

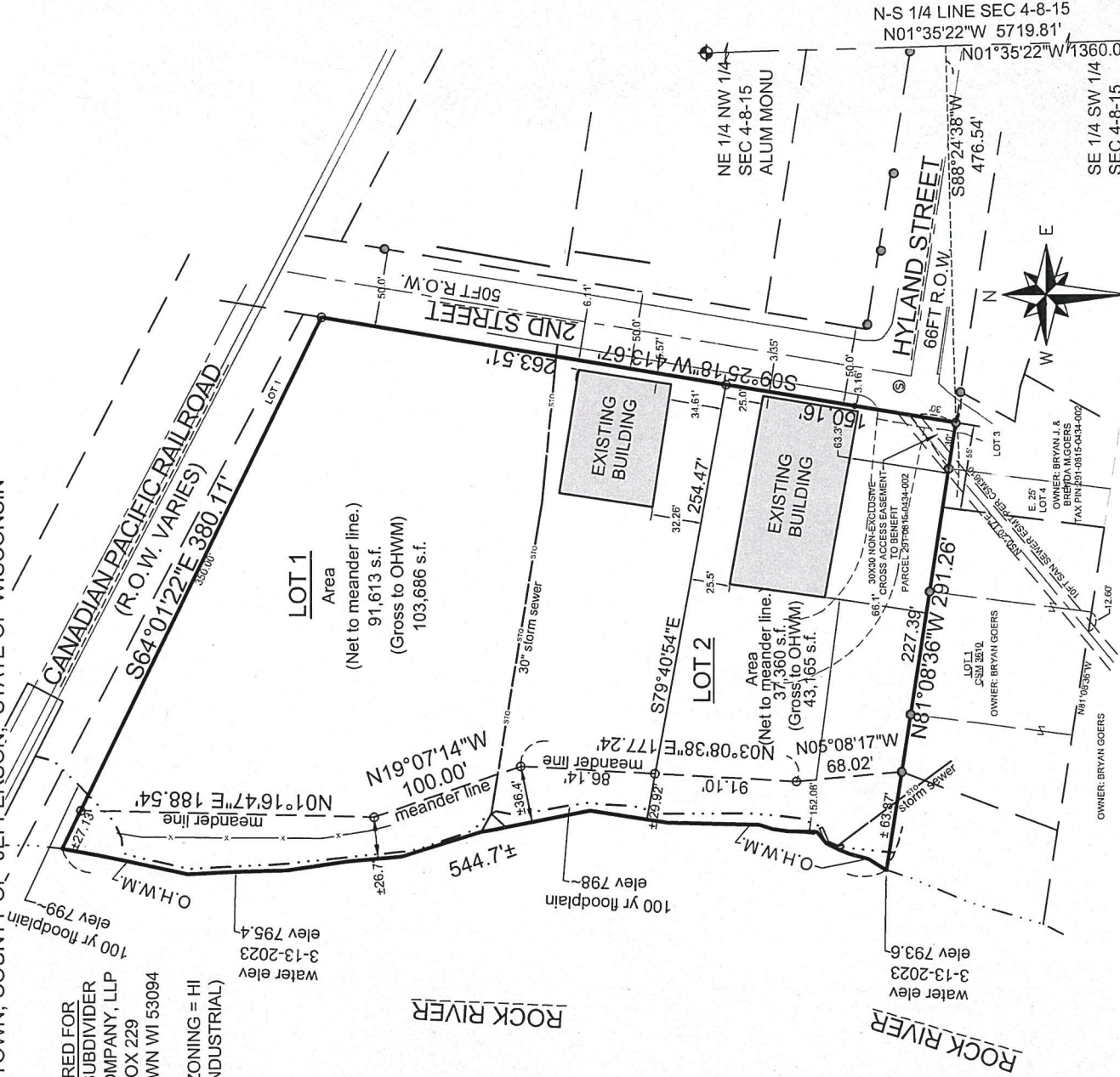
PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEWED
APPROVAL
TO BE RECORDED

CERTIFIED SURVEY MAP NO -

BEING ALL OF LOTS 2, 3, 4, 5 AND 6, AND ALL OF LOT 1 EXCEPT A STRIP OF LAND 23 3/4 FEET IN WIDTH ON THE WESTERLY END AND 12 FEET IN WIDTH ON THE EASTERLY END, LYING SOUTH OF AND ADJOINING THE RIGHT-OF-WAY OF CHICAGO, MILWAUKEE, ST PAUL AND PACIFIC RAILROAD COMPANY (NOW CANADIAN PACIFIC RAILROAD), AND EXTENDING FROM THE WEST LINE OF LOT 1, ALL IN BLOCK 3, OF THE RECORDED PLAT OF COLE, BAILEY AND CO'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

PREPARED FOR
OWNER/SUBDIVIDER
LOEB & COMPANY, LLP
PO BOX 229
WATERTOWN WI 53094

PARCEL ZONING = HI
(HEAVY INDUSTRIAL)



LEGEND

() INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT

SECTION OR 1/4 SECTION CORNER

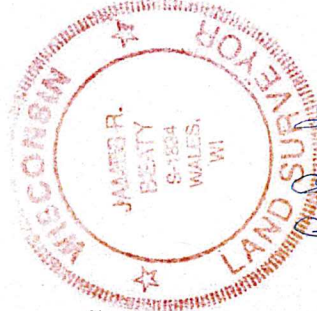
CONC MONU W/ALUM CAP
1" DIA. IRON PIPE FOUND
(UNLESS OTHERWISE NOTED)
1" DIA. (1.315 O.D.) IRON PIPE SET
(UNLESS OTHERWISE NOTED)

CHAIN LINK FENCE
(UNLESS OTHERWISE NOTED)

100 yr floodplain
lies along bank of river
elevation varies

from ~799 to ~797.8

per FEMA Map No. 55055C0086F
effective date of February 14, 2015



James R. Beatty, PLS 1834
DATED: MARCH 13, 2023

NOTE:

Lots 1, and 2 have an Airport Approach Protection Zone Elevation limit of 968 above mean sea level for all buildings, structures and objects of natural growth; whether or not such buildings, structures and objects of natural growth are in existence

BEARING REFERENCE:

Bearings are referenced to the Wisconsin County Coordinate system, Jefferson County within which the South line of the SE 1/4 of Section 4, T8N, R15E was measured to bear N84°25'00"W
Vertical referenced to NGVD (88) & FEMA Datum

PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEW
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CERTIFIED SURVEY MAP NO - _____

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SURVEYOR'S CERTIFICATE

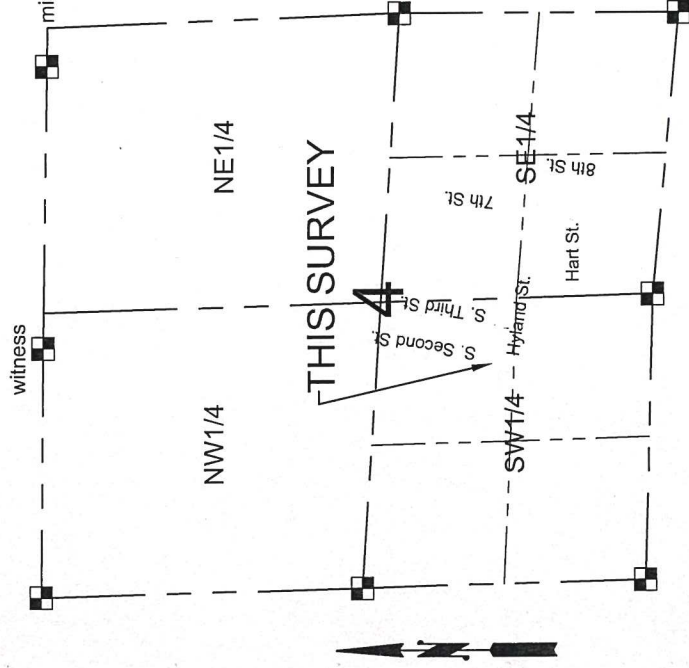
I, James R. Beaty, Registered Land Surveyor, do hereby certify that at the direction of the Owner(s), I have made this survey, being vacated Hyland Street lying westerly of Second Street and all of Lots 2, 3, 4, 5 and 6, and all of Lot 1 except a strip of land 23 3/4 feet in width on the westerly end and 12 feet in width on the easterly end, lying south of and adjoining the right-of-way of Chicago, Milwaukee, St. Paul and Pacific Railroad Company, and extending from the west line of Lot 1, all in Block 3, of the recorded plat of Cole, Bailey and Co's Addition to Watertown, being in the Seventh Ward of the City of Watertown, Jefferson County, Wisconsin. All lands being a part of the Northeast 1/4 of the Southwest 1/4 of Section 4, all lying in Township 8 North, Range 15 East, in the City of Watertown, County of Jefferson, State of Wisconsin. Said lands are bounded and described as follows:

Beginning at the found aluminum monument at the Southeast corner of the Southeast 1/4 of said Section 4; thence North 84°25'00" West, 2654.47 feet along the South line of said Southeast 1/4 of said Section 4 to a found aluminum monument at the Southwest corner of the Southeast 1/4 of said Section 4; thence North 01°35'22" West, 1360.02 feet to a point; thence South 88°24'38" West, 476.54 feet to the point of beginning of the lands hereinafter described; thence North 81°08'36" West, 227.39 feet along the south right-of-way line of vacated Hyland Street and the north line of Lot 1 of CSM 3610 to a found 1" iron pipe at the northwest corner of Lot 1 of CSM 3610; thence along a meander line N 05°08'17" W, 68.02 feet to a found 1" iron pipe; thence continuing along aforesaid meander line North 03°08'38" East, 177.24 feet; thence North 19°07'14" West, 100.00 feet to a point; thence North 01°16'47" East, 188.54 feet to a point on the south right-of-way line of the Canadian Pacific Railroad; thence South 64°01'22" East, 380.11 feet along said south right-of-way line of the Canadian Pacific Railroad to a point on the west right of way of 2nd Street; thence South 09°25'18" West, 413.67 feet to the place of beginning; Said described lands containing 128,973 s.f. (2.9608 Acres), of land to the meander line. Also including lands lying between the previously described meander line and the ordinary high water mark (OHWM) of the Rock River. Gross area of described lands containing 146,851 s.f. (3.3712 Acres), more or less of land to the (OHWM) of the Rock River.

That I have made this survey, land division and map by the direction of Loeb and Company, LLP, Owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the City of Watertown ordinances in surveying, dividing and mapping and dedicating of same.



PREPARED BY / SURVEYOR:

Horizon Land Development Services, LLC
W313 S2562 Penny Lane
Wales, Wisconsin 53183
1-262-349-1575



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 13, 2023

LOCATION MAP

SECTION 4 T8N R15E

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CORPORATE OWNER'S CERTIFICATE

Loeb and Company, LLP, a Wisconsin limited liability partnership organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Aforesaid owner, Loeb and Company, LLP, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Watertown

IN WITNESS WHEREOF, the said Loeb and Company, LLP, has caused these presents to be signed by Bruce Loeb, its Partner, on this 3rd, day of August, 2023.

In the presence of:

Loeb and Company, LLP

Corporate Name

Bruce Loeb Partner
Bruce Loeb, Partner



STATE OF WISCONSIN)

Jefferson (SS
WATKINSHA COUNTY)

Personally came before me this 3rd day of August, 2023, Bruce Loeb, of the above named company, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such Partner of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, by its authority.

Ruth Mack
name

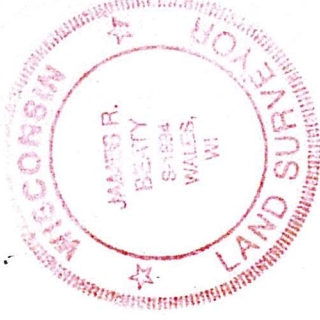
Notary Public: Jefferson, Wisconsin

My commission expires 01-31, 2026

PLAN COMMISSION APPROVAL:

Approved by the Plan Commission of the City of Watertown this _____ day of _____, 2023.

Emily McFarland, Chair



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 13, 2023