 425-010 TOP = 20.00 IE (S,W) = 15.70	ST-20	BUILDING DOWNSPOUT AND CLEANOUT TOP TO BE SET AT GRADE WITH 10 LF OF 4" PVC PIPE @ 1.0% MIN. SLOPE IE = 20.00
ST-8	27 LF OF 18" HDPE @ 0.5% SLOPE	ST-21	CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 21.85
ST-9	TYPE "P" MANHOLE FDOT INDEX NO. 425-010 TOP = 21.25 IE (N,E) = 15.55	ST-22	30 LF OF 6" PVC @ 1.0% MIN. SLOPE
ST-10	2 LF OF 18" HDPE @ 1.0% SLOPE	ST-23	70 LF OF 8" PVC @ 1.0% MIN. SLOPE
ST-11	TYPE "C" CATCH BASIN FDOT INDEX NO. 425-052 GRATE = 20.00 IE (W) = 17.50 IE (S) = 18.85	ST-24	CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 19.20
ST-12	145 LF OF 15" HDPE @ 0.48% SLOPE	ST-25	30 LF OF 8" PVC @ 1.0% MIN. SLOPE
ST-13	BUILDING DOWNSPOUT AND CLEANOUT TOP TO BE SET AT GRADE WITH 25 LF OF 4" PVC PIPE @ 1.0% MIN. SLOPE IE = 20.00	ST-26	BUILDING DOWNSPOUT AND CLEANOUT TOP TO BE SET AT GRADE WITH 3 LF OF 4" PVC PIPE @ 1.0% MIN. SLOPE IE = 20.00

LEGEND

EL	ELEVATION
TYP	TYPICAL
CO	CLEANOUT
IE	INVERT ELEVATION
SE	SUMP ELEVATION
X49.58	EXISTING ELEVATION
■	DITCH BOTTOM INLET
■	CURB INLET
FFE	FINISH FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
○-23	STORM SEWER STRUCTURE NUMBER
DS	BUILDING DOWN SPOUT
—	12" OR GREATER STORMWATER PIPE
—	LESS THAN 12" STORMWATER PIPE
▶	DIRECTION OF PIPE FLOW
- - -	EXISTING CONTOUR
- - -	PROPOSED CONTOUR

CONTROL BENCHMARKS

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TBM #1: STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 77.6' NORTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PARCEL. EL.: 20.72' (NAV/D88)

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NOTE:
CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.

EROSION CONTROL MEASURE NOTE

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.

- PAVING AND GRADING GENERAL NOTES**
- SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
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 - SEE SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
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		03/01/23	REVIEW SET

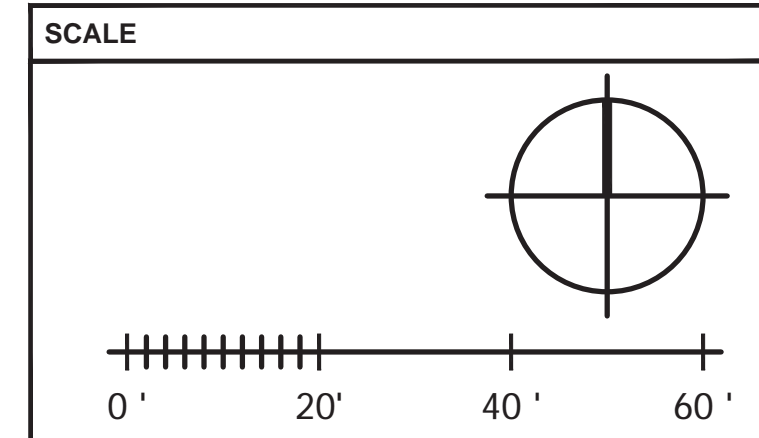
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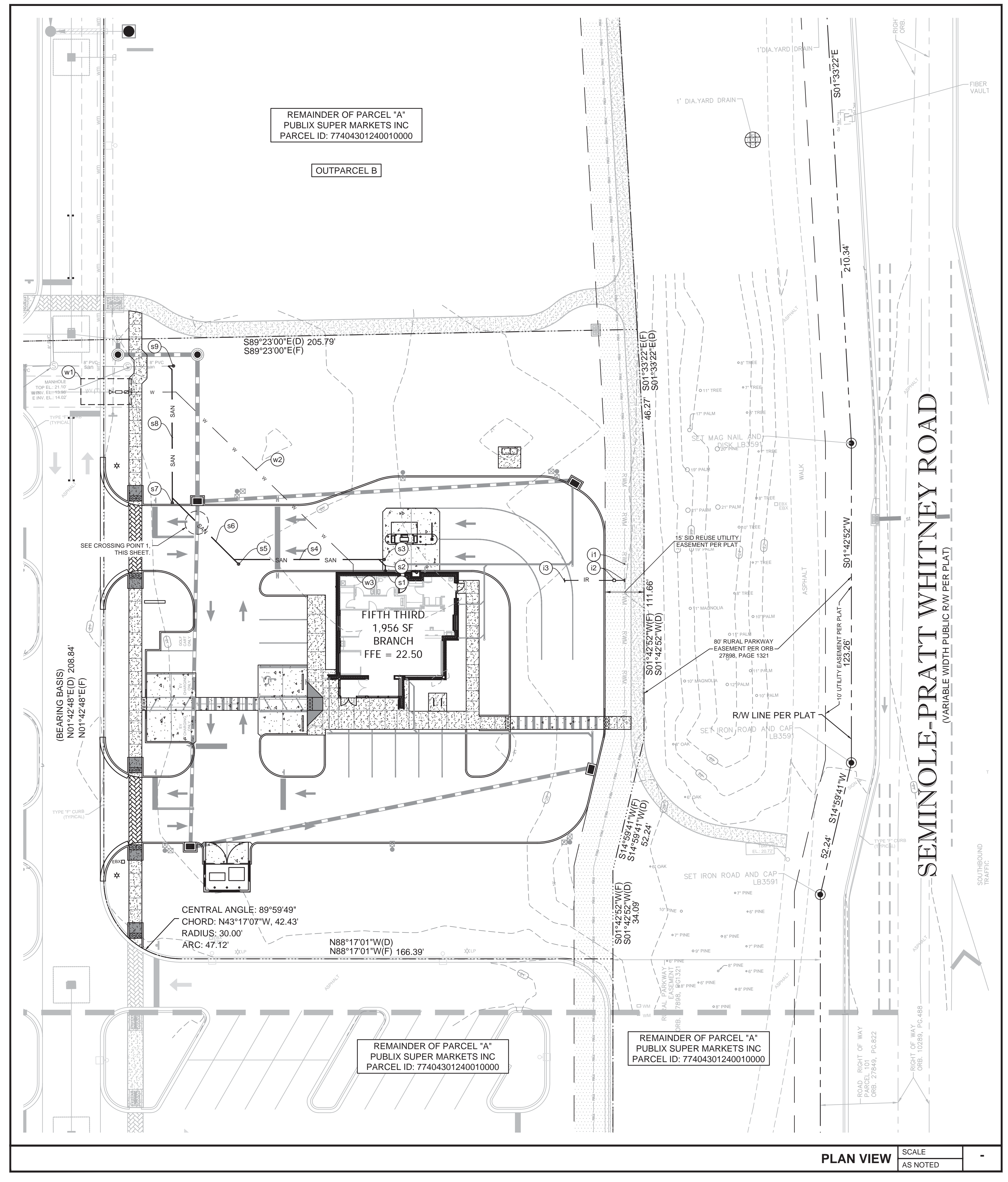
JOB #	220674
DATE:	02/23/23
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CHECKED BY:	IEG

SHEET TITLE
STORM PIPING PLAN

SHEET NUMBER
C03.02

PLAN VIEW SCALE AS NOTED





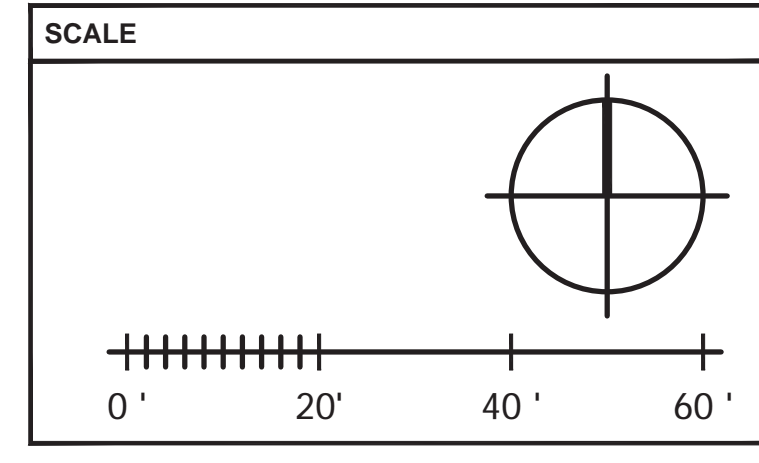
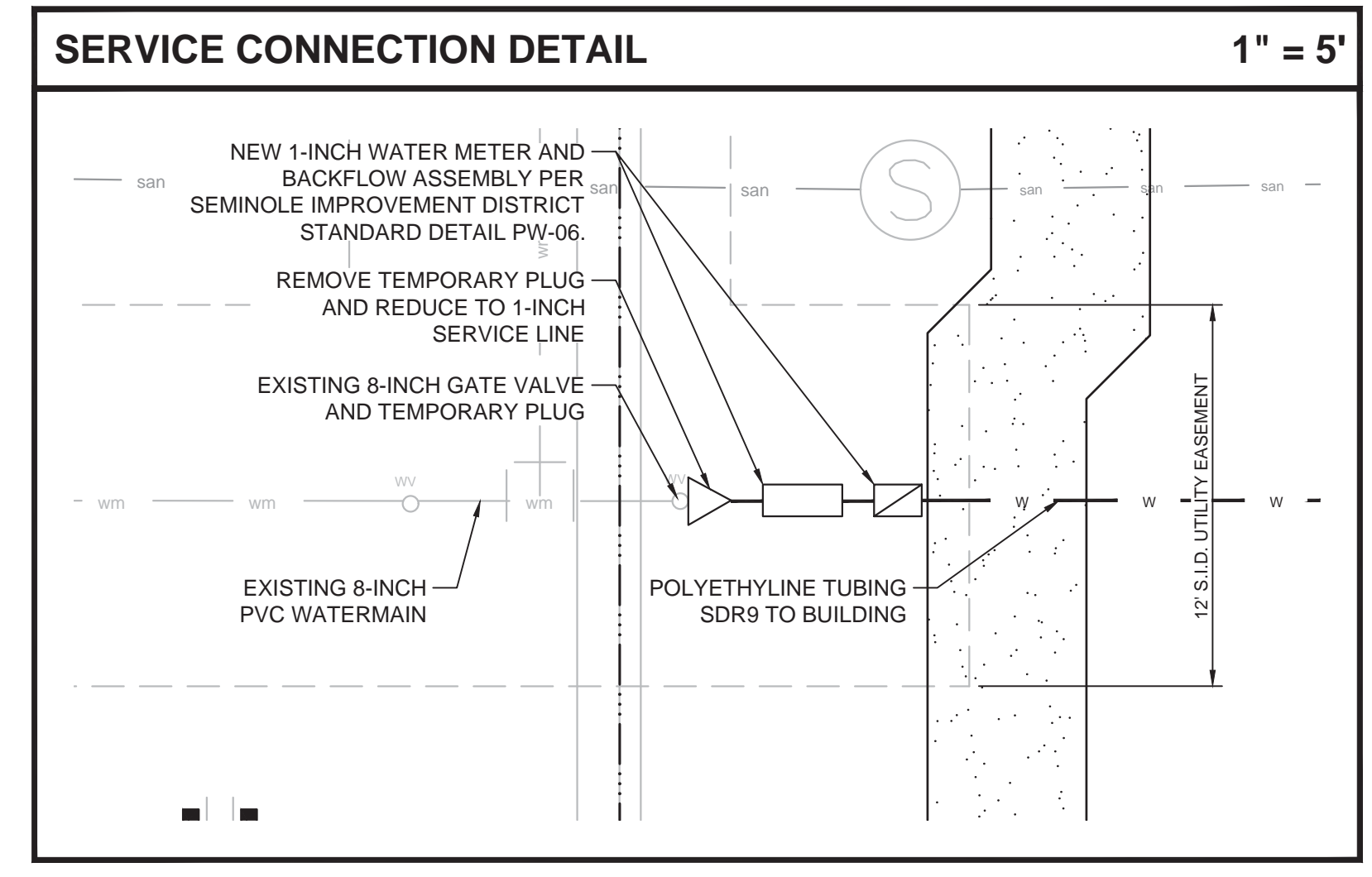
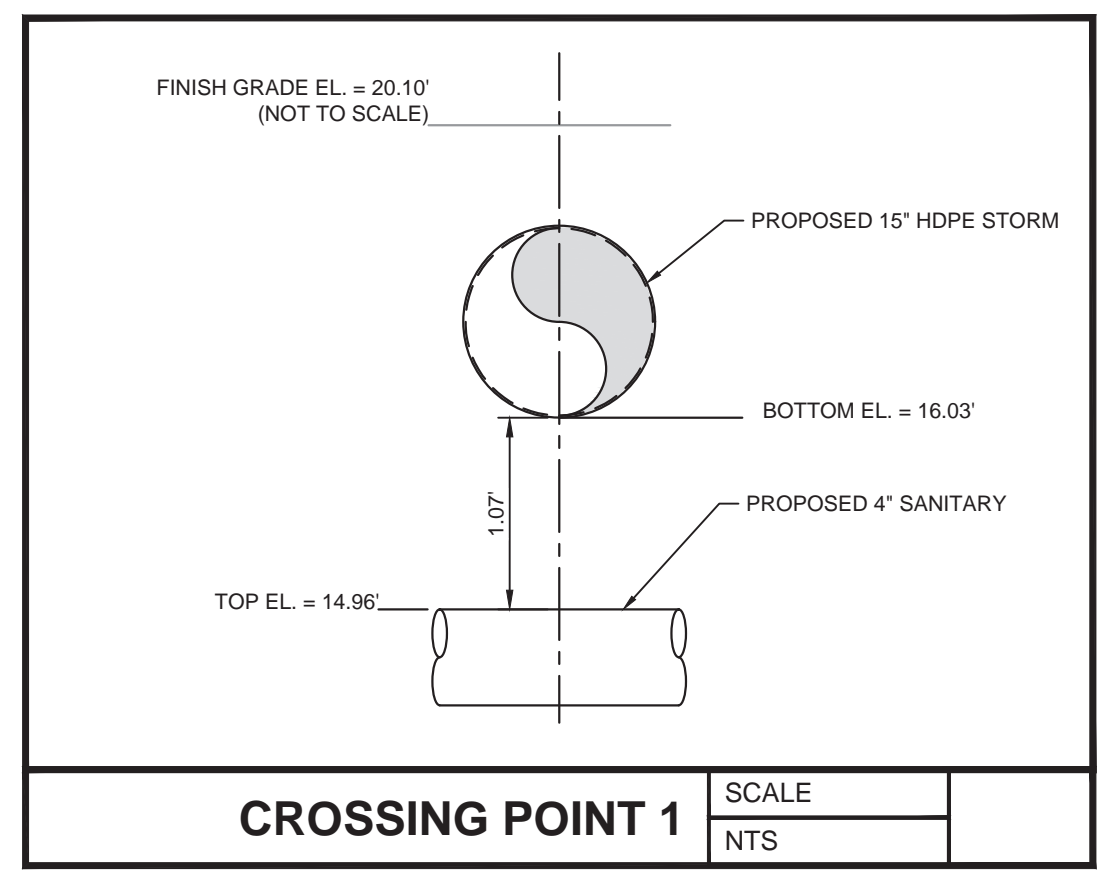
UTILITY SYSTEM DATA

WATER	
(W1)	SEE SERVICE CONNECTION DETAIL, THIS SHEET.
(W2)	125 LF 1-INCH SDR9 POLYETHYLENE TUBING.
(W3)	POINT OF CONNECTION TO BUILDING WATER MANIFOLD
SANITARY	
(S1)	4-INCH SEWER STUBOUT FROM BUILDING (BY PLUMBING CONTRACTOR). REFER TO BUILDING PLUMBING PLAN FOR EXACT LOCATION. CONSTRUCT SEWER CLEANOUT. CLEANOUT TOP ELEVATION SHALL MATCH PROPOSED GRADE ELEVATION. INV. EL. 19.50'
(S2)	5 LF - 4" SDR26 @ 6.85% SLOPE
(S3)	CONSTRUCT SEWER CLEAN OUT - IE. 19.15'
(S4)	55 LF - 4" SDR26 @ 6.85% SLOPE
(S5)	CONSTRUCT SEWER CLEAN OUT - IE. 14.70'
(S6)	35 LF - 4" SDR26 @ 1.0% SLOPE
(S7)	CONSTRUCT SEWER CLEAN OUT - IE. 14.50'
(S8)	55 LF - 4" SDR26 @ 1.0% SLOPE
(S9)	CONTRACTOR TO TIE INTO EXISTING SANITARY 10" SEWER LATERAL @ IE. - 14.02' CONSTRUCT SEWER CLEAN OUT
IRRIGATION	
(I1)	EXISTING 16-INCH REUSE MAIN
(I2)	16"X2" DOUBLE STRAP SERVICE SADDLE AND METER BOX PER SEMINOLE IMPROVEMENT DISTRICT STANDARD DETAIL RW-05.
(I3)	2-INCH RECLAIM / IRRIGATION LINE. REFER TO IRRIGATION PLAN FOR CONTINUATION. DR18 PVC, COLOR PURPLE.

LEGEND

TYP	TYPICAL
HC	HANDICAP
R	RADIUS
R/W	RIGHT-OF-WAY
[Symbol]	PROPOSED CONCRETE 6" OR LESS
[Symbol]	PROPOSED CONCRETE GREATER THAN 6"
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED SANITARY SERVICE
[Symbol]	PROPOSED GREASE WASTE
[Symbol]	PROPOSED FORCE MAIN
[Symbol]	PROPOSED WATER MAIN
[Symbol]	PROPOSED FIRE MAIN
[Symbol]	PROPOSED ELECTRIC SERVICE
[Symbol]	PROPOSED GAS SERVICE
[Symbol]	PROPOSED TELEPHONE SERVICE
[Symbol]	EXISTING SANITARY PIPE
[Symbol]	EXISTING WATER PIPE
[Symbol]	EXISTING RECLAIM WATER PIPE
[Symbol]	EXISTING UNDERGROUND POWER
[Symbol]	EXISTING OVERHEAD WIRE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING TELEPHONE LINE

- ### UTILITY NOTES
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
 - CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
 - CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO PROPERTY LINE) AND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OPERATIONS.
 - SEE SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
 - SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL UTILITY NOTES.
 - ALL ON-SITE PVC WATER SERVICE AFTER METER SHALL BE SDR9 POLYETHYLENE TUBING.
 - ALL CROSSINGS OF WATER AND SEWER LINES MUST MAINTAIN PROPER CLEARANCE (SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS).
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY/TOWNS STANDARD CONSTRUCTION AND UTILITY REQUIREMENTS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN.
 - ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.



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FIFTH THIRD BANK
WESTLAKE
OUT PARCEL C - WESTLAKE PLAZA
NWC SEMINOLE PRATT WHITNEY RD.
& PERSIMMON BLVD.
WESTLAKE, FLORIDA 33470



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FL REG. NO. 64085

Digitally signed by Nisit Sapparkhao
DN: c=US, st=Florida, l=Tampa, o=Infinity Engineering Group LLC, cn=Nisit Sapparkhao, email=nisit@ieggroup.net
Date: 2023.03.02 11:34:55 -06'00'
Adobe Acrobat DC
version: 2015.006.30527

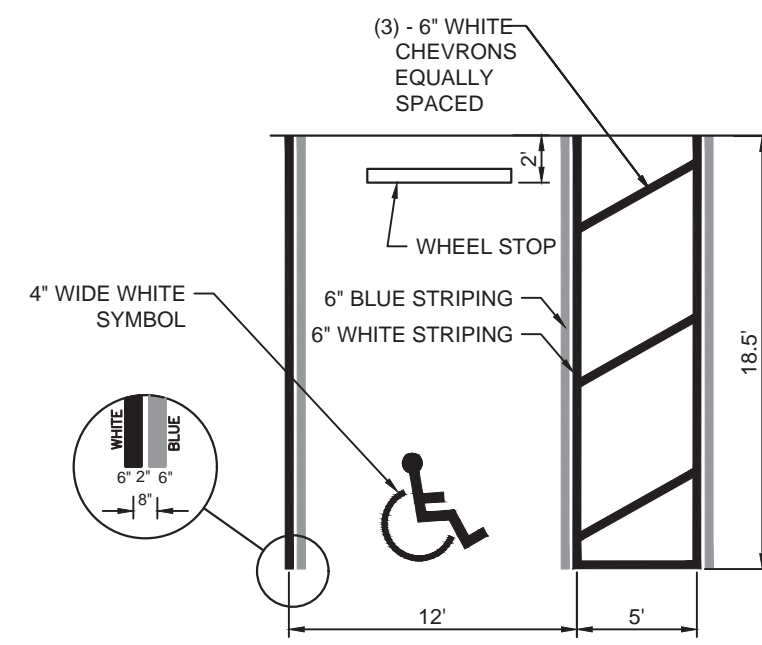
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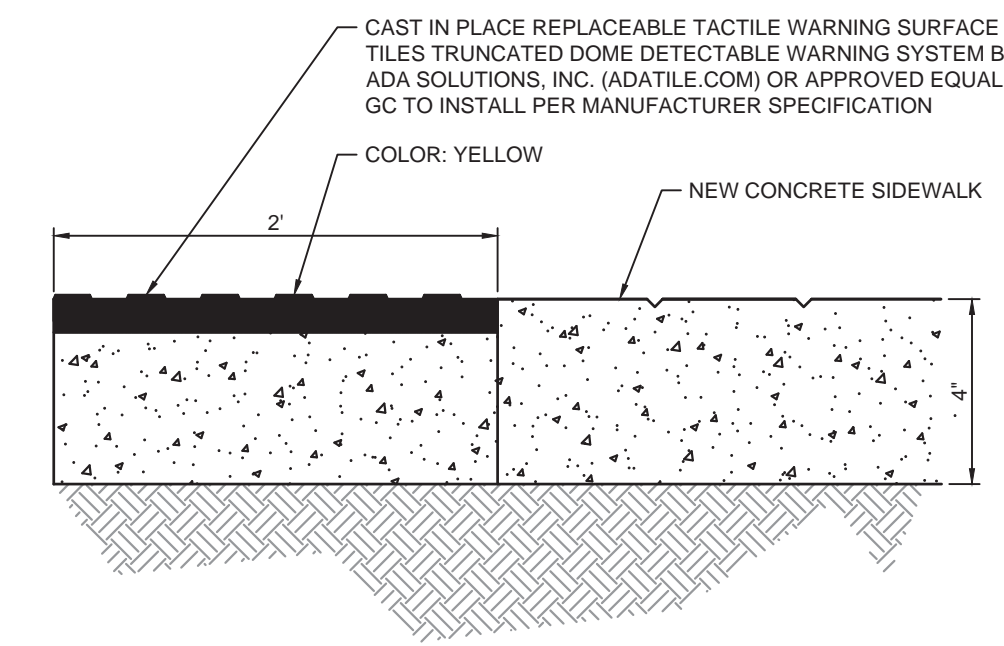
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UTILITY PLAN

SHEET NUMBER
C04.01

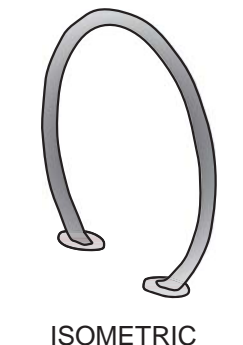


NOTE: DIMENSIONS ARE MEASURED FROM THE CENTER OF WHITE STRIPES

ACCESSIBLE PARKING DETAIL SCALE NTS **1**



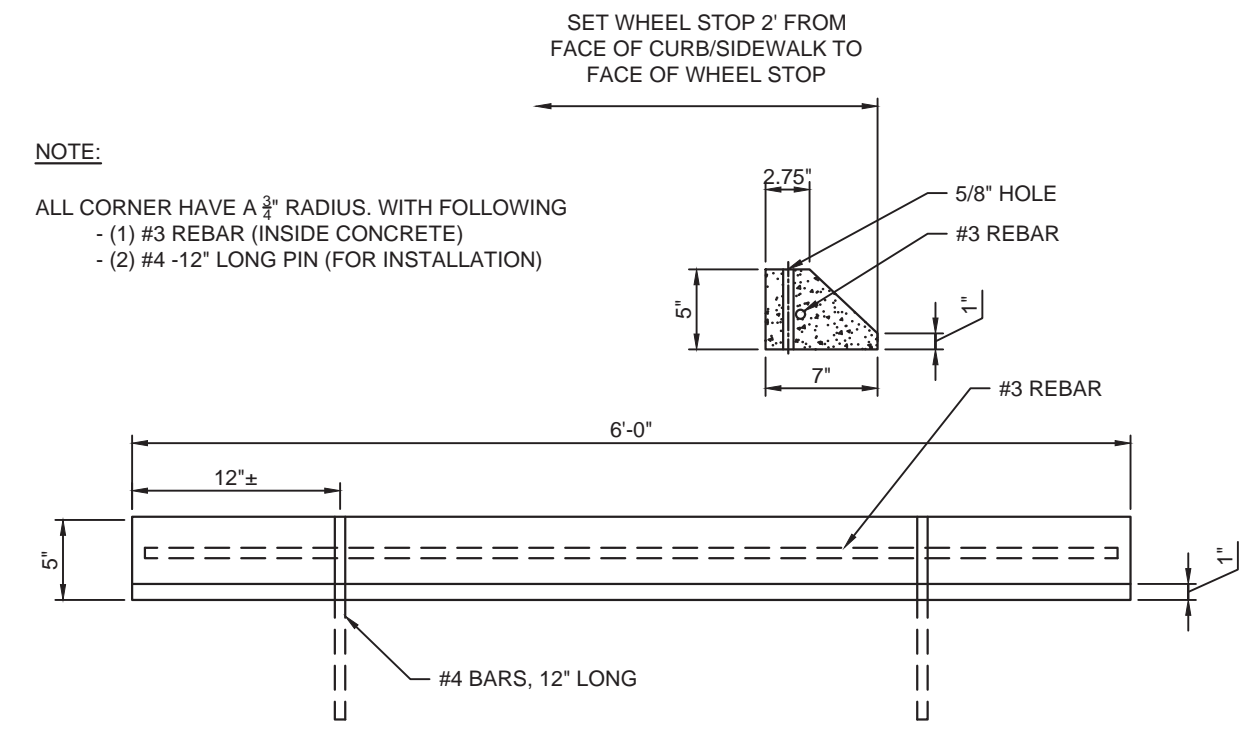
DETECTABLE WARNING SCALE NTS **2**



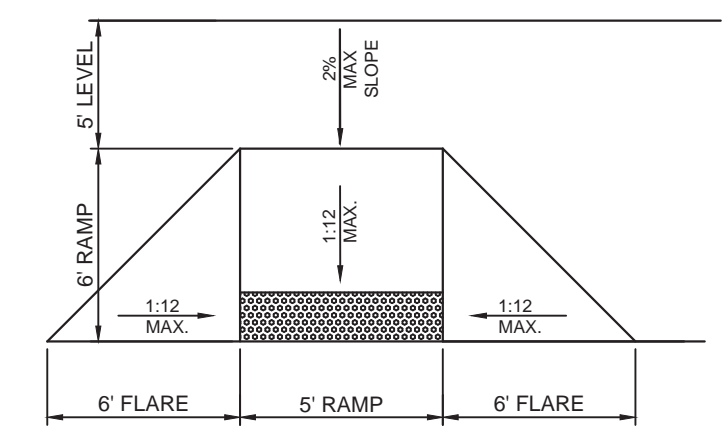
ISOMETRIC

MANUFACTURE: WAUSAU TILE INC. BRAND
 PRODUCT #: MF9024
 SIZE: 36" x 32.5" H
 WEIGHT: 81 LB
 FINISH: ALUMINUM
 FEATURES: CIRCLE BIKE RACK
 MOUNTING: SURFACE MOUNT (ASSEMBLY REQUIRED)

BIKE RACK SCALE NTS **3**



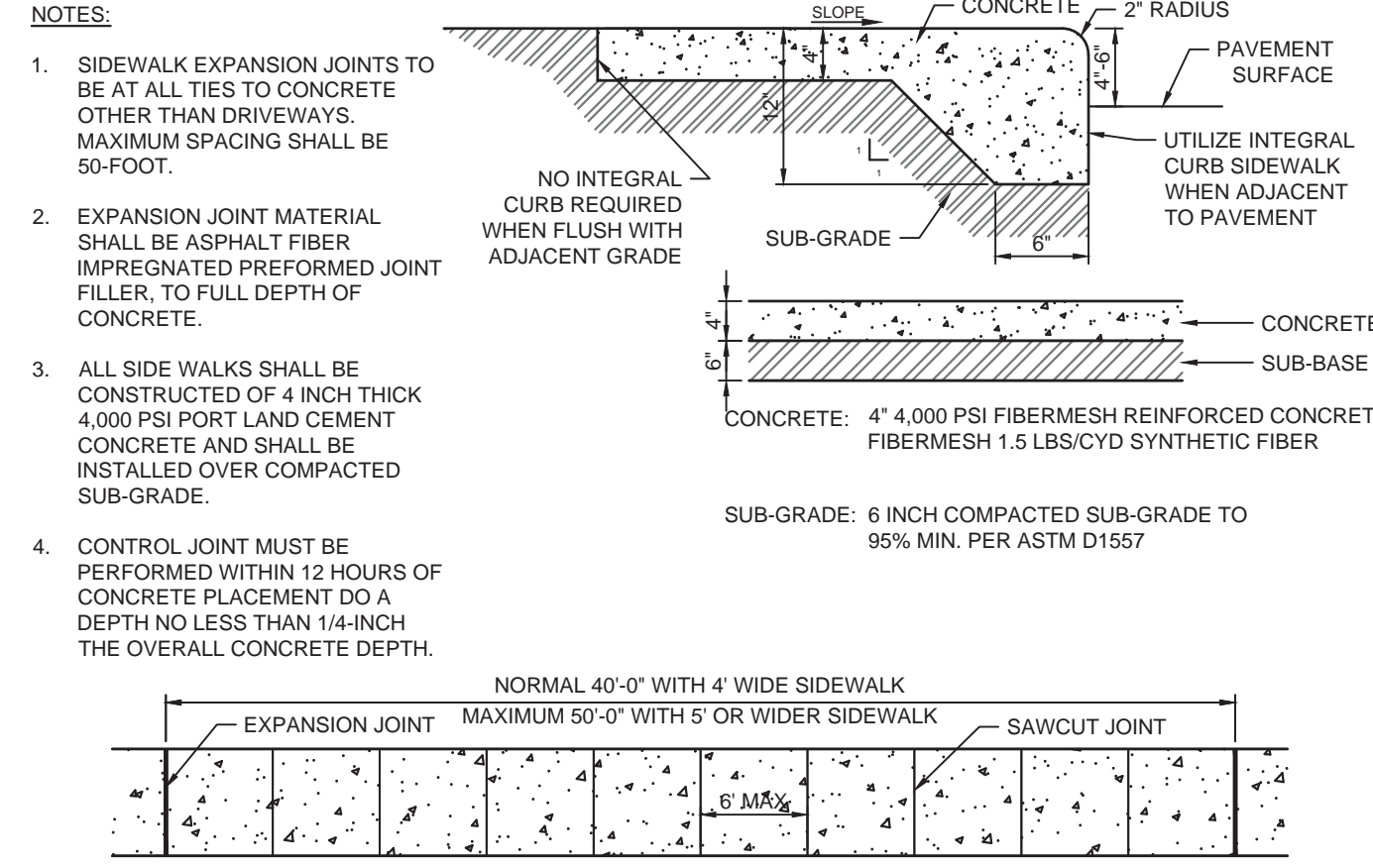
WHEEL STOP DETAIL SCALE NTS **4**



ACCESS RAMP CONSTRUCTION NOTES

- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDE
- RAMP CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

CURB RAMP SCALE NTS **5**

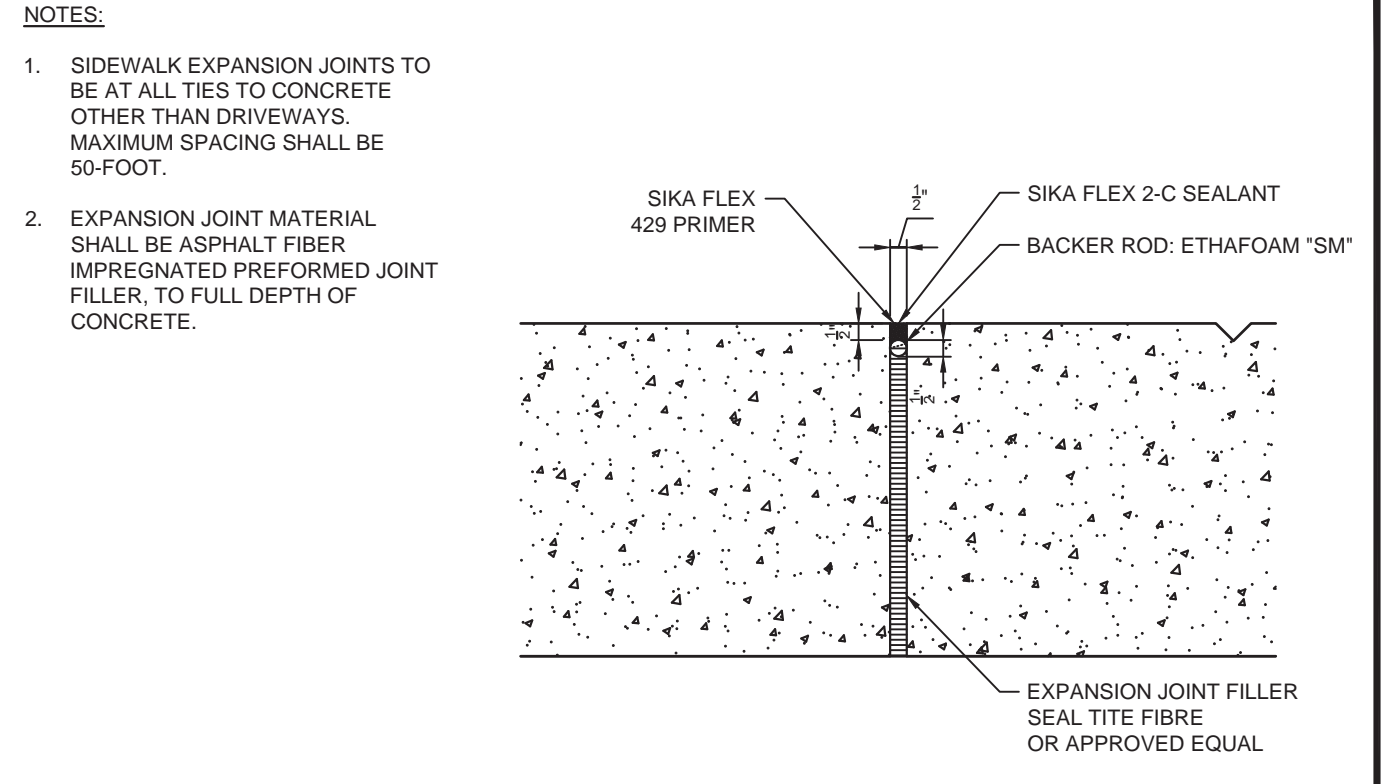


NOTES:

- SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 50' FOOT.
- EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FULL DEPTH OF CONCRETE.
- ALL SIDE WALKS SHALL BE CONSTRUCTED OF 4 INCH THICK 4,000 PSI PORT LAND CEMENT CONCRETE AND SHALL BE INSTALLED OVER COMPACTED SUB-GRADE.
- CONTROL JOINT MUST BE PERFORMED WITHIN 12 HOURS OF CONCRETE PLACEMENT TO A DEPTH NO LESS THAN 1/4-INCH THE OVERALL CONCRETE DEPTH.

CONCRETE: 4" 4,000 PSI FIBERMESH REINFORCED CONCRETE FIBERMESH 1.5 LBS/CYD SYNTHETIC FIBER
 SUB-GRADE: 6 INCH COMPACTED SUB-GRADE TO 95% MIN. PER ASTM D1557

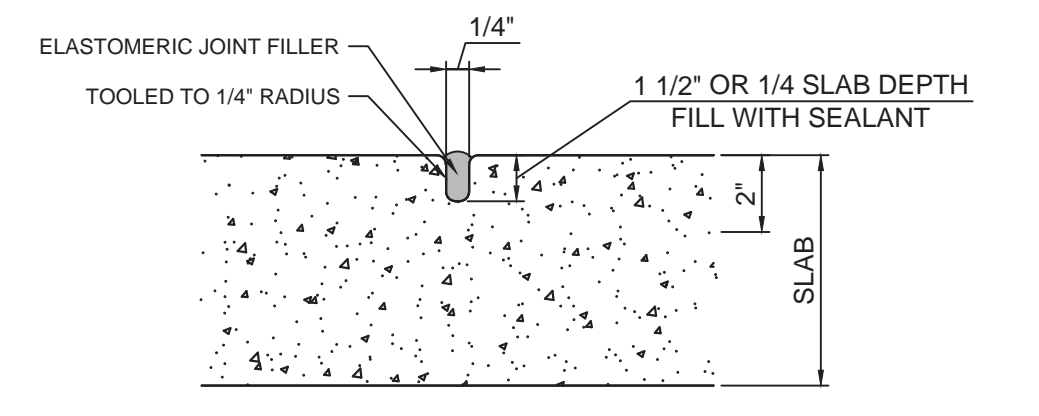
SIDEWALK SCALE NTS **6**



NOTES:

- SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 50' FOOT.
- EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FULL DEPTH OF CONCRETE.

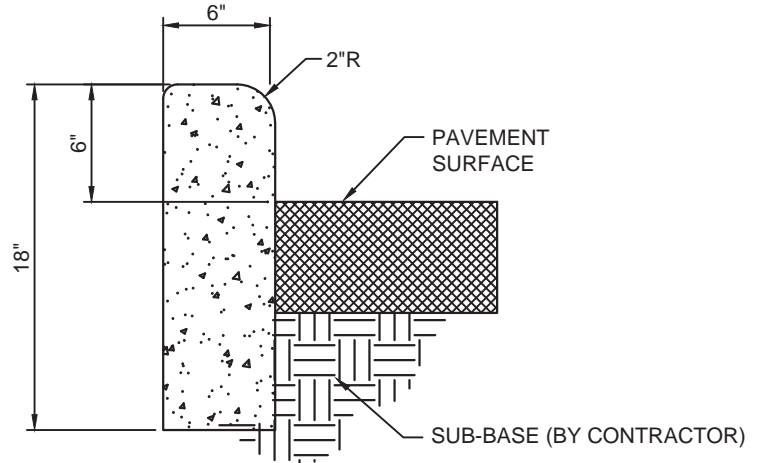
EXPANSION JOINT SCALE NTS **7**



NOTES:

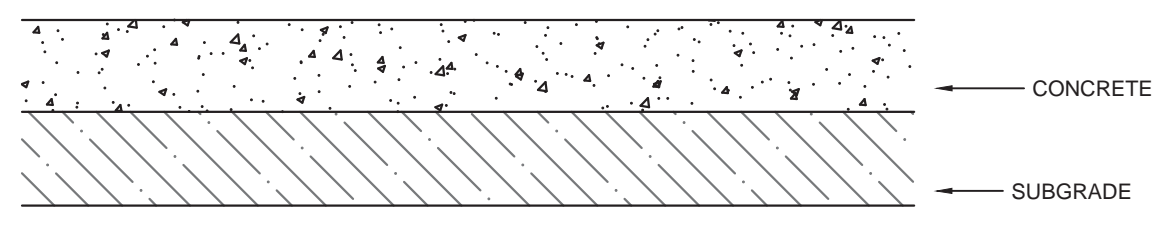
- CONTROL JOINT MUST BE PERFORMED WITHIN 12 HOURS OF CONCRETE PLACEMENT TO A DEPTH NO LESS THAN 1/4-INCH THE OVERALL CONCRETE DEPTH.

SAWCUT CONTROL JOINT SCALE NTS **8**



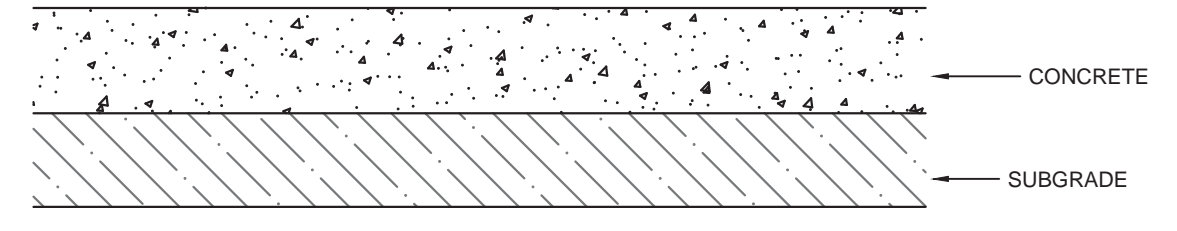
NOTE:
 TRANSVERSE JOINTS SHALL BE 1/2" FULL DEPTH ASPHALT IMPREGNATED FIBER EXP. JOINT RECESSED 1/4" IN FROM THE FRONT FACE AND TOP OF THE CURB @ 20:0" MAXIMUM.

6" CURB SCALE NTS **9**



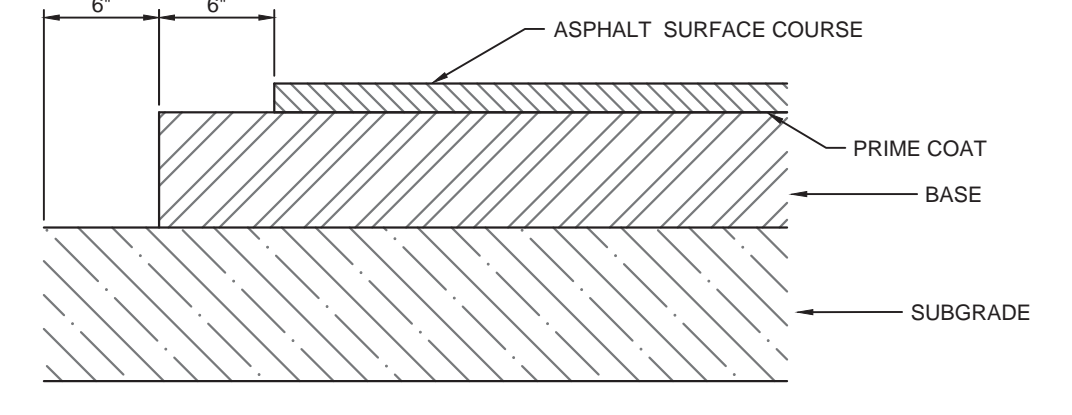
CONCRETE: 6-INCH THICKNESS 4,000 PSI 6'X6' W 1.4XW 1.4 WWF OR FIBERMESH 1.5 LBS/CYD SYNTHETIC FIBER LAMBERT CORPORATION DEEP BLACK - 3% TINT
 SUB-GRADE: 12-INCH COMPACTED SUB-GRADE LBR 40 COMPACTED TO 98% AASHTO T-180

BLACKTINT CONCRETE PAVEMENT SCALE NTS **10**



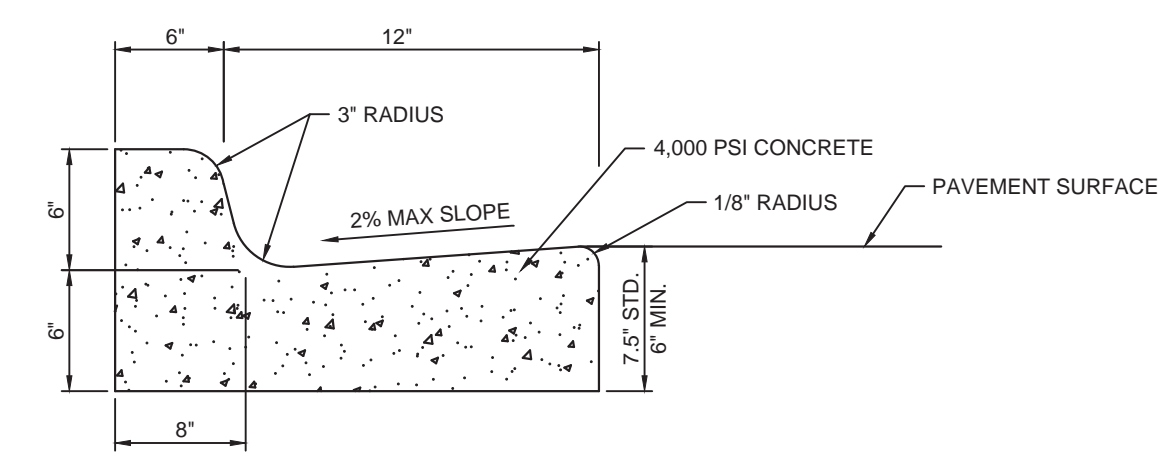
CONCRETE: 6-INCH THICKNESS 4,000 PSI 6'X6' W 1.4XW 1.4 WWF OR FIBERMESH 1.5 LBS/CYD SYNTHETIC FIBER
 SUB-GRADE: 12-INCH COMPACTED SUB-GRADE LBR 40 COMPACTED TO 98% AASHTO T-180

CONCRETE PAVEMENT SCALE NTS **11**

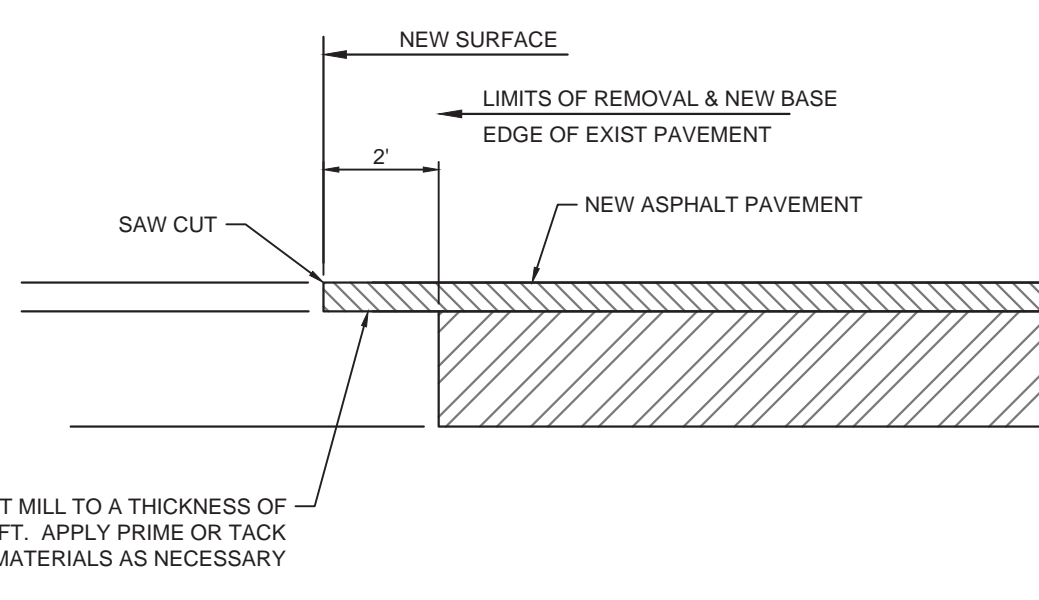


ASPHALT: 2-INCH FDOT SUPERPAVE SP-9.5 STRUCTURAL BASE COURSE
 BASE: 6-INCH LIMEROCK LBR 100 COMPACTED TO 98% OF AASHTO T-180
 SUB-GRADE: 12-INCH COMPACTED SUB-GRADE LBR 40 COMPACTED TO 98% AASHTO T-180

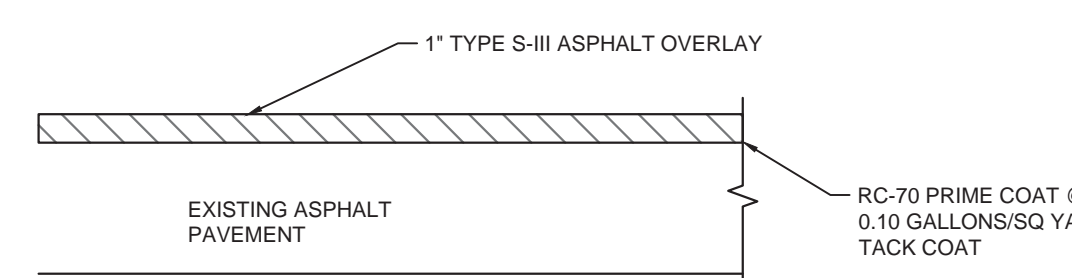
ASPHALT PAVEMENT SCALE NTS **12**



18" CURB AND GUTTER SCALE NTS **13**



EXISTING ASPHALT PAVEMENT CONNECTION SCALE NTS **14**



ASPHALT OVERLAY SCALE NTS **15**

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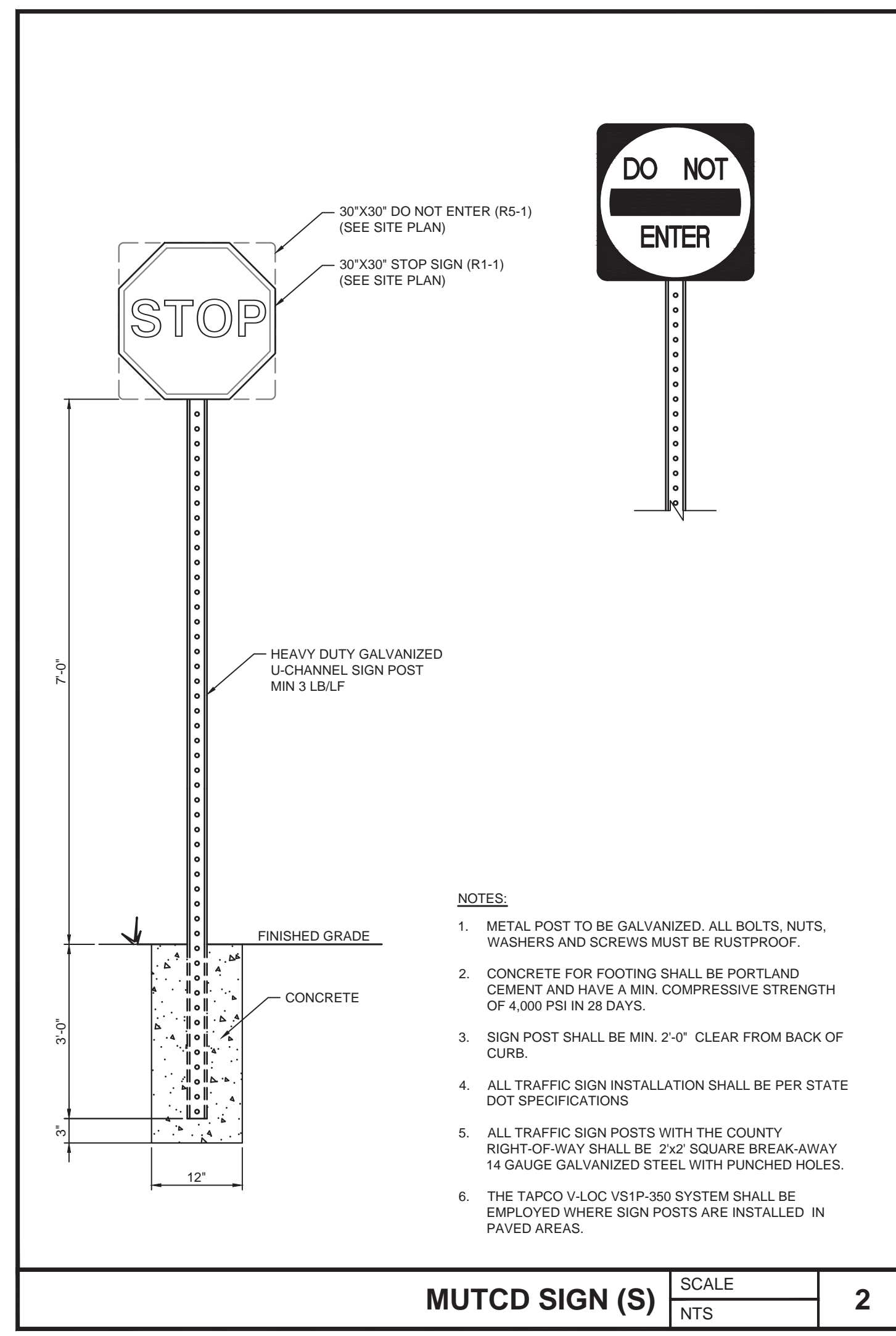
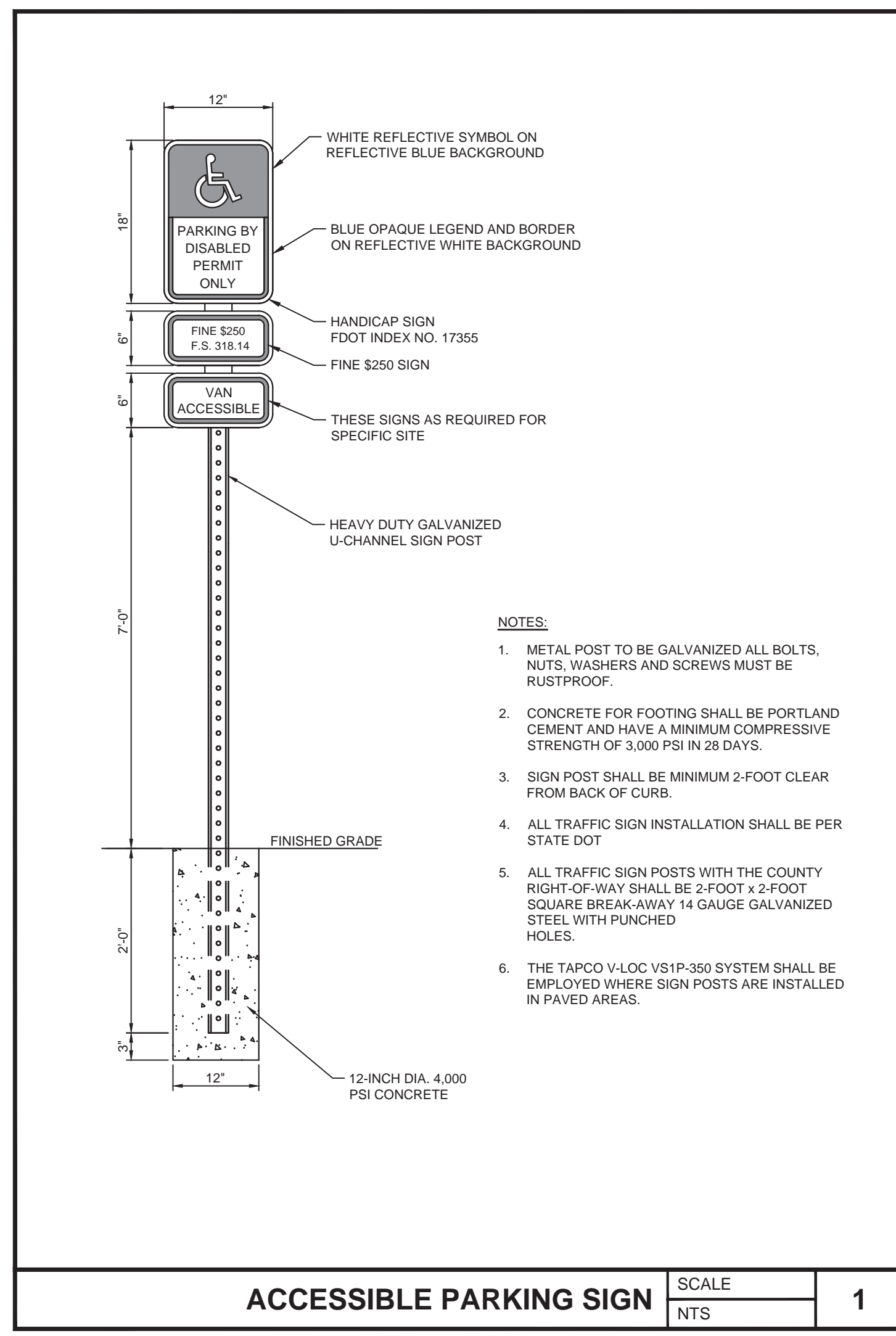
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SHEET TITLE

DETAILS

SHEET NUMBER



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