

401 Bernard Street

Level 2 Remodeling

401 Bernard Street

Watertown, WI

Construction Documents

August 11, 2025



SITE PLAN GENERAL NOTES

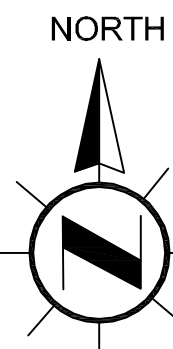
(SHEET A1.0)

- PROPOSED BUILDING ELEVATION SHOWN AS: MAIN FLOOR FINISHED FLOOR EL = 100'-0"
- ALL GROUND SHALL PITCH AWAY FROM BUILDING AT A MINIMUM OF 4% +/- UNLESS NOTED OTHERWISE. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- CONCRETE SURFACES SHALL SLOPE @ 1/8" = 1'-0" MINIMUM AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:50 MAXIMUM AT HANDICAPPED ACCESSIBLE PARKING STALLS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:40 MINIMUM AT ALL OTHER PARKING LOT AREAS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.

KEYED NOTES (CONT'D)

(SHEET A1.0)

- YELLOW COLORED PARKING LOT PAINT STRIPING
- VAN ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.
- STANDARD ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.
- ACCESSIBLE ROUTE PAINT STRIPE HATCHING TO BUILDING



Site Layout Plan

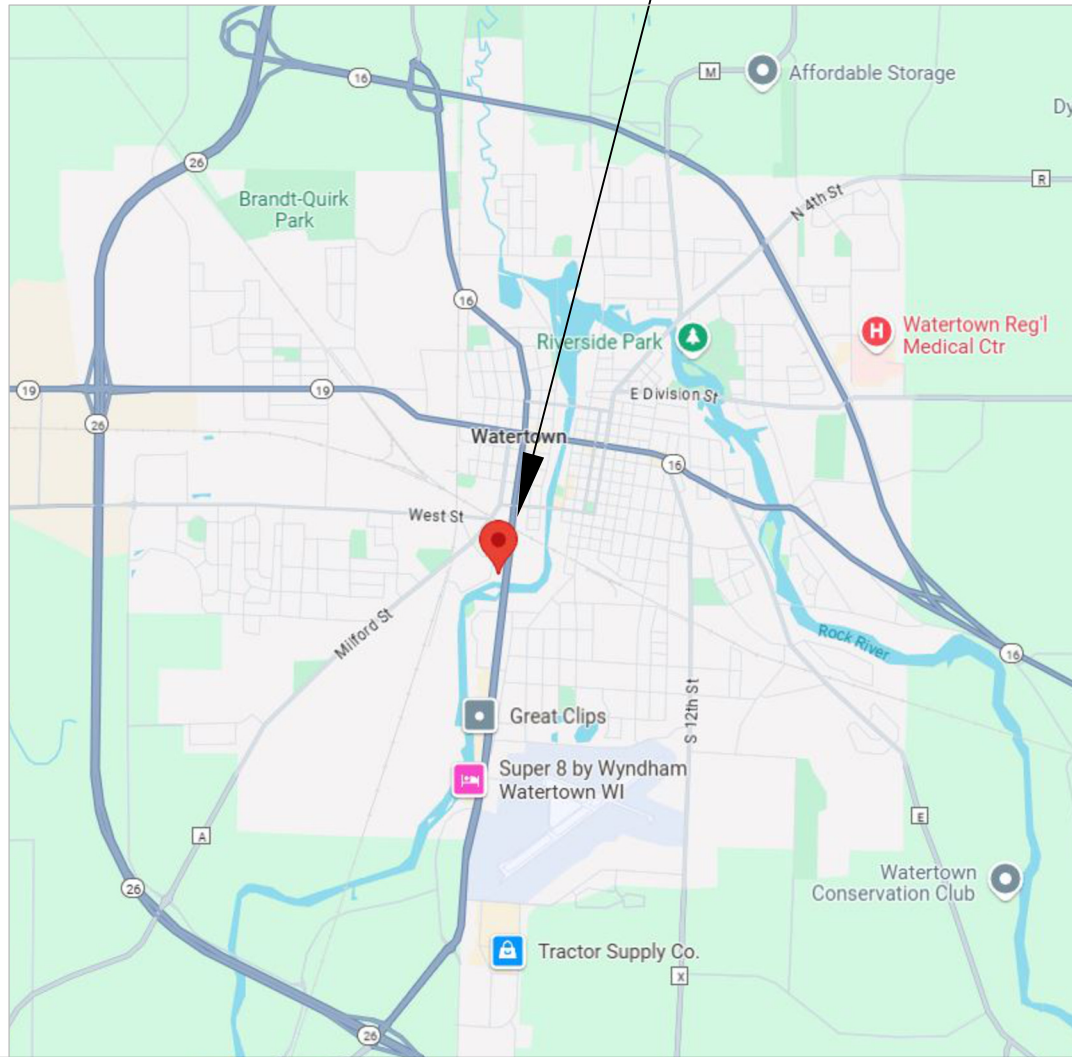
1" = 40'-0"

Sheet Index:

Architectural

- A0.0** Title Sheet Code Analysis
A1.0 Key Plan / Schedules / Details
A2.0 Remodeling Floor Plan
A3.0 Exterior Elevations / Details

Location Map:



Project Location:
401 Bernard Street
Watertown, Wisconsin

Architect:

CASHMAN ASSOCIATES, Inc.
Gregory M. Cashman, AIA

4798 County HWY 1
PH: (608) 237-7443



Sparta, WI 54656
FAX: (608) 237-7444

gcashman@charter.net

Architect Stamp:

Project General Notes:

- CODE COMPLIANCE:** ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
- PERMITS:** CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/ OR LICENCES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
- COORDINATION:** ALL SUBCONTRACTORS, SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR, FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE. ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
- FIELD VERIFICATION:** ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
- DEMOLITION:** CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/ OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
- PENETRATIONS:** ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
ALL TRADES SHALL TAKE SPECIAL CARE TO MAKE HOLES AS SMALL AS POSSIBLE AND IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S SPECIFICATIONS.
ALL HOLES SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALLS, JOISTS, AND/ OR ROOF DECK.
ASSOCIATED TRADE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY HOLES LEFT UNREPAIRED.
- FIRESTOPPING:** ALL HOLES OR PENETRATIONS, EXISTING OR NEW, THROUGH FIRE-RATED CONSTRUCTION SHALL BE CLOSED, FIRESTOPPED, DAMPERED, AS REQUIRED BY CURRENT 2015 IBC Code
- HAZARDOUS MATERIALS:** ANY HAZARDOUS MATERIALS ENCOUNTERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
- DO NOT SCALE DRAWINGS:** IN ALL CASES, NOTED DIMENSIONS AND/ NOTES INDICATING DIMENSIONS OR SIZING SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
- DIMENSIONING:** ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUGH-FRAMED STUD WALL TO FACE OF ROUGH-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

Code Information

DESCRIPTION:

- Level 2 remodeling to existing (M) mercantile building
- Existing Insulated, Conditioned Building
- IEBC Ch. 9- Level 2 Alteration
- Exterior front of building update remodeling

APPLICABLE CODES:

- State of Wisconsin Department of Safety and Professional Services Administrative Code- Chapters 361, 362, 363, 364, 365
- 2015 International Building Code and SPS 362
- 2015 International Existing Buildings Code and SPS 366
- 2015 International Energy Conservation Code and SPS 363
- 2015 International Mechanical Code and SPS 364
- 2015 International Fuel Gas Code and SPS 365
- SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
- SPS Plumbing Chapters 381-387 as based on SPS 362.2901
- 2015 International Fire Code
- Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35

OCCUPANCY CLASSIFICATION:

- Business (B) (Accessory Use- less than 10% area) IBC Section 304.1
- Mercantile (M) IBC Section 309.1
- Storage (S-1) IBC Section 311.2

Building Gross SF Areas:

****Single-Occupancy, One-Story Building** IBC Section 506.2.1

Building Level	Remodeled Main Floor GSF	Existing To Remain Main Floor GSF (Other Occupancies)	Building Total Floor GSF
First Floor	15,464 gsf	26,248 gsf	41,712 gsf
(Project Total)		15,464 gsf	

Building Height:

IBC Section 504.3

Peak: 17'-4" height (40'-0" Allowable) IBC Section 504.3

No. of Levels: One

No. of Stories: One (1 allowed) IBC Section 504.4

Construction Type: IBC Section 601

- Type VB- Combustible & Not Protected Construction

Struct. Frame	Bearing Walls Ext.	Int.	Non-Bearing Walls Ext.	Int.	Floor Const.	Roof Const.
0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.

IBC 907

BUILDING HEIGHT & AREA:

IBC Table 506.2- Sprinklered, 1-story: $A_t = 36,000$ SF

FIRE PROTECTION:

NFPA - 13 Sprinklered Construction
Fire Alarm System not required

OCCUPANT LOAD:

(Remodeled Area) (See Plan Set) IBC TABLE 1004.1.2

169 Occupants

EXIT ACCESS TRAVEL DISTANCE:

IBC TABLE 1017.2

S-1 Occupancy Sprinklered Construction: 250'-0"

M Occupancy Sprinklered Construction: 250'-0"

PLUMBING FIXTURES:

IBC TABLE 2902.1

(M) Occupancy:

100 person Occupant Load: (1) unisex toilet required

(B) Occupancy:

< 25 person Occupant Load: (1) unisex toilet required

GENERAL NOTES AND SPECIFICATIONS

- The mechanical systems design are not a part of these plans.
- All work performed to meet all state and local building codes. Contact the architect with any field-discovered discrepancies.
- The general contractor is to field verify all existing conditions and dimensions.
- Accessible parking stalls are available on-site immediately outside the front entrance.
- The building is Type VB construction.

CASHMAN ASSOCIATES, Inc.

PROJECT TITLE:
401 Bernard St. Watertown
Tenant Remodeling

SHEET NUMBER:
A0.0

PROJECT OWNER:
Niemann Foods, Inc.
1501 N 22nd St
Quincy, IL 62301

LOCATION:
401 Bernard St
Watertown, WI 53094
Jefferson County

DATE:
August 11, 2025

PROJECT:
401 Bernard St. Watertown
Tenant Remodeling

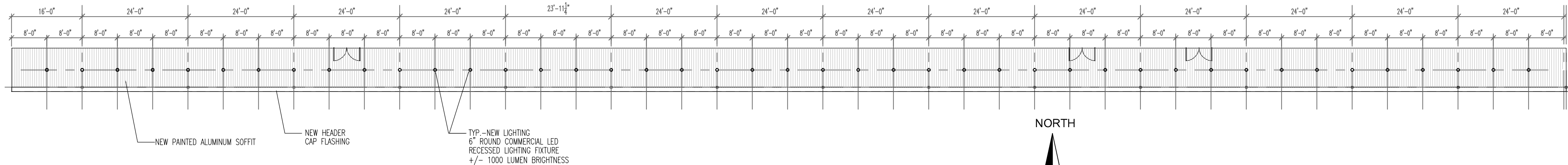
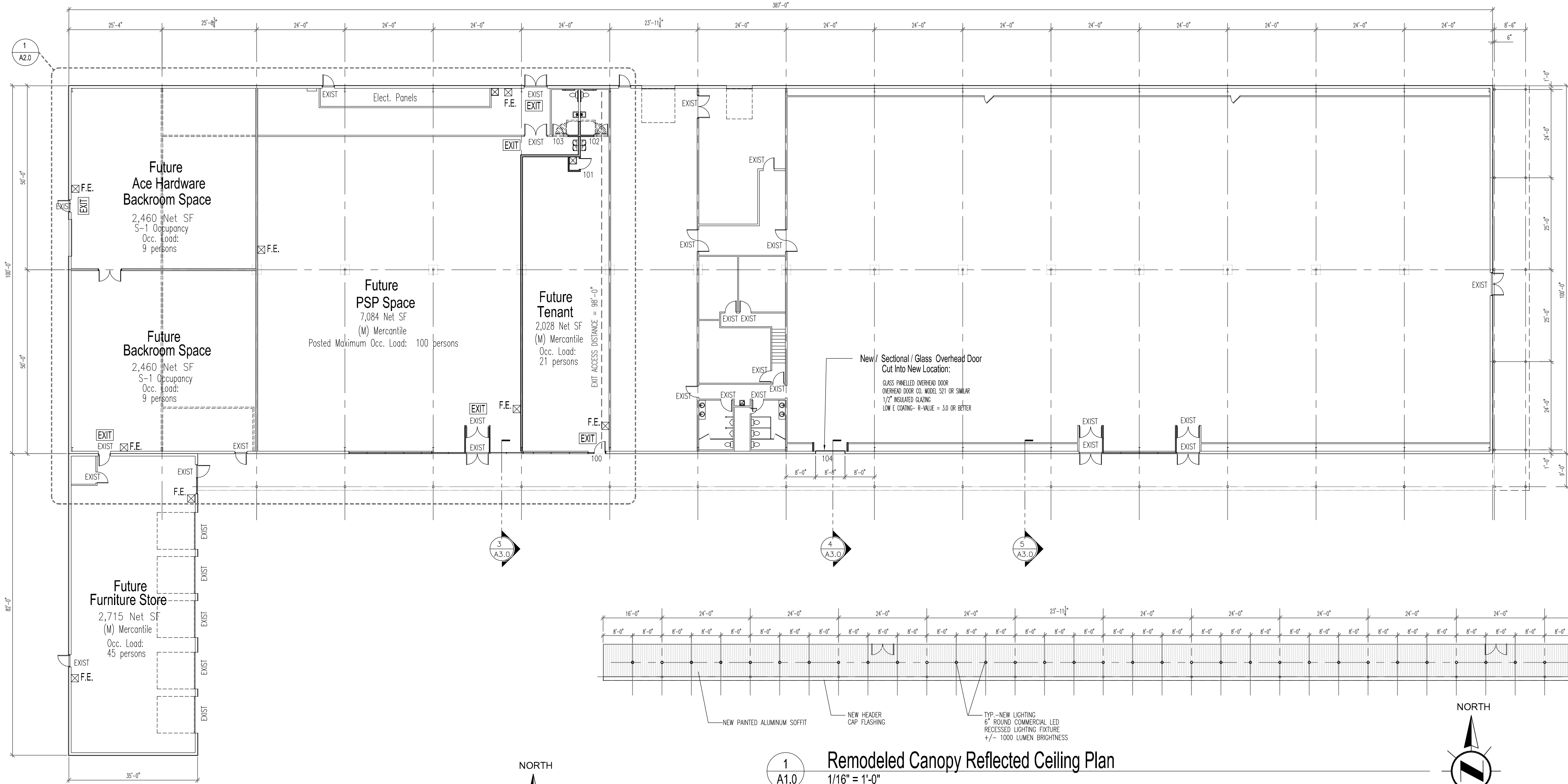
401 Bernard St.
Watertown, WI 53094

REVISIONS

NO.	TITLE	DATE

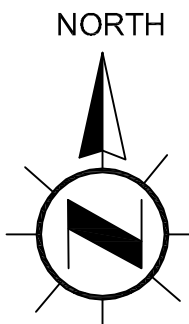
PROJECT NO. 1011@Live.com

Gregory M. Cashman, AIA



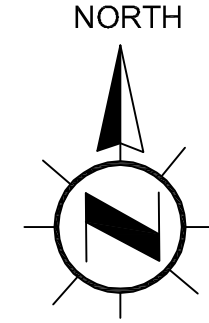
1
A1.0

Key Plan / Existing Conditions / Partial Remodeling Plan
1/16" = 1'-0"



1
A1.0

Remodeled Canopy Reflected Ceiling Plan
1/16" = 1'-0"

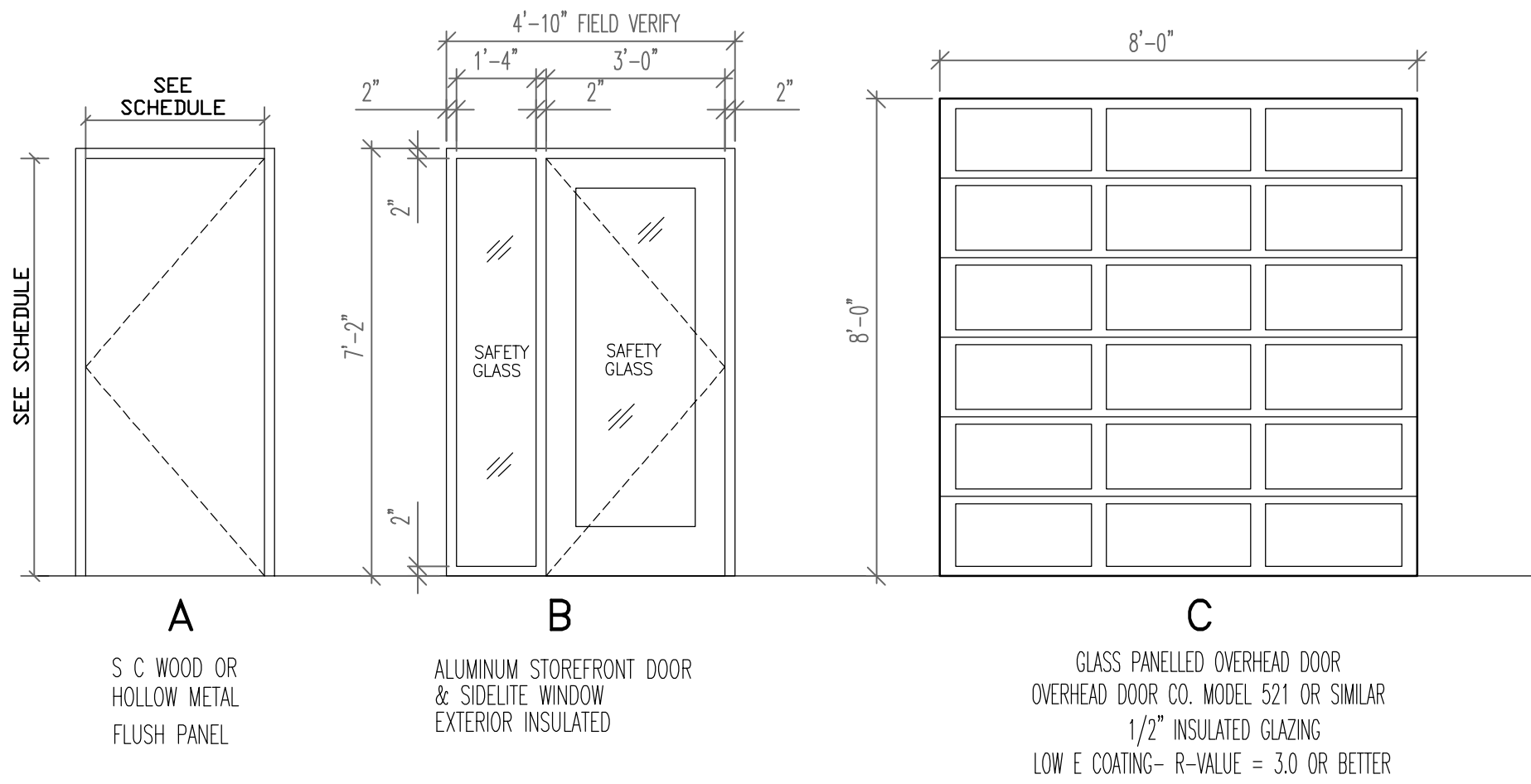


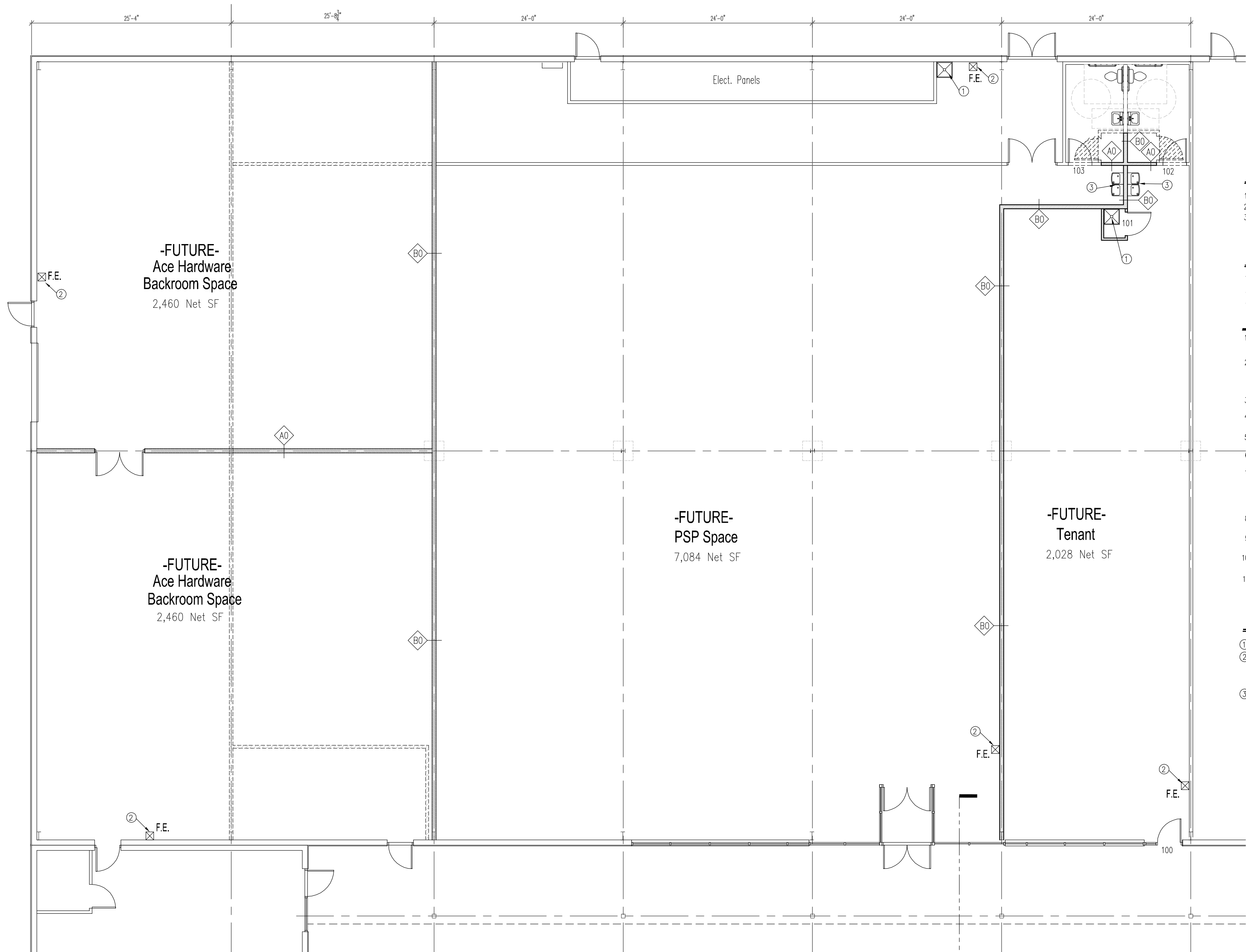
DOOR/ FRAME SCHEDULE											
DOOR NO.	DOOR					FRAME			HARDWARE GROUP	NOTE: NIF - SIMPSON INTERIOR MOUNTED DOORS- INFINITY SERIES OR SIMILAR DOOR- FIRE RATED WHERE NOTED REDFRAME-REDWELX REDFRAME CORP PREFINISHED STEEL FRAMES FIRE RATED WHERE NOTED	
	SIZE	THICKNESS	MATERIAL	FINISH	TYPE: SEE DETAIL 2 A1.0 U-CUT OR LOUVER	MATERIAL	FINISH	TYPE: SEE DETAIL 2 A1.0			SEE NOTES- BELOW
REMARKS											
100	3'-0" x 7'-0"	1-3/4"	ALUMINUM	ANODIZED	B	-	ALUMINUM	ANODIZED	B	E-1	INSULATED EXTERIOR ALUMINUM DOOR
101	3'-0" x 7'-0"	1-3/4"	SC-WOOD	STAIN	A	-	HM	PAINT	A	C-1	
102	3'-0" x 7'-0"	1-3/4"	SC-WOOD	STAIN	A	-	HM	PAINT	A	T-1	
103	3'-0" x 7'-0"	1-3/4"	SC-WOOD	STAIN	A	-	HM	PAINT	A	T-1	
104	8'-0" x 8'-0"	2"	ALUMINUM	PAINT	C	-	-	-	-	-	EXTERIOR OVERHEAD DOOR

HARDWARE GROUPS				(AS NOTED ON DOOR/ HARDWARE SCHEDULE)	
EXIT				TOILET	
E-1	ALUM EXTERIOR DOOR PAIR EXIT DOOR	C-1	CLASSROOM (STG)	T-1	TOILET
PUSH BAR (INTERIOR SIDE BOTH DOORS) PULL HANDLE (EXTERIOR SIDE BOTH DOORS) DEADLATCH PADDLE (DOOR #1) DEAD BOLT KEYED CYLINDER (DOOR #2) CONTINUOUS HINGE CLOSER DOOR BOTTOM		ADA LEVER CLASSROOM LOCKSET (3) BUTTS		PRVACY LEVER LOCKSET BUTTS (3) DOOR STOP DOOR BOTTOM/SWEEP	
NOTE: DOOR #1 ALWAYS OPEN DURING BUSINESS HOURS					

2
A1.0

DOOR/ FRAME TYPES
3/8" = 1'-0"





REFERENCE NOTES

SHEET A1.0-A2.0

- SEE DETAIL 2 / A2.0 FOR PARTITION TYPES
- SEE DETAIL 3 / A2.0 FOR ADA MOUNTING DETAILS
- SEE SHEET A1.0 FOR DOOR SCHEDULE

DIMENSION NOTES

SHEET A1.0-A2.0

- INTERIOR WALLS DIMENSIONED TO FACE OF STUD
- EXTERIOR WALLS DIMENSIONED TO EXTERIOR FACE OF STUD
- EXISTING WALLS DIMENSIONED TO FINISH FACE

GENERAL NOTES

SHEET A1.0-A2.0

- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO START OF FABRICATION/CONSTRUCTION.
- PUBLIC RESTROOMS SHALL BE COVERED WITH SMOOTH, HARD, NONABSORBENT MATERIALS EXTENDING A MINIMUM OF 6" ABOVE FLOOR LEVEL. WALLS WITHIN 2 FT. OF URINALS OR WATER CLOSETS SHALL BE COVERED A MINIMUM OF 4 FT. ABOVE FLOOR LEVEL.
- THE FRONT (MAIN ENTRANCE) DOOR IS REQUIRED TO BE UNLOCKED DURING ALL BUSINESS HOURS OPEN TO THE PUBLIC.
- ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
- PROVIDE BATH FANS IN ALL BATHROOMS-SIZE PER CODE PER BATHROOM VENT TO EXTERIOR.
- CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
- HOLD 1/2" CLEARANCE MINIMUM BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
- DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- SALVAGED MATERIAL SHALL BE CLEANED AND RETURNED TO THE OWNER AS DIRECTED.
- ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.

KEYED NOTES

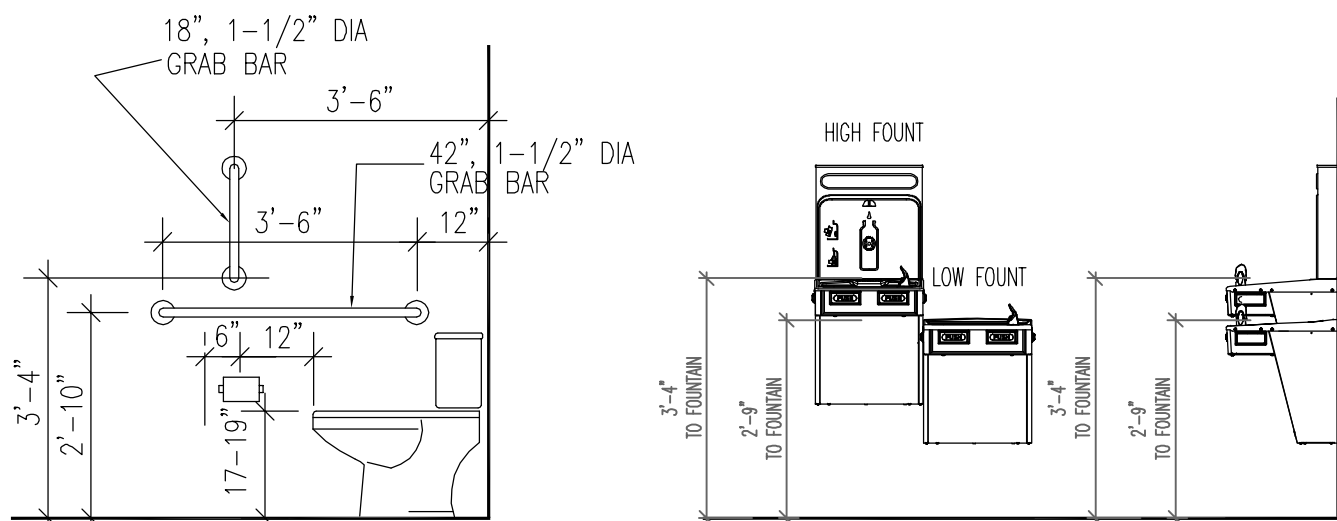
SHEET A2.0

- 24" x 24" FLOOR-MOUNTED SERVICE SINK
- FIRE EXTINGUISHER CABINET, SEMI-RECESSED
FIRE EXTINGUISHER: ORDINARY HAZARD- 2-A-B-C RATED
WALL MOUNTING, TOP-OF-EXTINGUISHER
Ø 42" ABOVE FINISHED FLOOR
- HIGH / LOW ADA WATER COOLER DRINKING FOUNTAIN WITH BOTTLE REFILL

1
A2.0

Key Plan

1/8" = 1'-0"



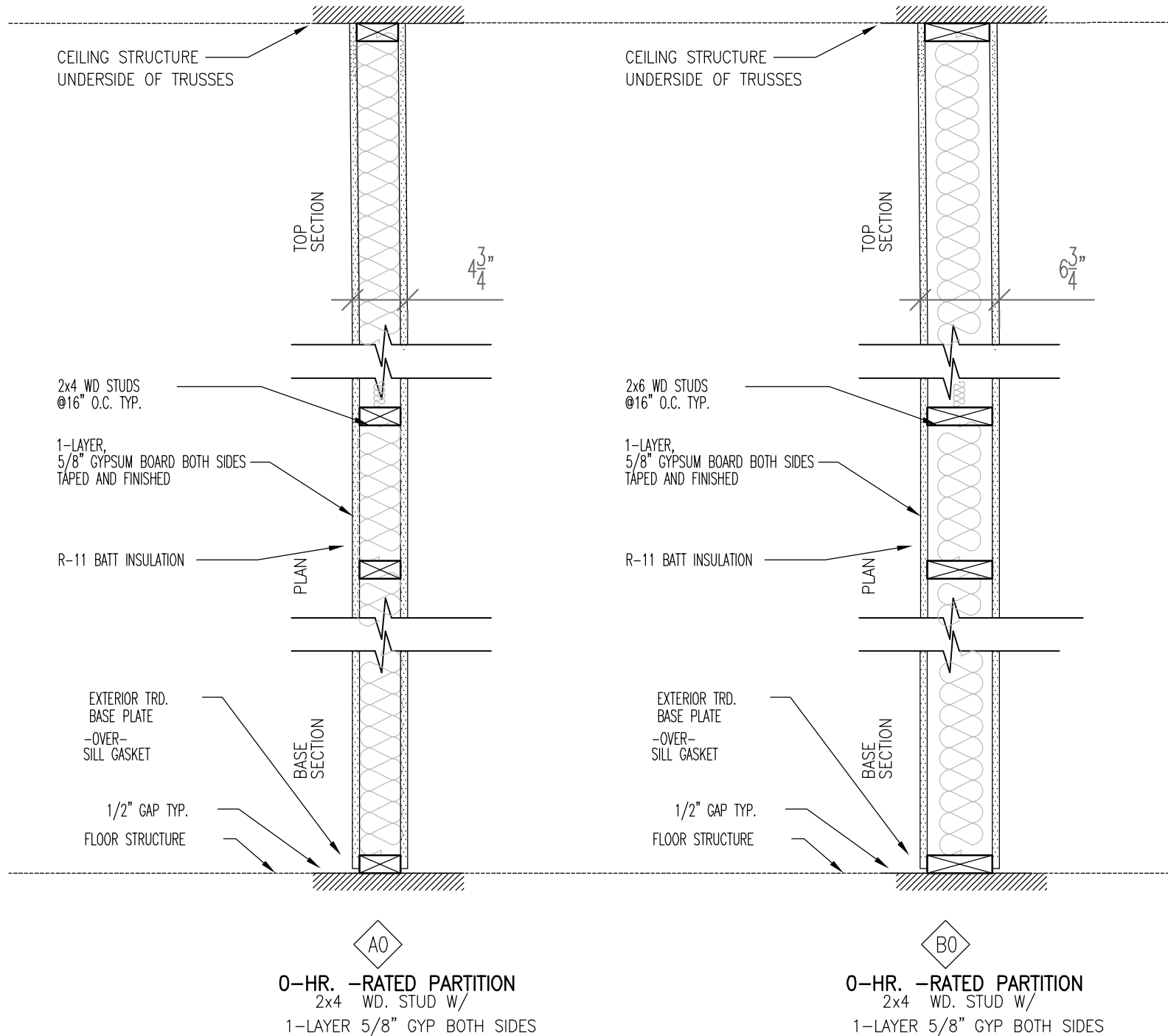
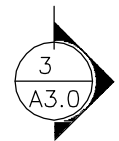
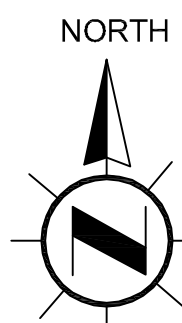
DRINKING FOUNTAINS

H/C ACCESSIBLE TOILET
DOOR SIGNAGE

3
A2.0

Toilet Room Accessibility Standards

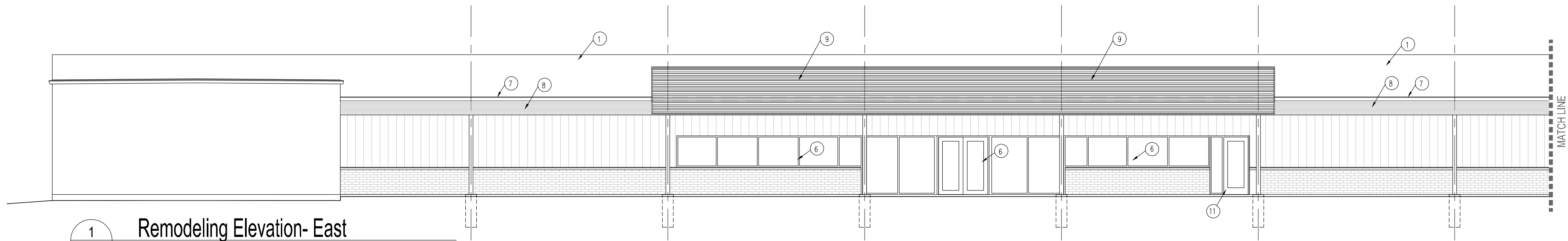
3/8" = 1'-0"



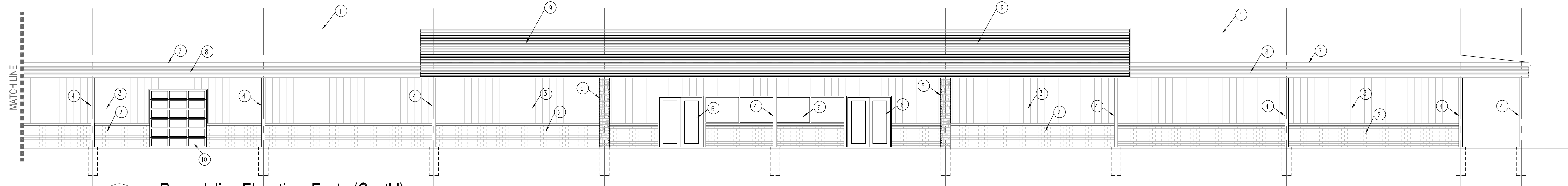
2
A2.0

Remodeling Partition

1" = 1'-0"



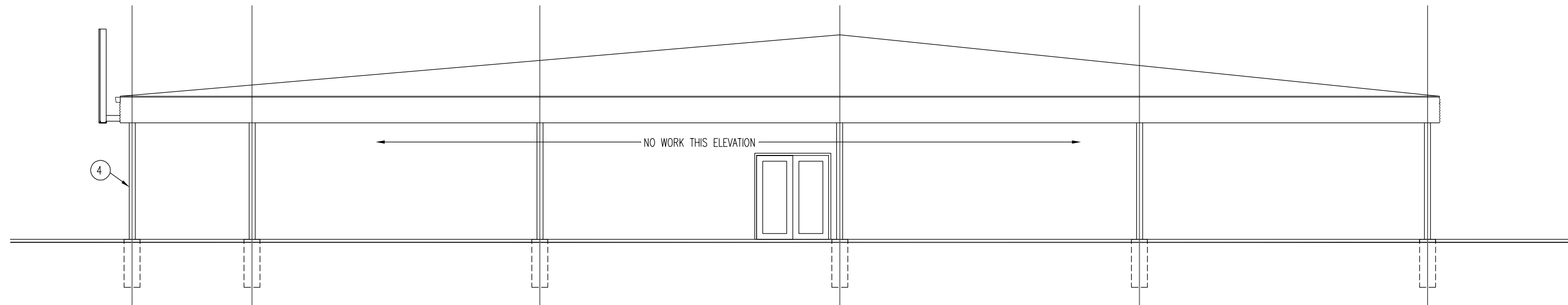
1
A3.0
Remodeling Elevation- East
1/8" = 1'-0"



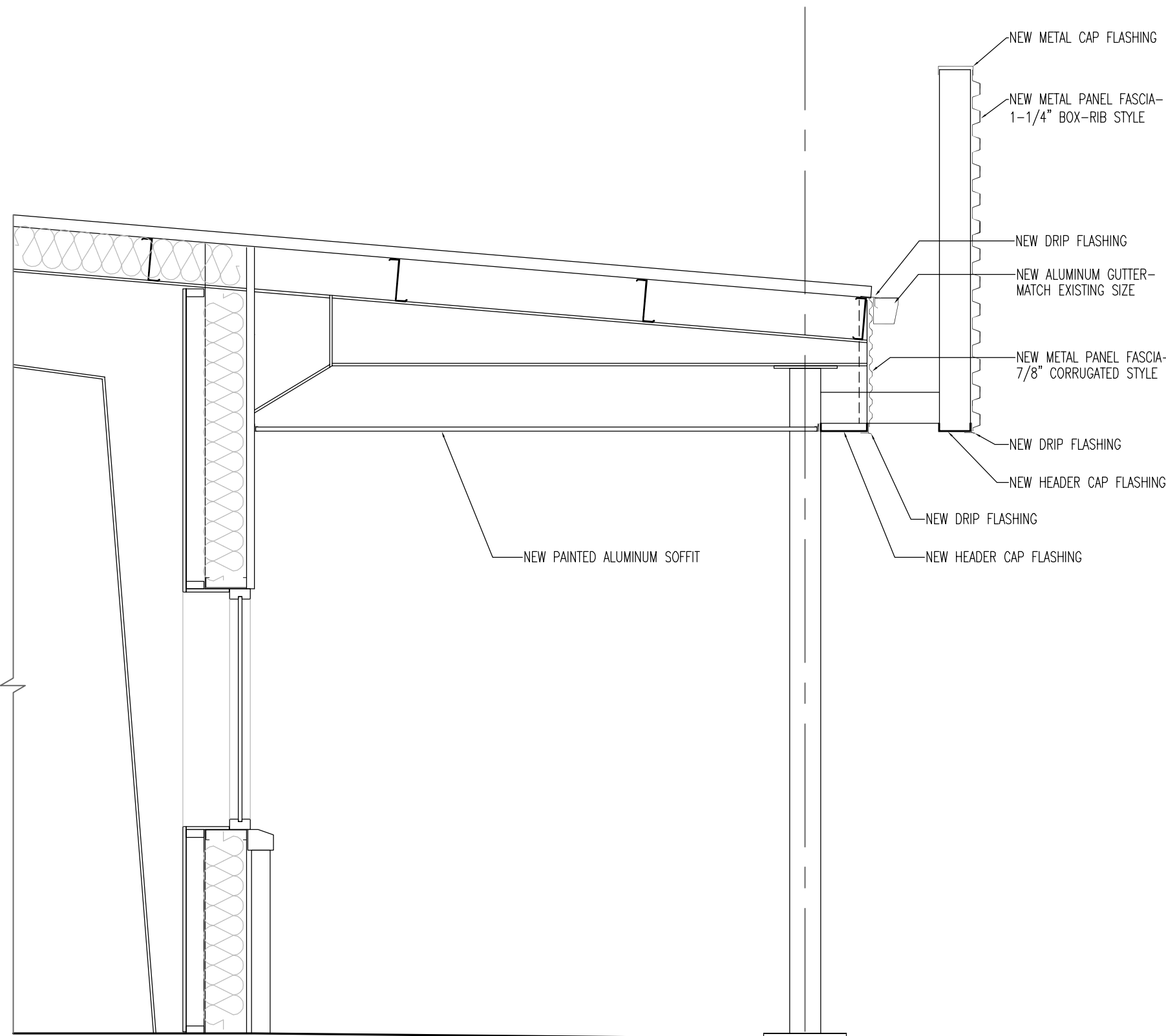
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A3.0
Remodeling Elevation- East (Cont'd)
1/8" = 1'-0"

Keyed Notes- Exterior Elevations

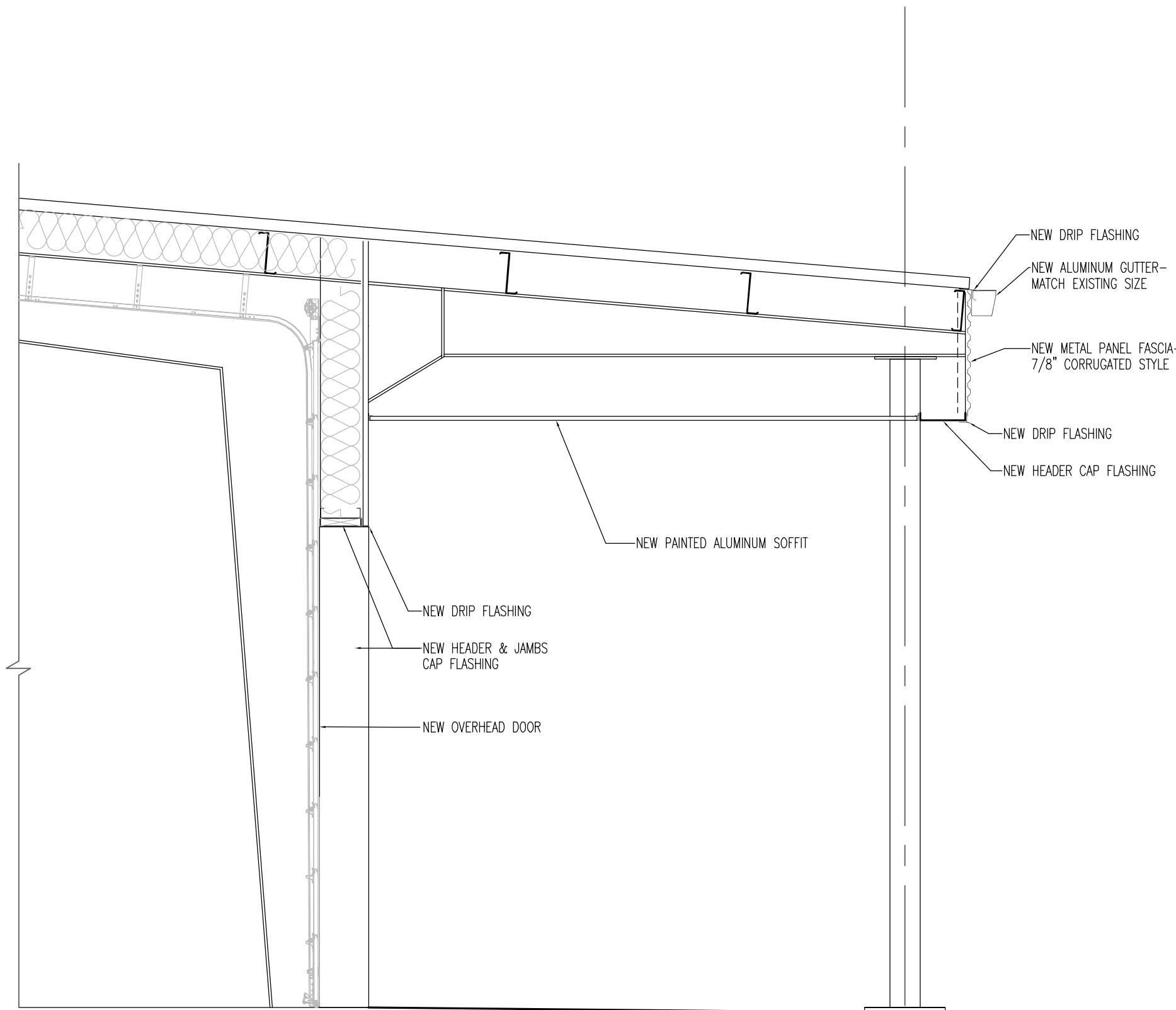
- EXISTING ROOF
- EXISTING BRICK MANSKOT- PATCH & REPAIR AS NEEDED
- EXISTING METAL PANEL SIDING- PAINT IN-PLACE
- EXISTING STEEL COLUMN- NEW PAINT FINISH
- EXISTING STEEL COLUMN- WRAP W/ WOOD STUDS/ FINISH W/ CULTURED STONE VENEER
- EXISTING STOREFRONT DOORS / GLASS TO REMAIN
- NEW ALUMINUM GUTTER- MATCH EXISTING SIZE
- NEW METAL PANEL FASCIA- 7/8" CORRUGATED STYLE
- NEW METAL PANEL FASCIA- 1-1/4" BOX-RIB STYLE
- NEW FULL-GLASS OVERHEAD DOOR. SEE DETAILS
- NEW FULL-GLASS ALUMINUM STOREFRONT DOOR. SEE DETAILS



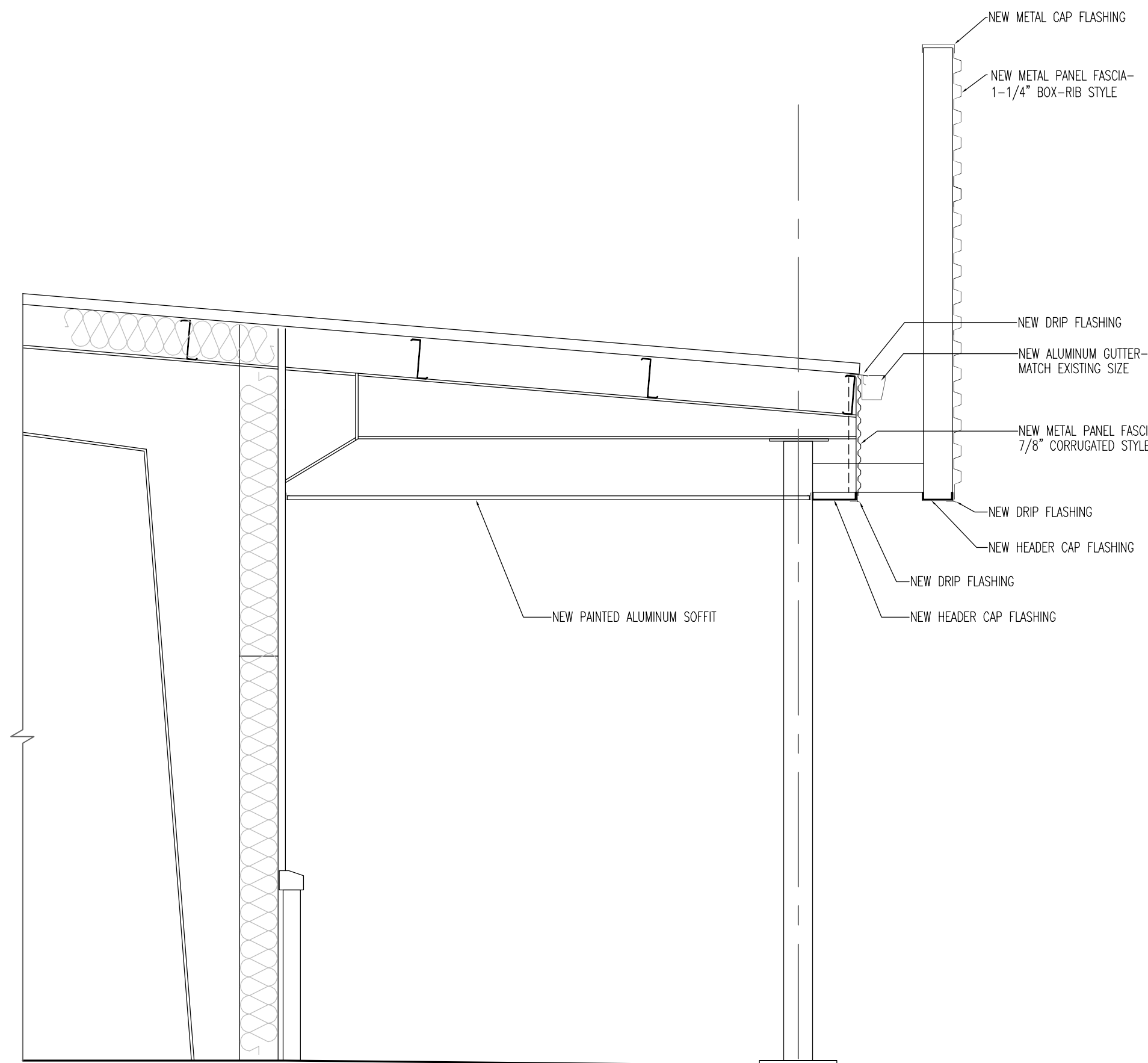
2
A3.0
Remodeling Elevation- North
1/8" = 1'-0"



3
A3.0
Remodeling Section
1/2" = 1'-0"



4
A3.0
Remodeling Section
1/2" = 1'-0"



5
A3.0
Remodeling Section
1/2" = 1'-0"