

- c. **impervious surface area ratio: 88 %**
 - d. **landscape surface area ratio: 12 %**
- 7. Operational considerations relating to:
 - a. hours of operation
 - i. **Existing grocery store hours: 8:30 am to 9:00 pm**
 - b. projected normal and peak traffic generation
 - i. **Peak traffic is between 3:00 pm and 6:00 pm**
- 8. Operational considerations relating to potential nuisance creating pertaining to noncompliance with the performance standards addressed in Article XI: Performance Standards.
 - a. **No anticipated nuisances with the proposed development. The proposed development shall comply with all requirements of Article XI.**
 - b. **Note - Proposed parking lot lighting will be on timer and correlate to store hours.**
- 9. Exterior building and fencing materials (Sections § 550-121 & § 550-123).
 - a. **The proposed fencing will be wood, cedar boards.**
- 10. Possible future expansion and related implications for the points above.
 - a. **There is no plan to extend the existing store's hours of operation.**
- 11. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
 - a. **It is the intent of the proposed project to follow all City ordinances.**
 - b. **It is also the intent of the Architect/Engineer firm to submit detailed documentation to meet the City's approval process.**

If you have any questions or need further information, please contact me at (608) 445-9594 or chris@icsarc.com .

Thank You,

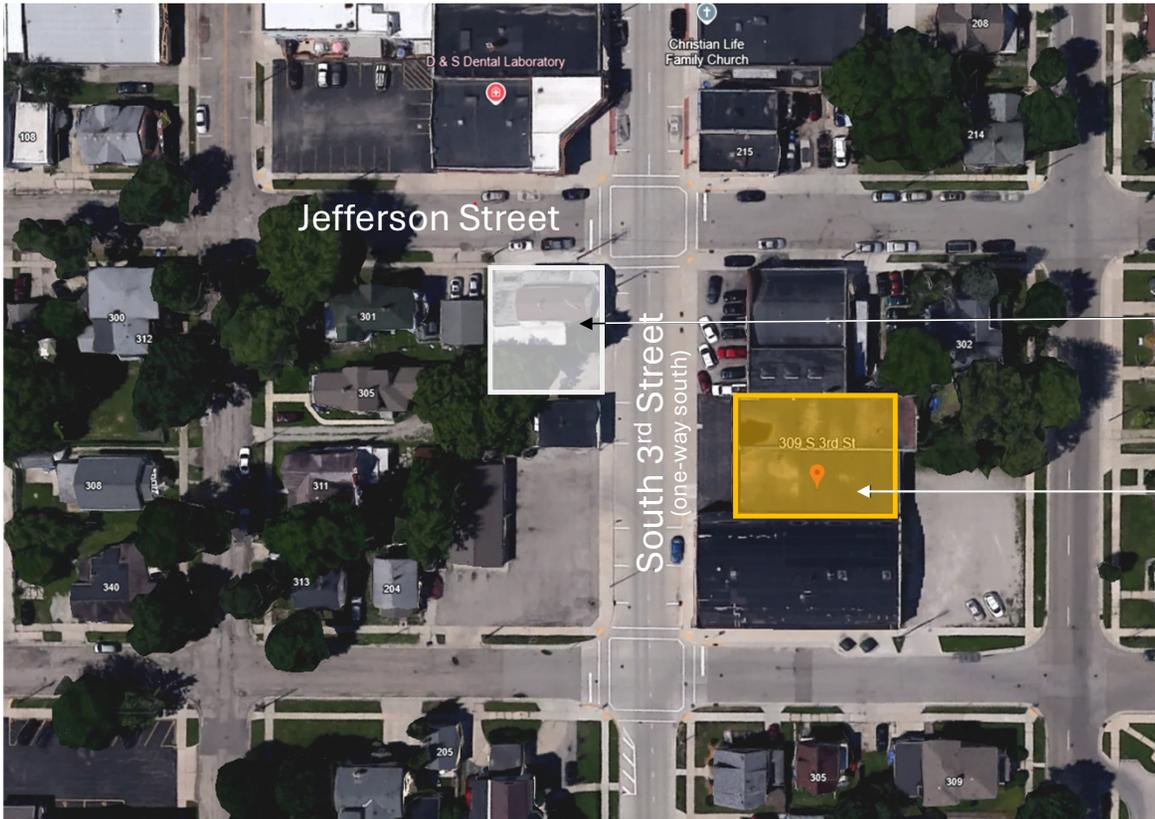


Chris A. Oddo, AIA

Principal

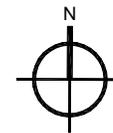
InSite Consulting Architects, LLC

ATTACHMENTS:



Proposed New Parking Lot
- 13 New Parking Stalls

Existing Grocery Store
- 6 Existing Parking Stalls



PROPOSED PARKING LOT

300 South 3rd Street



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER

JEFFERSON ST

InSite Architects



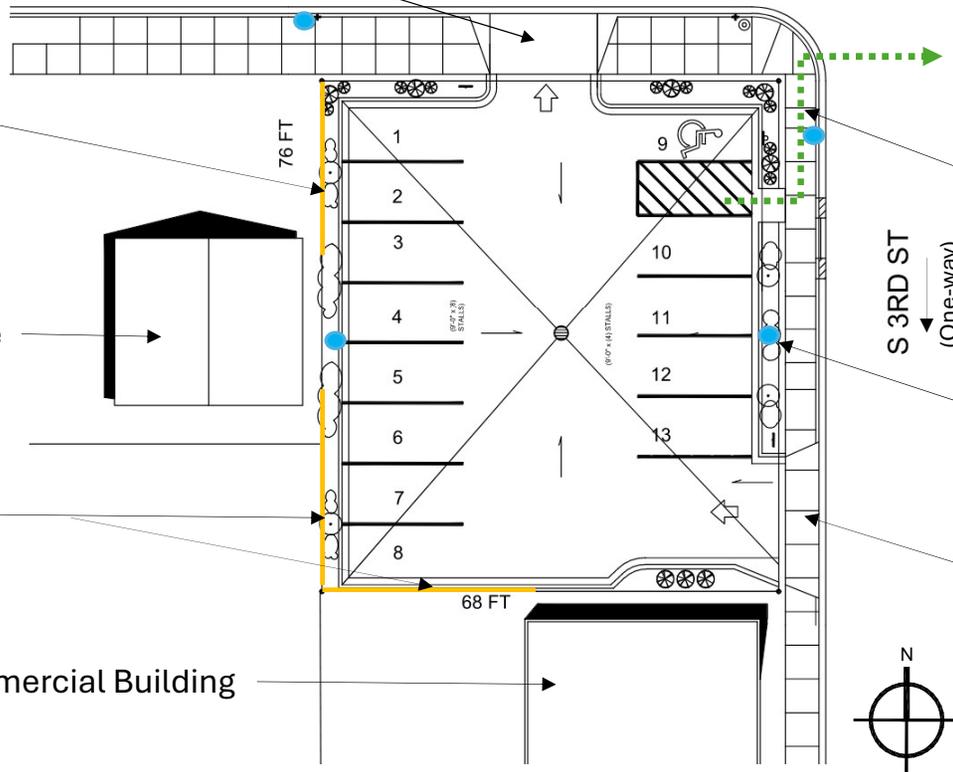
New Exit Apron - Right Turn Only

4 Foot High Fence

Existing 2 Car Garage

6 Foot High Fence

Existing 1 Story Commercial Building



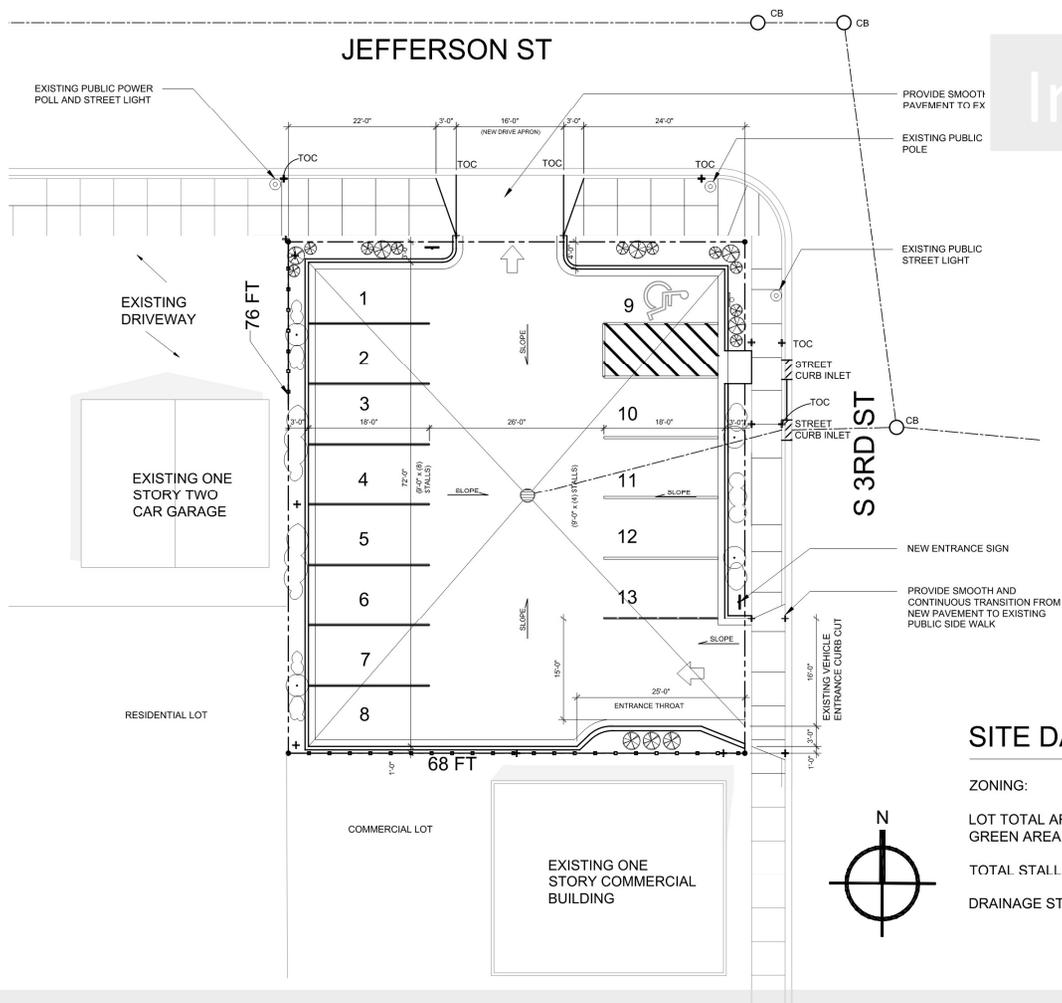
Barrier Free Parking Stall & Access Path

S 3RD ST
(One-way)

New & Existing Light Poles

Existing Apron to New Lot

PROPOSED PARKING LOT LAYOUT

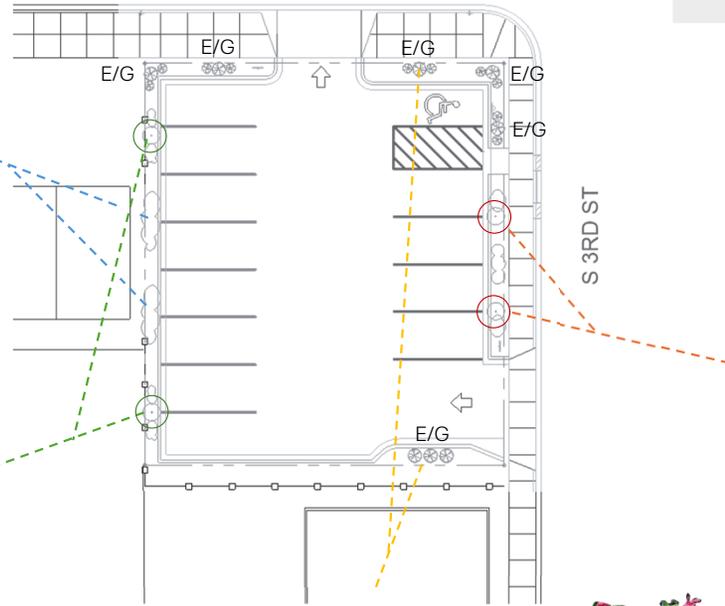


SITE DATA

ZONING:	CENTRAL BUSINESS DISTRICT
LOT TOTAL AREA :	5,168 S.F.
GREEN AREA:	631 S.F.
TOTAL STALLS PROVIDED:	(13)
DRAINAGE STANDARDS:	550-120

PROPOSED PARKING LOT LAYOUT

JEFFERSON ST



A DWARF ARBORVITAE BUSH



B RIVER BIRCH TREE



C DWARF ENGLISH BOXWOOD



D GOLDEN MOCK ORANGE



E WEIGELA RED PRINCE

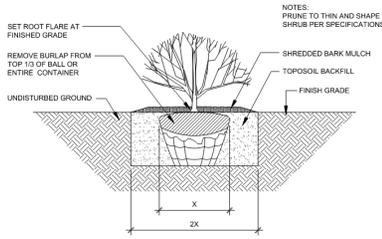


F BUTTERSCOTCH JAPANESE MAPLE

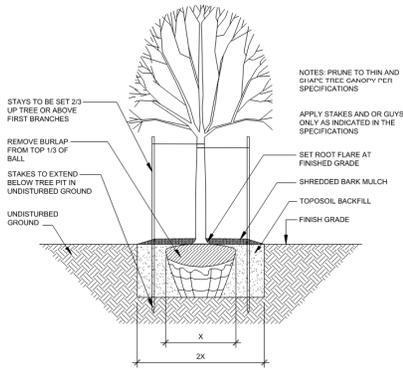
ALL PLANTING ALIGNS WITH CITY OF WATERTOWN ORDINANCE 550-95: LANDSCAPING POINTS AND MINIMUM INSTALLATION SIZES

LANDSCAPE PROPOSAL

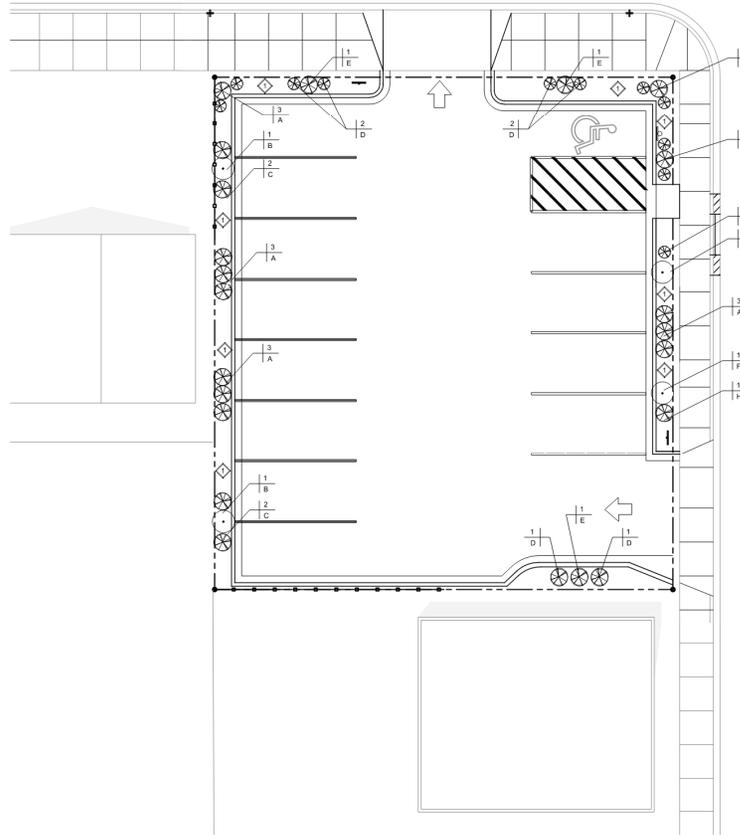
JEFFERSON ST



3 SHRUB PLANTING
SCALE: 1/2" = 1'-0"



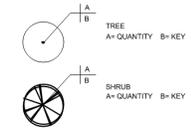
2 TREE PLANTING
SCALE: 1/2" = 1'-0"



1 LANDSCAPE PLAN
SCALE: 1/8"=1'-0" (22x34)

LANDSCAPE PLANTINGS			
KEY	COMMON NAME BOTANICAL NAME	QTY.	SIZE
A	DWARF ARBORVITAE BUSH	6	#2
B	RIVER BIRCH TREE	2	#3
C	DWARF ENGLISH BOXWOOD	4	#1
D	GOLDEN MOCK ORANGE	4	#2
E	WEIGELA RED PRINCE	2	#4
F	BUTTERS COTCH JAPANESE MAPLE	4	#2

SYMBOLS:



LANDSCAPE PLAN NOTES:

- ALL SHRUB BEDS, PERENNIAL / GROUND COVER BEDS AND INDIVIDUAL TREES WILL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD BARK MULCH.
- OWNER TO PROVIDE AND INSTALL ALL PLANTS AND MULCH.

SPECIFIC PLAN NOTES:

- PROVIDE NEW LANDSCAPE BED WITH GROUND COVER (MULCH OVER TOP SOIL - OWNER TO PROVIDE AND INSTALL MULCH) IN ENTIRE PLANT BED AREA.



InSite Consulting Architects
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Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@iscarc.com

LOS PEREZ - PROPOSED PARKING LOT PROJECT
300 S 3RD ST.
WATERTOWN, WI 53094

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "I.F.F." OR VERIFY-IN-FIELD

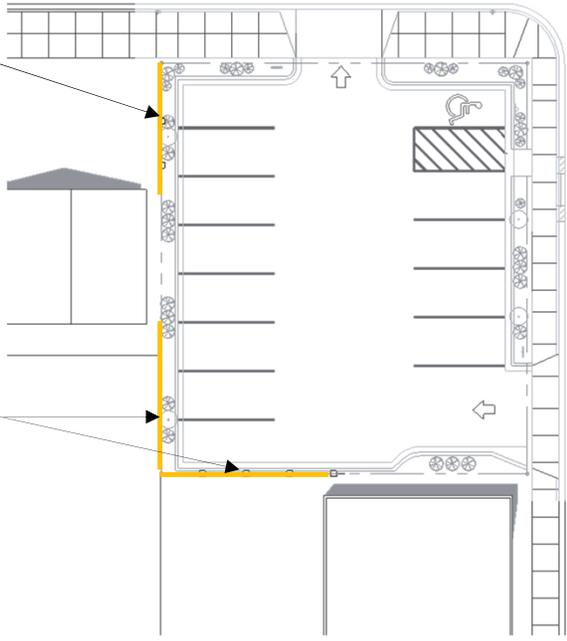
24-11.01

LANDSCAPE PLAN & DETAILS

L1.1

4 Foot High Wood Fence

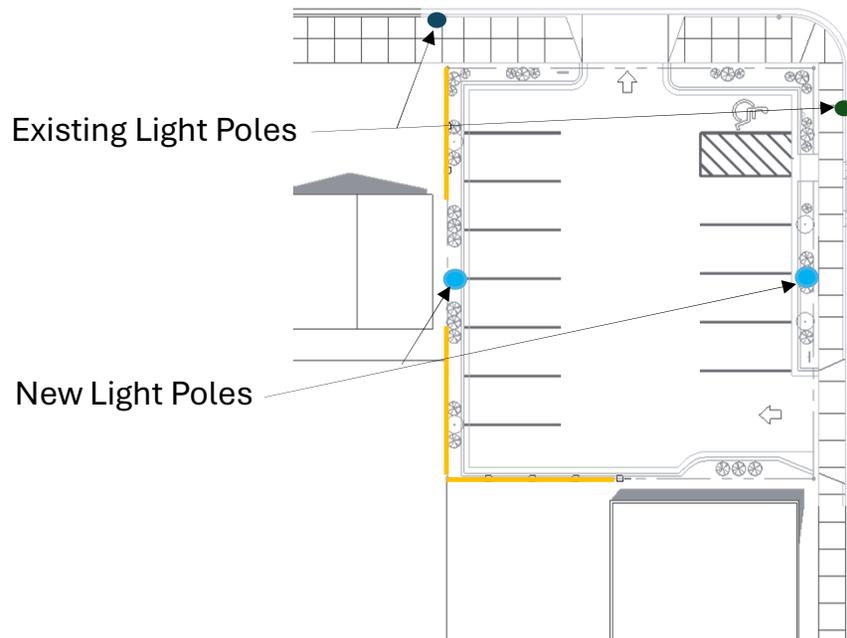
6 Foot High Wood Fence



S 3RD ST



PROPOSED FENCE



S 3RD ST



550-110 Exterior Lighting Standards



PROPOSED & EXISTING LIGHT POLES & FIXTURES