



**CITY OF WAUCHULA
PRELIMINARY PLAT
STAFF REPORT**

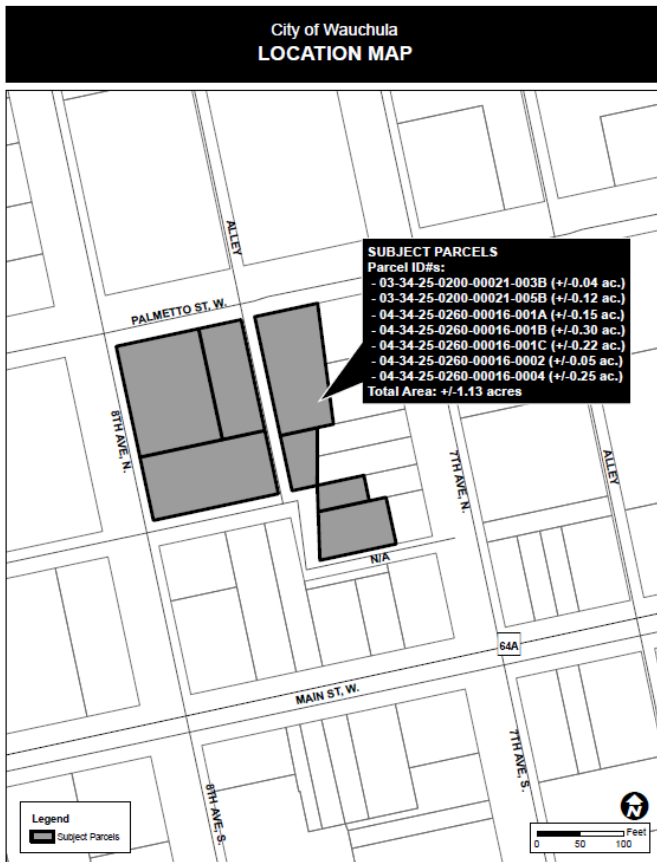
TO: City of Wauchula Planning and Zoning Board

PREPARED BY: Central Florida Regional Planning Council

AGENDA DATE: March 16, 2026

REQUESTED ACTION: CONSISTENT WITH SECTION 7.06.05.01(C)(2), THE PLANNING AND ZONING BOARD SHALL APPROVE, APPROVE WITH CONDITIONS, OR DISAPPROVE THE PRELIMINARY PLAT FOR THE GARDENS AT MIDTOWN PROJECT FOR A PUBLIC PARKING LOT AND TOWNHOMES; A REPLAT OF A PORTION OF THE CARLTON AND MCEWEN ADDITION TO THE CITY OF WAUCHULA PLAT, THE PLAT OF THE TOWN OF WAUCHULA, AND THE ORIGINAL SURVEY OF THE CITY OF WAUCHULA;

CONTAINING APPROXIMATELY +/-1.50 ACRES INCLUDING PARCELS AND EXISTING RIGHT-OF-WAY LOCATED AT 217 WEST PALMETTO STREET, 120 N 8TH AVE, 211 W PALMETTO ST, 207 W PALMETTO STREET, 0 PALMETTO STRET, AND NORTH 7TH AVENUE (PARCEL NUMBERS 04-34-25-0260-00016-001B, 04-34-0260-00016-001A, 04-34-24-026000016-001C, 04-35-25-0260-00016-0002, 04-34-25-0260-00016-0004, 03-34-25-0200-00021-003B, AND 03-34-25-0200-00021-005B).



PRELIMINARY SUBDIVISION PLAT

Per Section 7.06.05 of the Land Development Code, the purpose of the Preliminary Subdivision Plat (PSP) is to provide sufficient information regarding a proposed development to enable the City to evaluate the proposed subdivision as it relates to the Comprehensive Plan and the Unified Land Development Code, to allow city staff to perform a technical review of all proposed site improvements, and to serve as the basis upon which the final plat is prepared. Upon approval of the PSP, the applicant may prepare construction plans for public infrastructure improvements.

Approval of the Preliminary Plat by the Planning and Zoning Board shall be deemed an expression of approval of the subdivision layout, and nothing more, and a motion shall be so made, and shall be reported to the City Commission. Preliminary Subdivision Plans remain valid for one year from the date of approval.

ANALYSIS

The Preliminary Subdivision Plat is consistent with the Comprehensive Plan and the Land Development Code. As shown on the attached map, the property is located within the area identified as having to meet the building and design standards (Section 2.06.00). These standards are applicable to all uses except those included as "single family" on the Table of Land Uses. The proposed townhouses will have to meet the requirements of this Section.

Category/Use	AG	FR	R-1A	R-1	R-2	R-3	R-4	P-1	HC-1	C-1	C-2	I	P/SP	CON
Single-Family														
Single-family, std. construction and modular	P	P	P	P	P	P	P	P	S	S	S			S
Single-family, manufactured home (mobile home)	P	P					PC							S
Manufactured Home Subdivision							PC							
Mobile Home Park							S							
Single-family, Cluster subdivision (see Section 7.07.01)	S	S	S	S	S	S	S							
Dwelling, Zero Lot Line homes (see Section 7.07.02)	PC	PC	PC	PC	PC	PC	PC							
Duplex, two family					P	P			P	P	P			

The Preliminary Plat is consistent with the intent of the Land Development Code.

PROPOSED PRELIMINARY SUBDIVISION PLAT CONDITIONS

The following conditions are recommended for the Preliminary Subdivision Plat:

1. The Final Plat will includes an easement to identify the location of the existing utilities in the existing alley that is to be vacated as part of this replat.

2. Prior to development of the townhouses, the developer of the Townhouses and the City will establish an easement to provide access to the townhouse sites and address shared stormwater.
3. Prior to development of the townhouses, a Homeowner's Association document will have to be recorded to cover the property not included within the individual townhouse lots.

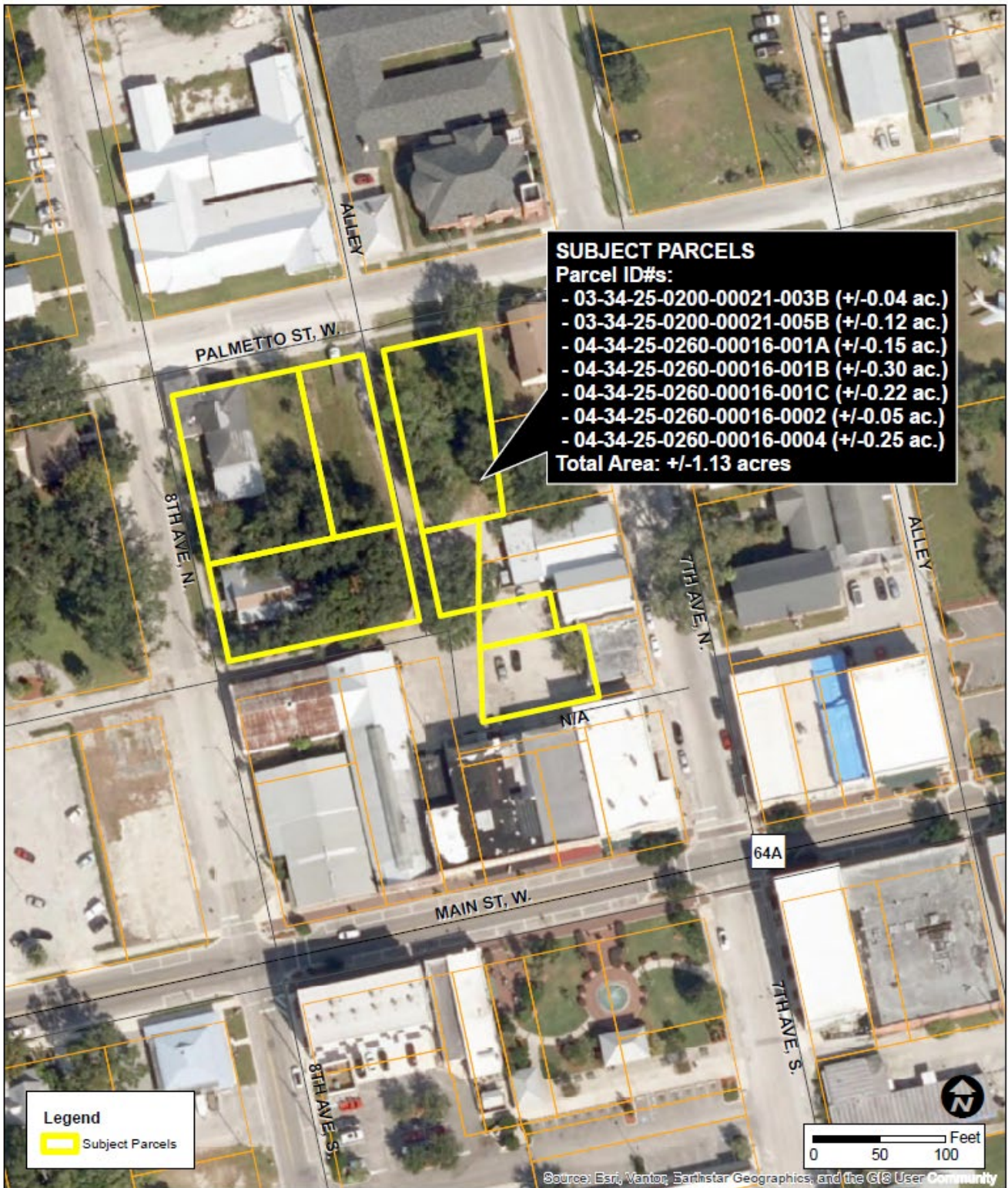
PLANNING COMMISSION MOTION OPTIONS:

1. I move **approval** of the preliminary plat for the proposed Gardens at Midtown Subdivision.
2. I move **approval with changes** to the preliminary plat for the proposed Gardens at Midtown Subdivision.
3. I move **denial** of the preliminary plat for the proposed Gardens at Midtown Subdivision.
4. I move **continuation to a date and time certain**.

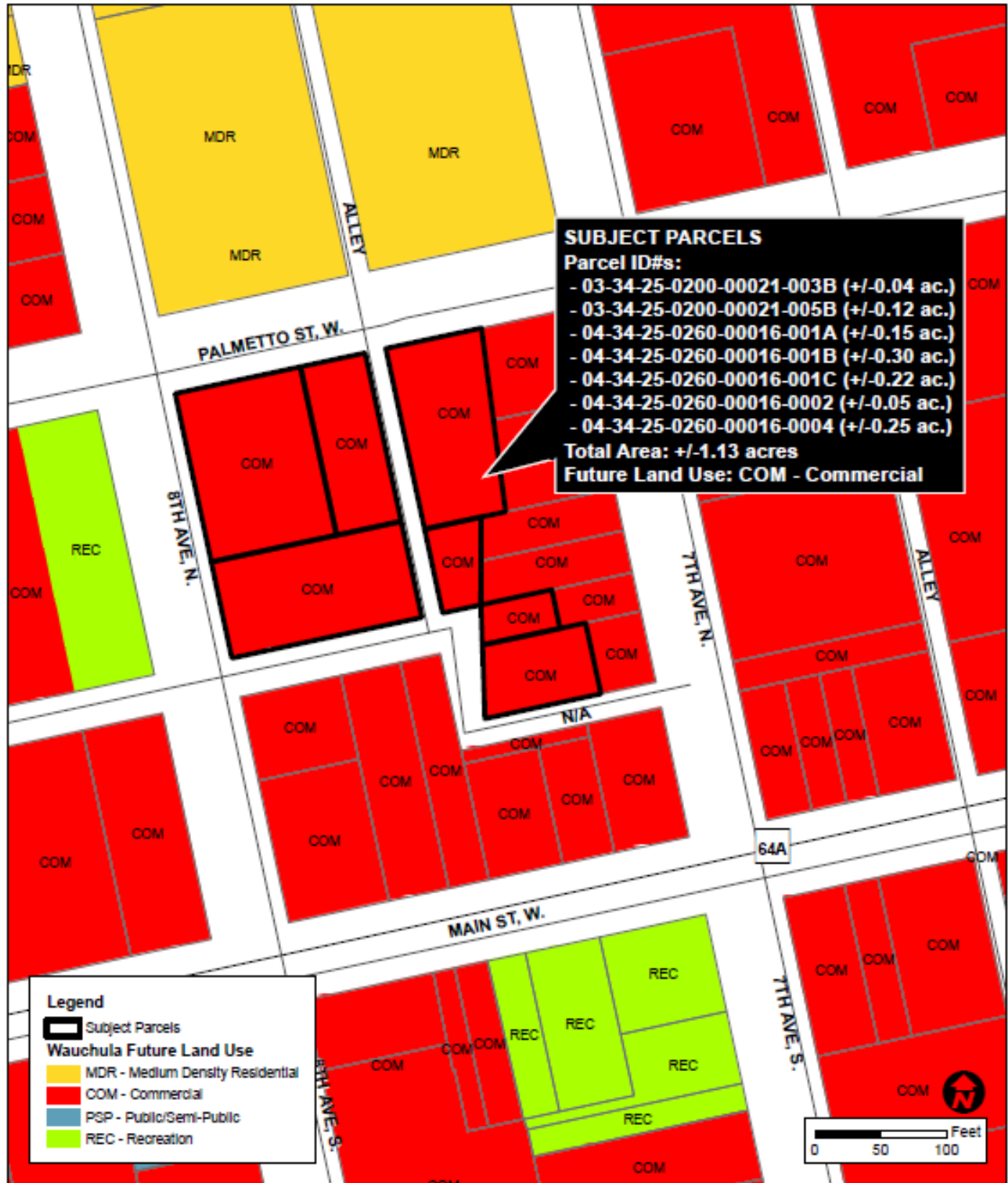
Attachments:

Aerial Map
Future Land Use Map
Zoning Map with building and design standards boundary
Preliminary Plat
Application

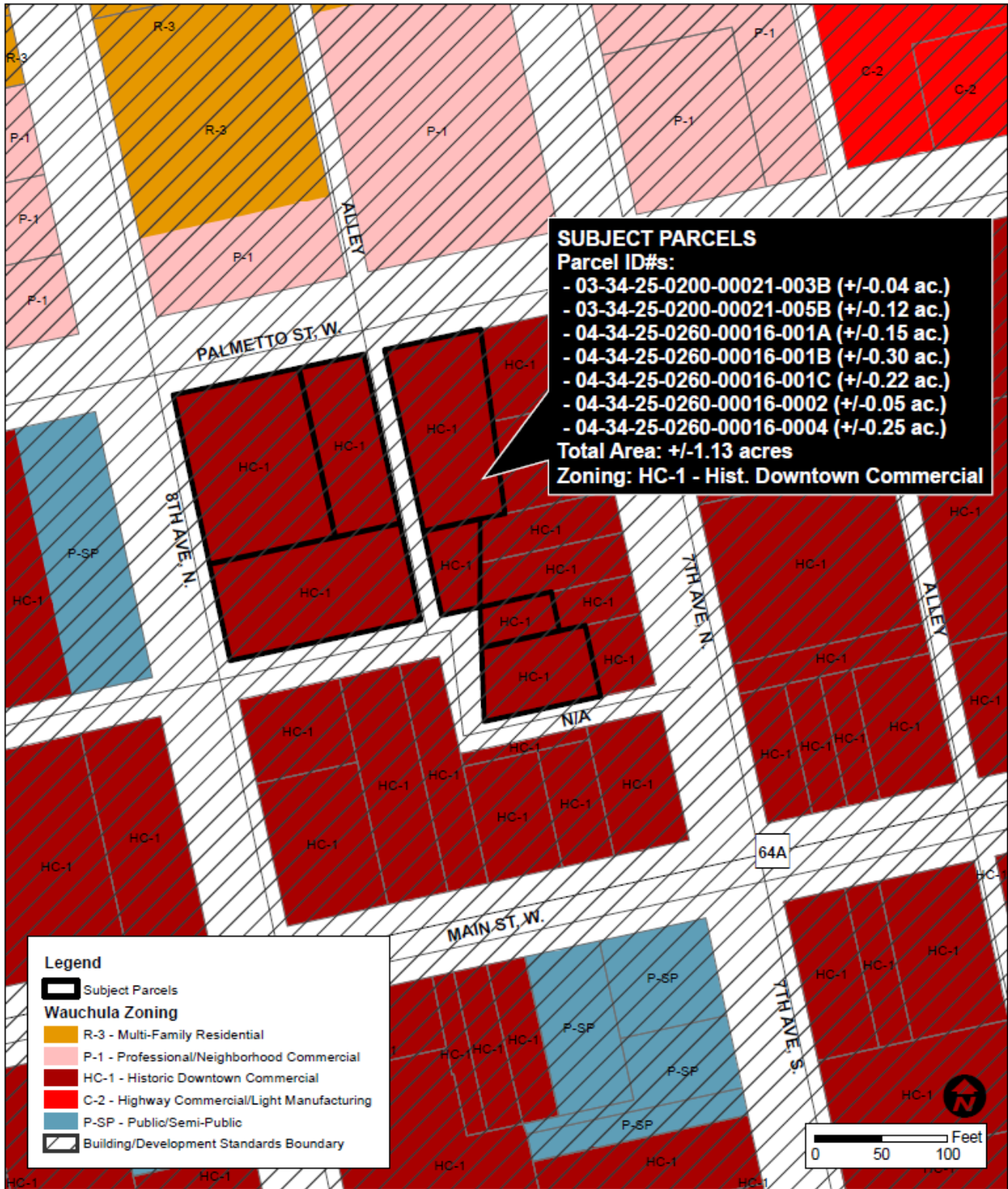
City of Wauchula AERIAL PHOTO MAP



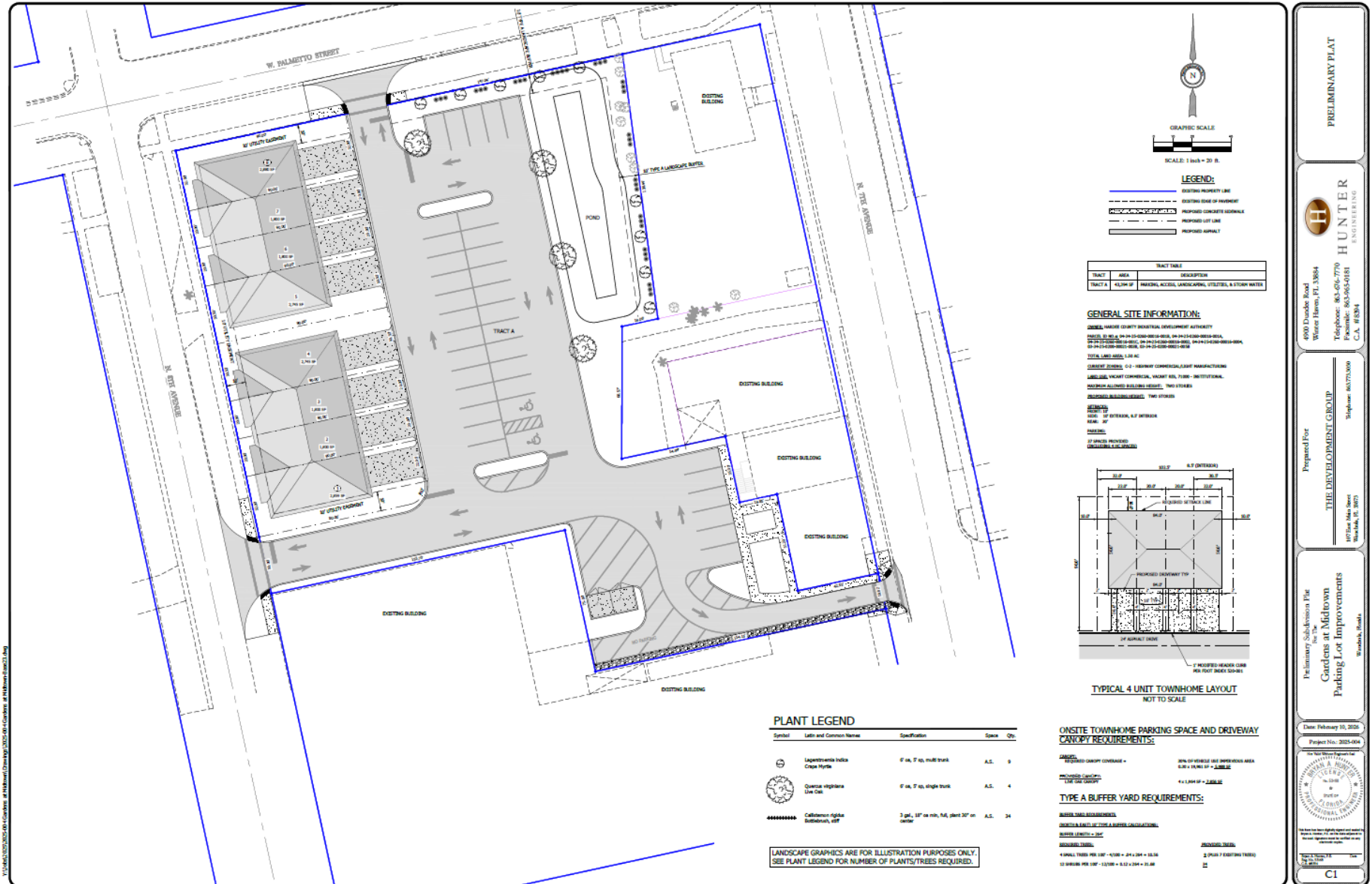
City of Wauchula FUTURE LAND USE MAP



City of Wauchula ZONING MAP



PRELIMINARY PLAT



FILL OUT COMPLETELY

Date Submitted _____

CITY OF WAUCHULA

SPECIAL EXCEPTION VARIANCE ANNEXATION
 RE-ZONE FUTURE LAND USE AMENDMENT
 SUBDIVISION PLAT (Including Plat Vacation, if Necessary) ALLEY CLOSURE

**A SITE PLAN, TO SCALE, IS NEEDED FOR ALL REQUESTS.
 A METES AND BOUNDS SURVEY IS NEEDED FOR AN ANNEXATION.
 IF YOU LIVE IN A DEED RESTRICTED COMMUNITY, YOU MUST
 PROVIDE A COPY OF THE DEED RESTRICTIONS.**

Applicant: Hardee County Industrial Development Authority
 Address of request: 0, 207, 211, 217 W Palmetto St and 120 N 8th Ave, N 7th Ave
 Mailing address: 107 East Main Street, Wauchula, FL 33873
 Daytime Telephone: 863-773-3030

Owner's Name & Address (as shown on property records):
 Check, if same as above.

If different: Name: _____
 Mailing Address: _____
 Daytime Telephone: _____

NOTE : IF THE APPLICANT IS NOT THE OWNER OF THE ABOVE PROPERTY, WRITTEN CONSENT BY THE OWNER MUST BE SUPPLIED BY THE APPLICANT AT THE TIME OF SUBMITTAL TO THE CITY'S PLANNING AND ZONING DEPARTMENT. ALL REQUESTS MAY ONLY BE INITIATED BY THE CURRENT PROPERTY OWNER.

Legal description: See attached property card
 Current Zoning: C-2 Future Land Use: Commercial
 Size of Parcel: 1.50
 Current Improvements: (Buildings, etc. on property) Asphalt parking and roadways
 Reason for request: Proposed improvements of parking and roadway resurfacing, and addition of 8 townhome units.

If Annexation and/or Re-Zone:

Current County Zoning Classification [redacted]

City Zoning Classification and Future Land Use classification sought: [redacted]

What property usage is to the North: [redacted], South: [redacted],
East: [redacted] and West: [redacted] of your property (example: residence)?

Number of residences on parcel(s) (Existing and/or proposed): [redacted]

Population of parcel(s): [redacted]

*******FOR SPECIAL EXCEPTION REQUESTS ONLY*******

Square footage to be used for the activity: [redacted]

Proposed Hours: [redacted]

Associated Noise: [redacted]

Materials stored on premises: [redacted]

Traffic caused by activity: [redacted]

Number of off-street parking spaces: [redacted]

Have you filed any previous applications? [redacted]

If yes, please describe request and give date of application: [redacted]

I have read and understand the requirements of the application and agree to pay all costs of the process.
The typical total cost is between \$150.00 and \$300.00.

Signature(s):  Date: 2/10/24

Print Name(s): Bryan Hunter (Authorized Agent)

Signature of applicant(s): _____ Date: _____

Print Name(s): _____

FOR OFFICE USE ONLY		
___ Application	_____	
___ Ad	_____	
___ Copies	_____	(.15 ea single sided) (.20 ea double sided)
___ Postage	_____	
		Total Due _____

Gardens at Midtown Parcel Numbers

04-34-25-0260-00016-001B

04-34-25-0260-00016-001A

04-34-25-0260-00016-001C

04-34-25-0260-00016-0002

04-34-25-0260-00016-0004

03-34-25-0200-00021-003B

03-34-25-0200-00021-005B

Subject: Agent Authorization
Project: Gardens at Midtown
Parcel IDs: 04-34-25-0260-00016-001B, 04-34-25-0260-00016-001A, 04-34-25-0260-00016-001C,
04-34-25-0260-00016-0002, 04-34-25-0260-00016-0004, 03-34-25-0200-00021-003B,
03-34-25-0200-00021-005B

TO WHOM IT MAY CONCERN:

I hereby designate and authorize Bryan Hunter with HUNTER ENGINEERING, INC. to act on behalf of Hardee County Industrial Development Authority, "Owner" as the authorized agent, applicant, and representative in the processing and furnishing of information in support of the site development permit applications to all appropriate local government or agency for the subject project. Authorization is also hereby granted to access the subject site. The site development permit applications include, but are not limited to: Southwest Florida Water Management District, Hardee County, City of Wauchula, and Florida Department of Environmental Protection.

Sarah Evers
Typed/Printed Name of Owner

CEO
Corporate Title, if applicable

Sarah Evers
Signature of Owner

12/17/25
Date

107 E Main St.
Address

863-773-3030
Phone Number

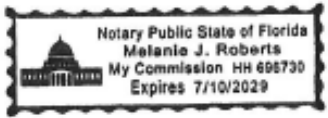
Sarah.evers@thedevelopmentgroup.net
Email address

For Representative Capacity (corporation, LLC, etc.):

STATE OF FLORIDA
COUNTY OF HARDEE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 17th day of December, 2025, by Sarah Evers as CEO (title of officer) of Hardee County IDA (entity name), on behalf of the company, who is personally known to me or has produced _____ as identification.

(AFFIX NOTARY SEAL)



Melanie J. Roberts
Notary Public
Print Name Melanie J. Roberts
My Commission Expires 7/10/29

PRELIMINARY SUBDIVISION PLAT
FOR THE
GARDENS AT MIDTOWN
PARKING LOT IMPROVEMENTS

Wauchula, Florida
 Section 04, Township 34 S., Range 25 E.



Location Map

Sheet Title	Sheet Index	Sheet No.
Cover Sheet		
Preliminary Plat		C1

Prepared For

THE DEVELOPMENT GROUP

107 East Main Street
 Wauchula, FL 33873

Telephone: 863.773.3030

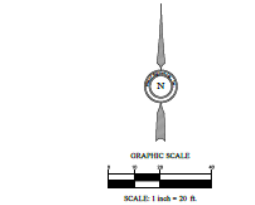
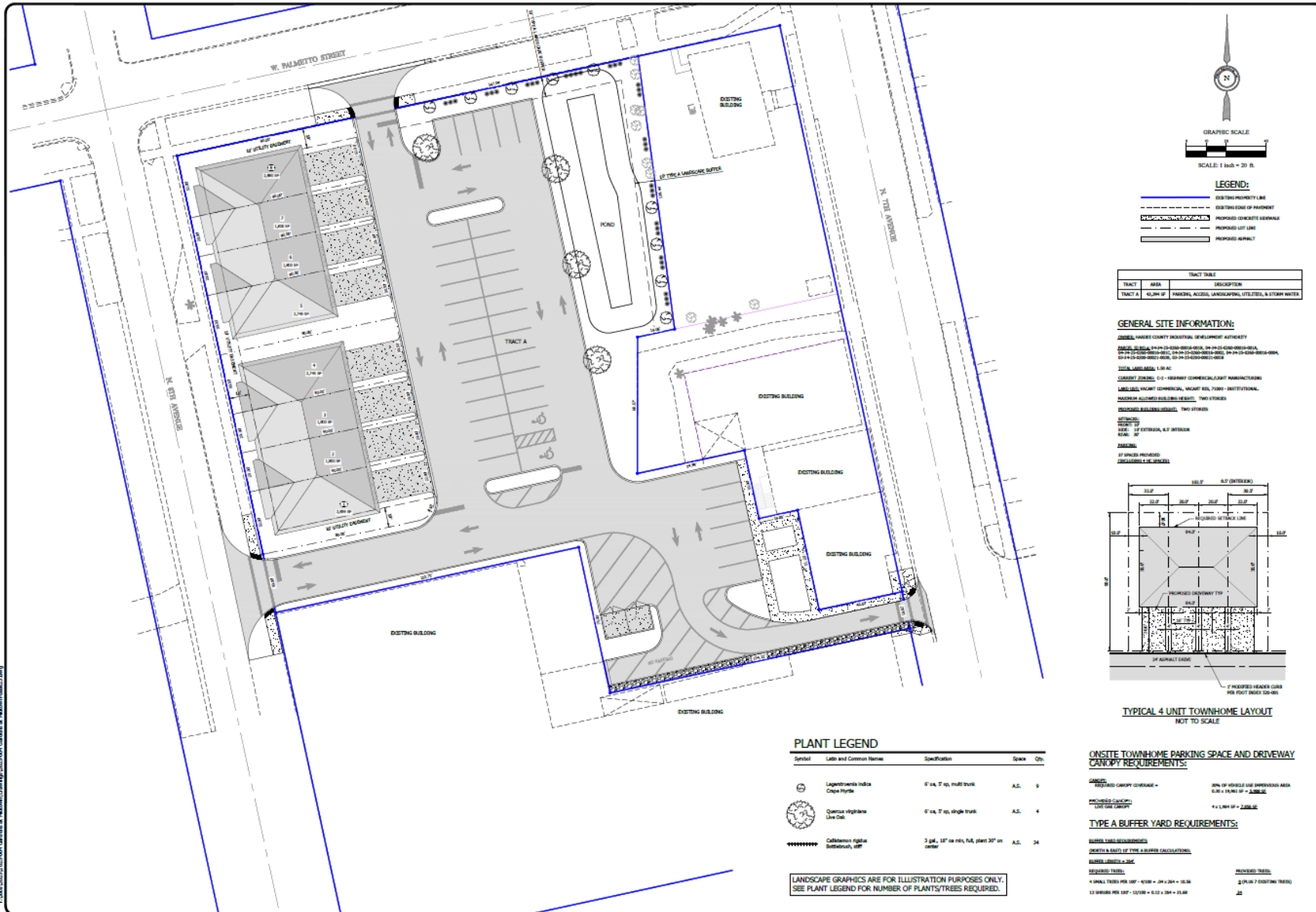
ENGINEER OF RECORD:



HUNTER ENGINEERING, INC.

ENGINEER: BRYAN A. HUNTER, P.E.
 P.E. NO.: 53168
 4900 DUNDEE ROAD
 WINTER HAVEN, FLORIDA, 33884
 PHONE (883) 676-7770
 FAX (883) 985-0181
 CERTIFICATE of AUTHORIZATION #8394





LEGEND:

- EXISTING PROPERTY LINE
- EXISTING TRACE OF PROPERTY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LOT LINE
- PROPOSED ASPHALT

TRACT TABLE		
TRACT	AREA	DESCRIPTION
TRACT A	40,341 SF	PARKING, ACCESS, LANDSCAPE, UTILITIES, & STORM WATER

GENERAL SITE INFORMATION:

LOCAL AGENCIES: SANDHILLS COUNTY INDUSTRIAL DEVELOPMENT AUTHORITY

APPLICABLE CODES: SANDHILLS COUNTY ZONING ORDINANCE, CH 10-10-0100-0100, CH 10-10-0100-0200, CH 10-10-0100-0300, CH 10-10-0100-0400, CH 10-10-0100-0500, CH 10-10-0100-0600, CH 10-10-0100-0700, CH 10-10-0100-0800, CH 10-10-0100-0900, CH 10-10-0100-1000, CH 10-10-0100-1100, CH 10-10-0100-1200, CH 10-10-0100-1300, CH 10-10-0100-1400, CH 10-10-0100-1500, CH 10-10-0100-1600, CH 10-10-0100-1700, CH 10-10-0100-1800, CH 10-10-0100-1900, CH 10-10-0100-2000

TECHNICAL SPECIFICATIONS: IBC 2018

CONTRACT DOCUMENTS: CC - STANDARD COMMERCIAL CONTRACT DOCUMENTS

LAND USE: VACANT COMMERCIAL, MEDIUM DENSITY RESIDENTIAL

MAXIMUM ALLOWED GROUND COVER: TWO STORES

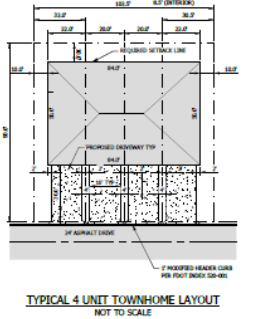
MAXIMUM ALLOWED GROUND COVER: TWO STORES

REMARKS:

1. SEE EXISTING A.P. RECORD MAP.

2. SEE EXISTING A.P. RECORD MAP.

3. SEE EXISTING A.P. RECORD MAP.



ONSITE TOWNHOME PARKING SPACE AND DRIVEWAY CANOPY REQUIREMENTS:

REQUIRED CANOPY COVERAGE: 4% OF VEHICLE USE DRIVEWAY AREA
 4.0% OF VEHICLE USE DRIVEWAY AREA
 4.0% OF VEHICLE USE DRIVEWAY AREA

PROPOSED CANOPY COVERAGE: 4.0% OF VEHICLE USE DRIVEWAY AREA
 4.0% OF VEHICLE USE DRIVEWAY AREA
 4.0% OF VEHICLE USE DRIVEWAY AREA

TYPE A BUFFER YARD REQUIREMENTS:

MINIMUM BUFFER YARD REQUIREMENTS:

MINIMUM BUFFER YARD REQUIREMENTS:

MINIMUM BUFFER YARD REQUIREMENTS:

MINIMUM BUFFER YARD REQUIREMENTS:

PLANT LEGEND

Symbol	Latin and Common Name	Spec/Plant	Spec	Qty
	Lagerströmia indica Crape Myrtle	6" dia, 7' ht, multi trunk	A.S.	9
	Quercus virginiana Live Oak	6" dia, 7' ht, single trunk	A.S.	4
	Calliandra digitata Subshrub, 6"	2 gal, 18" or less, 1/4" plant 30" or taller	A.S.	24

LANDSCAPE GRAPHICS ARE FOR ILLUSTRATION PURPOSES ONLY. SEE PLANT LEGEND FOR NUMBER OF PLANTS/TREES REQUIRED.

PRELIMINARY PLAN

HUNTER ENGINEERING

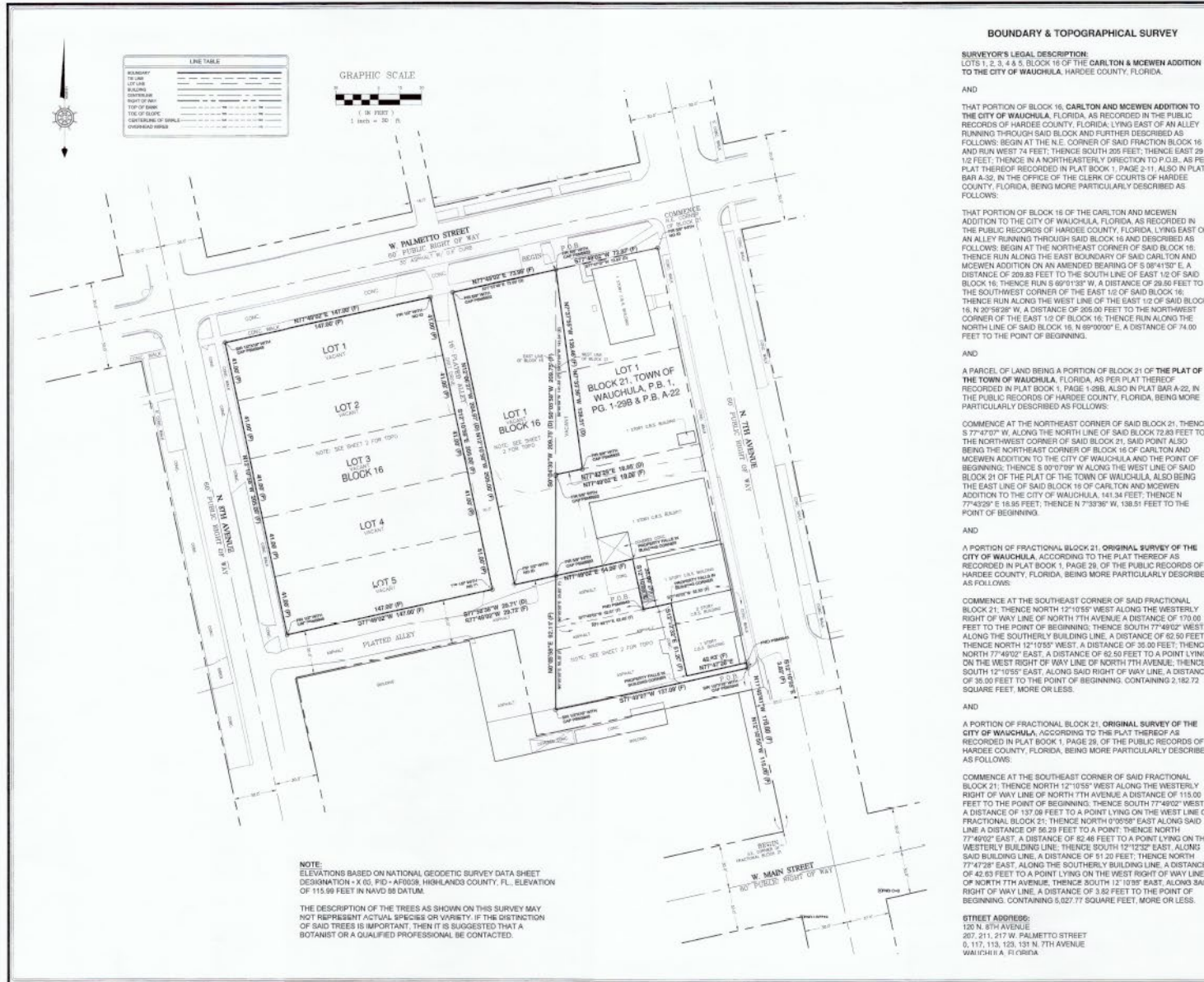
4900 Douglas Road
 Winters/Haven, R. 13884
 Telephone: 865-936-7770
 Fax: 865-936-0881
 C.A. 93824

Prepared For: THE DEVELOPMENT GROUP
 1077 East Main Street
 Winters, CA 95989
 Telephone: 916-773-0000

Preliminary Subdivision Plan
 for The
**Gardens at Midtown
 Parking Lot Improvements**
 Winters, CA, 95989

Date: February 15, 2024
 Project No.: 2023-004

C1



BOUNDARY & TOPOGRAPHICAL SURVEY

SURVEYOR'S LEGAL DESCRIPTION:
 LOTS 1, 2, 3, 4 & 5, BLOCK 16 OF THE CARLTON & MCEWEN ADDITION TO THE CITY OF WAUCHULA, HARDEE COUNTY, FLORIDA.

AND
 THAT PORTION OF BLOCK 16, CARLTON AND MCEWEN ADDITION TO THE CITY OF WAUCHULA, FLORIDA, AS RECORDED IN THE PUBLIC RECORDS OF HARDEE COUNTY, FLORIDA, LYING EAST OF AN ALLEY RUNNING THROUGH SAID BLOCK AND FURTHER DESCRIBED AS FOLLOWS: BEGIN AT THE N.E. CORNER OF SAID FRACTIONAL BLOCK 16 AND RUN WEST 74 FEET; THENCE SOUTH 205 FEET; THENCE EAST 29 1/2 FEET; THENCE IN A NORTHEASTERLY DIRECTION TO P.O.B., AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 2-11; ALSO IN PLAT 848-A-20, IN THE OFFICE OF THE CLERK OF COURTS OF HARDEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF BLOCK 16 OF THE CARLTON AND MCEWEN ADDITION TO THE CITY OF WAUCHULA, FLORIDA, AS RECORDED IN THE PUBLIC RECORDS OF HARDEE COUNTY, FLORIDA, LYING EAST OF AN ALLEY RUNNING THROUGH SAID BLOCK 16 AND DESCRIBED AS FOLLOWS: BEGIN AT THE NORTHEAST CORNER OF SAID BLOCK 16; THENCE RUN ALONG THE EAST BOUNDARY OF SAID CARLTON AND MCEWEN ADDITION ON AN AMENDED BEARING OF S 08°41'53" E, A DISTANCE OF 209.83 FEET TO THE SOUTH LINE OF EAST 1/2 OF SAID BLOCK 16; THENCE RUN S 69°15' W, A DISTANCE OF 20.50 FEET TO THE SOUTHWEST CORNER OF THE EAST 1/2 OF SAID BLOCK 16; THENCE RUN ALONG THE WEST LINE OF THE EAST 1/2 OF SAID BLOCK 16, N 20°50'00" W, A DISTANCE OF 65.00 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF BLOCK 16; THENCE RUN ALONG THE NORTH LINE OF SAID BLOCK 16, N 69°00'00" E, A DISTANCE OF 74.00 FEET TO THE POINT OF BEGINNING.

AND
 A PARCEL OF LAND BEING A PORTION OF BLOCK 21 OF THE PLAT OF THE TOWN OF WAUCHULA, FLORIDA, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 1-28; ALSO IN PLAT 848-A-22, IN THE PUBLIC RECORDS OF HARDEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID BLOCK 21, THENCE S 77°47'07" W, ALONG THE NORTH LINE OF SAID BLOCK 21, 283 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 21; SAID POINT ALSO BEING THE NORTHEAST CORNER OF BLOCK 16 OF CARLTON AND MCEWEN ADDITION TO THE CITY OF WAUCHULA AND THE POINT OF BEGINNING; THENCE S 80°07'19" W, ALONG THE WEST LINE OF SAID BLOCK 21 OF THE PLAT OF THE TOWN OF WAUCHULA, ALSO BEING THE EAST LINE OF SAID BLOCK 16 OF CARLTON AND MCEWEN ADDITION TO THE CITY OF WAUCHULA, 141.54 FEET; THENCE N 77°43'29" E 16.85 FEET; THENCE N 73°39'36" W, 138.51 FEET TO THE POINT OF BEGINNING.

AND
 A PORTION OF FRACTIONAL BLOCK 21, ORIGINAL SURVEY OF THE CITY OF WAUCHULA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 28, OF THE PUBLIC RECORDS OF HARDEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID FRACTIONAL BLOCK 21, THENCE NORTH 12°10'55" WEST ALONG THE WESTERLY RIGHT OF WAY LINE OF NORTH 7TH AVENUE A DISTANCE OF 170.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 77°49'02" WEST, ALONG THE SOUTHERLY BUILDING LINE, A DISTANCE OF 62.50 FEET; THENCE NORTH 12°10'55" WEST, A DISTANCE OF 35.00 FEET; THENCE NORTH 77°49'02" EAST, A DISTANCE OF 62.50 FEET TO A POINT LYING ON THE WEST RIGHT OF WAY LINE OF NORTH 7TH AVENUE; THENCE SOUTH 12°10'55" EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 55.50 FEET TO THE POINT OF BEGINNING, CONTAINING 2,182.72 SQUARE FEET, MORE OR LESS.

AND
 A PORTION OF FRACTIONAL BLOCK 21, ORIGINAL SURVEY OF THE CITY OF WAUCHULA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 28, OF THE PUBLIC RECORDS OF HARDEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID FRACTIONAL BLOCK 21, THENCE NORTH 12°10'55" WEST ALONG THE WESTERLY RIGHT OF WAY LINE OF NORTH 7TH AVENUE A DISTANCE OF 115.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 77°49'02" WEST, A DISTANCE OF 137.00 FEET TO A POINT LYING ON THE WEST LINE OF FRACTIONAL BLOCK 21; THENCE NORTH 0°00'58" EAST ALONG SAID LINE A DISTANCE OF 86.29 FEET TO A POINT; THENCE NORTH 77°49'02" EAST, ALONG THE SOUTHERLY BUILDING LINE, A DISTANCE OF 42.63 FEET TO A POINT LYING ON THE WEST RIGHT OF WAY LINE OF NORTH 7TH AVENUE; THENCE SOUTH 12°10'55" EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 3.50 FEET TO THE POINT OF BEGINNING, CONTAINING 5,027.77 SQUARE FEET, MORE OR LESS.

STREET ADDRESS:
 120 N. 8TH AVENUE
 207, 211, 217 W. PALMETTO STREET
 0, 117, 113, 123, 131 N. 7TH AVENUE
 WAUCHULA, FLORIDA

GERMAINE SURVEYING INC.
 PROFESSIONAL LAND SURVEYORS
 3603 KENLWORTH BOULEVARD, SEBRING, FLORIDA 33870
 PHONE: 883-3848 FAX: 883-3843
 EMAIL: INFO@GERMAINESURVEYING.COM
 WEBSITE: GERMAINESURVEYING.COM

CLIENT: THE DEVELOPMENT GROUP
 JOB NO.: 527-23 SCALE: 1" = 30'
 TASK NO.: 002 DRAWN BY: BAM
 SURVEY DATE: 5-18-25 CHECK BY: GLS

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS DRAWING IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PERFORMED UNDER MY SUPERVISION AND ACCORDING WITH THE STANDARDS OF PRACTICE ESTABLISHED FOR THE PROFESSION OF SURVEYING AND MAPPING AS SET FORTH IN CHAPTER 117, F.A.S., PERTAINING TO SECTION 473.07, FLORIDA STATUTES, AS ADOPTED BY THE BOARD OF PROFESSIONAL LAND SURVEYORS, SUBJECT TO THE REGULATIONS OF THE BOARD OF PROFESSIONAL LAND SURVEYORS, INCLUDING ANY RESERVATIONS AND RESTRICTIONS OF RECORD.

GARY L. GERMAINE
 FLORIDA PROFESSIONAL LAND SURVEYOR AND REGISTERED PROFESSIONAL ENGINEER
 REGISTRATION #3448 DATE: 06/19/25

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL UNRECORDED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER OR THE ELECTRONIC SIGNATURE AND/OR ORIGINAL SEAL OF THE LICENSED FLORIDA LICENSED SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAN OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE CONSIDERED VALID, LEGAL, OR BINDING.

GENERAL NOTES:

THIS SURVEY PREPARED FROM LEGAL DESCRIPTION PROVIDED AND IS NOT A CERTIFICATE OF TITLE.
 THE FIELD BEARINGS, DISTANCES AND TIES SHOWN HEREON ARE BEING COMPARED TO THE PLATS AND / OR DEEDS BEARINGS AND DISTANCES THEREOF.

SOME FEATURES SHOWN HEREON MAY BE OUT OF SCALE FOR CLARITY.

BEARING SYSTEM BASED ON THE SOUTHERLY RIGHT OF WAY LINE OF W. PALMETTO STREET AS BEING N7°44'00"E.

LEGEND OF SYMBOLS & ABBREVIATIONS

S.C.M.	SET 4" X 2" CONCRETE MONUMENT PER 348	□	FLAG POLE
NAVD 83	NATIONAL GEODETIC VERTICAL DATUM	⊕	WATER VALVE
N.A.S.D.	NORTH AMERICAN VERTICAL DATA	⊕	FIRE HYDRANT
S.I.R.	SET 1/2" X 1/2" IRON ROD & CAP PER 348	⊕	METER POST
F.C.M.	FOUND 4" X 4" CONCRETE MONUMENT	⊕	POWER POLE
C.B.S.	CONCRETE BLOCK STRUCTURE	⊕	LIGHT POLE
P.O.C.	POINT OF COMPOUND CURVE	⊕	GLY WIRE
P.O.C.	POINT OF COMMENCEMENT	⊕	ELECTRIC MANHOLE
P.R.C.	POINT OF REVERSE CURVE	⊕	ELECTRIC METER
(P.R.C.)	PROTRACTED MEASUREMENT	⊕	ELECTRIC VAULT
C.P.P.	CORRUGATED PLASTIC PIPE	⊕	ELECTRIC BOX
C.M.P.	CORRUGATED METAL PIPE	⊕	WANDA-LAMINA
K.S.P.	KELF LINE LUMINOUS PIPE	⊕	AIR CONDITIONER UNIT
P.W.C.	POLYVINYL CHLORIDE PIPE	⊕	TELEPHONE MANHOLE
B.F.P.	BACK FLOW PREVENTOR	⊕	TRIP MINOR PIPE
(P.F.)	AS RECORDED ON PLAN	⊕	CABLE BOX
(D)	AS RECORDED ON DEED	⊕	TOWER
(F)	AS MEASURED BY FIELD	⊕	VAULT
(C)	AS CALCULATED	⊕	WELL
F.I.R.	FOUND 1" IRON ROD	⊕	GREASE TRAP
P.O.B.	POINT OF BEGINNING	⊕	SEWER MANHOLE
NO ID	NO IDENTIFICATION	⊕	CLEAN OUT
P.B.I.	PIERS OF IRONS	⊕	WATER VALVE
F.N.D.	FOUND NAIL & DISK	⊕	MANHOLE
G.R.	OFFICIAL RECORD	⊕	BACK FLOW PREVENTER
F.I.R.	FOUND IRON ROD	⊕	WATER METER
F.I.P.	FOUND IRON PIPE	⊕	MONITORING WELL
L.L.P.	LIAM LINE PILE	⊕	BACK FLOW PREVENTER
C.B.	CHORD BEARING	⊕	WATER METER
P.C.	POINT OF CURVE	⊕	STORM DRAIN MANHOLE
F.C.	FENCE CORNER	⊕	STORM DRAIN INLET
F.I.P.	FOUND 1/2" IRON PIPE	⊕	UTILITY FLAG
R.W.	RIGHT OF WAY	⊕	
ELEV.	ELEVATION	⊕	
F.L.	FENCE LINE	⊕	
CONC.	CONCRETE	⊕	
P.B.	PLAT BOOK	⊕	
R.	RADIUS	⊕	
L.	LENGTH	⊕	
Δ	DELTA	⊕	
CH	CHORD	⊕	
SO	SQUARE	⊕	
FT	FEET	⊕	
PC	PAGE	⊕	

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REVISIONS

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SHEET 1 OF 2

NOTE:
ELEVATIONS BASED ON NATIONAL GEODETTIC SURVEY DATA SHEET
DESIGNATION - X 85, PID - AF9058, HIGHLANDS COUNTY, FL. ELEVATION
OF 115.99 FEET IN NAVD 88 DATUM.

THE DESCRIPTION OF THE TREES AS SHOWN ON THIS SURVEY MAY
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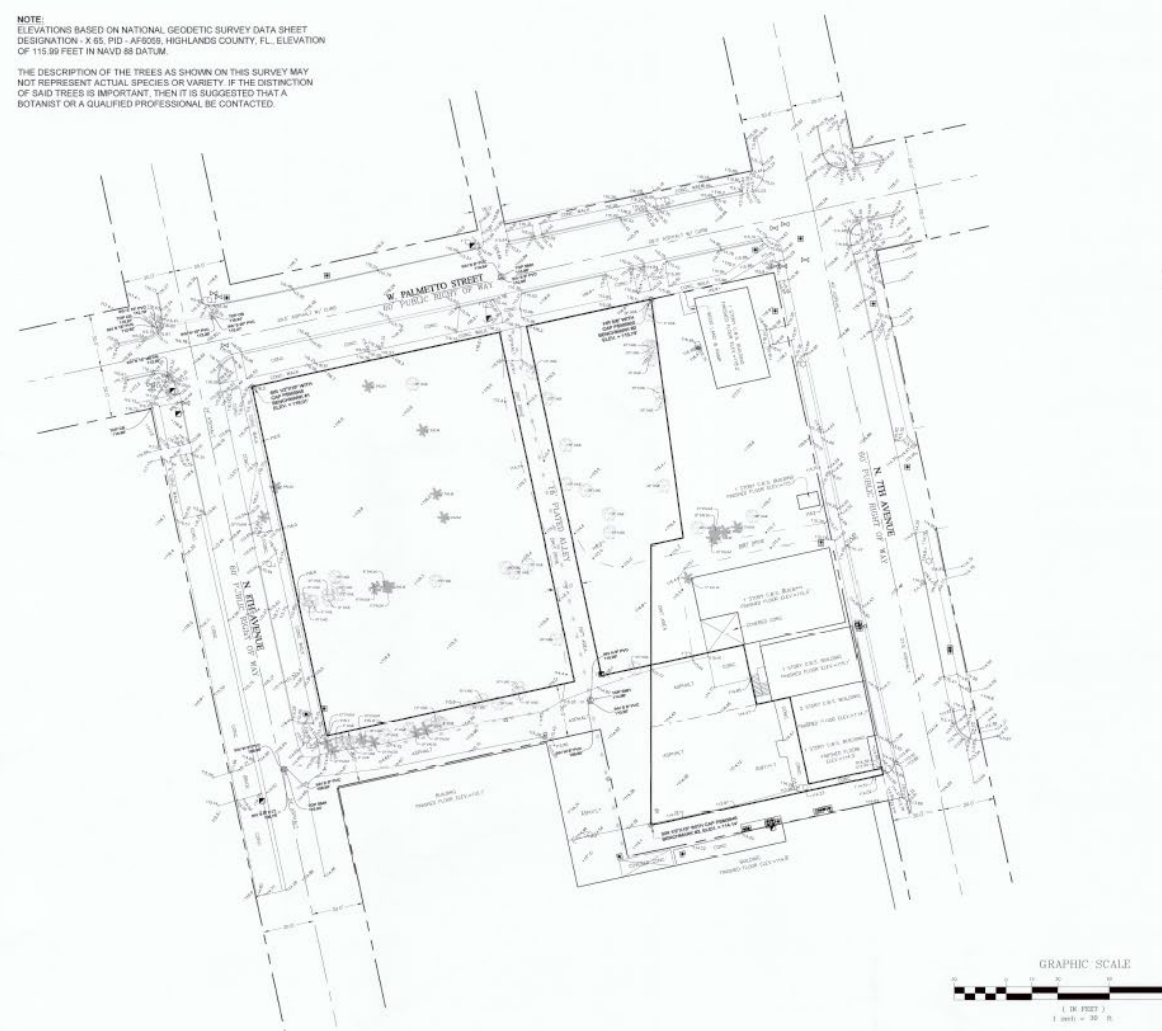
LINE TABLE

BOUNDARY	---
THE LINE	---
LOT LINE	---
BUILDING	---
CENTERLINE	---
RIGHT OF WAY	---
TOP OF BANK	---
TOE OF SLOPE	---
CENTERLINE OF SWALE	---
OVERHEAD WIRES	---

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LEGEND OF SYMBOLS & ABBREVIATIONS

S/C/M	SET 4"x4"x20" CONCRETE MONUMENT PSM 3845	IR	IRRIGATION VALVE
NAVD 88	NATIONAL GEODETTIC VERTICAL DATUM	U	UTILITY FLAG
S/N/D	SET NAIL & DISK STAMPED PSM 3845	M	METER POST
S/R	SET 1/2"x1/2" IRON ROD & CAP PSM 3845	LL	LIUMARK HALL
F/C/M	FOUND 4"x4" CONCRETE MONUMENT	L	LIGHT POLE
C/B/S	CONCRETE BLOCK STRUCTURE	---	--- GUY WIRE
P/C/C	POINT OF COMPOUND CURVE	---	--- 4"OTC/3" 3/4"x4"x4" P
P/D/C	POINT OF COMMENCEMENT	E	ELECTRIC METER
P/R/C	POINT OF REVERSE CURVE	EV	ELECTRIC VAULT
P/M/D	PROTECTED MEASUREMENT	IB	IRRIGATION BOX
C/P/P	CORRUGATED PLASTIC PIPE	T	TRANSFORMER
C/M/P	CORRUGATED METAL PIPE	AC	AIR CONDITIONER UNIT
R/C/P	REINFORCE CONCRETE PIPE	PH	PHONE MANHOLE
P/V/C	POLYVINYL CHLORIDE PIPE	TB	TELEPHONE BOX
B/F/P	BACK FLOW PREVENTER	C	CABLE BOX
(P)	AS RECORDED ON PLAT	V	VAULT
(D)	AS RECORDED ON DEED	W	WELL
(F)	AS MEASURED IN FIELD	GT	GREASE TRAP
(C)	AS CALCULATED	SM	SEWER MANHOLE
F/R	FOUND 1/2" IRON ROD	CC	CLEAN OUT
P/O/B	POINT OF BEGINNING	GV	GAS VALVE
NO ID	NO IDENTIFICATION	CS	CAS NET CO
P/T	PARI TI (JANJANI)	HP	HANDICAPPED PARKING
F/N/D	FOUND NAIL & DISK	TR	TRAFFIC SIGNAL BOX
O/R	OFFICIAL RECORD	SL	SIGNAL LIGHT POLE
F/R	FOUND IRON ROD	---	--- POINT OF ACCESS
F/I/P	FOUND IRON PIPE		
CL/P	CHORD LINE PIPE		
CB	CHORD BEARING		
P/C	POINT OF CURVE		
F/C	FENCE CORNER		
F/I/P	FOUND 1/2" PIPE		
R/W	RIGHT OF WAY		
ELEV	ELEVATION		
F/L	FENCE LINE		
CONC	CONCRETE		
P/B	PLAT BOOK		
R	RAILROAD		
L	LENGTH		
D	DELTA		
CH	CHORD		
SQ	SQUARE		
FT	FEET		
PH	PHASE		
---	--- SIGN (AS NOTED)		
○	MONITORING WELL		
○	LOAD POLE		
W	WATER VALVE		
○	FIRE HYDRANT		
○	BACK FLOW PREVENTER		
○	WATER METER		
○	STORM DRAIN MANHOLE		
○	STORM DRAIN INLET		



SHEET 2 OF 2 GERMAINE JOB NO. 127-23-002