

SITE & BUILDING DEVELOPMENT PLAN:

LIGHTING, LANDSCAPING, SITE LAYOUT & BUILDING EXHIBITS

600 Commerce Drive, Watertown, WI 53094

44 ft x 160 ft Commercial Storage / Multi-Tenant Light Industrial Building

Prepared by Max Clouse July 25, 2026

for City of Watertown Site / Building Plan Review

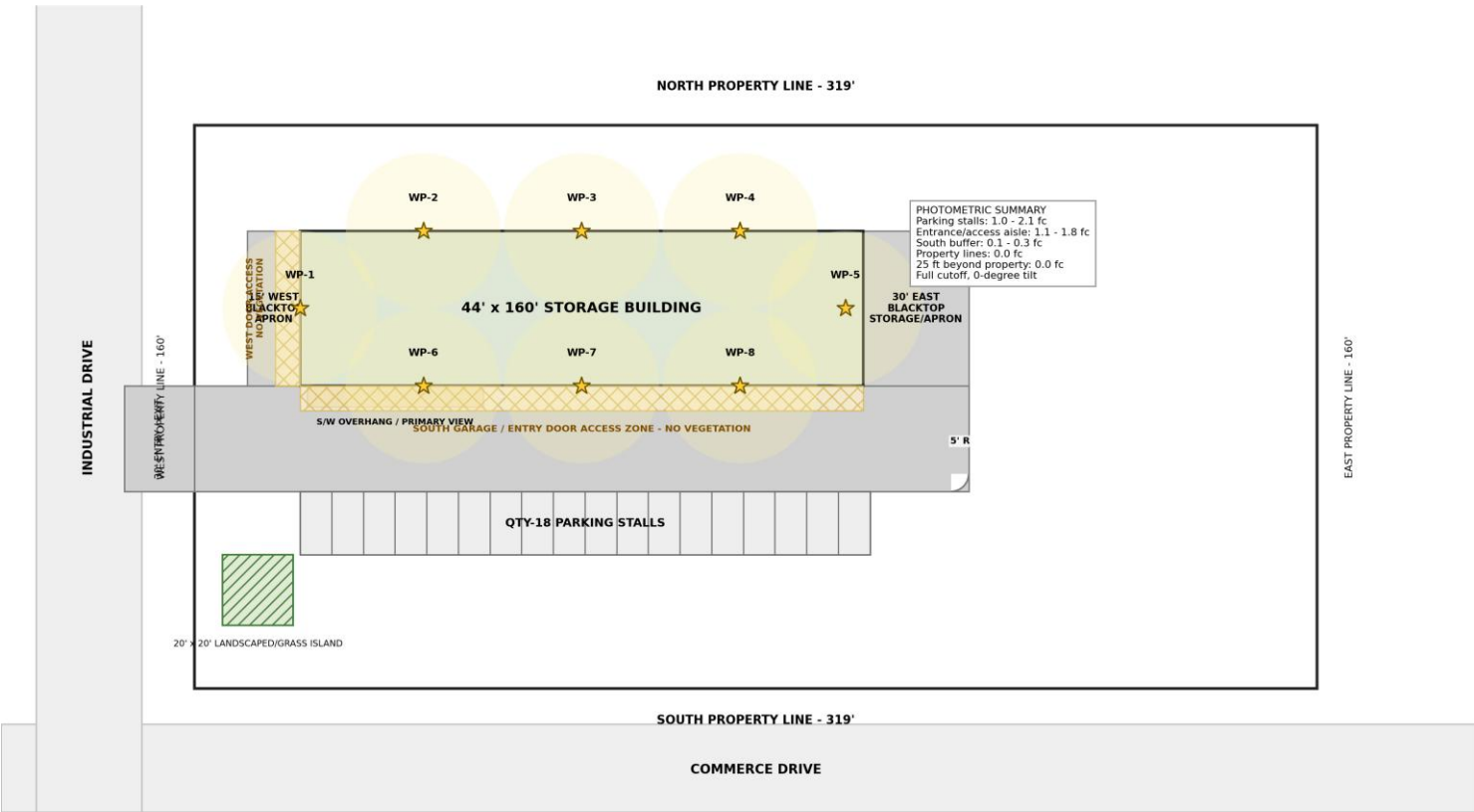


Project / Review Item	Final Package Treatment
Submittal basis	City correspondence requested parking dimensions/counts, lighting plan with photometric information, landscaping details/species, and required/proposed landscaping point totals.
Code / guidance references used	Watertown Zoning Code Article X Landscaping and Bufferyard Regulations; §550-107 Off-street parking and traffic circulation standards; §550-110 exterior lighting standards as provided in the project reference files; City of Watertown website for public municipal reference.
No-curb/gutter approach	Blacktop only is shown. No curb or gutter is proposed. The parking island is shown as a grass/landscape island adjacent to the blacktop.
Door clearance rule	No vegetation shall be placed in front of garage doors, entry doors, or clear access paths. Final building door layout controls exact field placement.
East light correction	WP-5 is shown on the east building wall/elevation and directed toward the east storage apron, not at the outer edge of the apron.

PART 1: EXTERIOR LIGHTING & PHOTOMETRIC PLAN

This section follows the lighting-plan format from the prior lighting and landscaping document with a luminaire schedule, mounting specifications, photometric summary, and code-reference notes. Fixture locations are conceptual for site plan review and should be verified with final manufacturer photometric files if required during permit review.

E1 LIGHTING PLAN - FIXTURE LOCATIONS AND PHOTOMETRIC SUMMARY



1.1 Luminaire Schedule and Mounting Specifications

Fixture	Location	Mounting Height	Optics / Orientation	Lamp / Output	Notes
WP-1	West elevation / access drive side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	Shielded to limit glare and property-line spill.
WP-2	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-3	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-4	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-5	East building wall / east elevation, directed toward east storage apron	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	Corrected location: mounted on building wall, not at outer apron edge.
WP-6	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.
WP-7	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.
WP-8	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.

1.2 Photometric Summary and Lighting Code Notes

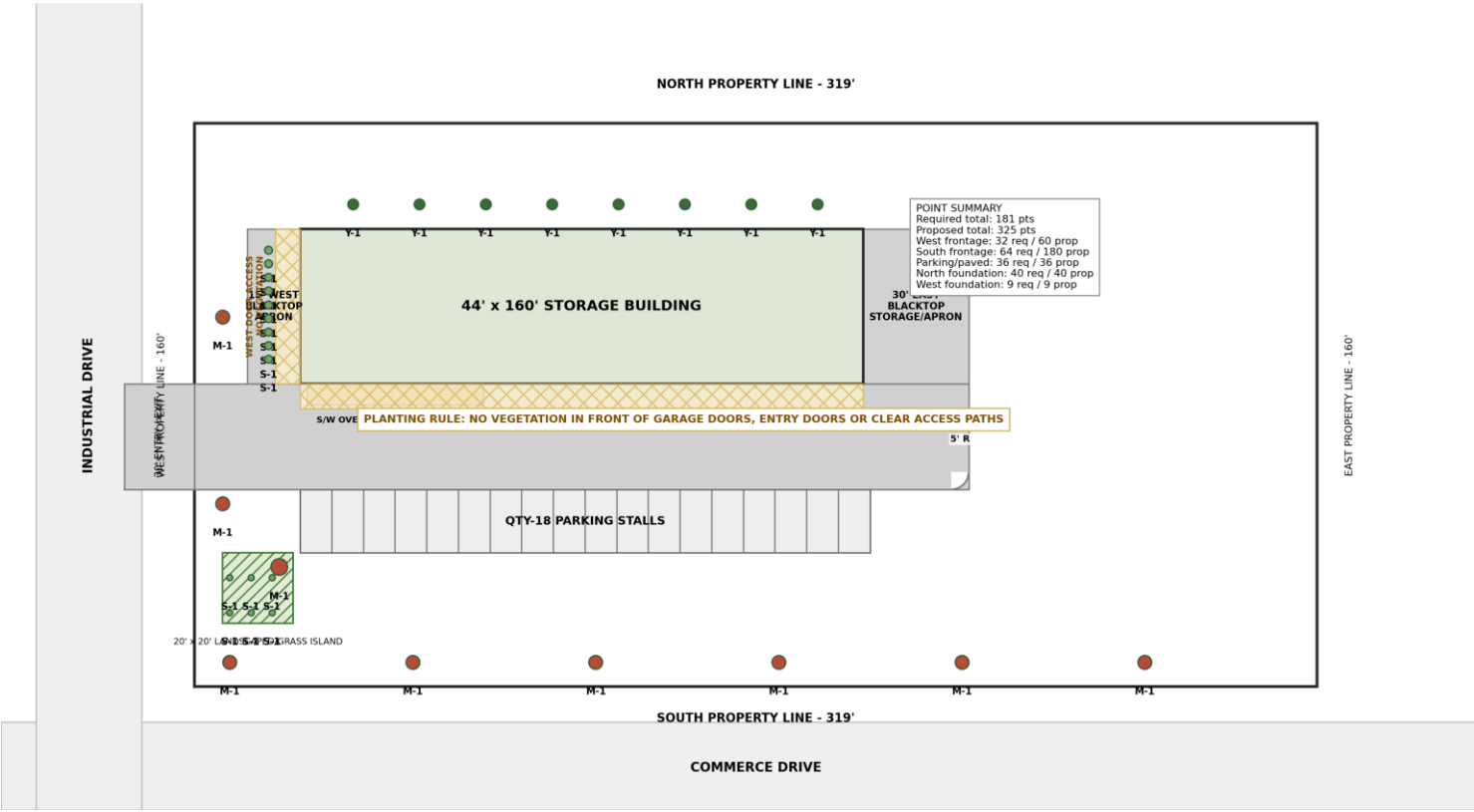
Measurement / Topic	Plan Value	Compliance / Intent Note
Parking stalls	1.0 to 2.1 fc	Meets/exceeds site parking illumination target used for review.
Entrance / access aisle	1.1 to 1.8 fc	Meets/exceeds site circulation illumination target used for review.
South buffer	0.1 to 0.3 fc	Transition area near frontage landscaping.
Property lines	0.0 fc	Below 0.50 fc property-line light-trespass limit used in review.
25 ft beyond property lines	0.0 fc	No modeled spillover beyond site boundary.
Fixture shielding	Full cutoff, 0-degree tilt	Specified to minimize glare and limit visibility of lighting element from off site.

Reference	How Addressed
§550-107.F(3)	Off-street parking and traffic circulation areas serving six or more cars shall be lit for safe and efficient use; provided plan uses wall-mounted fixtures and modeled photometric levels.
§550-110	Exterior lighting standards are referenced for property-line spill, fixture shielding, and glare control.
Project drawing E1	Fixture positions, mounting ranges, and photometric summary are depicted on E1. WP-5 is corrected to the east building wall.

PART 2: LOW-MAINTENANCE LANDSCAPING PLAN

This section follows the prior landscaping-document style and lists the plant schedule, Appendix F compatible plant classifications, required/proposed point totals, and placement notes. Plantings are kept simple and budget-conscious while avoiding garage doors, entry doors, and access paths.

L1 LANDSCAPING PLAN - REQUIRED VS PROPOSED POINT AREAS



2.1 Plant Schedule and Appendix F Compliance

Symbol	Type	Botanical / Common Name	Qty	Points / Plant	Location / Function	Appendix F Compliance Note
M-1	Tall Deciduous Tree	Acer rubrum / Red Maple	9	30 pts	Street frontages and northeast area of landscape island	Listed under Appendix F tall deciduous trees; red maple is an accepted 30-point tree type.
Y-1	Medium Evergreen Shrub	Taxus x media / Dense Yew	8	5 pts	North foundation wall	Yew/Taxus is listed in evergreen shrub classifications and is appropriate for foundation planting credit.
S-1	Low Deciduous Shrub	Spiraea japonica / Little Princess Spirea	15	1 pt	West foundation and parking/paved-area island shrubs	Spirea is listed under low deciduous shrubs; used where low foundation or island plantings are preferred.

2.2 Required vs Proposed Landscaping Points

Landscaping Category	Required Points	Proposed Plantings	Proposed Points	Status
West Street Frontage	32 pts required	2 Red Maple	60 pts proposed	Meets
South Street Frontage	64 pts required	6 Red Maple	180 pts proposed	Meets
Parking / Paved Area	36 pts required	1 Red Maple + 6 Low Shrubs	36 pts proposed	Meets
North Foundation	40 pts required	8 Dense Yew	40 pts proposed	Meets
West Foundation	9 pts required	9 Little Princess Spirea	9 pts proposed	Meets
Total	181 pts required	Combined planting schedule	325 pts proposed	Meets

Code Reference	How Addressed
\$550-95	Uses the landscaping point method and plant point values by category.
\$550-96.A	Foundation plantings use shrubs; tall/climax trees are not credited to foundation landscaping.
\$550-96.B	Street frontage plantings are located along the public street frontage, within the property, and arranged to avoid visibility hazards.
\$550-96.C	Paved-area landscaping includes a 20 ft x 20 ft landscaped island and plantings within/near the paved area.
\$550-100 / Appendix F	Plant species are selected from or aligned with the listed classification groups: Red Maple, Yew/Taxus, and Spirea.
\$550-101 to \$550-103	Plant installation, maintenance, calculation, and depiction requirements are acknowledged in the submittal notes.

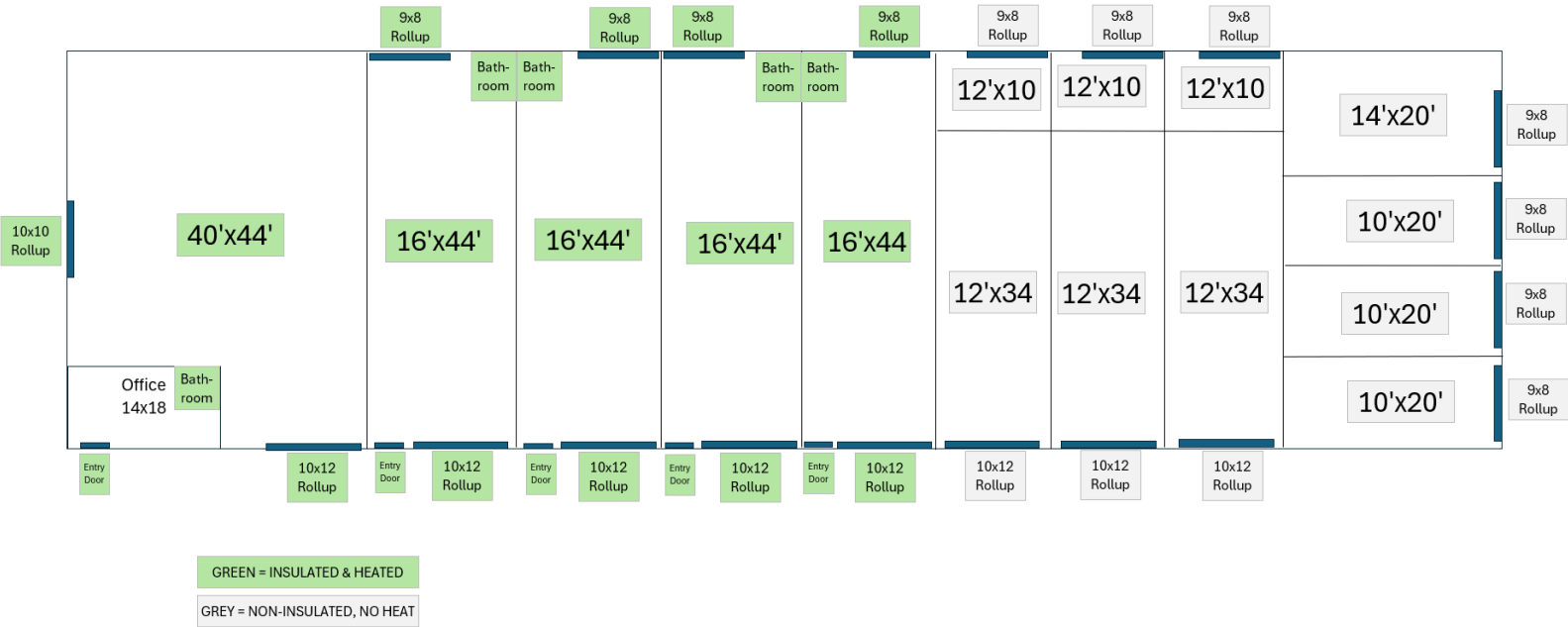
Placement Topic	Final Direction
South property line trees	First south frontage Red Maple starts approximately 10 ft east of the southwest corner, with remaining trees evenly spaced toward the east.
Landscape island tree	Island Red Maple is placed toward the northeast corner of the 20 ft x 20 ft grass/landscape island to avoid crowding the nearby southwest frontage tree and support signage/corner landscaping.
West property line trees	West frontage trees remain inside the property line and outside pavement/door access areas.
Foundation plantings	Dense Yew and Spirea shrubs shall be field located in solid wall segments only and shall not block doors or access paths.

C1 SITE LAYOUT - FULL DIMENSIONS / BLACKTOP AREAS / NO CURB

PART 4: BUILDING LAYOUT & RENDERINGS

Building layout and renderings are included for site plan review context. The south/west view remains the primary public-facing view. Formal C1/L1/E1 drawings control site dimensions, pavement limits, landscaping locations, and lighting locations.

4.1 Building Layout



4.2 Building Renderings



This image is generated as a design concept for the purpose of visualizing your finished project and may not be an exact representation of final construction. Final results may vary in price, materials, and specifications.



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PART 5: CITY CORRESPONDENCE RESPONSE MATRIX

Date	Topic	Response in Final Package
June 25, 2026	Setback feedback	Document notes 30 ft rear/north setback and 25 ft front/street-side minimum from City correspondence.
July 13, 2026	Site plan review details requested	Includes parking dimensions, lighting plan/photometric summary, and landscaping species/points.
July 19, 2026	Parking stall count and size	Shows QTY-18 at 9 ft x 18.5 ft.
July 21, 2026	Required/proposed landscaping points requested	Required and proposed point table is included in Word, Excel, and PowerPoint.

PART 6: REFERENCES AND FINAL REVIEW NOTES

Reference / Source	Use in Final Package
City of Watertown website	Public municipal reference for City departments, meetings, visitors/business information, notices, and resources.
Watertown Zoning Code §550-107	Off-street parking and traffic circulation standards.
Watertown Zoning Code §550-95 to §550-103	Landscaping point values, regular development landscaping, species classifications, installation/maintenance, calculations, and required site-plan depiction.
Project email correspondence with Brian Zirbes	Used as the checklist for requested parking dimensions/counts and required/proposed landscape point totals.
Clouse_StorageUnit_070726 workbook and images	Used for building layout, renderings, and project exhibits.
SITE DEVELOPMENT PLAN_LIGHTING & LANDSCAPING_072526	Used as layout/style basis for the lighting and landscaping tables.

Open Item	Action / Reason
Final engineered/site construction drawings	Confirm exact survey dimensions, final grading, stormwater, erosion control, and pavement design.
Final door layout	Controls exact foundation shrub placement; no vegetation may block doors/access paths.
Final photometric/fixture submittal	Use final selected fixture IES files if required by City at permit stage.
Parking stall depth label	Updated plan directly shows the 18.5 ft parking stall depth.