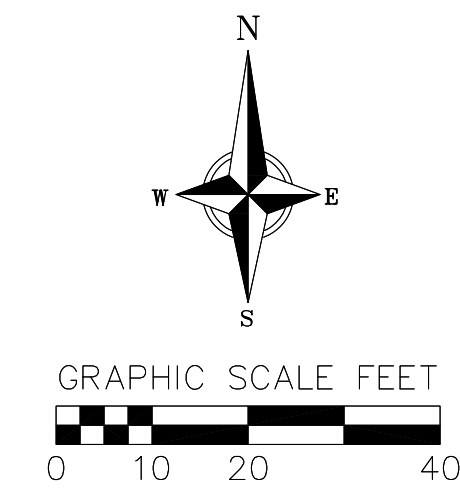







RIVERHOUSE
ON THE ROCK



MADISON : MILWAUKEE
jla-ap.com



Phone: (800) 261-3898

DRAFTER: CLAN
CHECKED: TSCH
PROJECT NO.: 190037



T. Wall Enterprises
Development, LLC

RIVERHOUSE ON THE ROCK

Bid Set

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: MAY 20, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

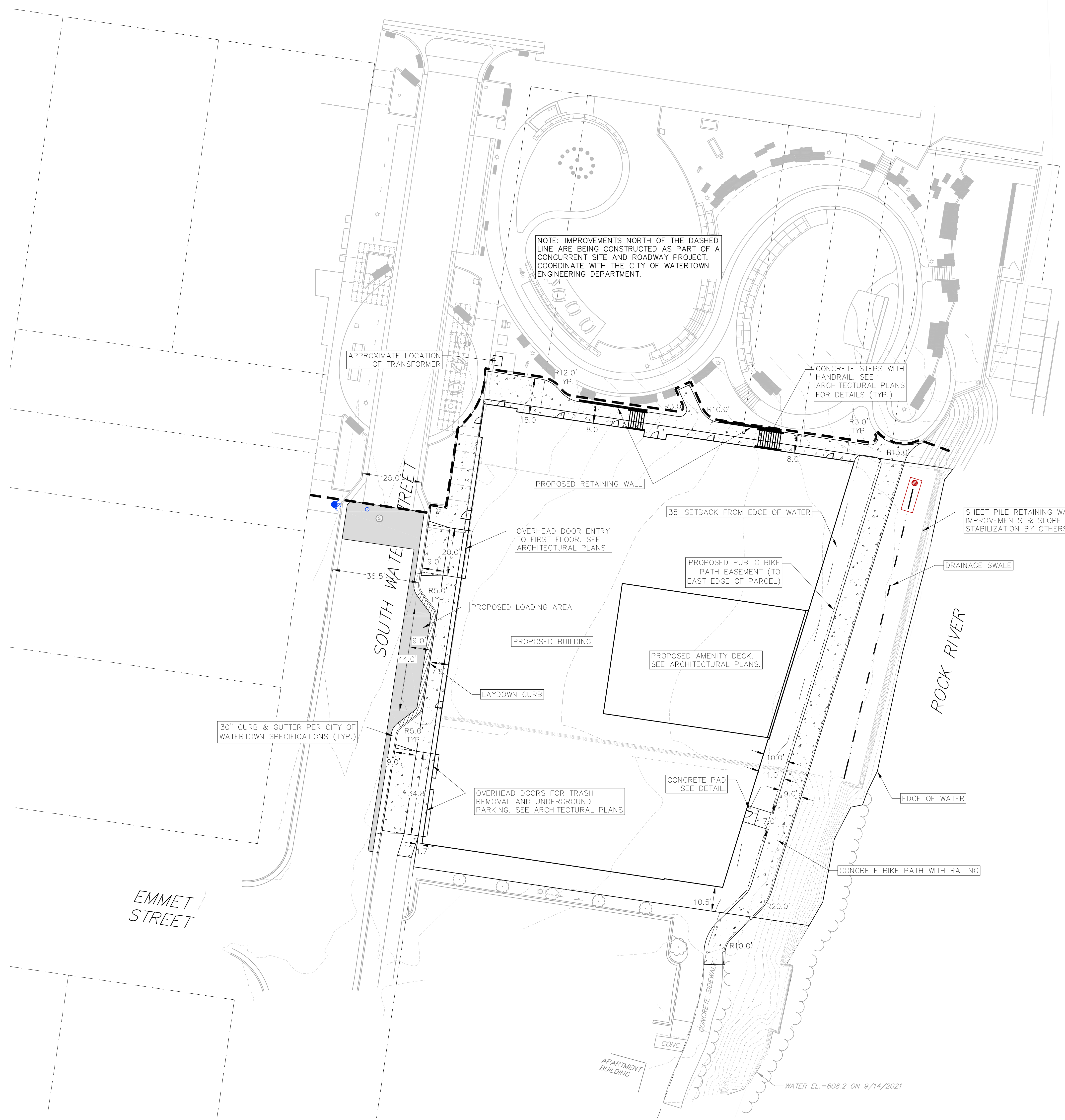
SITE PLAN

SHEET NUMBER

C 5

SITE INFORMATION:

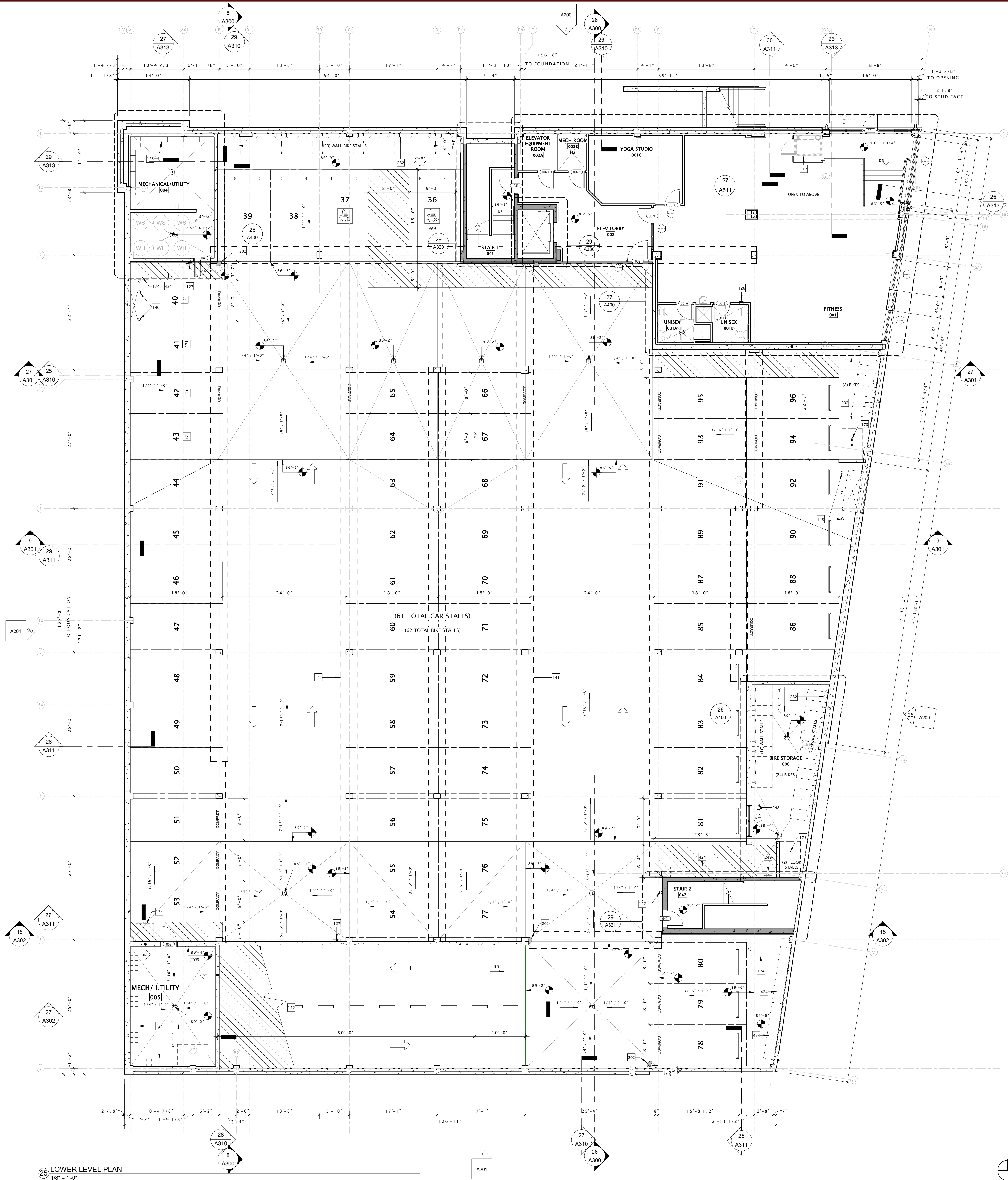
1. LOT AREA: 36,596 SF
2. FLOOR AREA: 26,021 SF
3. FLOOR AREA RATIO: 0.71
4. IMPERVIOUS SURFACE AREA: 27,300
5. IMPERVIOUS SURFACE RATIO: 0.75
6. BUILDING HEIGHT: SEE ELEVATION DRAWINGS
7. SITE PARKING STALLS: 0 (ALL STALLS ARE INTERIOR)



NOT FOR CONSTRUCTION

BUILDING DATA: RESIDENTIAL																
UNIT TYPES	AVERAGE UNIT AREA	FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		FOURTH FLOOR		FIFTH FLOOR		QTY TOTALS	AREA SUB-TOTALS	%	UNIT BREAKDOWN	
		Qty	Aggregate Area	Qty	Aggregate Area	Qty	Aggregate Area	Qty	Aggregate Area	Qty	Aggregate Area					
Unit A1.0	517 S.F	-	-	5	2,585 S.F	8	4,136 S.F	8	4,136 S.F	8	4,136 S.F	29	14,993 S.F	20.6%	STUDIOS	
Unit A2.0	541 S.F	-	-	4	2,164 S.F	4	2,164 S.F	4	2,164 S.F	4	2,164 S.F	16	8,656 S.F	11.9%	Total Qty:	45
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Percentage	32.5%
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Area:	23,649 S.F
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Average Unit Size:	526 S.F
Unit B1.0	754 S.F	-	-	1	754 S.F	-	-	-	-	-	-	1	754 S.F	1.0%	1 BEDROOM	
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Qty:	32
Unit B3.0	777 S.F	-	-	1	777 S.F	1	777 S.F	1	777 S.F	1	777 S.F	4	3,108 S.F	4.3%	Total Percentage	35.2%
Unit B4.0	756 S.F	-	-	2	1,512 S.F	2	1,512 S.F	2	1,512 S.F	2	1,512 S.F	8	6,048 S.F	8.3%	Total Area:	25,689 S.F
Unit B5.0	804 S.F	-	-	1	804 S.F	1	804 S.F	1	804 S.F	1	804 S.F	4	3,216 S.F	4.4%	Average Unit Size:	803 S.F
Unit B6.0	832 S.F	-	-	1	832 S.F	1	832 S.F	1	832 S.F	1	832 S.F	4	3,328 S.F	4.6%		
Unit B7.0	843 S.F	-	-	1	843 S.F	1	843 S.F	1	843 S.F	1	843 S.F	4	3,372 S.F	4.6%		
Unit B8.0	895 S.F	-	-	1	895 S.F	1	895 S.F	1	895 S.F	1	895 S.F	4	3,580 S.F	4.9%		
Unit B9.0	761 S.F	-	-	-	-	1	761 S.F	1	761 S.F	1	761 S.F	3	2,283 S.F	3.1%		
Unit B10.0	853 S.F	-	-	1	853 S.F	1	853 S.F	1	853 S.F	1	853 S.F	4	3,412 S.F	4.7%		
Unit B11.0	752 S.F	-	-	1	752 S.F	-	-	-	-	-	-	1	752 S.F	1.0%	1 BEDROOM PLUS	
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Unit C2.0	832 S.F	-	-	1	832 S.F	1	832 S.F	1	832 S.F	1	832 S.F	4	3,328 S.F	4.6%	Total Qty:	7
Unit C3.0	739 S.F	-	-	-	-	1	739 S.F	1	739 S.F	1	739 S.F	3	2,217 S.F	3.1%	Total Percentage	7.7%
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Area:	5,545 S.F
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Average Unit Size:	792 S.F
Unit D1.0	1,007 S.F	-	-	1	1,007 S.F	1	1,007 S.F	1	1,007 S.F	1	1,007 S.F	4	4,028 S.F	5.5%	2 BEDROOM	
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Qty:	4
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Percentage	5.5%
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Area:	4,028 S.F
-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Average Unit Size:	1,007 S.F
Unit E1.0	1,188 S.F	-	-	1	1,188 S.F	1	1,188 S.F	1	1,188 S.F	1	1,188 S.F	4	4,752 S.F	6.5%	2 BEDROOOM PLUS	
Unit E2.0	1,205 S.F	-	-	1	1,205 S.F	1	1,205 S.F	1	1,205 S.F	1	1,205 S.F	4	4,820 S.F	6.6%	Total Qty:	8
BUILDING SUMMARY DATA		FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		FOURTH FLOOR		FIFTH FLOOR		Total Bldg Qty	TOTAL AREAS	%	Unit A.S.F.	Total BR Count
		Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area					
UNIT TOTALS:		-	-	23	17,003 S.F	26	18,548 S.F	26	18,548 S.F	26	18,548 S.F	101	72,647 S.F	100.0%	719 S.F	108
COMMON SPACES:		-		(4,793 S.F)		(3,248 S.F)		(3,159 S.F)		(2,733 S.F)		(13,933 S.F)				
BUILDING TOTALS:	Area:	-		21,796 S.F		21,796 S.F		21,707 S.F		21,281 S.F		86,580 S.F		857 S.F Per Unit		
	Efficiency:	0.0%		78.0%		85.1%		85.4%		87.2%		83.9%				
BUILDING DATA: RETAIL																
BUILDING SUMMARY DATA		FIRST FLOOR		SECOND FLOOR		THIRD FLOOR		FOURTH FLOOR		FIFTH FLOOR		Total Bldg Qty	TOTAL AREAS	%		
		Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area	Total Qty	Total Area					
Retail Space #1	2,808 S.F	1	2,808 S.F	-	-	-	-	-	-	-	-	1	2,808 S.F	3.9%	Retail Spaces	
NA	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Qty:	1
NA	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Percentage	3.9%
NA	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Total Area:	2,808 S.F
NA	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Average Unit Size:	2,808 S.F
RETAIL SPACE TOTALS:		1	2,808 S.F	-	-	-	-	-	-	-	-	1	2,808 S.F	3.9%	2,808 S.F A.S.F.	
COMMON SPACES:		2,808 S.F		-		-		-		-		2,808 S.F				
BUILDING TOTALS:	Area:	-										-		- Per Space		
	Efficiency:	0.0%		0.0%		0.0%		0.0%		0.0%		0.0%				

BUILDING DATA - TOTALS				
Total Leasable		Common Space	Building Totals	
740 A.S.F. per Space			Area	Efficiency
Qty.	Area			
101	72,647	(13,933)	86,580	83.91%
1	2,808	-	-	#DIV/0!
102	75,455	(13,933)	86,580	87.2%



25 LOWER LEVEL PLAN
1/8" = 1'-0"

GENERAL NOTES - PARKING LEVEL

- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
- EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE MS UNLESS NOTED OTHERWISE.
- ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
- DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC 406.3.2.
- VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
- VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
- PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
- GENERAL CONTRACTOR TO COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLAN PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
- COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
- CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.
- PROVIDE VINYL BASE IN PARKING AREA AT BASE OF ALL DRYWALLED WALLS.
- PROVIDE MOISTURE-RESISTANT GYPSUM DRYWALL (GREENBOARD) ON ALL DRYWALL WALLS FACING PARKING AREAS ON ALL LEVELS. REFER TO WALL ASSEMBLY SHEETS FOR REQUIRED FIRE RATINGS.

KEYNOTES

NUMBER	NOTE
124	GAS METER LOCATION, CM TO VERIFY EXACT LOCATION W/ UTILITY - SEE CIVIL PLAN SET
125	ELECTRIC METER LOCATION, CM TO VERIFY EXACT LOCATION W/ UTILITY - SEE CIVIL PLAN SET
126	150W RECESSED FIRE EXTINGUISHER CABINET WITH EXTINGUISHER
127	WALL-RING FIRE EXTINGUISHER
140	BOLLARD
141	STRUCTURAL PRECAST T'S - SHOWN ABOVE FLOOR LEVEL - SEE STRUCTURAL PLAN SET
171	EV PARKING FOOT
172	UNEXCAVATED
173	FLOOR MOUNTED BIKE RACK - SEE SCOPE SPECS
174	UNIT HEATER - VERIFY LOCATION WITH MECHANICAL CONTRACTOR
202	MIRROR - VERIFY LOCATION AND MOUNTING REQUIREMENTS WITH OWNER
217	RECESS CONCRETE SLAB FOR ADA PLATFORM LIFT - SEE SCOPE SPECS
232	WALL MOUNTED BIKE RACK - SEE SCOPE SPECS
248	BIKE REPAIR STATION - SEE SCOPE SPECS
249	BIKE PUMP - SEE SCOPE SPECS
424	WALL HUNG KATAX RACKS, (2) HIGH



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-op.com

JLA PROJECT NUMBER: 18-1121



T. Wall Enterprises
Development, LLC

RIVERHOUSE ON THE ROCK

BID SET

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DATE OF ISSUANCE MAY 20, 2022

REVISION SCHEDULE

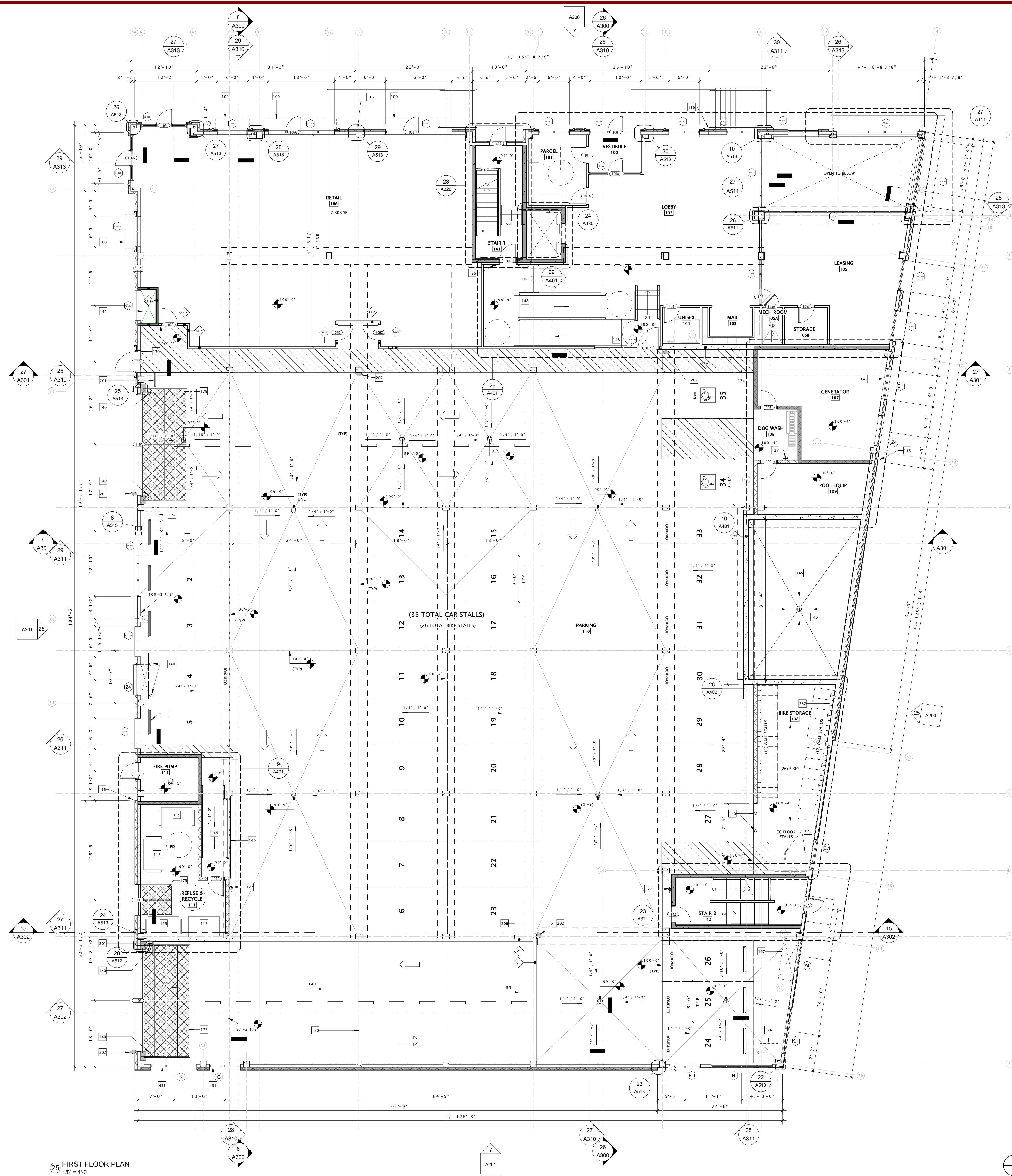
Mark	Description	Date
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SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100



- GENERAL NOTES - PARKING LEVEL**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR CONCRETE MASONRY UNLESS OTHERWISE NOTED.
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 - CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.
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 - PROVIDE MOISTURE-RESISTANT CYPRESS DRYWALL (GREENBOARD) ON ALL DRYWALL WALLS FACING PARKING AREAS ON ALL LEVELS. REFER TO WALL ASSEMBLIES FOR REQUIRED FIRE RATINGS.

KEYNOTES	
NUMBER	NOTE
100	AWNING BELOW / ABOVE (DASHED)
115	TYPICAL VIBED BUMPSTOP
116	DIMENSION LOCATES CHANGE IN EXTERIOR CLADDING MATERIAL OR COLOR - SEE EXTERIOR ELEVATIONS.
126	SEMI-RECESSED FIRE EXTINGUISHER CABINET WITH EXTINGUISHER
127	WALL-HUNG FIRE EXTINGUISHER
130	AUTO-OPERATORS LOCATED ON BOTH THE INSIDE AND OUTSIDE OF DOOR - SEE DOOR SCHEDULE
140	HOLLARD
142	BACK MASKED WINDOW
144	AIR INTAKE MECHANICAL SHAFT OPEN TO BELOW FOR LOWER LEVEL PARKING VENTILATION - COORDINATE WITH DESIGN-BUILD MECHANICAL CONTRACTOR
145	POOL ABOVE - SEE ENLARGED POOL PLANS AND DETAILS SHEET
146	1/8" TAPERED CONCRETE TOPPING TO FLOOR DRAIN(S)
148	RAMP & STAIR DOWN FROM PARKING AREA AT 1:12 MAX SLOPE
149	RAMP DOWN TO REFUSE / RECYCLE
167	EXHAUST
169	FAILING
170	RAMP DOWN
173	FLOOR MOUNTED BKE RACK - SEE SCOPE SPECS
174	UNIT HEATER - VERIFY LOCATION WITH MECHANICAL CONTRACTOR
175	PROVIDE ENCAPSULATED RIGID INSULATION ABOVE OVERHEAD DOOR - SEE INSULATION SECTION OF THE SCOPE SPECIFICATIONS FOR ADDITIONAL INFORMATION
201	STOP SIGN - VERIFY LOCATION AND MOUNTING REQUIREMENTS WITH OWNER
202	WIRER - VERIFY LOCATION AND MOUNTING REQUIREMENTS WITH OWNER
206	42" H POURED CONCRETE WALL VEHICLE BARRIER TO THE HIGH POINT OF THE FINISH FLOOR - SEE STRUCTURAL
232	WALL MOUNTED BKE HOOD - SEE SCOPE SPECS
431	WINDOW ABOVE OPENING HEIGHT TO BE 7'-0"

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 18-1121

T. Wall Enterprises
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RIVERHOUSE ON THE ROCK
BID SET

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REVISION SCHEDULE	
Mark	Description
Date	

FIRST FLOOR PLAN

A101



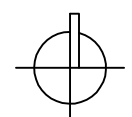
PROPOSED UNITS	
	STUDIO
	1BR
S	= standard client unit

RIVERHOUSE ON THE ROCK

2ND FLOOR PLAN

(Revised: 11/17/22) NOVEMBER 11, 2021

1" = 20' @ 11 x 17





PROPOSED UNITS	
	STUDIO
	1BR
S	= standard client unit

RIVERHOUSE ON THE ROCK

3RD THRU 5TH FLOOR PLAN

(Revised: 11/17/22) NOVEMBER 11, 2021

1" = 20' @ 11 x 17

