

February 17, 2025

City of Watertown

Building, Safety & Zoning

ATTN: Brian Zirbes, Zoning Administrator

RE: City of Watertown site Plan Review and Approval Application
Proposed Parking Lot at 300 South 3rd Street, Watertown, Wisconsin

Dear Mr Zirbes,

Please accept the attached graphic support material and the following written description of the intended use for our Site Plan Approval Application Submittal Packet.

1. Existing zoning district:
 - a. **Central Business District**
2. Land use plan map designation(s).
 - a. **Per Table of Land Use – Transportation Uses (550-54) – A. Off-Site Parking Lot is permitted use within the Central Business District (CB).**
3. Current land uses present on the subject property:
 - a. **Prior to building razing, the lot had a small commercial building.**
 - b. **The site is currently cleared of all structures and has a level grade with gravel.**
4. Proposed land uses for the subject property (per Chapter 550, Article IV):
 - a. **Parking Lot for patrons of Los Perez grocery store located at South 3rd Street.**
5. Projected number of residents, employees, and daily customers.
 - a. **Thirteen parking stalls – estimated daily customers is (200).**
6. Proposed amount of:
 - a. **impervious surface area: 4,537 sf**
 - b. **landscape surface area: 631 sf**



- c. **impervious surface area ratio: 88 %**
 - d. **landscape surface area ratio: 12 %**
- 7. Operational considerations relating to:
 - a. hours of operation
 - i. **Existing grocery store hours: 8:30 am to 9:00 pm**
 - b. projected normal and peak traffic generation
 - i. **Peak traffic is between 3:00 pm and 6:00 pm**
- 8. Operational considerations relating to potential nuisance creating pertaining to noncompliance with the performance standards addressed in Article XI: Performance Standards.
 - a. **No anticipated nuisances with the proposed development. The proposed development shall comply with all requirements of Article XI.**
 - b. **Note - Proposed parking lot lighting will be on timer and correlate to store hours.**
- 9. Exterior building and fencing materials (Sections § 550-121 & § 550-123).
 - a. **The proposed fencing will be wood, cedar boards.**
- 10. Possible future expansion and related implications for the points above.
 - a. **There is no plan to extend the existing store's hours of operation.**
- 11. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
 - a. **It is the intent of the proposed project to follow all City ordinances.**
 - b. **It is also the intent of the Architect/Engineer firm to submit detailed documentation to meet the City's approval process.**

If you have any questions or need further information, please contact me at (608) 445-9594 or chris@icsarc.com .

Thank You,



Chris A. Oddo, AIA

Principal

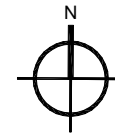
InSite Consulting Architects, LLC

ATTACHMENTS:



Proposed New Parking Lot
- 13 New Parking Stalls

Existing Grocery Store
- 6 Existing Parking Stalls



PROPOSED PARKING LOT

300 South 3rd Street



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER

JEFFERSON ST

InSite Architects



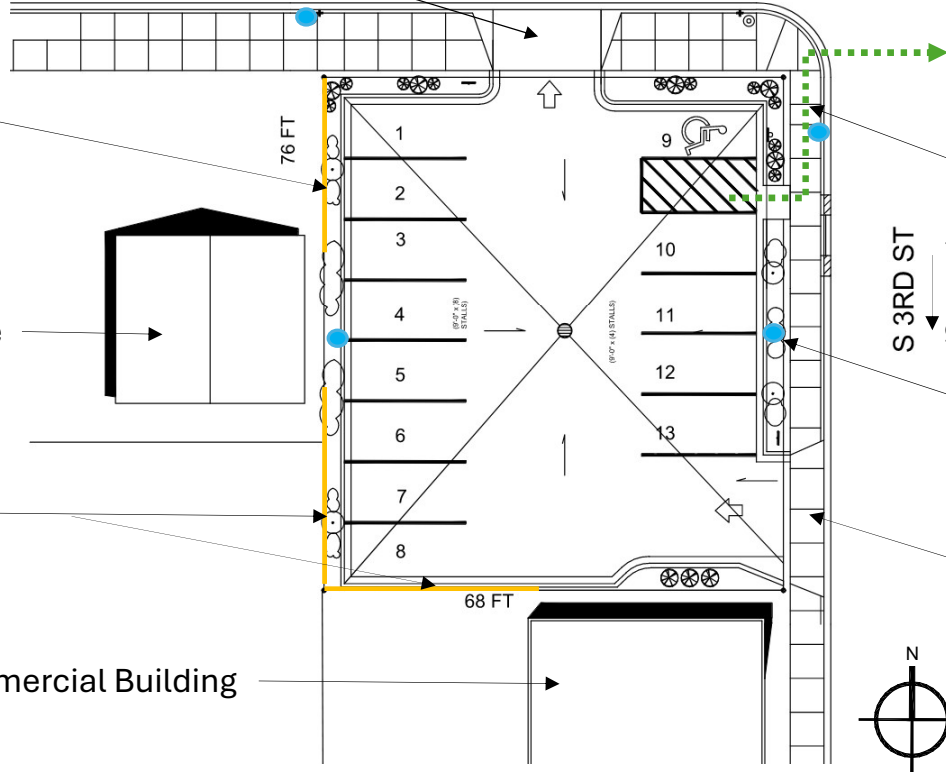
New Exit Apron - Right Turn Only

4 Foot High Fence

Existing 2 Car Garage

6 Foot High Fence

Existing 1 Story Commercial Building



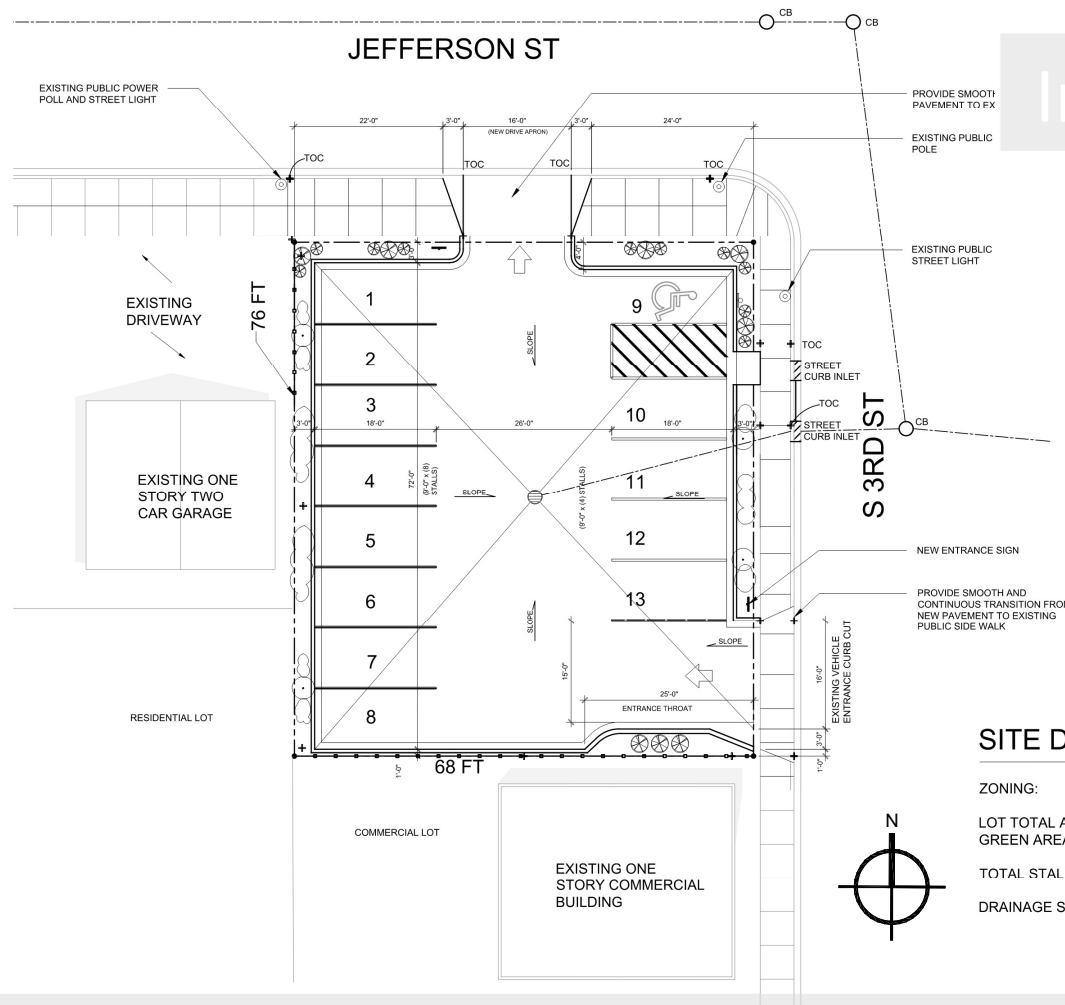
Barrier Free Parking Stall & Access Path

S 3RD ST
(One-way)

New & Existing Light Poles

Existing Apron to New Lot

PROPOSED PARKING LOT LAYOUT

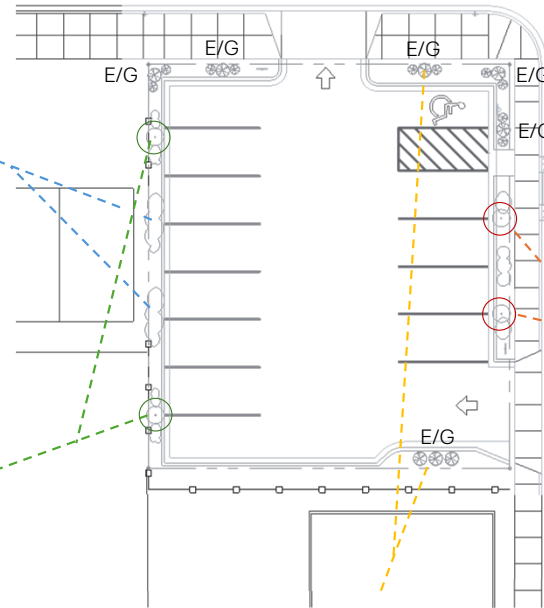


SITE DATA

ZONING:	CENTRAL BUSINESS DISTRICT
LOT TOTAL AREA :	5,168 S.F.
GREEN AREA:	631 S.F.
TOTAL STALLS PROVIDED:	(13)
DRAINAGE STANDARDS:	550-120

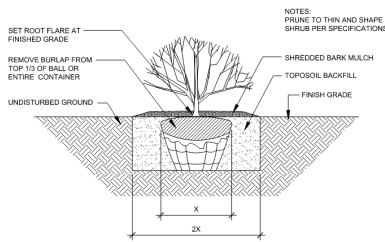
PROPOSED PARKING LOT LAYOUT

JEFFERSON ST

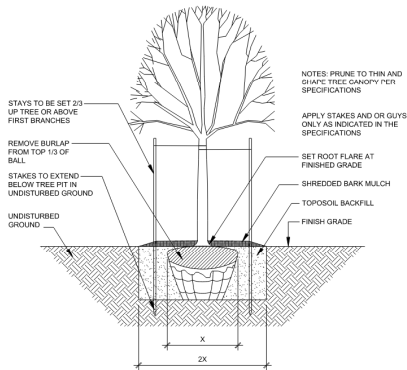


ALL PLANTING ALIGNS WITH CITY
OF WATERTOWN ORDINANCE 550-
95: LANDSCAPING POINTS AND
MINIMUM INSTALLATION SIZES

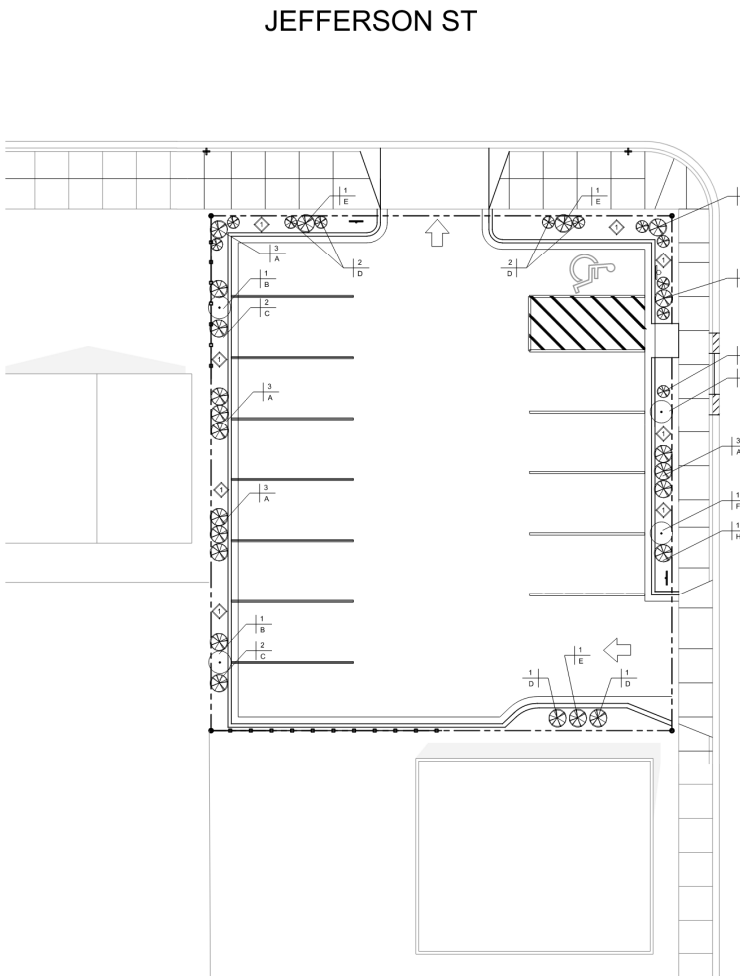
LANDSCAPE PROPOSAL



3 SHRUB PLANTING
SCALE: 1/2" = 1'-0"



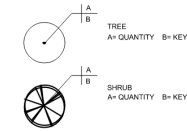
2 TREE PLANTING
SCALE: 1/2" = 1'-0"



1 LANDSCAPE PLAN
SCALE: 1/8"=1'-0" (22x34)

LANDSCAPE PLANTINGS			
KEY	COMMON NAME BOTANICAL NAME	QTY.	SIZE
A	DWARF ARBORVITAE BUSH	6	#2
B	RIVER BIRCH TREE	2	#3
C	DWARF ENGLISH BOXWOOD	4	#1
D	GOLDEN MOCK ORANGE	4	#2
E	WEIGELA RED PRINCE	2	#4
F	BUTTERS COTCH JAPANESE MAPLE	4	#2

SYMBOLS:



LANDSCAPE PLAN NOTES:

- ALL SHRUB BEDS, PERENNIAL / GROUND COVER BEDS AND INDIVIDUAL TREES WILL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD BARK MULCH.
- OWNER TO PROVIDE AND INSTALL ALL PLANTS AND MULCH

SPECIFIC PLAN NOTES:

- PROVIDE NEW LANDSCAPE BED WITH GROUND COVER (MULCH OVER TOP SOIL - OWNER TO PROVIDE AND INSTALL MULCH) IN ENTIRE PLANT BED AREA



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LOS PEREZ - PROPOSED PARKING LOT PROJECT
300 S 3RD ST.
WATERTOWN, WI 53094

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "I.F." OR VERIFY-IN-FIELD

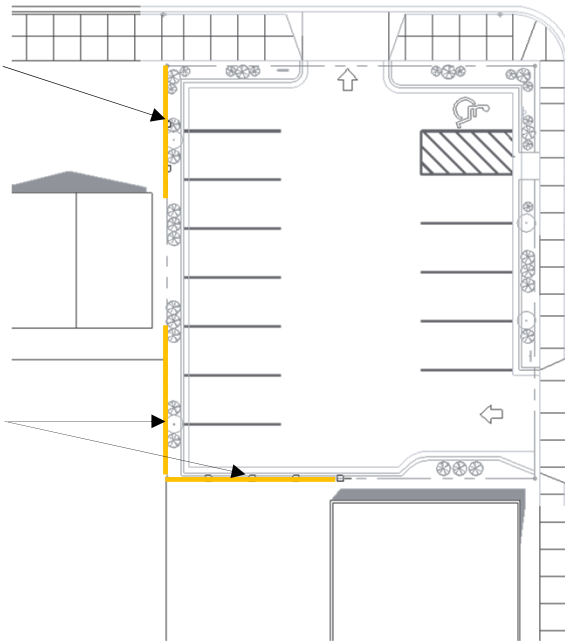
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LANDSCAPE PLAN & DETAILS

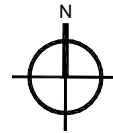
L1.1

4 Foot High Wood Fence

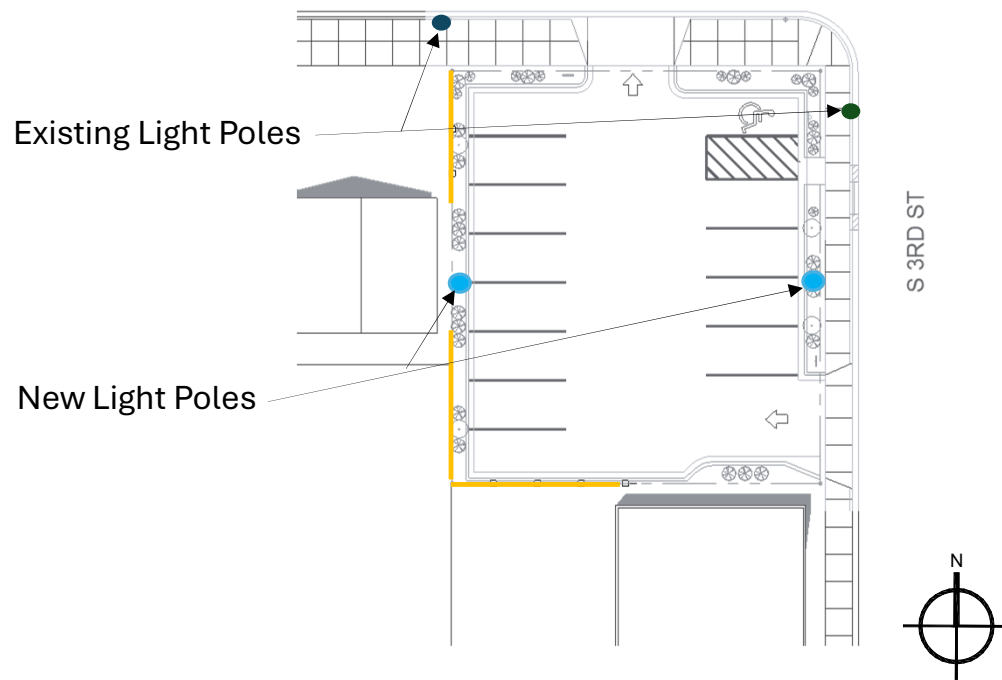
6 Foot High Wood Fence



S 3RD ST



PROPOSED FENCE



550-110 Exterior Lighting Standards



PROPOSED & EXISTING LIGHT POLES & FIXTURES