

Richter Heating

Additions & Remodeling

421 Water Tower Court

Watertown, WI 53904

C.D. Review Set

June 30, 2025

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Architectural

A0.0 Title Sheet / Site Plan / Code Info

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A3.1 Building Sections

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Structural

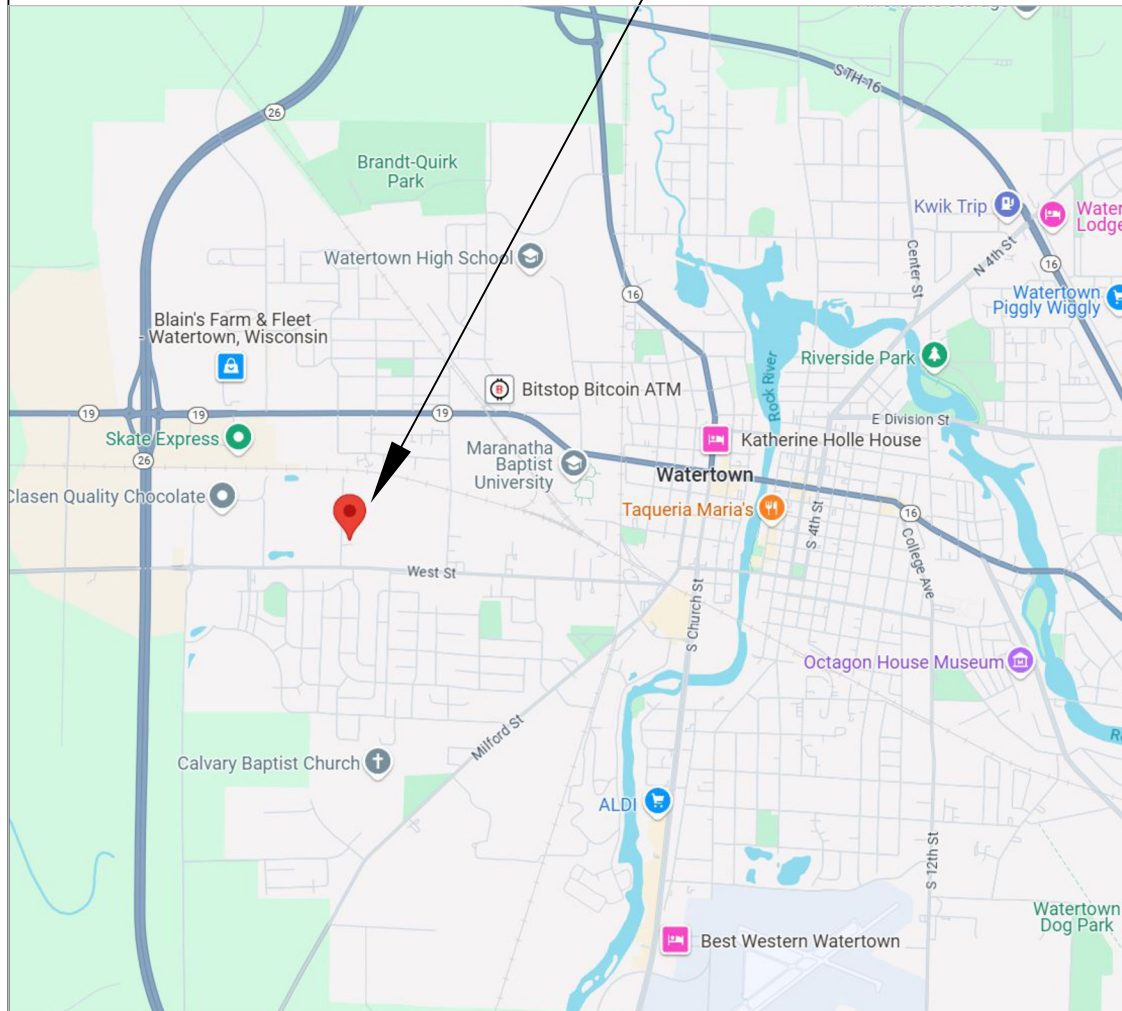
S0.0 Structural Notes

S1.0 Foundation Plan

S2.0 Framing Plan

Location Map:

Project Location:
421 Water Tower Ct.
Watertown, WI



Architect:

CASHMAN ASSOCIATES, Inc.
Gregory M. Cashman, AIA

4798 County HWY I
PH: (608) 237-7443



Sparta, WI 54656
FAX: (608) 237-7444


Architect Stamp:

Project General Notes:

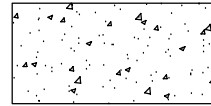
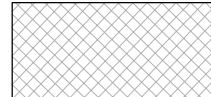
- CODE COMPLIANCE:** ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
- PERMITS:** CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/ OR LICENCES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
- COORDINATION:** ALL SUBCONTRACTORS, SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR, FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE. ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
- FIELD VERIFICATION:** ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
- DEMOLITION:** CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/ OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
- PENETRATIONS:** ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
ALL TRADES SHALL TAKE SPECIAL CARE TO MAKE HOLES AS SMALL AS POSSIBLE AND IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S SPECIFICATIONS.
ALL HOLES SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALLS, JOISTS, AND/ OR ROOF DECK.
ASSOCIATED TRADE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY HOLES LEFT UNREPAIRED.
- FIRESTOPPING:** ALL HOLES OR PENETRATIONS, EXISTING OR NEW, THROUGH FIRE-RATED CONSTRUCTION SHALL BE CLOSED, FIRESTOPPED, DAMPERED, AS REQUIRED BY CURRENT 2015 IBC Code.
- HAZARDOUS MATERIALS:** ANY HAZARDOUS MATERIALS ENCOUNTERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
- DO NOT SCALE DRAWINGS.** IN ALL CASES, NOTED DIMENSIONS AND/ NOTES INDICATING DIMENSIONS OR SIZING SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
- DIMENSIONING:** ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUGH-FRAMED STUD WALL TO FACE OF ROUGH-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

SITE PLAN GENERAL NOTES

(SHEET A1.0)

- PROPOSED BUILDING ELEVATION SHOWN AS:  MAIN FLOOR FINISHED FLOOR
EL = 100'-0"
- ALL GROUND SHALL PITCH AWAY FROM BUILDING AT A MINIMUM OF 4% +/- UNLESS NOTED OTHERWISE. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- CONCRETE SURFACES SHALL SLOPE @ 1/8" = 1'-0" MINIMUM AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:50 MAXIMUM AT HANDICAPPED ACCESSIBLE PARKING STALLS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:40 MINIMUM AT ALL OTHER PARKING LOT AREAS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.

Legend

	NEW CONCRETE PAVING
	NEW BUILDING

1
A0.0

Site Layout Plan

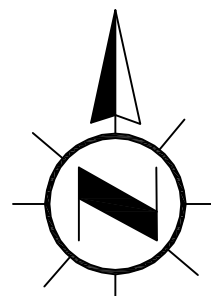
1" = 40'-0"

KEYED NOTES (CONT'D)

(SHEET A1.0)

- NEW CONCRETE PAVING (4000 PSI), WIDTH AS SHOWN, 5" THICK W/ FIBERMESH & W.W.M. OVER 6" COMPACTED CRUSHED Limestone. TOP OF FINISHED SURFACE FLUSH W/ ASPHALT PAVING AND / OR ADJACENT SOIL. INSTALL THICKENED EDGE 12" DEEP x 10" AT ADJACENT PAVING OR BUILDING. INSTALL CONTROL JOINTS PER STANDARD PRACTICE. BROOM & TOOL FINISH. DOWELL ATTACH PAVING INTO ADJACENT BUILDING FOUNDATION- 24" LENGTH #5 DOWELS @ 24" C/C.
- WHITE COLORED PARKING LOT PAINT STRIPING
- VAN ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.

NORTH



Code Information

DESCRIPTION:

- New Office & Warehouse Addition to the existing building (B) & (S-1)
- Level 2 remodeling to the existing building
- Insulated, Conditioned Building

APPLICABLE CODES:

- State of Wisconsin Department of Safety and Professional Services Administrative Code- Chapters 361, 362, 363, 364, 365
- 2015 International Building Code and SPS 362
- 2015 International Energy Conservation Code and SPS 363
- 2015 International Mechanical Code and SPS 364
- 2015 International Fuel Gas Code and SPS 365
- SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
- SPS Plumbing Chapters 381-387 as based on SPS 362.2901
- 2015 International Fire Code
- Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35

OCCUPANCY CLASSIFICATION:

BUSINESS (B) Office Area IBC Section 304.1
STORAGE (S-1) Moderate Hazard Storage IBC Section 311.2

Building Gross SF Areas:

****Single -Occupancy, One-Story Building** IBC Section 506.2.2

Building Level	Existing Building	Addition (S-1) Occupancy	TOTAL Main Floor GSF B & S-1
First Floor	4,500 GSF	5,720 GSF	10,220 GSF

Building Height:

IBC Section 504.3

Ridge: 25'-6" height (40'-0" Allowable) IBC Section 504.3

No. of Levels: One

No. of Stories: One (1 allowed) IBC Section 504.4

Construction Type: IBC Section 601

- Type VB- Combustible Not Protected Construction

Struct. Frame	Bearing Walls Ext.	Bearing Walls Int.	Non-Bearing Walls Ext.	Non-Bearing Walls Int.	Floor Const.	Roof Const.
0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.

BUILDING HEIGHT & AREA:

IBC Table 506.2- Non-Sprinklered, 1-story; $A_t = 9,000$ SF

IBC Table 506.2:

-Non-Sprinklered Construction

IBC 506.2.2: Mixed-Occupancy, One-Story Building: Allowable Area

$$A_a = A_t + (NS \times I_f) = 9,000 + 9,000 (0.75) = 15,750 \text{ SF} > 10,100 \text{ sf}$$

$$I_f = [F/P - 0.25] W / 30 = 0.75 \text{ (Minimum 30'-0" clear on all sides of building)}$$

FIRE PROTECTION:

NON-Sprinklered Construction IBC 903

Fire Alarm System not required IBC 907

Interior Finish Flame Spread Ratings-

Interior Wall & Ceiling Finish Requirements: Interior Floor Finish Requirements: IBC 803.11 IBC 804.4

	Exit Passages	Corridors	Rooms/ Enclosed Spaces	All Floor Finishes
Finish Rating	A*	B**	C***	Class II

CLASS A FLAME SPREAD: Flame Spread Index: 0-25 / Smoke Index: 0-450
CLASS B FLAME SPREAD: Flame Spread Index: 26-75 / Smoke Index: 0-450
CLASS C FLAME SPREAD: Flame Spread Index: 76-200 / Smoke Index: 0-450 (IBC 803.1.1)

IBC Sec. 1004- Occupant Load: See Plan

14 occupants

IBC Sec. 1005.1.- Egress Width:

14 Occupants x 0.2 in. / occ. = 9.2 in. required. (144 in. provided)

IBC Table 1017.2.- Exit Access Travel Distance:

(B) / (S-1) Occupancy - Not Sprinklered: 200'-0"

IBC Table 2902.1: Plumbing Fixtures:

Building TOTAL Occupant Load: 46 persons

IBC Table 2902.2: Separate Facilities: Not Required

- 1 Toilets Required (total): 2 Provided
- 1 Lavatory Required (total): 2 Provided
- 1 Drinking Facility Required: 1 Provided
- 1 Service Sink Required: 1 Provided

CASHMAN ASSOCIATES, Inc. PROJECT: 4798 County Road I Sparta, WI 54656 PROJECT OWNER: JG Contractors, LLC 421 Water Tower Ct. Watertown, WI 53904 WATER TOWER COURT ADDITIONS & REMODELING PROJECT NO. 18241 County Rd. X Watertown, WI 53904 SHEET NUMBER: A0.0 SHEET TITLE: Title Sheet / Code Info

REVISIONS

NO. TITLE DATE

LOCATION: 421 Water Tower Ct. Watertown, WI 53904 Jefferson County

DATE: June 30, 2025

PROJECT: Richter Heating Additions and Remodeling

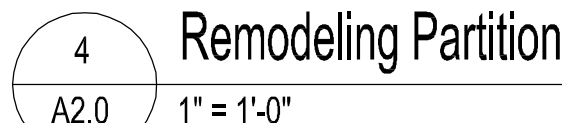
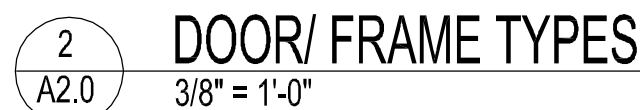
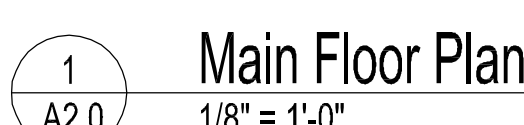
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PROJECT: Richter Heating Additions and Remodeling

421 Water Tower Ct.



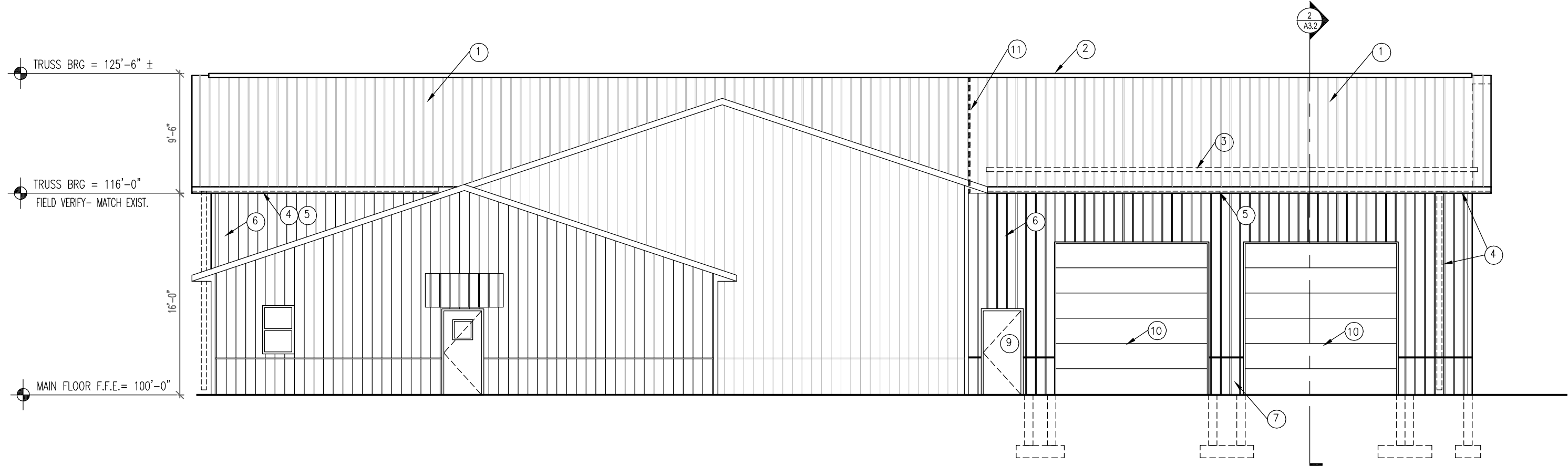
- ## REFERENCE NOTES

1. SEE DETAIL 1 / A2.1 FOR PARTITION TYPES
2. SEE THIS SHEET FOR DOOR SCHEDULE
3. REFER TO STANDARD MOUNTING HEIGHTS, DET 2 / A2.1
FOR ADA MOUNTING HEIGHT DETAILS.
4. REFER TO ELEVATIONS FOR EXTERIOR WINDOW TYPES AND LOCATIONS

KEYED NOTES

- 1 FIRE EXTINGUISHER CABINET, SURFACE-MOUNTED
FIRE EXTINGUISHER, TYPE A-B-C, 2-A-B-C RATED
WALL MOUNTING: TOP-OF-EXTINGUISHER
Ø 42" ABOVE FINISHED FLOOR
- 2 24 x 24 FLOOR-MOUNTED SERVICE SINK (EXISTING)
- 3 WATER COOLER WATER DRINKING FACILITY
- 4 ADD VERTICAL-ORIENTED ADA GRAB BAR IN EXISTING TOILET ROOM
REFER TO STANDARD MOUNTING HEIGHTS, DET 2 / A2.1
- 5 CONCRETE STOOP: SEE STRUCTURAL
- 6 EXISTING GABLE-END WALL TO BE REMOVED.
SEE WALL SECTIONS & STRUCTURAL.

DOOR/ FRAME SCHEDULE												
DOOR NO.	DOOR						FRAME			HARDWARE GROUP SEE NOTES— BELOW	REMARKS	
	SIZE	THICKNESS	MATERIAL	FINISH	TYPE: SEE DETAIL <div>2 A2.D</div>	U-CUT OR LOUVER	MATERIAL	FINISH	TYPE: SEE DETAIL <div>2 A2.O</div>			
EXISTING BUILDING												
100A	EXISTING 3'0" x 6'8"	—									E-1	NEW LEVER ENTRY ADA LOCKSET
100B	3'-0" x 6'-8"	1-3/4"	ALUMINUM	ANODIZED	C	—	ALUMINUM	ANODIZED	C		E-2	ALUMINUM STOREFRONT SYSTEM
100C	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	WD- PREHUNG	STAIN	B		C-1	WOOD PRE-HUNG INTERIOR DOOR
100D	EXISTING 3'0" x 6'8"	—									E-1	INSULATED EXTERIOR RIGID STEEL FRAME
101	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	B	—	WD- PREHUNG	STAIN	B		O-1	WOOD PRE-HUNG INTERIOR DOOR
102	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	B	—	WD- PREHUNG	STAIN	B		O-1	WOOD PRE-HUNG INTERIOR DOOR
103	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	A	—	WD- PREHUNG	STAIN	A		C-1	WOOD PRE-HUNG INTERIOR DOOR
104A	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	STEEL	PAINT	B		E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104B	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	STEEL	PAINT	B		E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104C	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	STEEL	PAINT	B		E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104D	12'w X 12'h	—										INSULATED SECTIONAL OVERHEAD DOOR
104E	12'w X 12'h	—										INSULATED SECTIONAL OVERHEAD DOOR
100F	12'w X 12'h	—										INSULATED SECTIONAL OVERHEAD DOOR
(AS NOTED ON DOOR/ HARDWARE SCHEDULE)												
HARDWARE GROUPS												
EXIT						TOILET		CLASSROOM		OFFICE		
E-1	EXTERIOR DOOR	E-2 EXTERIOR DOOR				T-1 TOILET		C-1		O-1		
ADA LEVER ENTRANCE LOCKSET- BOTH SIDES DEAD BOLT SECURITY ASTRAGAL BUTTS (3) CLOSER H/C-ACCESS THRESHOLD WEATHER SEAL/ SWEEP		ADA LEVER ENTRANCE LOCKSET- BOTH SIDES DEAD BOLT SECURITY ASTRAGAL CONTINUOUS HINGE CLOSER H/C-ACCESS THRESHOLD WEATHER SEAL/ SWEEP				PRIVACY LEVER LOCKSET BUTTS (3) DOOR STOP		CLASSROOM LEVER LOCKSET BUTTS (3) WALL BUMPER		OFFICE LEVER LOCKSET DEAD BOLT BUTTS (3) WALL BUMPER		

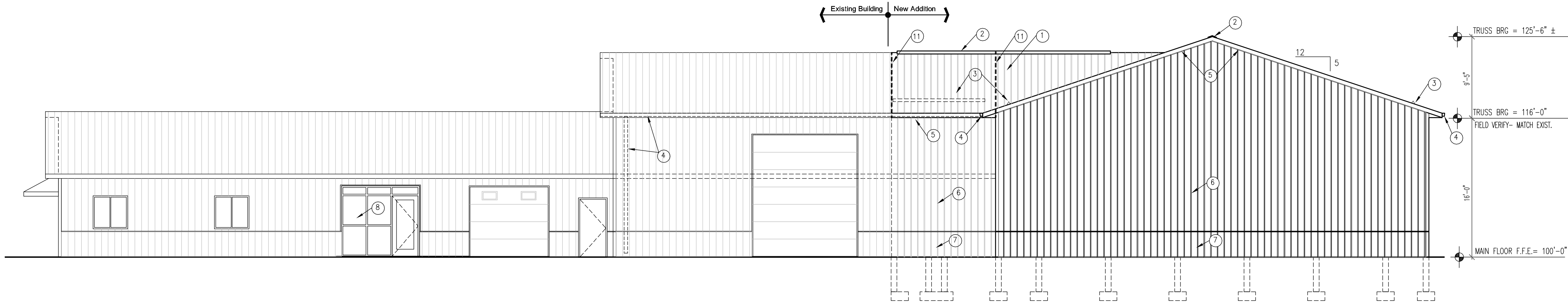


1
A3.0
West Elevation
1/8" = 1'-0"

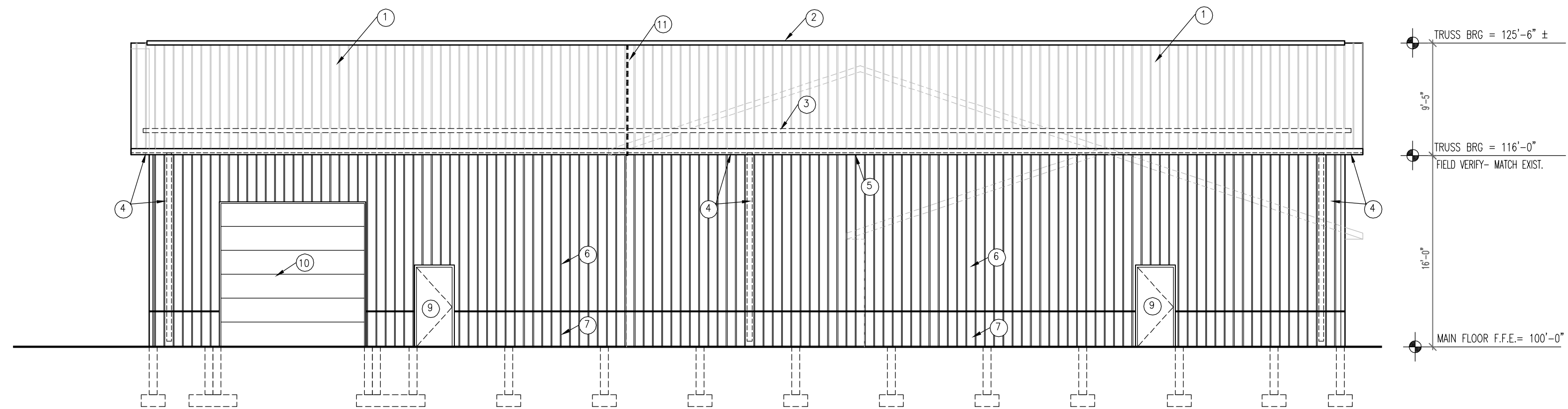
Keyed Notes- Exterior Elevations

SHT. A3.0

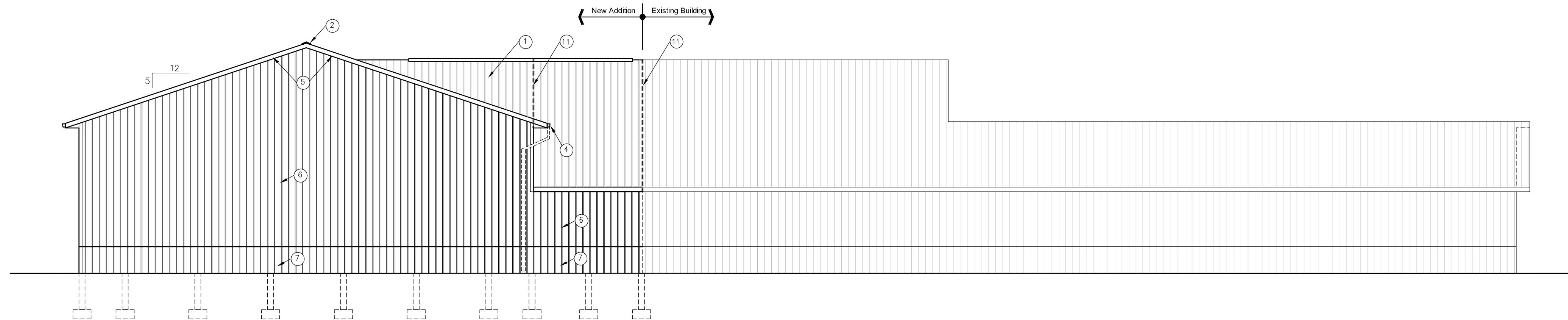
- 26 GA. PAINTED, EXPOSED FASTENER CORRUGATED METAL ROOFING
- RIDGE VENT, TYPICAL
- CONTINUOUS SNOW GUARDS
- PAINTED METAL GUTTER & DOWNSPOUT
- PAINTED METAL FASCIA & VENTED SOFFIT
- 26 GA. RIBBED / CORRUGATED METAL PANEL SIDING- VERTICALLY ORIENTED- COLOR #1
- 26 GA. RIBBED / CORRUGATED METAL PANEL SIDING- VERTICALLY ORIENTED- COLOR #2
- ALUMINUM STOREFRONT ENTRANCE SYSTEM. SEE SCHEDULE.
- INSULATED STEEL DOOR (TYPICAL)
U= 0.33 (R=3.0) MINIMUM
- INSULATED O.H.D. W/ THERMAL BREAK- U= 0.143 (R=7.0)
OVERHEAD DOOR CO.- THERMACORE SECTIONAL STEEL DOOR-599 SERIES
- DRAFTSTOPPING PER IBC 718.4.3-
ONE LAYER 1/2" GYP BOARD -OR- ONE LAYER 1/2" O.S.B.
SECURELY FASTENED TO ONE SIDE OF TRUSS / BUTT JOINTS TIGHTLY TO FORM
A CONTINUOUS SEAL / EXTEND FROM FASCIA TO FASCIA



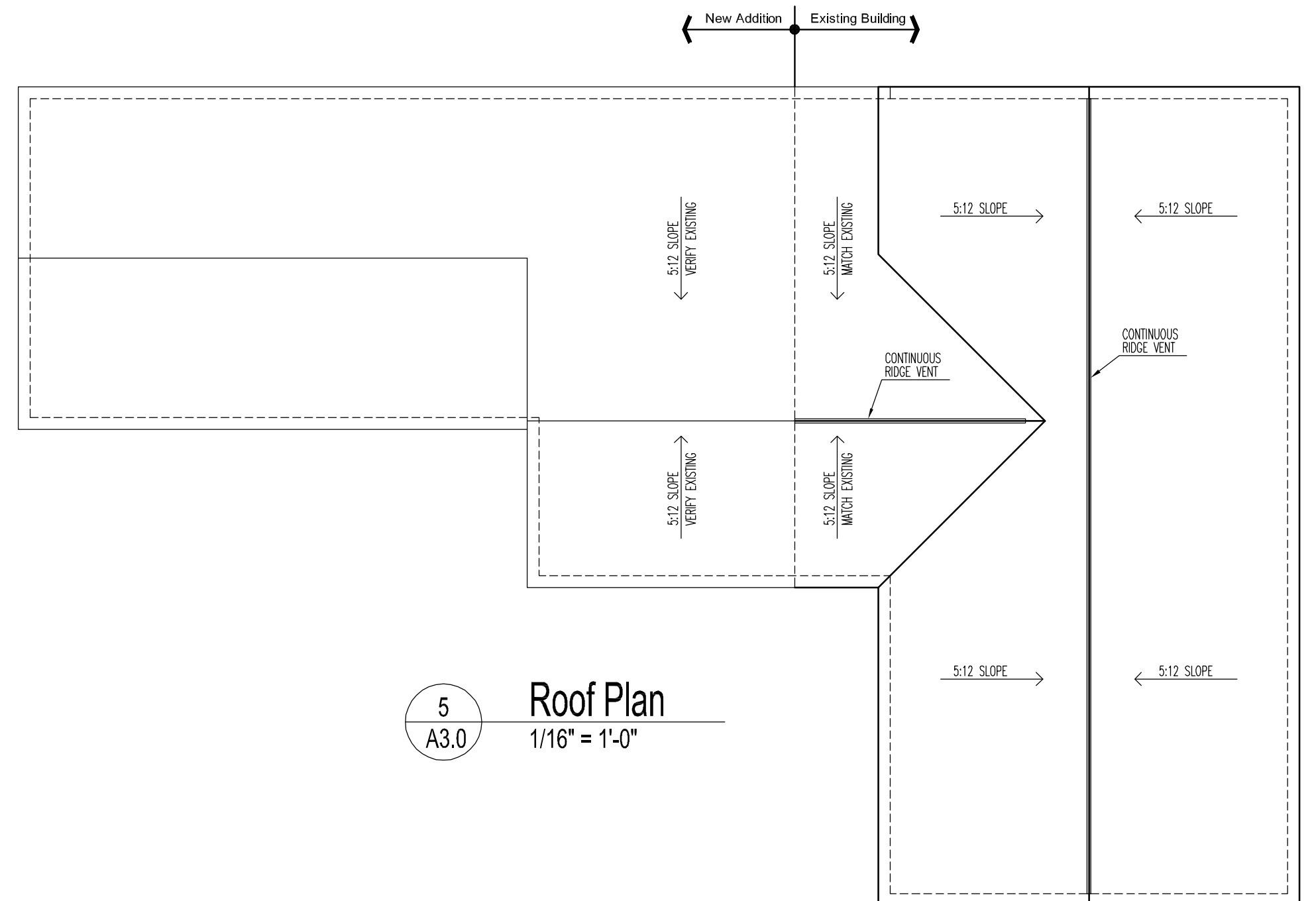
2
A3.0
South Elevation
1/8" = 1'-0"



3
A3.0
East Elevation
1/8" = 1'-0"



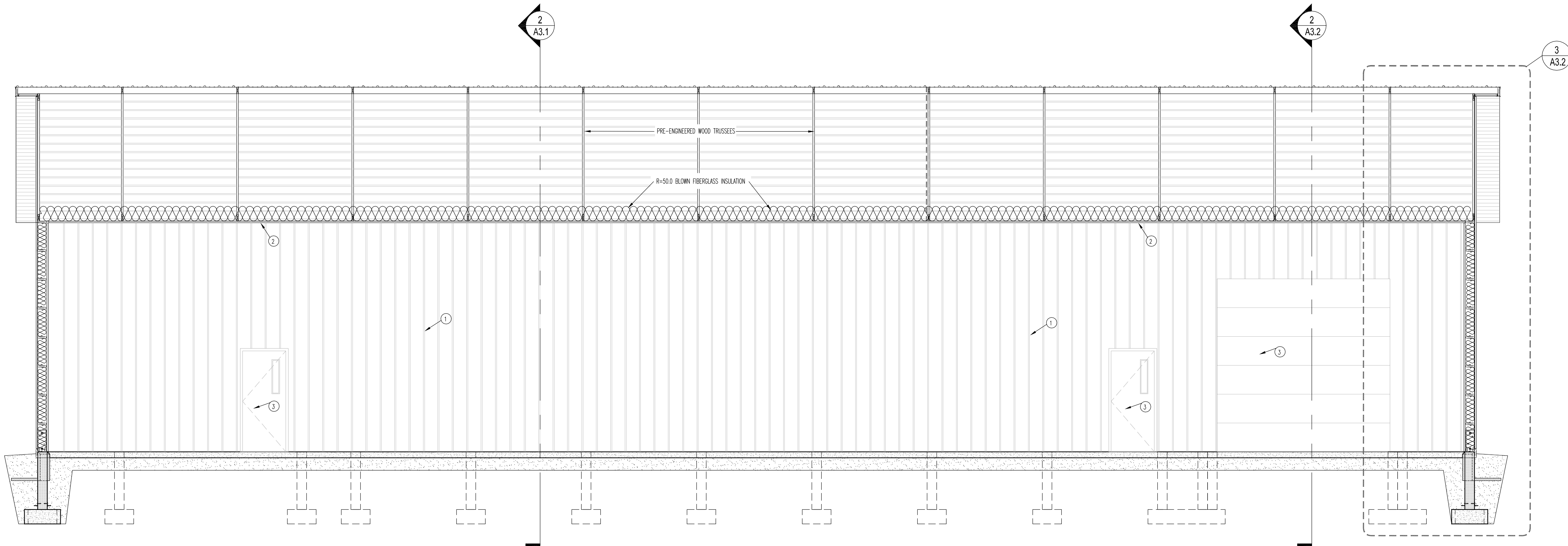
4
A3.0
North Elevation
1/8" = 1'-0"



5
A3.0
Roof Plan
1/16" = 1'-0"

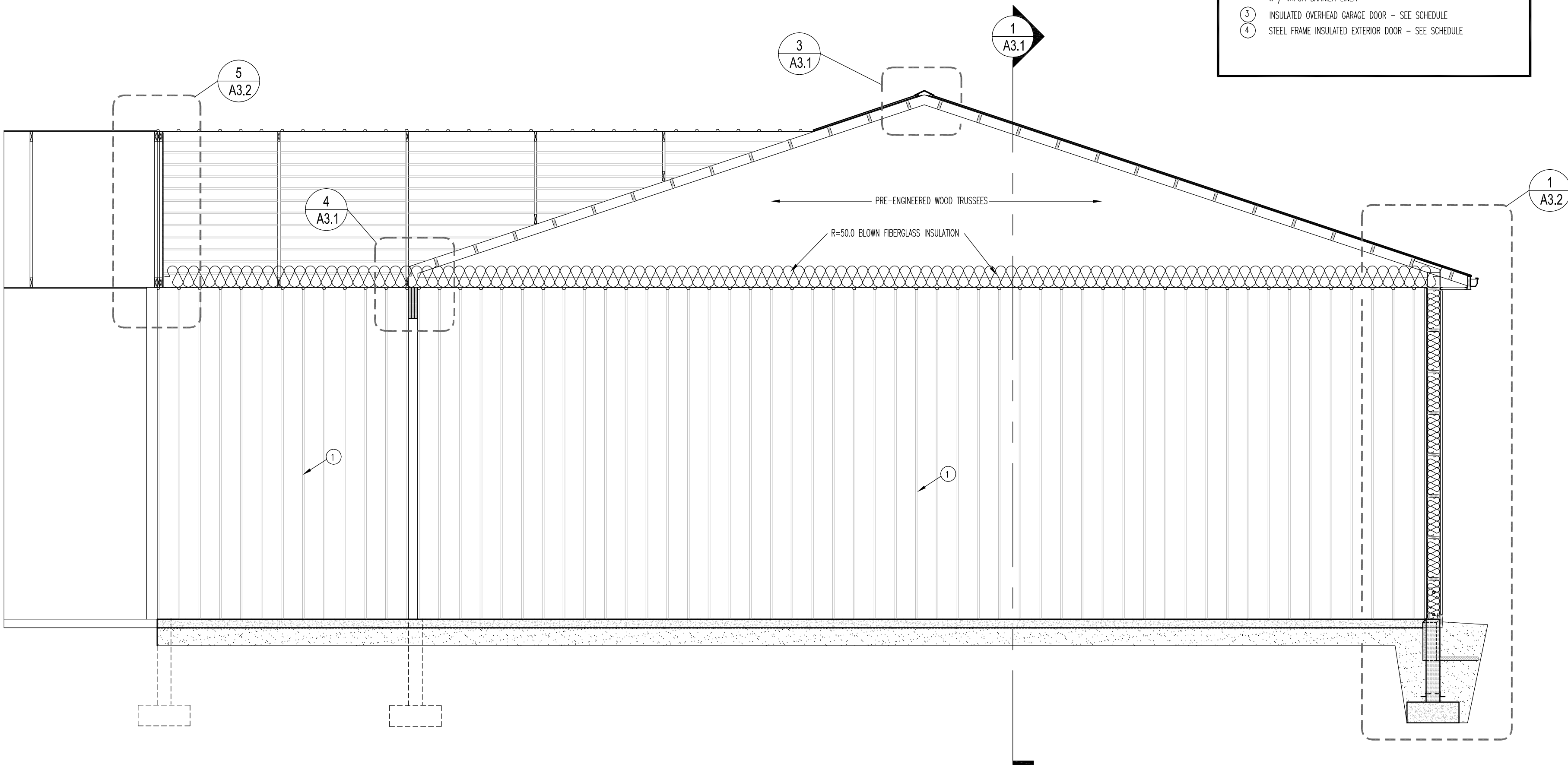
1
A3.1

Building Section
1/4" = 1'-0"



2
A3.1

Building Section
1/4" = 1'-0"

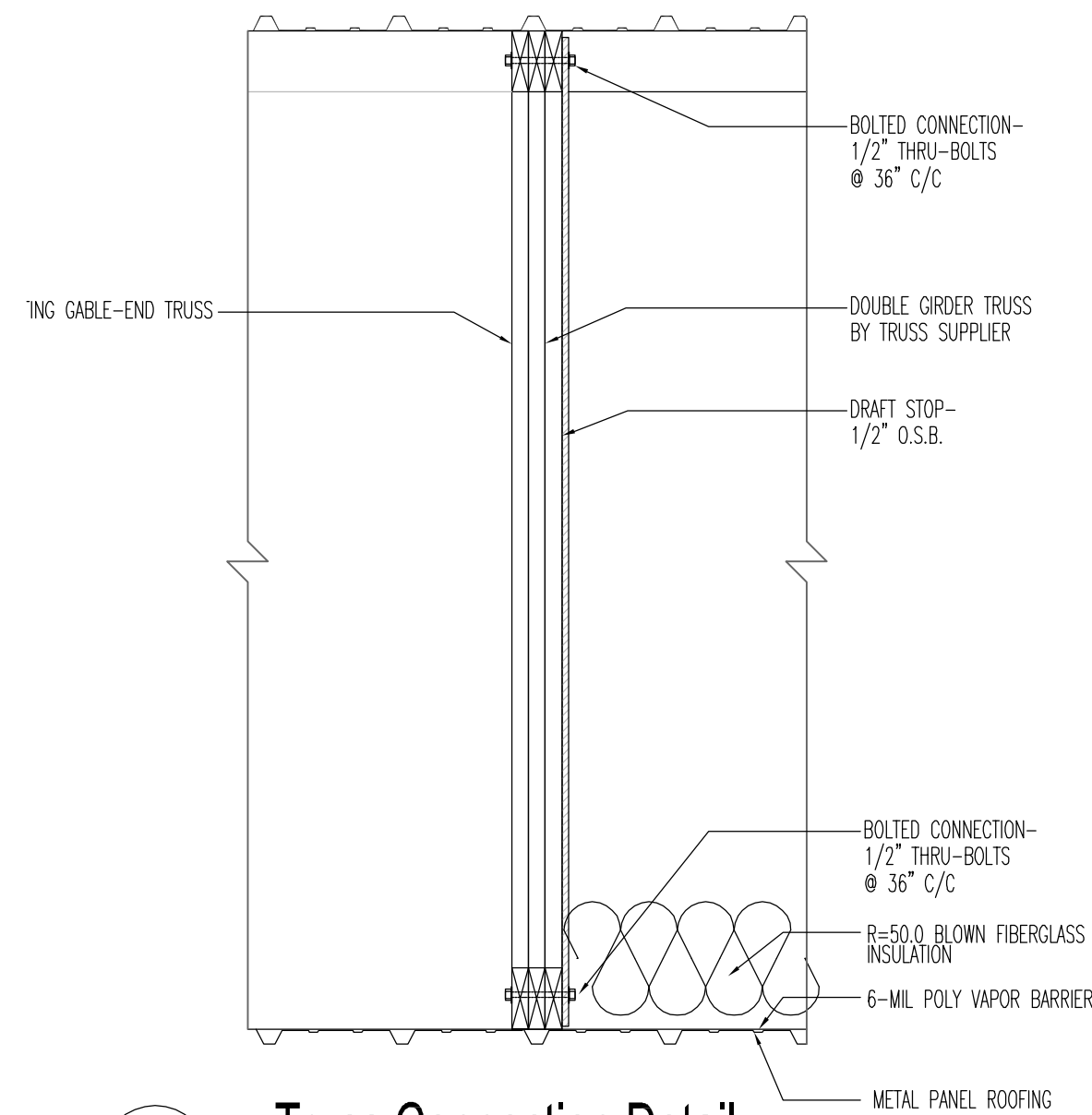


Keyed Notes- Building Sections

- 1 26 GA. PAINTED METAL PANEL INTERIOR WALL FINISH
- 2 ROOF-CEILING FINISHED WITH 26 GA. KYNAR FINISH PAINTED METAL PANEL W / VAPOR BARRIER LINER
- 3 INSULATED OVERHEAD GARAGE DOOR - SEE SCHEDULE
- 4 STEEL FRAME INSULATED EXTERIOR DOOR - SEE SCHEDULE

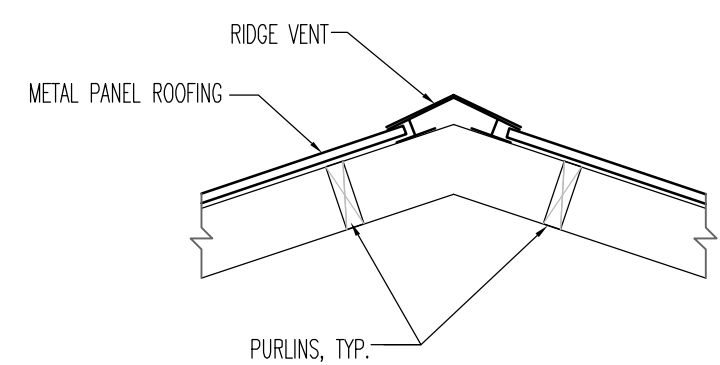
5
A3.1

Truss Connection Detail
3/4" = 1'-0"



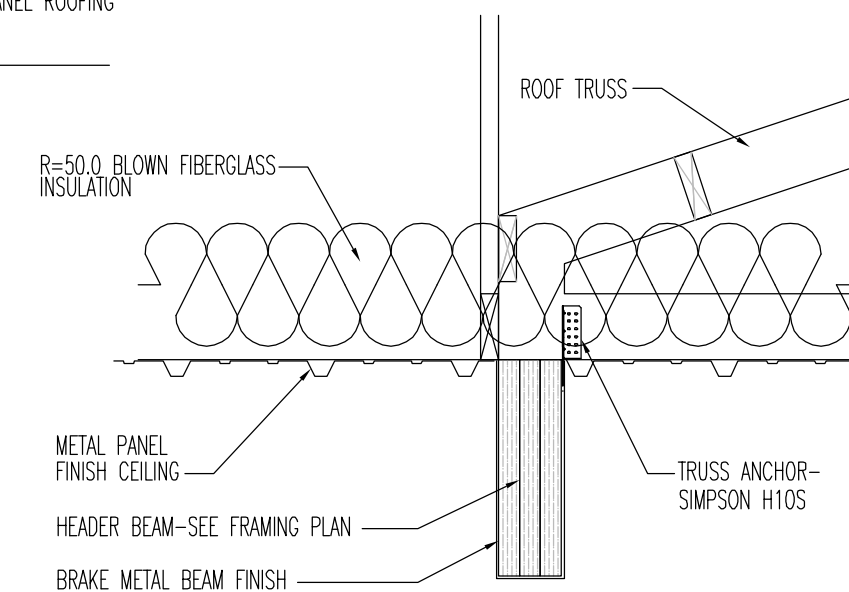
3
A3.1

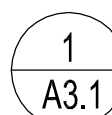
Ridge Vent
3/4" = 1'-0"



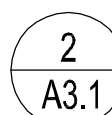
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A3.1

Detail @ Opening
3/4" = 1'-0"

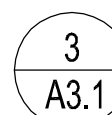




2
A3.1



3
A3.1

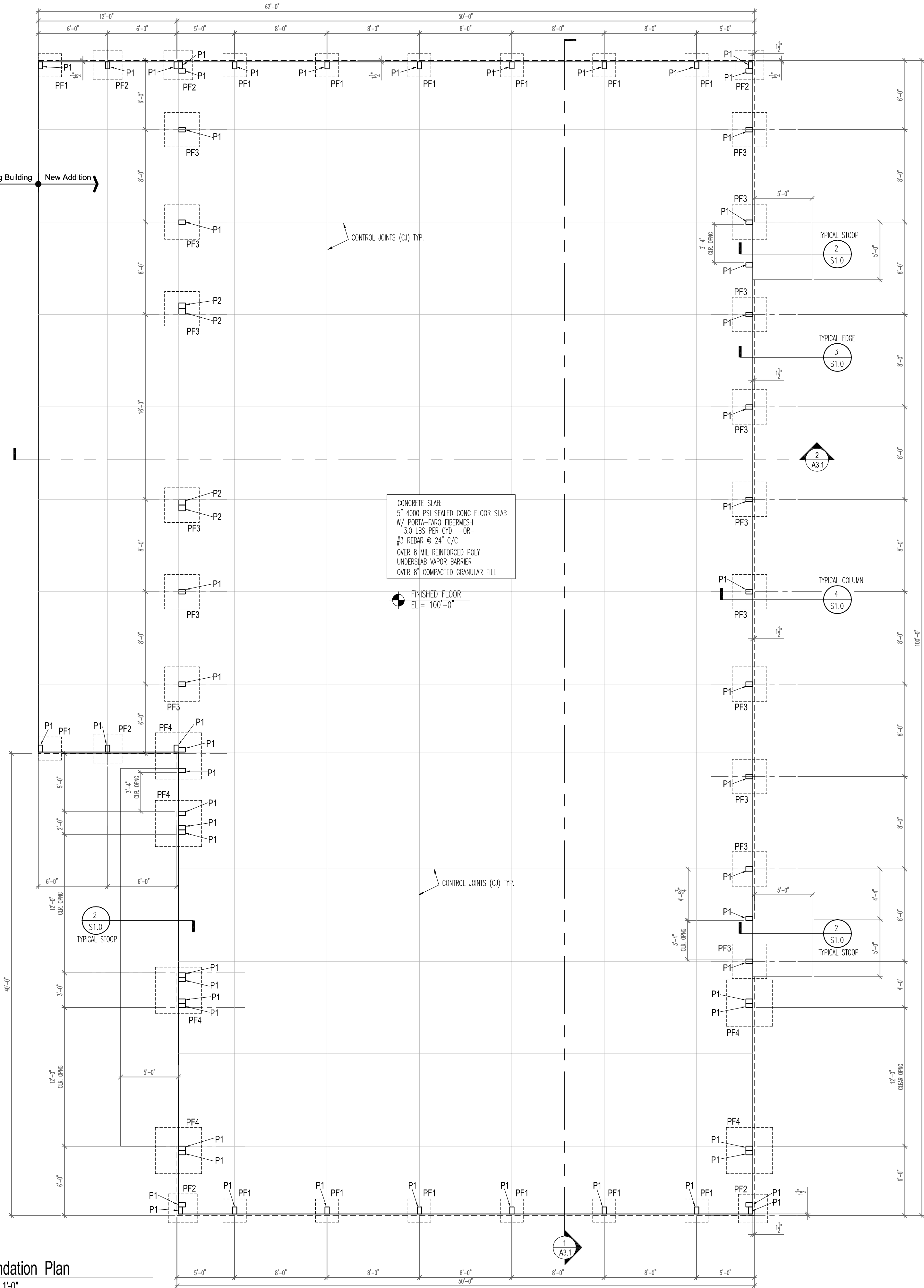


CASHMAN ASSOCIATES, Inc.		PH: (608) 237-7443		FAX: (608) 237-7444		4798 County Road I		Sparta, WI 54656		gcashman@charter.net		Gregory M. Cashman, AIA	
SHEET NUMBER:		SHEET TITLE:		PROJECT:		LOCATION:		PROJECT OWNER:		R E V I S I O N S			
A3.2		Wall Sections		Richter Heating Additions and Remodeling		421 Water Tower Ct. Watertown, WI 53094 Jefferson County		AG Contractors, LLC N8241 County Rd. X Watertown, WI 53094		NO. TITLE DATE			
				421 Water Tower Ct. Watertown, WI 53094									
						DATE: June 30, 2025							

1
S1.0

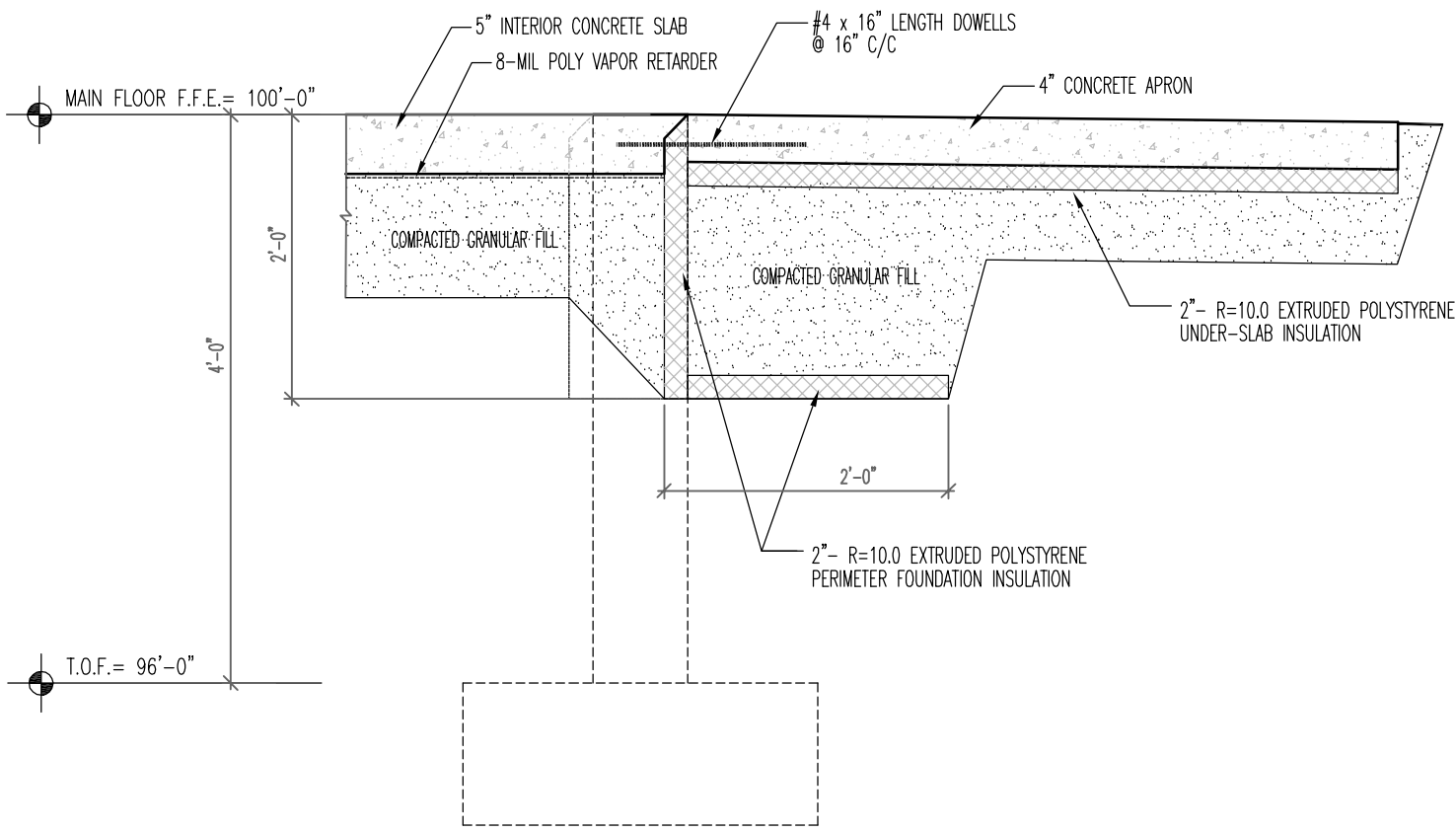
Foundation Plan
3/16" = 1'-0"

Existing Building
New Addition

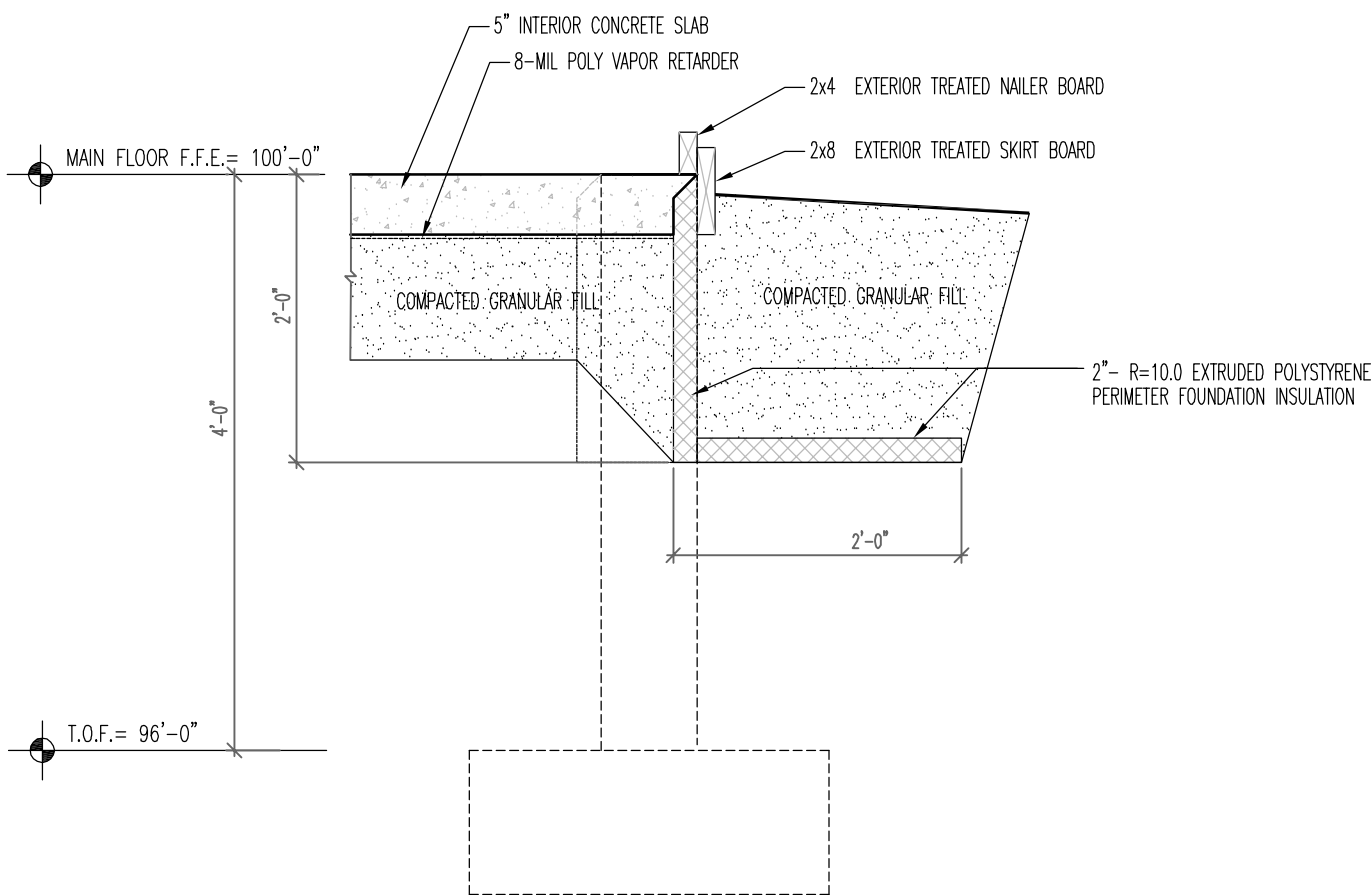


FOOTING SCHEDULE					
MARK	DIMENSIONS			REINFORCEMENT	REMARKS
	WIDTH	LENGTH	DEPTH		
PF1	24"	24"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF2	30"	30"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF3	36"	36"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF4	48"	48"	12"	#5 @ 12" O.C.E.W	PIER FOOTING

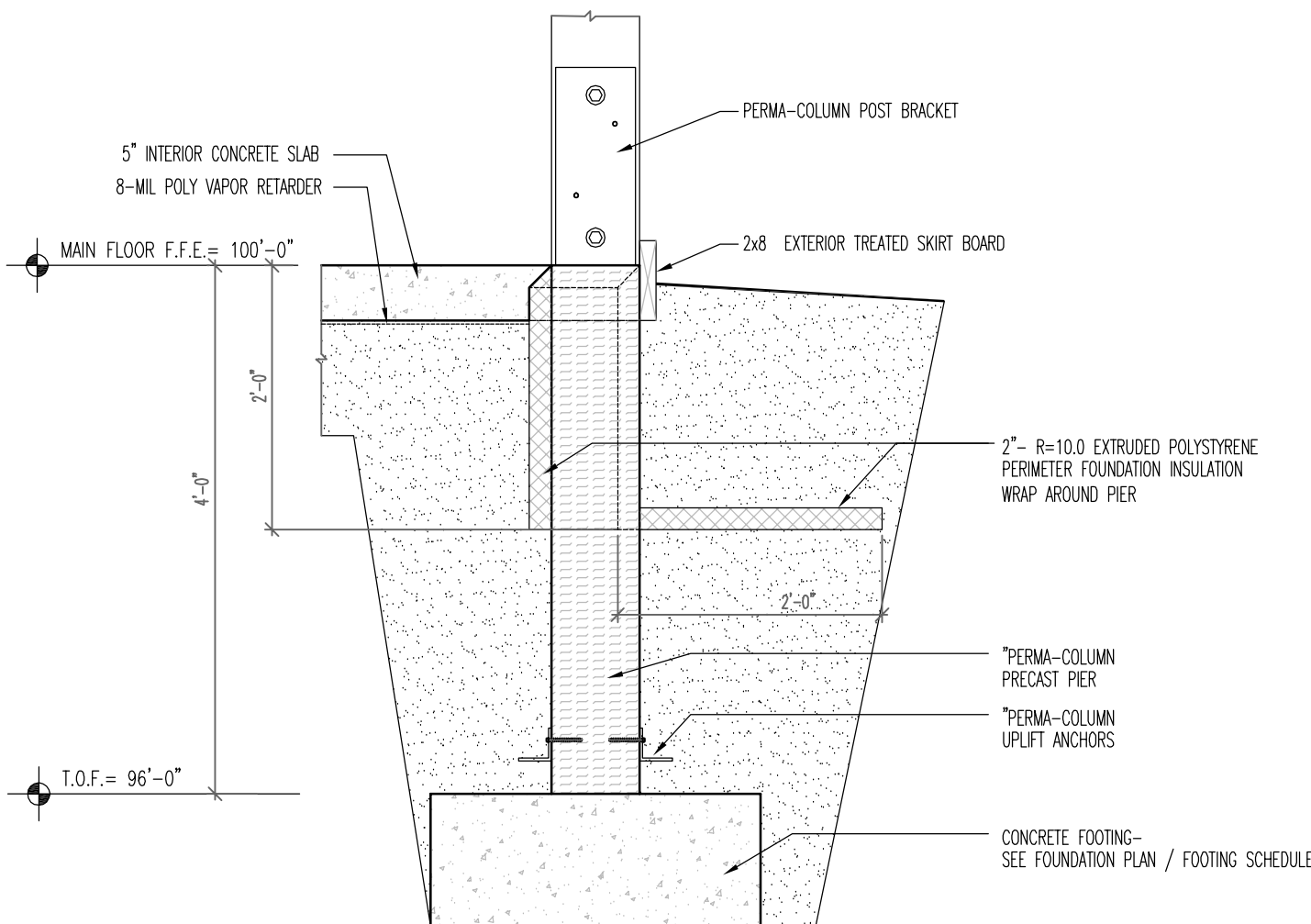
PERMA-COLUMN PIER SCHEDULE		
MARK	DIMENSIONS	PERMA-COLUMN MODEL ID
P1	3-PLY 2" x 8" NOMINAL	PC 8300
P2	4-PLY 2" x 8" NOMINAL	PC 8400



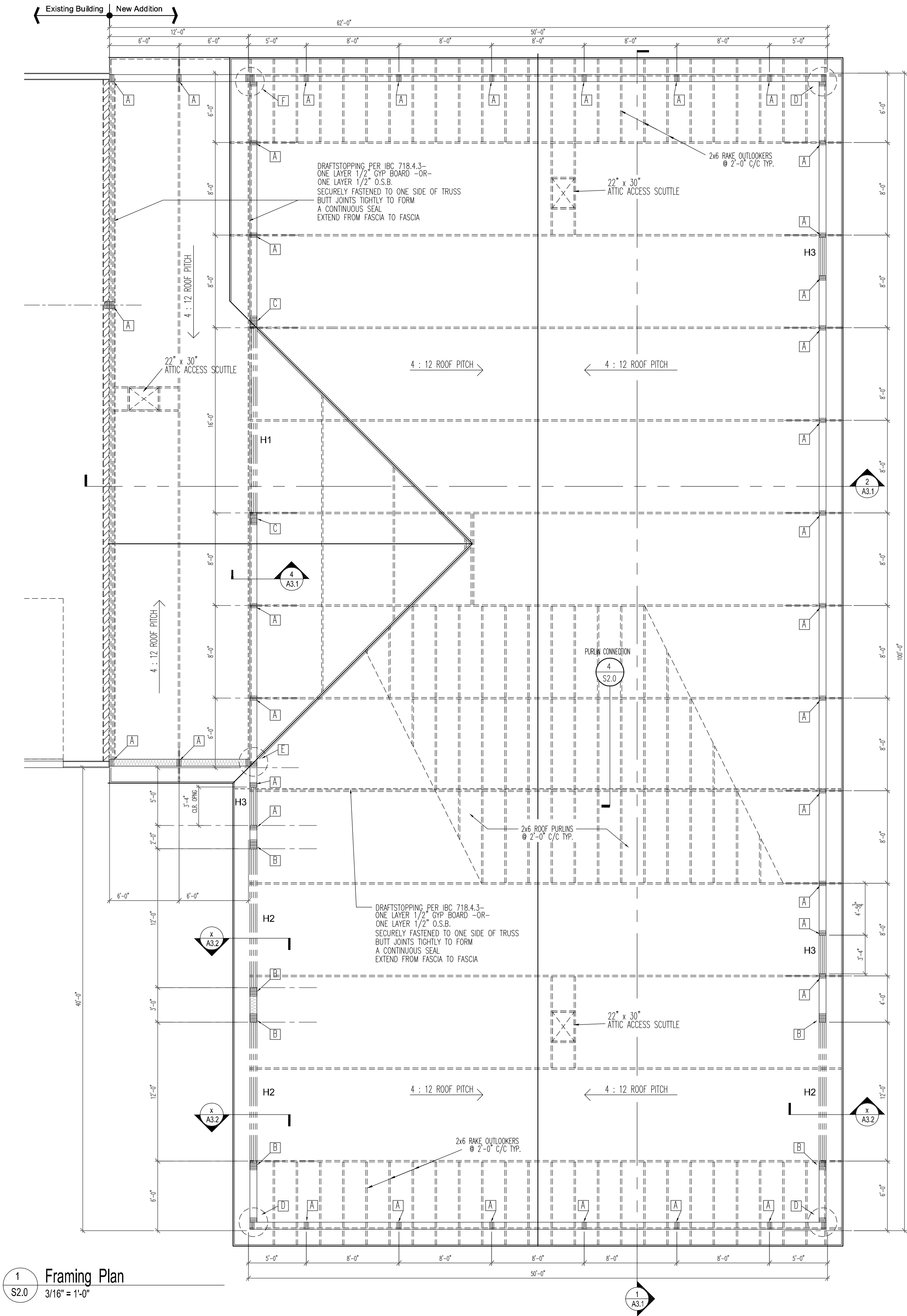
2
S1.0
Typical Stoop Detail
3/4" = 1'-0"



3
S1.0
Typical Edge Detail
3/4" = 1'-0"



4
S1.0
Typical Edge Detail
3/4" = 1'-0"



1 Framing Plan
S2.0
3/16" = 1'-0"

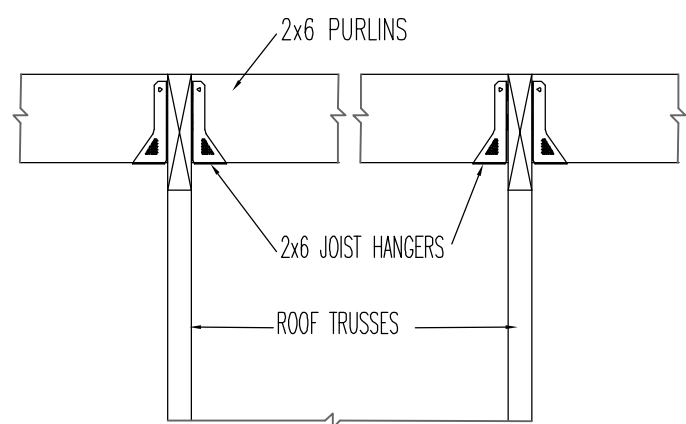
STRUCTURAL SCHEDULES:

COLUMN SCHEDULE:

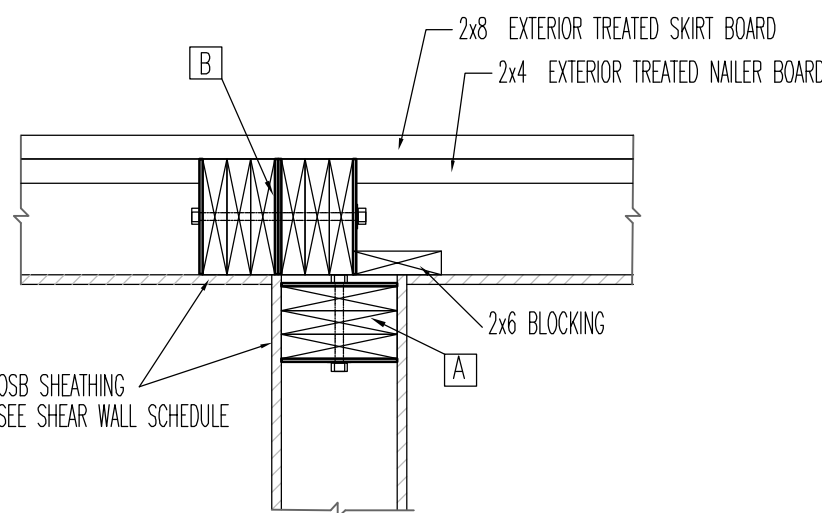
- A 3-PLY MSR LUMBER COLUMN
- B 6-PLY SPF#2 COLUMN
- C 8-PLY SPF#2 COLUMN
- D SEE DETAIL 5/S1.0
- E SEE DETAIL 6/S1.0
- F SEE DETAIL 4/S1.0

HEADER / BEAM SCHEDULE

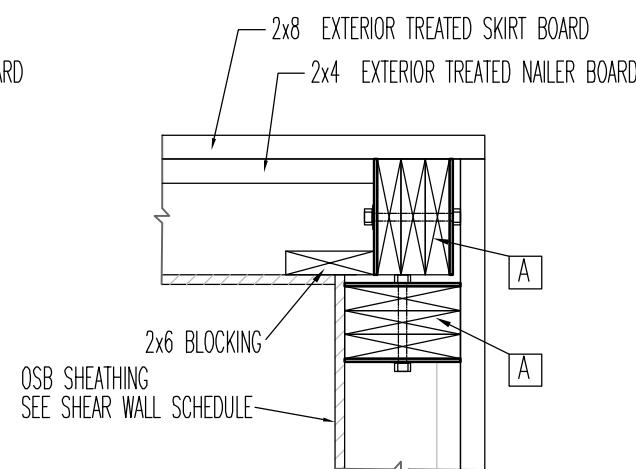
- H1: (3) 1.75 x 18" - 2.0E Microllam LVL
W/ (2)- 2x8 Shoulder Studs and
(6) continuous 2x8 studs
Typ. each end
- H2: (3) 1.75 x 16" - 2.0E Microllam LVL
W/ (2)- 2x8 Shoulder Studs and
(4) continuous 2x8 studs
Typ. each end
- H3: (2) 2x8's
W/ (1)- 2x8 Shoulder Studs and
(2) continuous 2x8 studs
Typ. each end



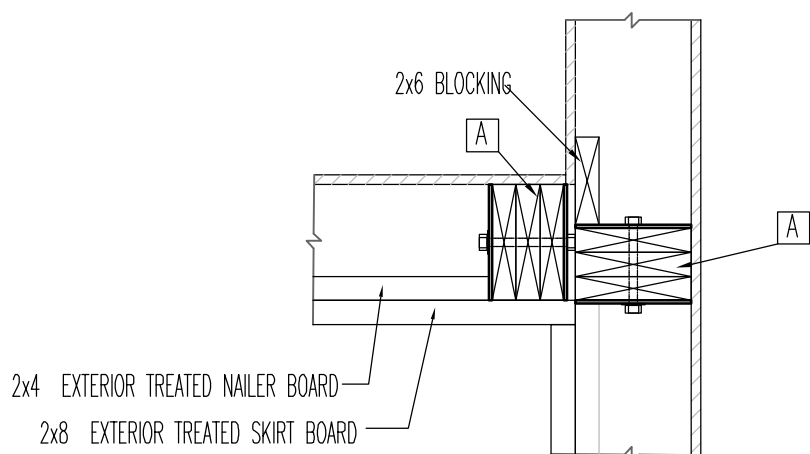
4 Roof Purlin Connection
S2.0
1" = 1'-0"



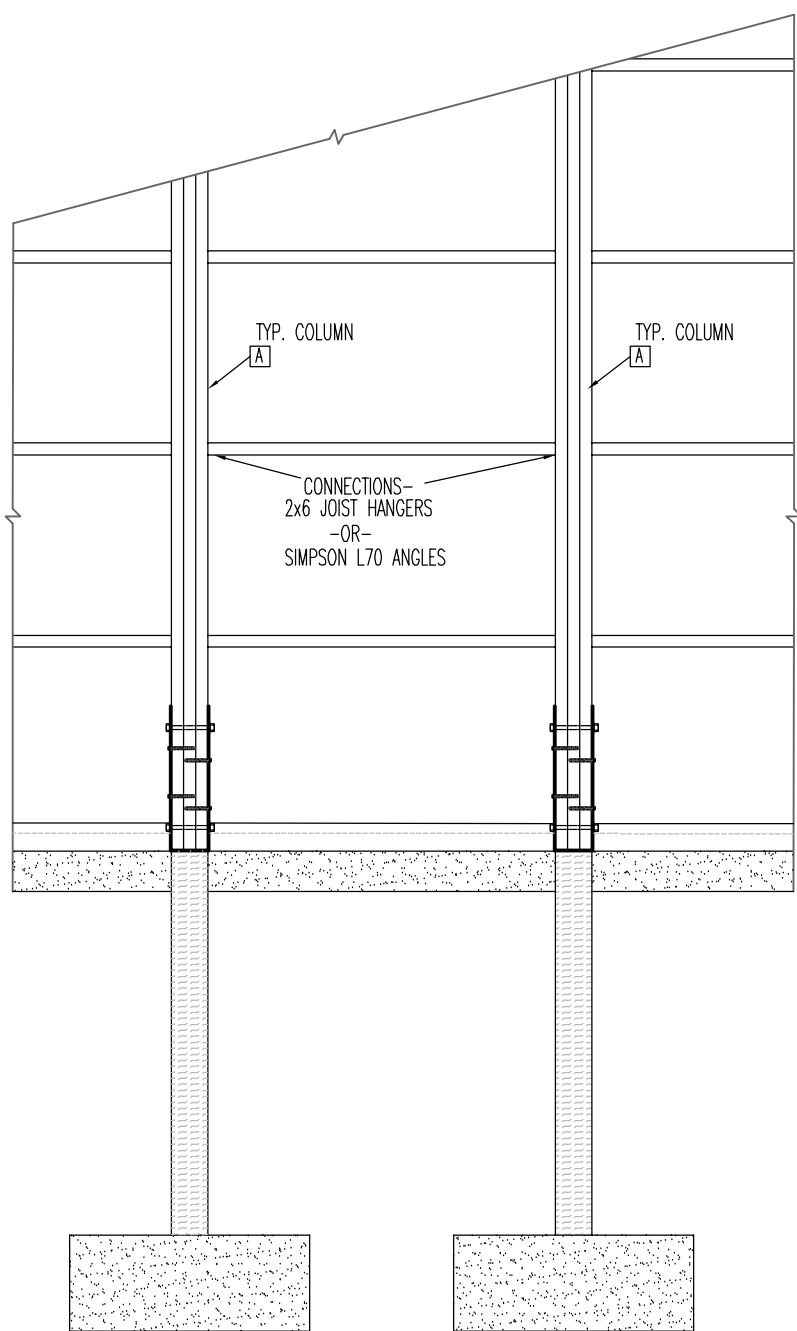
5 Corner Column Detail
S2.0
1" = 1'-0"



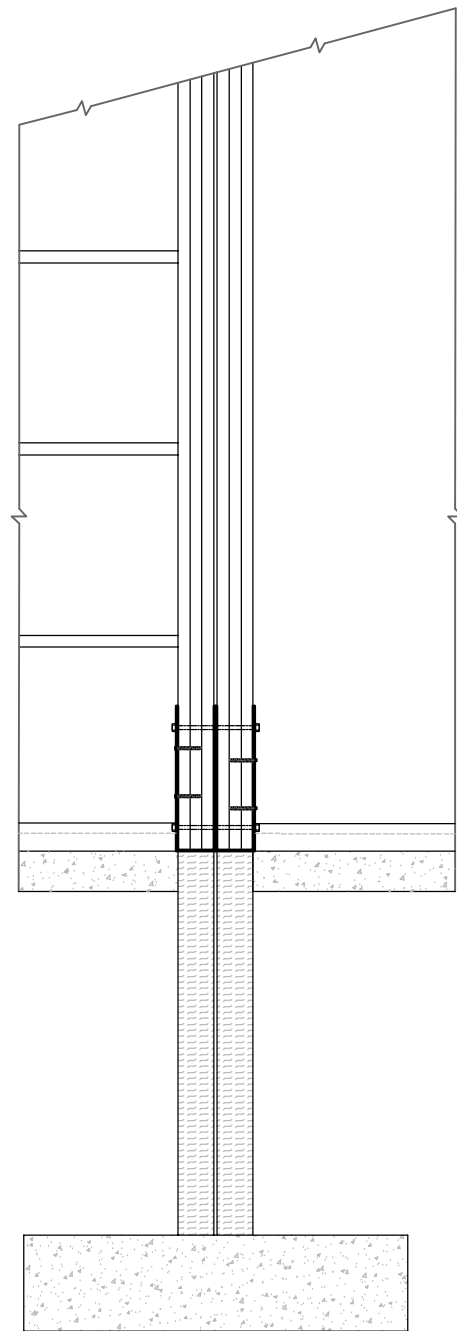
6 Corner Column Detail
S2.0
1" = 1'-0"



7 Corner Column Detail
S2.0
1" = 1'-0"



2 Ladder Framing Detail
S2.0
1/2" = 1'-0"



3 Double Column Detail
S2.0
1/2" = 1'-0"