

Watertown Community Health Foundation

Watertown YMCA

Johnson Street Watertown, WI
53094

Site Plan Review
02-23-2024

ARCHITECT:



CIVIL/LANDSCAPING/STRUCTURAL/PLUMBING/MECHANICAL/ELECTRICAL/FIRE PROTECTION :



CONSTRUCTION MANAGER :



SHEET INDEX:

- CIVIL**
- C1.10 PROJECT LOCATION & GENERAL NOTES
- C1.11 SITE PLAN - OVERALL
- C1.12 SITE PLAN - NORTH
- C1.13 SITE PLAN - SOUTH
- C1.20 GRADING PLAN - OVERALL
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- C1.30 EROSION CONTROL PLAN
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- C5.00 CONSTRUCTION DETAILS
- LANDSCAPING**
- L1.00 LANDSCAPE PLAN - OVERALL
- L1.01 LANDSCAPE PLAN - NORTH
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- ARCHITECTURAL**
- A0.0 COVER SHEET
- A2.1 FIRST FLOOR PLAN - OVERALL
- A2.2 SECOND FLOOR PLAN - OVERALL
- A4.0 EXTERIOR ELEVATIONS - OVERALL



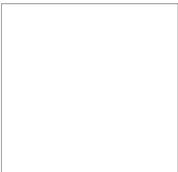
ARCHITECTURAL "A" SERIES



STRUCTURAL "S" SERIES



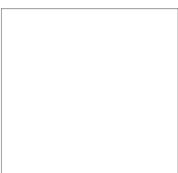
PLUMBING "P" SERIES



MECHANICAL "M" SERIES



ELECTRICAL "E" SERIES



ELECTRICAL "E" SERIES

Project:
Watertown YMCA

Revisions:

No.	Date	Description

Date: 02-23-2024
 Project No.: 230049.00 (Owner) Project No.: -
 Sheet No.:

A0.0

SITE PLAN REVIEW

Sheet:
FIRST FLOOR PLAN - OVERALL

Scale:
As indicated

Revisions:

No.	Date	Description

Date:
02-23-2024

Project No.: **230049.00** (Owner) Project No.: **-**

Sheet No.:

A2.1

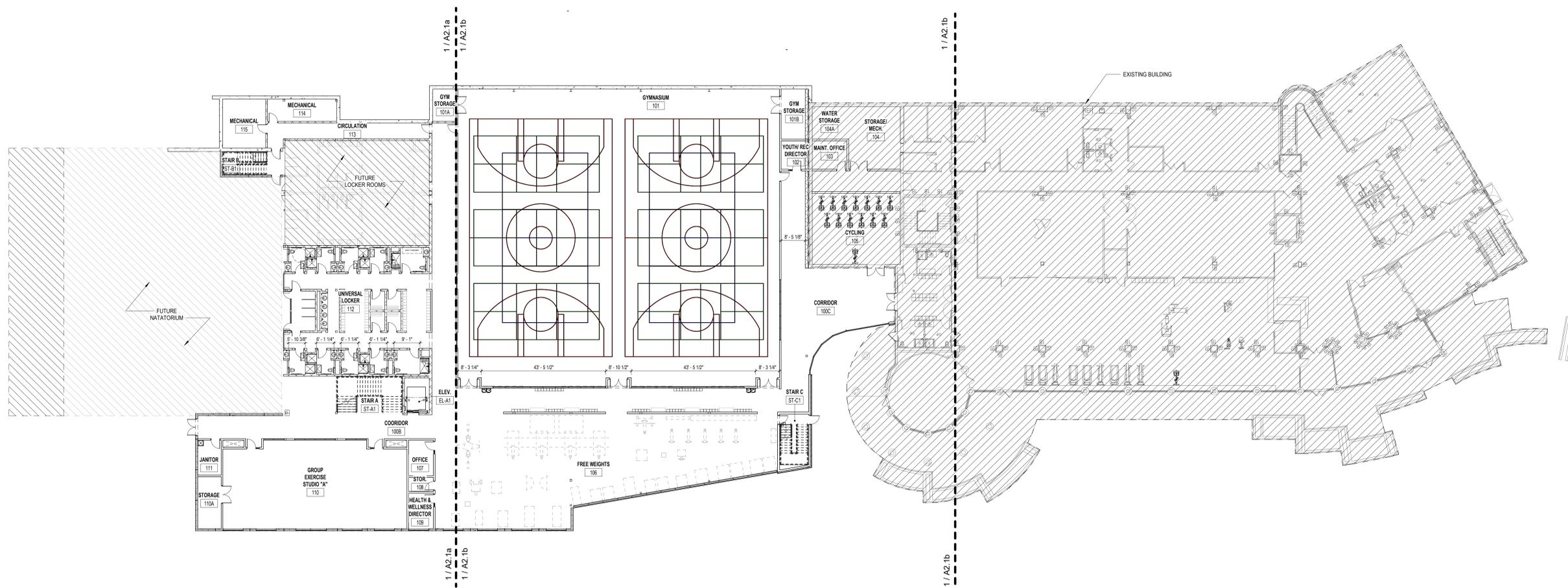
FLOOR PLAN LEGEND

⬢	WALL TAG. SEE WALL TYPES SHEET A10.0	⬢	DOOR PER TAG. SEE DOOR SCHEDULE SHEET A10.1
#	KEYNOTE. SEE KEYNOTES. THIS SHEET.	—	CMU WALL
#	WINDOW TAG. SEE SHEET A10.2	—	PRECAST CONCRETE WALL
#	STRUCTURAL GRID	—	INTERIOR METAL STUD PARTITION WALL
⊙	WATER CLOSET	U	URINAL
⊙	CHILD SIZED SINK	⊙	CHILD SIZED WATER CLOSET
⊙	DRINKING FOUNTAIN	⊙	KITCHEN SINK
⊙	SHOWER	⊙	FOLDING PARTITION
⊙	VANITY COUNTER & SINK		

GENERAL CONSTRUCTION NOTES:

- EXISTING WALLS TO REMAIN
- NEW WALL CONSTRUCTION

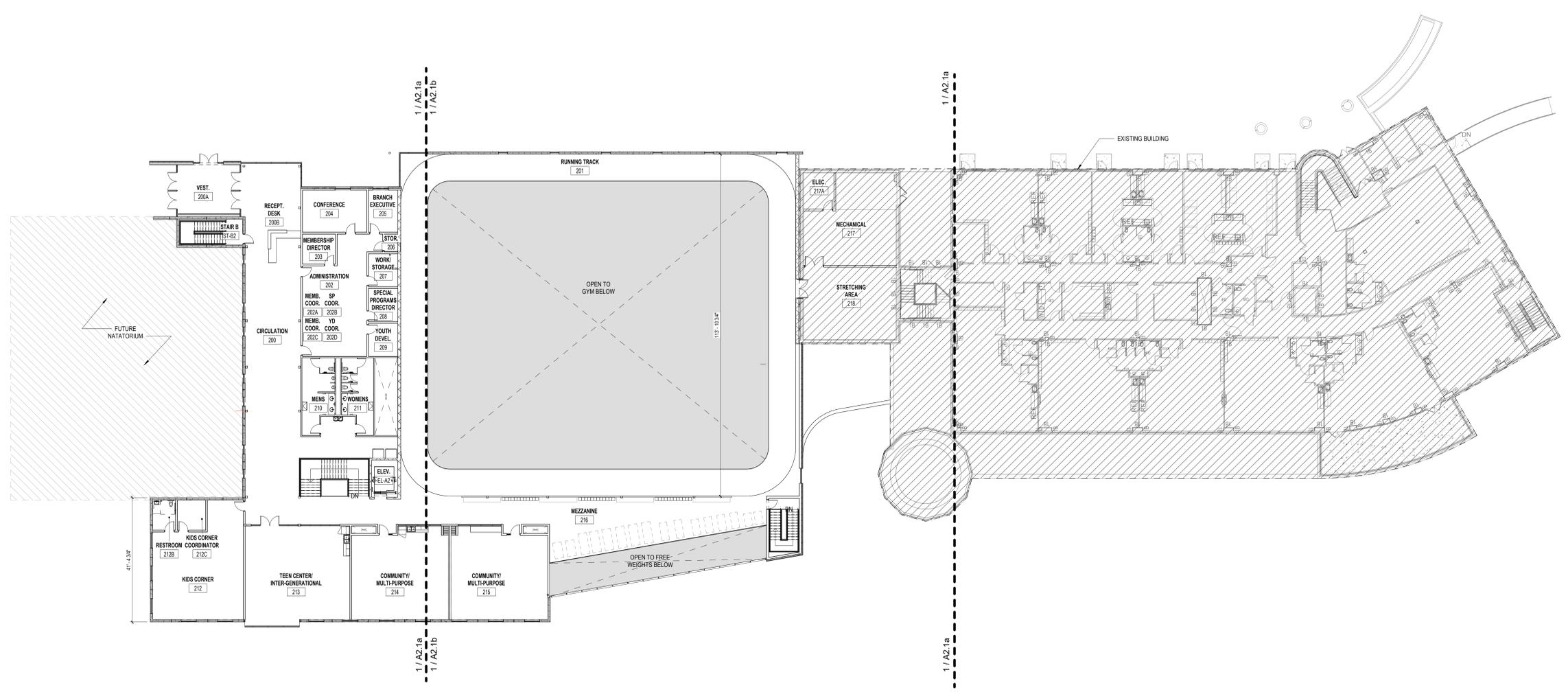
- SEE SHEET T0.0 FOR ABBREVIATIONS AND SYMBOL LEGEND.
 2. SEE SHEETS T0.0 FOR CODE REVIEW.
 3. ALIGNMENT OF NEW CONSTRUCTION TO EXISTING WALLS & COLUMNS SHALL BE ONE IN A MANNER AS TO VISIBLY ELIMINATE THE POINT OF CONTACT OR JOINT OF NEW AND EXISTING MATERIALS TO PROVIDE SMOOTH AND CONTINUOUS SURFACE. MAINTAIN APPROPRIATE FIRE-RATED CONSTRUCTION AT DISTURBED AREAS.
 4. WALLS ARE TO BE PARALLEL & PERPENDICULAR TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPARENT.
 5. ALL NEW INTERIOR WALLS ARE TO BE TYPE "SS" WALLS UNLESS OTHERWISE NOTED. WALL TYPES ARE LOCATED ON SHEET A10.1. SEE WALL TYPES FOR CONDITIONS AT CERAMIC TILED WALLS.
 6. PROVIDE BLOCKING AT ALL WALL HUNG EQUIPMENT AND FURNITURE AS REQUIRED.
 7. ALL WALLS WITHIN PROJECT SCOPE TO BE PATCHED AS NECESSARY TO COMPLETE "AS-NEW" ENVIRONMENT. THIS INCLUDES AREAS WHERE EQUIPMENT HAS BEEN REMOVED.
 8. ALL FLOORS ARE TO BE LEVEL AND CLEAN PRIOR TO INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR SURFACES AND TRANSITIONS BETWEEN SURFACE TYPES SHALL COMPLY WITH ADA GUIDELINES.
 9. WALL TYPES INDICATED BY SEE SHEET A10.1 FOR WALL TYPES.
 10. ALL FLOOR ELEVATIONS ARE BASED OFF OF FIRST FLOOR ELEVATION OF 100'-0". ARCHITECTURAL ELEVATION 100'-0" CORRESPONDS TO CIVIL ELEVATION OF 100'-87" ±.
 11. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 12. ALL FIRE EXTINGUISHER CABINETS (FEC) SHALL BE SEMI RECESSED ("SR FEC"), U.N.O. (SURFACE MOUNTED = "SM FEC", FULLY RECESSED = "REC FEC"), FECS IN RATED ENCLOSURE WALLS SHALL BE SURFACE MOUNTED.
 13. ALL ELECTRICAL PANELS LOCATED IN SPACES OTHER THAN DEDICATED ELECTRICAL CLOSETS OR NON-PUBLIC SPACES SHALL BE FULLY RECESSED.
 14. HINGE SIDE OF ROUGH OPENINGS FOR DOORS ARE TYPICALLY 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
 15. SEE SPECIFICATION MANUAL FOR COLOR AND MATERIAL SCHEDULE AND ROOM FINISH SCHEDULE.
 16. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES ON THE SITE NOT AFFECTED BY THE WORK. ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM THE WORK MUST BE COORDINATED WITH OWNER AND ADJACENT PROPERTY OWNERS IN ADVANCE.
 17. CONTRACTOR SHALL REPLACE, AT NO COST TO THE OWNER, ANY AND ALL SITE MATERIALS DAMAGED DUE TO THE CONSTRUCTION PROCESS WHICH WERE NOT SCHEDULED TO BE DEMOLISHED OR REMOVED.
 18. COORDINATE FINAL SIZES AND LOCATIONS OF ALL CONCRETE PADS WITH THE HVAC CONTRACTOR. CONCRETE PADS SHALL BE BY DIV 3, UNO.
 19. ANY WALL SHOWN ON THE PLANS WITHOUT A WALL TAG IS ASSUMED TO BE TYPE 1 IF GRAPHICALLY INDICATED AS GYP BOARD & METAL STUD, AND TYPE 11 IF GRAPHICALLY INDICATED AS MASONRY. IF MASONRY INFILL WALL IS NOT TAGGED, IT SHALL BE ASSUMED TO MATCH THE WIDTH OF THE EXISTING WALL. SEE SHEET T0.0 FOR GRAPHIC LEGEND.
 20. ALL GYPSUM BOARD SHALL BE MOLD RESISTANT. SEE WALL TYPES FOR ADDITIONAL GYP BOARD REQUIREMENTS.
 21. CERTAIN PLUMBING, ELECTRICAL AND MECHANICAL ELEMENTS, SUCH AS ROOF CONDUCTORS, STANDPIPES, CABINET UNIT HEATERS AND ELECTRICAL PANELS MAY OR MAY NOT BE SHOWN ON THE ARCHITECTURAL PLANS. THESE ARE SHOWN FOR COORDINATION ONLY. ALL CONTRACTORS MUST REVIEW ALL SHEETS FOR ALL REQUIRED WORK.
 22. WHERE MASONRY IS REMOVED AND BACKPATCHED, OR WHERE OPENINGS ARE FILLED, PROVIDE MASONRY AND GROUT TO MATCH. TOOTH IN ALL INFILL SO AS TO CREATE A SEAMLESS END PRODUCT.



1 FIRST FLOOR - OVERALL
1/16" = 1'-0"

KEYNOTES PER SHEET	
Key Value	Keynote Text

FLOOR PLAN LEGEND			
	WALL TAG. SEE WALL TYPES SHEET A10.0		DOOR PER TAG. SEE DOOR SCHEDULE SHEET A10.1
	KEYNOTE. SEE KEYNOTES. THIS SHEET.		CMU WALL
	WINDOW TAG. SEE SHEET A10.2		PRECAST CONCRETE WALL
	STRUCTURAL GRID		INTERIOR METAL STUD PARTITION WALL
	WATER CLOSET		URINAL
	CHILD SIZED SINK		CHILD SIZED WATER CLOSET
	DRINKING FOUNTAIN		KITCHEN SINK
	SHOWER		FOLDING PARTITION
	VANITY COUNTER & SINK		



1 SECOND FLOOR - OVERALL
1/16" = 1'-0"



SITE PLAN REVIEW

Sheet:
SECOND FLOOR PLAN - OVERALL

Scale:
As indicated

Revisions:

No.	Date	Description

Date:
02-23-2024

Project No.: 230049.00 (Owner) Project No.: -

Sheet No.:

A2.2

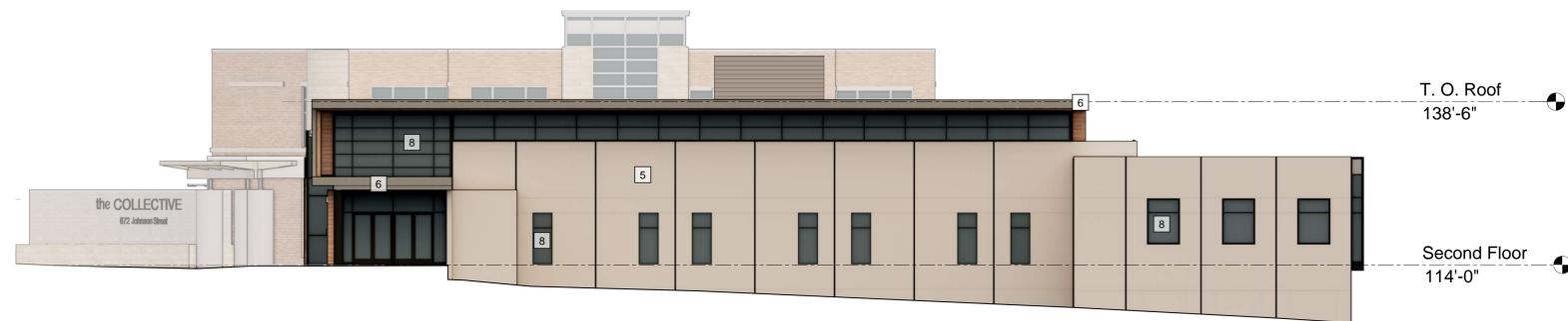
- Materials Key**
- 01 Spandrel Glass
 - 02 Vision Glass
 - 03 Wood Look Plank Metal Siding System
 - 04 Solid Tan Metal Plank Siding System
 - 05 Buff Precast Panel
 - 06 Slate Grey Metal Panel Siding System
 - 07 Wood Look Metal Vertical Louver System
 - 08 Vision Glass
 - 09 Light Grey Metal Mechanical Screen



1 WEST EXTERIOR ELEVATION
3/32" = 1'-0"



2 EAST EXTERIOR ELEVATION
3/32" = 1'-0"



3 WEST EXTERIOR ELEVATION
3/32" = 1'-0"

Revisions:

No.	Date	Description

Watertown Community Health Foundation

Watertown YMCA

Johnson Street Watertown, WI
53094

Site Plan Review
02-23-2024

zimmerman
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2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TELEPHONE (414) 476-9500
FACSIMILE (414) 476-8582

HARWOOD
255 N 21st Street Milwaukee, WI 53233 414-475-5554

ARCHITECT:



CIVIL/LANDSCAPING/STRUCTURAL/PLUMBING/MECHANICAL/ELECTRICAL/FIRE PROTECTION :

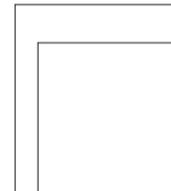


CONSTRUCTION MANAGER :



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 - C1.12 SITE PLAN - NORTH
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Watertown YMCA

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Project No.:	(Owner) Project No.:
230049.00	-

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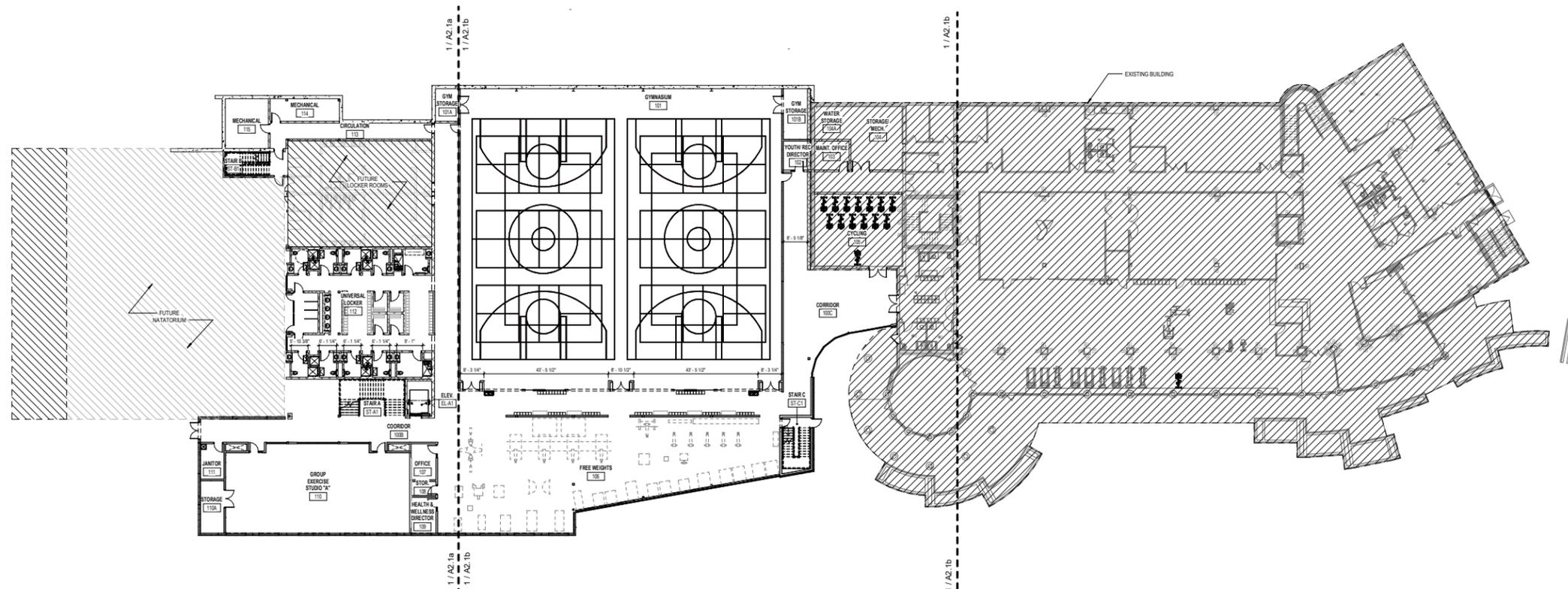
A0.0

No.	Date	Description

FLOOR PLAN LEGEND	
	WALL TAG. SEE WALL TYPES SHEET A10.1
	KEYNOTE. SEE KEYNOTES. THIS SHEET.
	WINDOW TAG. SEE SHEET A10.2
	STRUCTURAL GRID
	WATER CLOSET
	CHILD SIZED SINK
	DRINKING FOUNTAIN
	SHOWER
	VANITY COUNTER & SINK
	DOOR PER TAG. SEE DOOR SCHEDULE SHEET A10.1
	CMU WALL
	PRECAST CONCRETE WALL
	INTERIOR METAL STUD PARTITION WALL
	URINAL
	CHILD SIZED WATER CLOSET
	KITCHEN SINK
	FOLDING PARTITION

GENERAL CONSTRUCTION NOTES:

- EXISTING WALLS TO REMAIN
 - NEW WALL CONSTRUCTION
1. SEE SHEET 10.0 FOR ABBREVIATIONS AND SYMBOL LEGEND.
 2. SEE SHEETS 10.1 & 10.2 FOR CODE REVIEW.
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 4. WALLS ARE TO BE PARALLEL & PERPENDICULAR TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPROPRIATE.
 5. ALL NEW INTERIOR WALLS ARE TO BE TYPE "80" WALLS UNLESS OTHERWISE NOTED. WALL TYPES ARE LOCATED ON SHEET A10.1. SEE WALL TYPES FOR CONDITIONS AT CERAMIC TILED WALLS.
 6. PROVIDE BLOCCING AT ALL WALL HANG EQUIPMENT AND FURNITURE AS REQUIRED.
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1 FIRST FLOOR - OVERALL
1/16" = 1'-0"

KEYNOTES PER SHEET	
Key Value	Keynote Text

FLOOR PLAN LEGEND	
	WALL TAG. SEE WALL TYPES SHEET A10.0
	KEYNOTE. SEE KEYNOTES THIS SHEET.
	WINDOW TAG. SEE SHEET A10.2
	STRUCTURAL GRID
	WATER CLOSET
	CHILD SIZED SINK
	DRINKING FOUNTAIN
	SHOWER
	VANITY COUNTER & SINK
	DOOR PER TAG. SEE DOOR SCHEDULE SHEET A10.1
	CMU WALL
	PRECAST CONCRETE WALL
	INTERIOR METAL STUD PARTITION WALL
	URINAL
	CHILD SIZED WATER CLOSET
	KITCHEN SINK
	FOLDING PARTITION

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Consultant:
HARWOOD
 255 N. 21st Street Milwaukee, WI 53233 414-475-5554

Project:
 Watertown YMCA

Location:
 Johnson Street Watertown, WI 53094

Key Plan: True North Plan North



SITE PLAN REVIEW

Sheet:
 SECOND FLOOR PLAN - OVERALL

Scale:
 As indicated

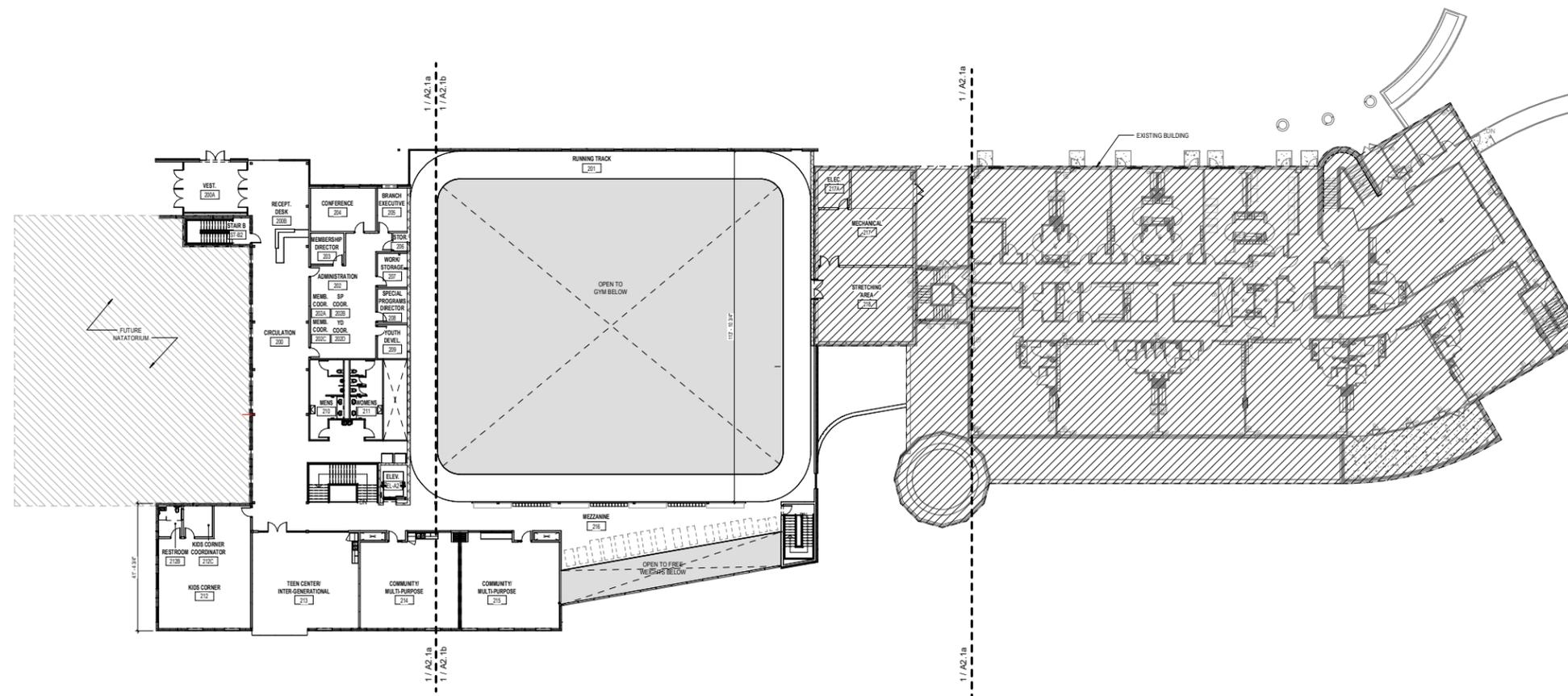
Revisions:		
No.	Date	Description

Date:
 02-23-2024

Project No.: 230049.00 (Owner) Project No.: -

Sheet No.:

A2.2



1 SECOND FLOOR - OVERALL
 1/8" = 1'-0"

Materials Key

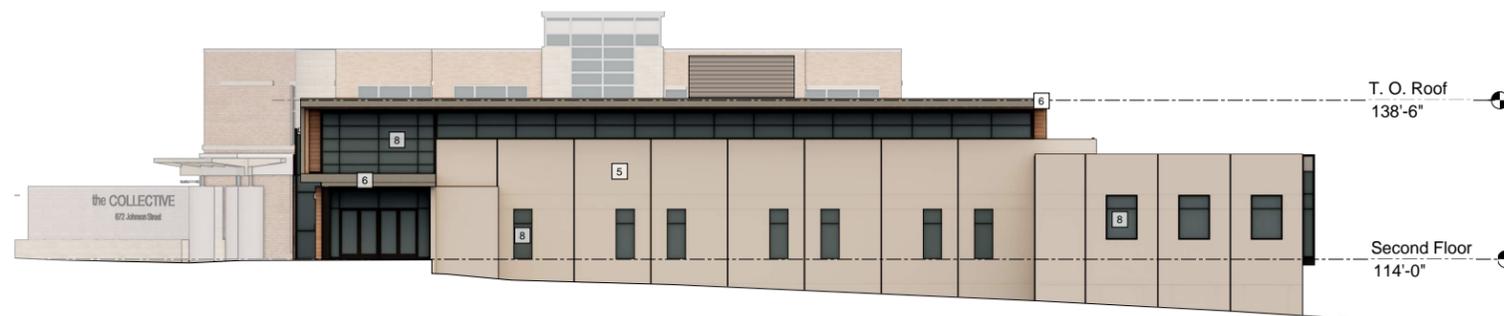
- 01 Spandrel Glass
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1 WEST EXTERIOR ELEVATION
3/32" = 1'-0"



2 EAST EXTERIOR ELEVATION
3/32" = 1'-0"



3 WEST EXTERIOR ELEVATION
3/32" = 1'-0"

No.	Date	Description