

PROPOSED ADDITION TO:

WATERTOWN HUMANE SOCIETY

418 WATER TOWER COURT
WATERTOWN, WI 53094

OWNER

WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094
P: 920.261.1270
WHSADOPT.ORG

ARCHITECT

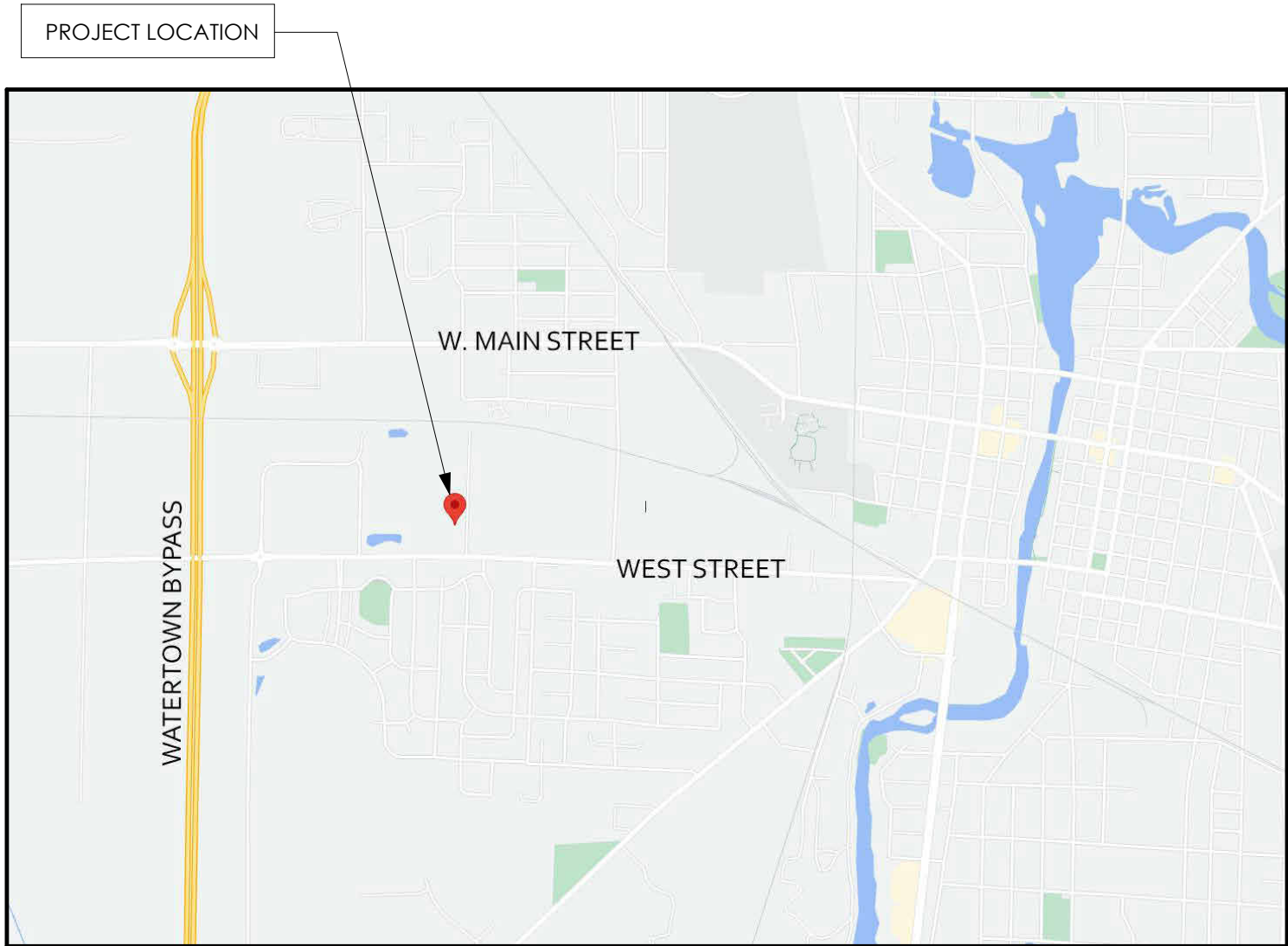
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SHEET INDEX		
NO.	NAME	REV#
A0.00	TITLE SHEET	
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6		

CODE ANALYSIS IBC 2015 IEBC 2015		
PROPERTY ADDRESS:	418 WATER TOWER COURT	
ZONING DESIGNATION:	GI, GENERAL INDUSTRIAL	FIRE RESISTANCE RATINGS REQ'D: (IBC TABLE 601)
OCCUPANCY CLASSIFICATION: (IBC 304)	B	STRUCTURAL FRAME: 0 HOURS EXTERIOR BRG. WALLS: 0 HOURS INTERIOR BRG. WALLS: 0 HOURS INTERIOR NON-BRG. WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS ROOF CONSTRUCTION: 0 HOURS
CLASS OF CONSTRUCTION: (IBC 602.5)	VB	
ALTERATION LEVEL: (IEBC 701)	3	EGRESS WIDTH: (IBC 1005)
FIRE PROTECTION: (NFPA 13)	NOT SPRINKLERED	OTHER EGRESS COMP. REQ'D (PROVIDED): 6.75" .15" / PERSON
PROJECT BUILDING INFO:		EXITS PROVIDED: 15 MINIMUM CLEAR WIDTH: 34"
NUMBER OF STORIES	1	COMMON PATH OF EGRESS TRAVEL : 75'-0" (IBC 1006.2.1)
EXISTING BUILDING, GROSS:	5,776 SF	EXIT TRAVEL DISTANCE: 200'-0" (IBC 1017.2)
PROPOSED ADDITION:	2,161 SF	
TOTAL BUILDING, GROSS:	12,937 SF	PLUMBING FIXTURES REQUIRED (PROVIDED): (IBC TABLE 2902.1)
ALLOWABLE AREA: (IBC TABLE 506.2)	9,000 SF	WATER CLOSETS:
OCCUPANT LOAD: (IBC TABLE 1004.1.2)	45 PERSONS	MEN: 1 (1 PROVIDED) WOMEN: 1 (1 PROVIDED) TOTAL: 2 (2)
OFFICE / BUSINESS, 2,815 SF:	29 PERSONS	LAVATORIES:
CLINIC, 774 SF:	4 PERSONS	MEN: 1 (1 PROVIDED) WOMEN: 1 (1 PROVIDED) TOTAL: 2 (2)
STORAGE, 1,453 SF:	5 PERSONS	
KENNELS/CATS, ACTUAL:	7 PERSONS	
EMPLOYEES:	2 PERSONS	
VOLUNTEERS:	5 PERSONS	
BY AREA, 3,556 SF		SERVICE SINK: 1 PROVIDED
		THIS PROJECT, AND THE ROUTE TO IT, IS ALREADY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES PER CURRENT CODE.



① PROJECT LOCATION
N.T.S.

NATURAL RESOURCES SITE EVALUATION WATERTOWN ORDINANCE 550-73	
GROSS SITE AREA:	1.29 ACRES
1. TOTAL SITE AREA BY SURVEY:	1.29 ACRES
2. AREA LOCATED WITHIN PROPOSED RIGHTS-OF-WAY OF ROADS AND BOUNDARIES OF PUBLIC FACILITIES DESIGNATED IN THE CITY'S COMPREHENSIVE PLAN:	N/A
3. NON-CONTIGUOUS OR INACCESSIBLE LAND/PARCEL:	N/A
4. LAND PROPOSED FOR DIFFERENT DEVELOPMENT/ZONING DISTRICT:	N/A
5. AREA OF NAVIGABLE WATERS:	N/A
REQUIRED RESOURCE PROTECTION AREA (RPA) :	0 ACRES
1. AREA OF FLOODWAYS:	N/A
2. AREA OF FLOODPLAIN:	N/A
3. AREA OF FLOOD-FRINGS:	N/A
4. AREA OF WETLANDS:	N/A
5. AREA OF DRAINAGEWAYS:	N/A
6. AREA OF LAKESHORE:	N/A
7. AREA OF WOODLAND:	N/A
8. AREA OF STEEP SLOPES:	-
9. SUBTRACT NATURAL RESOURCE AREAS MADE DEVELOPABLE USING APPROVED ENVIRONMENTAL MITIGATION TECHNIQUES	N/A
NET DEVELOPABLE AREA (NDA): (GROSS SITE AREA - RPA = NDA)	1.29 ACRES

GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
2. GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
4. BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.

5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.
6. GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE, FAX, AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE OWNER/TENANT TAKES OCCUPANCY.
7. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTORS USE.
8. GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
9. GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
10. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
11. UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY OWNER/TENANT. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
12. GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
13. NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
14. SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
15. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

16. MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
17. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
18. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
19. ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
20. ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (U.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
21. ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
22. ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
23. GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
24. UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
25. ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
26. GIVE ALL SURPLUS PAINT MATERIALS TO OWNER/OWNER/TENANT. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.

27. ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO MIN. 2 1/2" METAL STUDS OR 1 1/2" METAL FURRING @ 24" O.C.. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
28. APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
29. INSTALL INSULATION IN WALLS U.N.O.. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRE BY CODE, OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
30. PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
31. GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO LANDLORD, OWNER/TENANT WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
32. PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
33. PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
34. PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
35. ALL FUTURE FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER/TENANT UNLESS NOTED.
36. PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.



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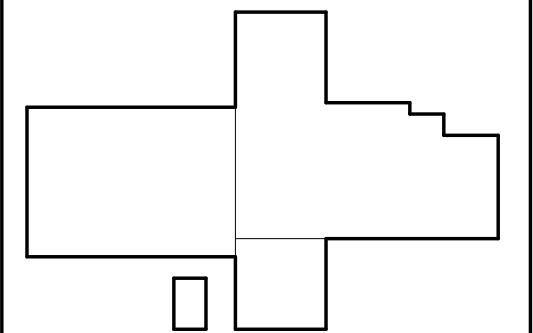
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DATE	REV	ISSUE
04-18-23		SD: OWNER REVIEW

PROJECT NUMBER 23-004
START DATE 01-19-2023
DRAWN BY JLS
CHECKED BY ELM

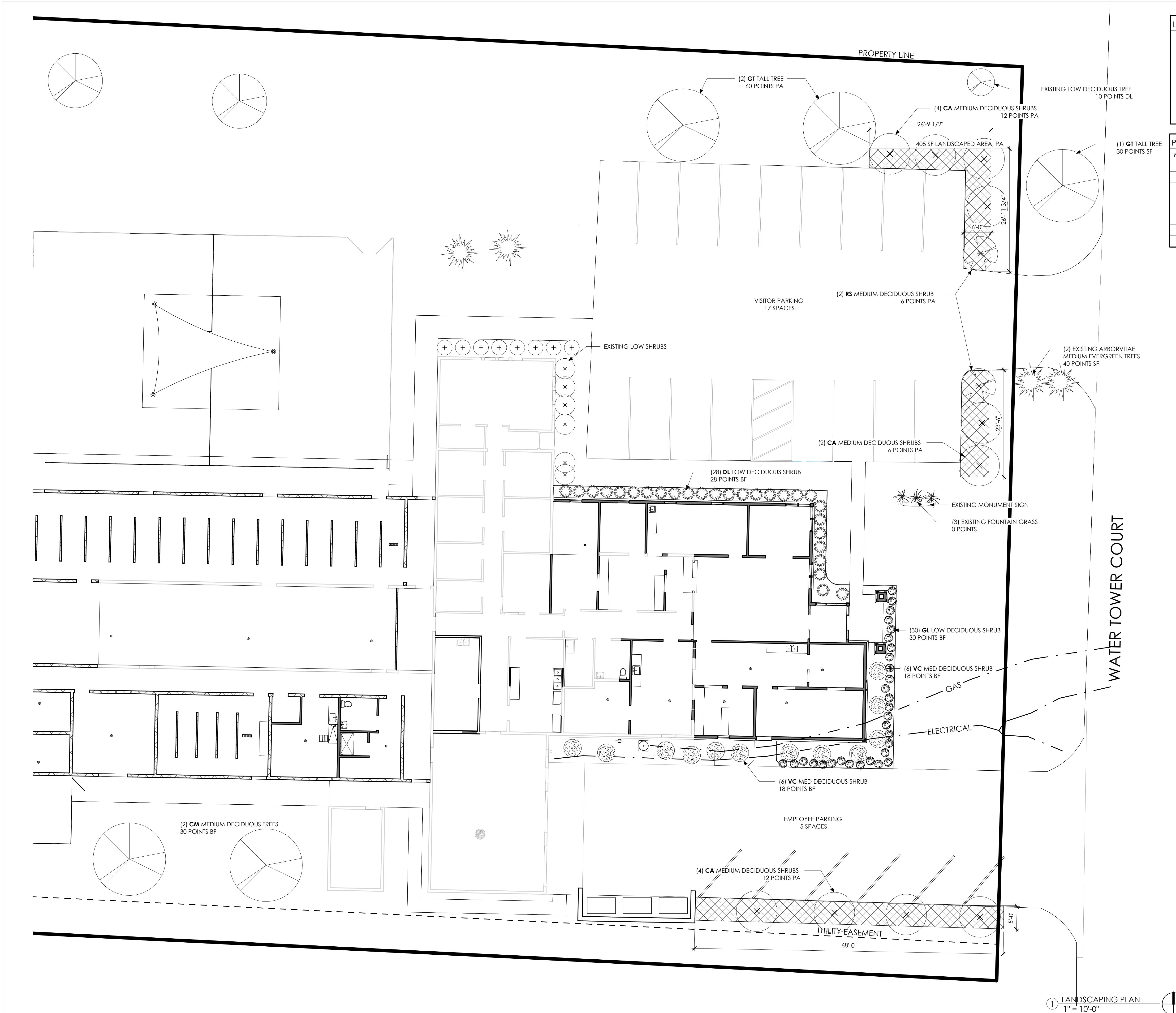


KEY PLAN

TITLE SHEET

A0.00

NOT FOR CONSTRUCTION



LANDSCAPING REQUIREMENTS			
REQUIRED POINT VALUES PER CITY OF WATERTOWN ORDINANCES 550 ARTICLE X, LANDSCAPING AND BUFFERYARD REGULATIONS. PLANT QUANTITY/CLASSIFICATION NOTED ON PLAN.			
BUILDING FOUNDATIONS (BF):	REQUIRED 120 POINTS	PROVIDED 124 POINTS	
STREET FRONTAGE (SF):	40 POINTS	70 POINTS	
PAVED AREAS (PA):	80 POINTS	96 POINTS	
DEVELOPED LOTS (DL):	65 POINTS	256 POINTS	
EXISTING DL TREES SHOWN ON FULL SITE PLAN A0.41			

PLANTING SCHEDULE			
MARK	BOTANICAL NAME	COMMON NAME	SPACING MIN.
CA	Corylus americana	AMERICAN HAZELNUT	10 FT
CM	Crataegus mollis	DOWNY HAWTHORN	
DL	Diervilla lonicera	DWARF BUSHHONEYSUCKLE	2 FT
GL	Rhus aromatica "gro-low"	GRO-LOW FRAGRANT SUMAC	2 FT
GT	Gleditsia triacanthos	THORNLESS HONEYLOCUST	
RS	Rosa setigera	PRAIRIE ROSE	2FT
VC	Viburnum cassinoides	WITHEROD VIBURNUM	5FT

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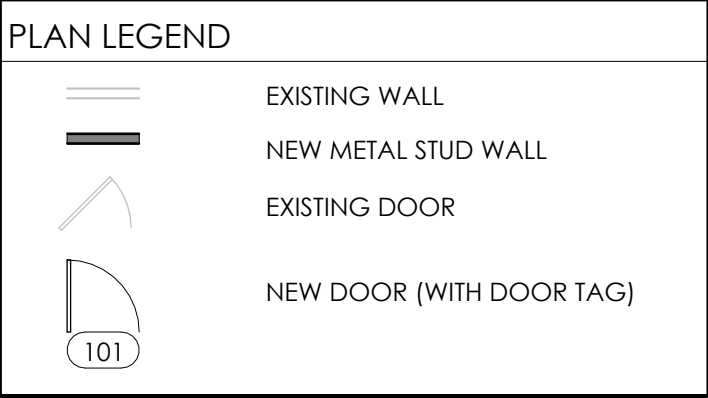
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KEY PLAN

LANDSCAPING PLAN
A0.42

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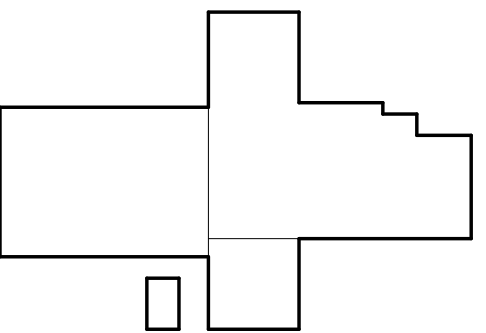
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4-18-23		SD: OWNER REVIEW

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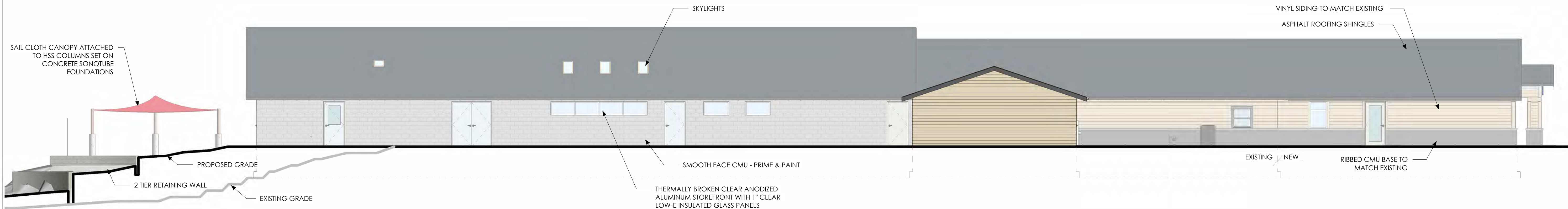


KEY PLAN

FIRST FLOOR PLAN

A1.11

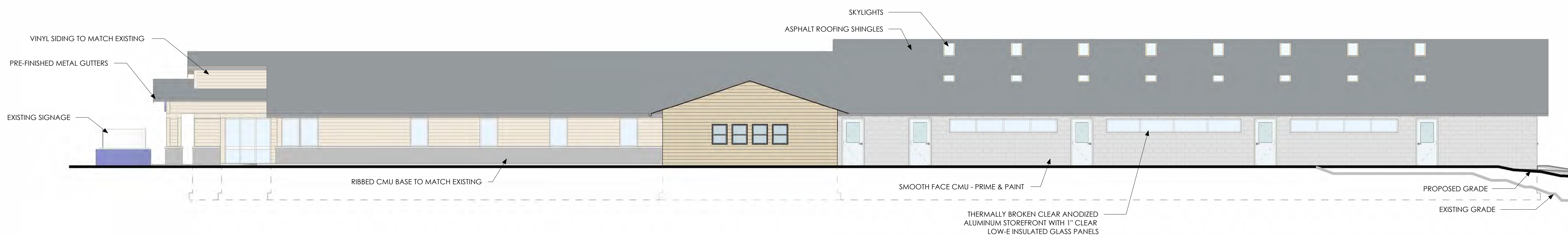
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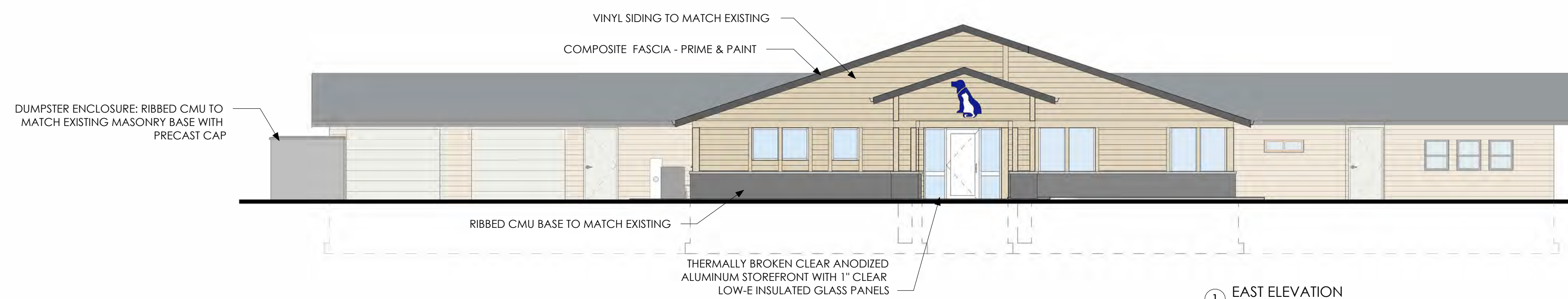
④ SOUTH ELEVATION
1/8" = 1'-0"



③ WEST ELEVATION
1/8" = 1'-0"



② NORTH ELEVATION
1/8" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"



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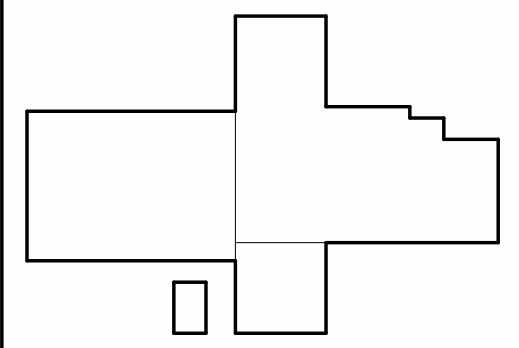
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KEY PLAN

EXTERIOR ELEVATIONS

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