

## TIF PROGRAM PROJECTION

113 N. 7th Ave Rehab

|                             | 1997<br>ASSESSED<br>TAXES | POST CONSTR<br>PROJ ASSESSED<br>TAXES | PROJ TIF<br>YR 1 | PROJ TIF<br>YR 2 | PROJ TIF<br>YR 3 | PROJ TIF<br>YR 4 | PROJ TIF<br>YR 5 | TOTAL CRA   |
|-----------------------------|---------------------------|---------------------------------------|------------------|------------------|------------------|------------------|------------------|-------------|
| CITY                        | \$176.90                  | \$1,731.30                            | \$1,476.68       | \$1,476.68       | \$1,476.68       | \$1,476.68       | \$1,476.68       | \$7,383.40  |
| HC                          | \$343.58                  | \$2,376.00                            | \$1,930.80       | \$1,930.80       | \$1,930.80       | \$1,930.80       | \$1,930.80       | \$9,654.00  |
| TOTAL COLLECTED             |                           |                                       | \$3,407.48       | \$3,407.48       | \$3,407.48       | \$3,407.48       | \$3,407.48       | \$17,037.40 |
| TOTAL PAID TO PROJ @ 75%    |                           |                                       | \$2,555.61       | \$2,555.61       | \$2,555.61       | \$2,555.61       | \$2,555.61       | \$12,778.05 |
| TOTAL REMAINING IN CRA FUND |                           |                                       | \$851.87         | \$851.87         | \$851.87         | \$851.87         | \$851.87         | \$4,259.35  |

1997 taxable value - \$35,239

Current taxable value - \$120,200

Post Const taxable value - \$300,000

Applicant Name: Clay Cobb

Mailing Address: 1231 Kelly Ct, Wauchula, FL 33873

Business Name: The Madison Salon Addition

Property Owner Name: Clay Cobb

Property Address: 113 N 7th Ave, Wauchula, FL. 33873

Applicants Phone Number: (863)-781-0702 Email: clay@lcbconstruction.com

I hereby submit the following application for consideration by the Wauchula Community Redevelopment Agency Board. I understand that the request must be approved by the Board and that funding is not guaranteed. I also understand that award monies will be dispersed as defined in the Process section of the Information and Application packet.

I acknowledge that I have read and understand the program details and requirements.

I acknowledge the project must be completed according to the timeline submitted with this Application. Should any changes be made to the project without prior approval by the WCRA Board, I understand that the award will be void.

I acknowledge that the property to be improved does not have any delinquent ad valorem taxed and is free from all municipal and county liens, judgements, and encumbrances of any kind.

Print Name of Applicant Clay Cobb Applicant Signature  Date \_\_\_\_\_

Print Name of Property Owner Clay Cobb Property Owner Signature  Date \_\_\_\_\_

Staff Notes: \_\_\_\_\_



License No. CGC031692  
Tel: 863-773-3839/Fax: 863-773-3214  
401 South Sixth Avenue, Wauchula, Florida 33873

Wauchula Community Redevelopment Agency  
Commercial Revitalization Program

01/05/2025

The intent of this project is to restore and improve an existing vacant building located at 113 N 7<sup>th</sup> Avenue in Wauchula, FL 33873. This project will entail exterior and interior renovations to enhance the design of the existing structure. Interior framing will be completed to modify the layout for more efficient use followed by the necessary mechanical, electrical, plumbing, and finishes as needed. On the exterior, there will be stucco repairs, parapet walls built out and roofing work along with an awning placed at the front entrance. Windows and exterior renovations will be designed to match the existing Madison Salon for aesthetics and to beautify the building on Main Street Wauchula.

Project Location: 113 N 7<sup>th</sup> Avenue, Wauchula, FL 33873  
2025 Just (Market) Value: \$120,200.00  
Estimated Construction Cost: \$ +/- 375,000.00

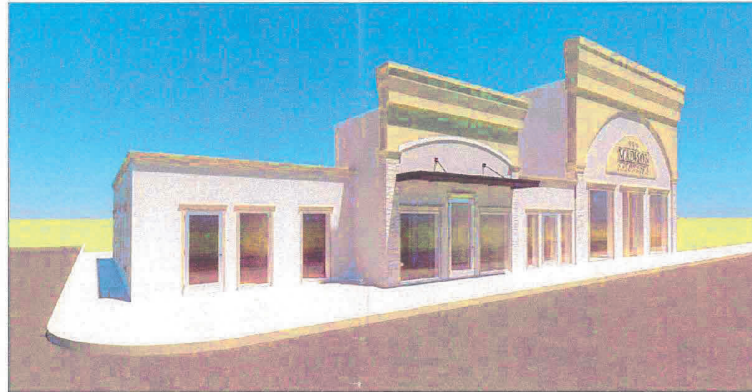
Thank you,

*Clay Cobb*

Clay Cobb

# MADISON ADDITION

113 N 7TH AVE, WAUCHULA,  
FL 33873



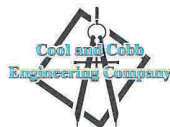
3-D RENDERING FOR ILLUSTRATION PURPOSES ONLY

| SHEET INDEX |                                  |
|-------------|----------------------------------|
| CS          | COVER SHEET                      |
| A1.0        | GENERAL NOTES                    |
| A1.1        | EXISTING CONDITIONS              |
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| A1.3        | ELEVATIONS                       |
| A1.4        | LIFE SAFETY PLAN                 |
| A1.5        | REFLECTED CEILING PLAN / DETAILS |
| A&1         | ADA REQUIREMENTS                 |

## LOCATION MAP



**CIVIL ENGINEER:**  
COOL AND COBB ENGINEERING COMPANY  
JAMES "MASON" COBB, P.E.  
FL. LIC. # 78600  
203 W. MAIN ST.  
AVON PARK, FL 33825  
OFFICE: (863) 657-2323



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JAMES "MASON" COBB, P.E.  
License No. 78600  
Friday, December 5, 2025

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USING A DIGITAL SIGNATURE

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CONTRACTOR

CLIENT  
CLAY COBB  
PROJECT  
MADISON ADDITION  
113th N. 7th AVE.  
WAUCHULA, FL 33873

BUILDING AREA

PHASE

REVISIONS

| DATE | REV # | DESCRIPTION OF REVISION |
|------|-------|-------------------------|
|      |       |                         |
|      |       |                         |
|      |       |                         |
|      |       |                         |
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|      |       |                         |

DRAWN BY: YD.  
CHECKED BY: J.M.C.  
SHEET # 1 OF 3

CS

JOB #: 25-121-149







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BUILDING AREA

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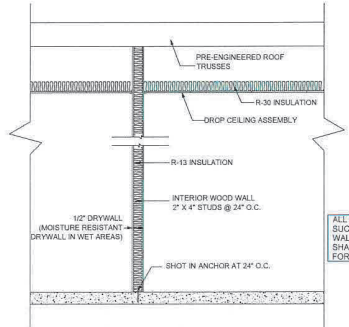
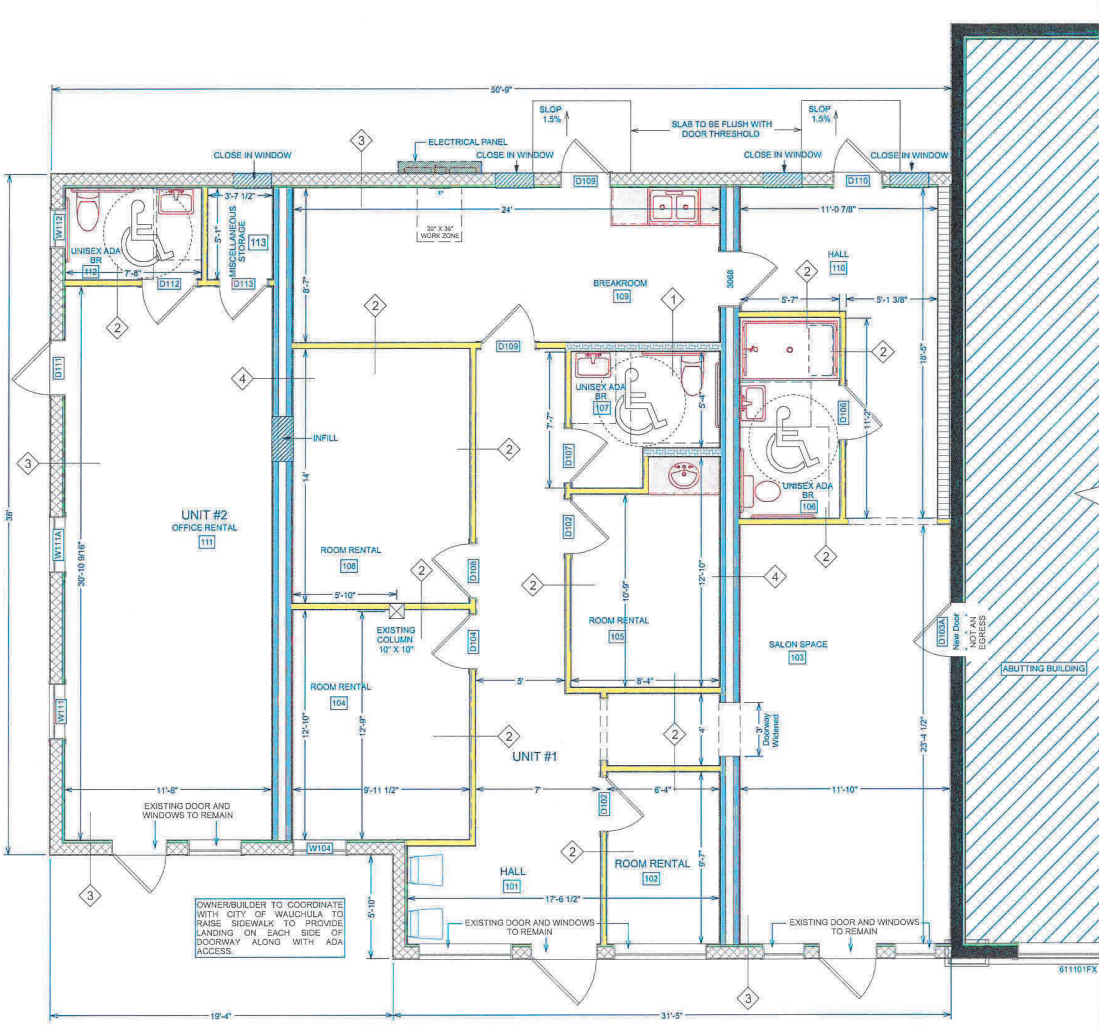
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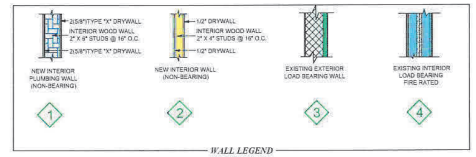
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SHEET # 4 OF 8

A1.2  
FLOOR  
PLAN

JOB #: 25-124-149



TYP. INTERIOR NO LOAD  
BEARING PARTITION  
SCALE: 1/2" = 1'-0"



DOOR NOTES:

1. SEPARATE ANY DISSIMILAR METALS WITH BITUMINOUS PAINT OR FELT PAPER.
2. PROVIDE BITUMINOUS COATING AT ALL HOLLOW METAL DOOR FRAMES THAT ARE IN CONCRETE AND GROUT FILLED.
3. PROVIDE SEALANT AROUND ALL FRAMES.
4. DOUBLE STUDS MINIMUM SHALL BE INSTALLED AT ALL STUD OPENINGS.
5. IN STUD CONSTRUCTION WALLS, ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
6. REFER TO DOOR SCHEDULE FOR FIRE RATING OF DOORS.
7. REFER TO SPECIFICATIONS FOR DOOR AND FRAME CONSTRUCTION, AND FINISHES.
8. DOOR AND FRAME PAINT SHALL BE KYNAR 500 PAINT SYSTEM, PAINTED AT THE FACTORY.
9. COLOR TO BE SELECTED OWNER'S REPRESENTATIVE AND COORDINATED WITH CONTRACTOR.
10. EXTERIOR DOORS SHALL MEET REQUIREMENTS OF MIAMI-DADE N.O.A. OR FLORIDA PRODUCT APPROVAL FOR HWZ AND WIND SPEED PRESSURES ON STRUCTURAL DRAWINGS. CONTRACTOR TO PROVIDE N.O.A. OR FLORIDA PRODUCT APPROVAL.
11. CONTRACTOR SHALL HIRE A DOOR HARDWARE SPECIALIST AND PROVIDE A COMPLETE LIST OF HARDWARE FOR ALL DOORS. CONTRACTOR TO PROVIDE ALL HARDWARE NECESSARY TO MEET THE DESIGN INTENT, TO BE FULLY FUNCTIONAL, AND MEET ALL APPLICABLE CODES.
12. REFER TO DOOR HARDWARE SPECIFICATION FOR HARDWARE GROUPS.
13. ALL RATED DOORS SHALL BE EQUIPPED WITH SELF CLOSING DEVICES AND COMPLY WITH NFPA 80.
14. THRESHOLD AT HANDICAPPED ACCESSIBLE DOORS SHALL NOT EXCESS 1/2" MAX. RISE DIFFERENTIAL.
15. ALL TOILET DOORS SHALL HAVE SELF CLOSING DEVICES.
16. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE, FIG. 11-4.13.9. ALL DOOR HANDLES TO BE LEVER TYPE & ACCESSIBLE HEIGHTS PER A.D.A. REQUIREMENTS.
17. LOCKS SHALL COMPLY WITH NFPA 101 7.2.1.5.1 & 7.2.1.5.2 AND SHALL BE OPENED READILY FROM THE EGRESS SIDE.
18. GC TO COORDINATE APPROPRIATE THRESHOLD DETAIL FROM DOOR DETAIL SHEET WITH FLOOR FINISHES ON EACH SIDE OF INTERIOR DOOR.

PROPOSED FLOOR PLAN  
SCALE: 5/16" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS FOR ACTUAL WINDOW. DIMENSIONS SHOWN ARE FOR REFERENCE ONLY.

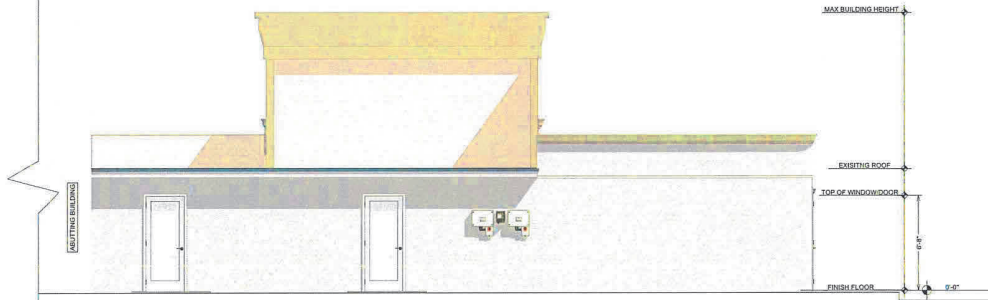
- D103A 3068 90 MIN FIRE DOOR WITH DOUBLE CYLINDER DEADBOLT, ADA PASSAGE HANDLE SET (NOT AN EGRESS)
- D102-D104-D105-D108-D109 3068 SOLID CORE WOOD DOOR WITH WOOD FRAME WITH ADA OFFICE LOCK HARDWARE SET
- D106-D107-D112 3068 SOLID CORE WOOD DOOR WITH WOOD FRAME (HARDWARE TO BE ADA COMPLIANT, PRIVACY LOCK HARDWARE SET)
- D113 2868 SOLID CORE WOOD DOOR WITH WOOD FRAME WITH CLASSROOM LOCKSET HARDWARE SET
- D111 3086 STOREFRONT HANDLE WITH ALUMINUM FRAME, KEYED DEADBOLT, DOOR CLOSER (BY OWNER/BUILDER)
- W104 3068 FIXED TEMPERED GLASS WINDOW WITH ALUMINUM FRAME (BY OWNER/BUILDER)
- W111-W111A 3253 FIXED TEMPERED GLASS WINDOW WITH ALUMINUM FRAME (BY OWNER/BUILDER)



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



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License No. 76000

Florida, December 5, 2025

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PROJECT  
MADISON ADDITION  
113th N, 7th AVE  
WAUCHULA, FL 33873

BUILDING AREA

PHASE

REVISIONS:  
DESCRIPTION OF REVISION

REV #

DATE

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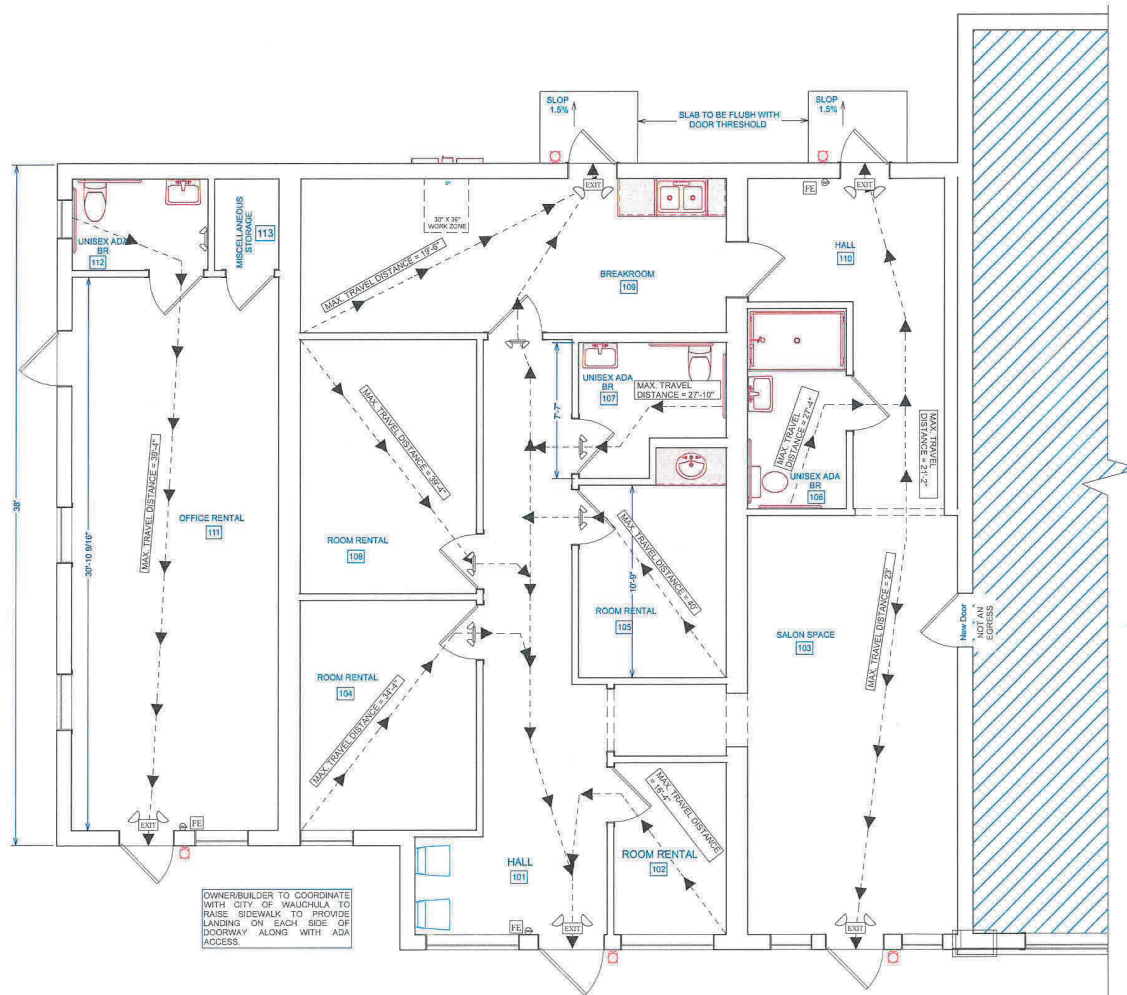
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SHEET # 4 OF 8

**A1.3**

ELEVATIONS

JOB #: 25-124-149



OWNER/BUILDER TO COORDINATE WITH CITY OF WAUCHULA TO RAISE SIDEWALK TO PROVIDE LANDINGS ON EACH SIDE OF DOORWAY ALONG WITH ADA ACCESS.

**LIFE SAFETY PLAN**

SCALE: 5/16" = 1'-0"

**OCCUPANCY CALCULATIONS**

BUSINESS STORAGE 2082 S.F. / 150 S.F. = 14 PERSONS  
24 S.F. / 300 S.F. = 1 PERSONS

TOTAL 15 PERSONS

EXIT ACCESS TRAVEL DISTANCE: 200 FEET MAXIMUM (PER FLORIDA BUILDING CODE, TABLE 1017.2)

COMMON PATH OF TRAVEL: NOT TO EXCEED 75 FEET. (PER FLORIDA BUILDING CODE, TABLE 1006.2.1)

DEAD END: 20 FEET MAXIMUM BUSINESS (PER FLORIDA BUILDING CODE 1020.5)

**LIFE SAFETY NOTES:**

MAXIMUM TRAVEL DISTANCE = 40'

MAXIMUM OCCUPANCY = 15 OCCUPANTS  
OCCUPANT COUNT - BASED UPON TABLE 1004.5 - 2023 FLORIDA BUILDING CODE.  
OCCUPANCY CLASSIFICATION: GROUP-B  
CONSTRUCTION TYPE: VB

NON-SPRINKLED  
FIRE ALARM NOT REQUIRED

FIRE EXTINGUISHERS MUST MEET SECTION 906 OF THE 2023 FLORIDA BUILDING CODE

| FIRE EXTINGUISHER REQUIREMENTS (ORDINARY HAZARD)                |              |
|---|--------------|
| CLASS "A" FIRE HAZARDS (NFPA 1, TABLE 13.6.3.3.1.1)             |              |
| BUILDING AREA (MAX. AREA PER UNIT OF "A" REQUIRED UNITS OF "A") | 2            |
| 2106 Sq. Ft.  | 1500 Sq. Ft. |
| 3 EXTINGUISHERS PROVIDED  |              |
| CLASS "B" FIRE HAZARDS (NFPA 1, TABLE 13.6.3.3.1.1)             |              |
| MAX. TRAVEL DISTANCE TO EXTINGUISHER = 40' (10-B-C)             |              |

| LEGEND |  |
|--------|--|
| FE     | FIRE EXTINGUISHER - 2A:10BC                              |
| FEC    | FIRE EXTINGUISHER CABINET - 2A:10BC EXTINGUISHER         |
|        | EMERGENCY LIGHT & BATTERY BACKUP                         |
|        | EMERGENCY EXIT SIGN w/ EMERGENCY LIGHTS & BATTERY BACKUP |
|        | EGRESS TRAVEL PATH                                       |

**EMERGENCY LIGHT NOTES**

- WHERE MAINTENANCE OF ILLUMINATION DEPENDS ON CHANGING FROM ONE ENERGY SOURCE TO ANOTHER, A DELAY OF NOT MORE THAN 10 SECONDS SHALL BE PERMITTED.
- EMERGENCY ILLUMINATION SHALL BE PROVIDED FOR A MINIMUM OF 1 1/2 HOURS IN THE EVENT OF FAILURE OF NORMAL LIGHTING. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FT-CANDLE (10.8 LUX) AND, AT ANY POINT, NOT LESS THAN 0.1 FT-CANDLE (1.1 LUX), MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO NOT LESS THAN AVERAGE OF 0.6 FT-CANDLE (6.5 LUX) AND, AT ANY POINT, NOT LESS THAN 0.06 FT-CANDLE (0.65 LUX AT THE END OF 1 1/2 HOURS. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.
- NEW EMERGENCY POWER SYSTEMS FOR EMERGENCY LIGHTING SHALL BE AT LEAST TYPE 10, CLASS 1 S, LEVEL 1, IN ACCORDANCE WITH NFPA 110, STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS.
- THE EMERGENCY LIGHTING SYSTEM SHALL BE ARRANGED TO PROVIDE THE REQUIRED ILLUMINATION AUTOMATICALLY IN THE EVENT OF ANY INTERRUPTION OF NORMAL LIGHTING DUE TO ANY OF THE FOLLOWING:
  - FAILURE OF A PUBLIC UTILITY OR OTHER OUTSIDE ELECTRICAL POWER SUPPLY
  - OPENING OF A CIRCUIT BREAKER OR FUSE
  - MANUAL ACT(S), INCLUDING ACCIDENTAL OPENING OF A SWITCH CONTROLLING NORMAL LIGHTING FACILITIES.
- UNIT EQUIPMENT AND BATTERY SYSTEMS FOR EMERGENCY LUMINARIES SHALL BE LISTED TO ANSI/UL 924, STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS.
- EXISTING BATTERY-OPERATED EMERGENCY LIGHTS SHALL USE ONLY RELIABLE TYPES OF RECHARGEABLE BATTERIES PROVIDED WITH SUITABLE FACILITIES FOR MAINTAINING THEM IN PROPERLY CHARGED CONDITION. BATTERIES USED IN SUCH LIGHTS OR UNITS SHALL BE APPROVED FOR THEIR INTENDED USE AND SHALL COMPLY WITH NFPA 70, NATIONAL ELECTRICAL CODE.



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CLIENT  
CLAY COBB  
PROJECT  
MADISON ADDITION  
113th N, 7th AVE.  
WAUCHULA, FL 33873

BUILDING AREA

PHASE

| REVISION | DATE | DESCRIPTION OF REVISION |
|----------|------|-------------------------|
|          |      |                         |
|          |      |                         |
|          |      |                         |
|          |      |                         |

DRAWN BY: Y.D.  
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SHEET # OF 8

**A1.4**  
LIFE SAFETY PLAN

JOB #: 25-124-149



