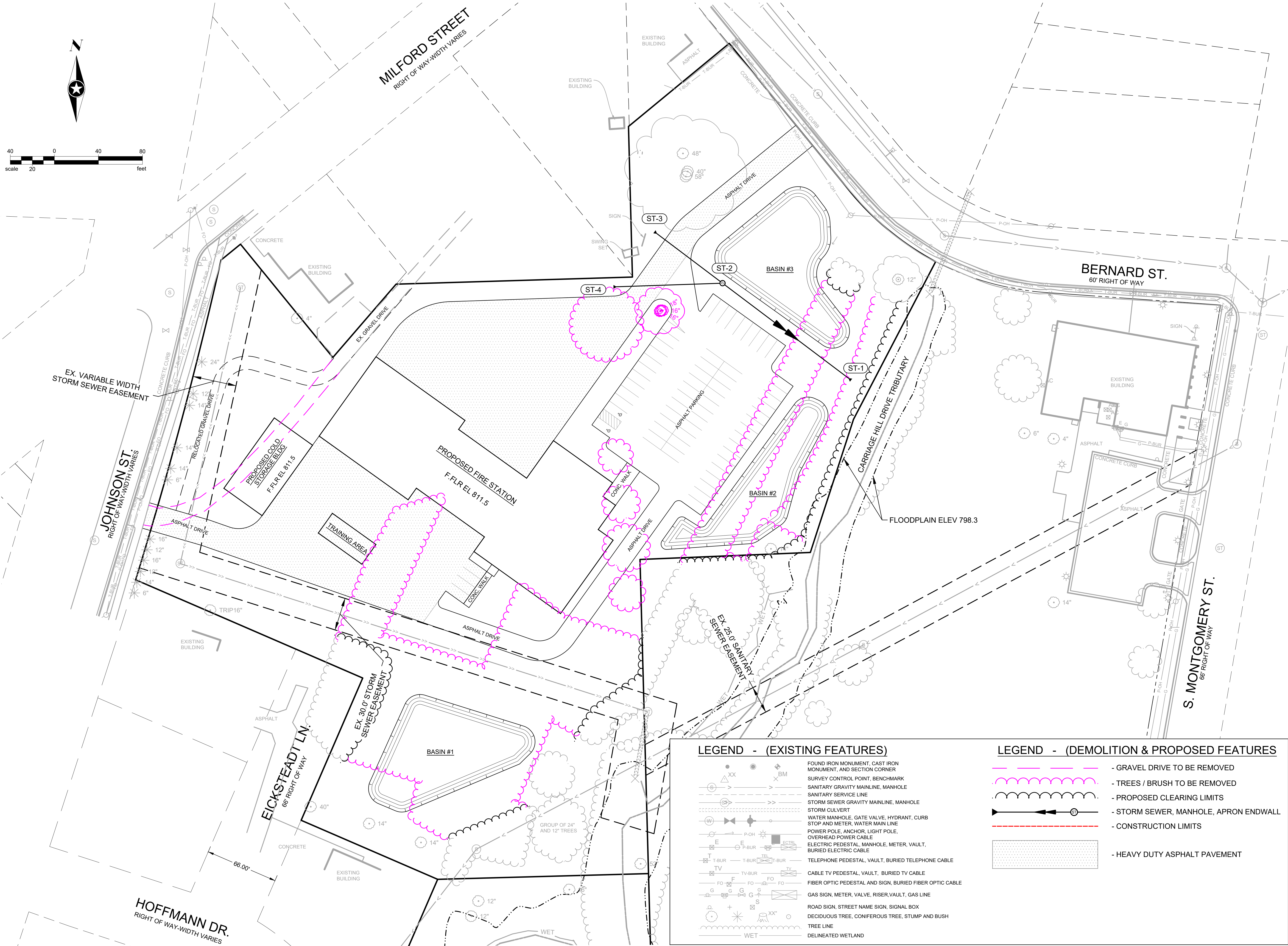
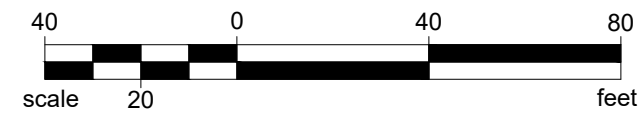
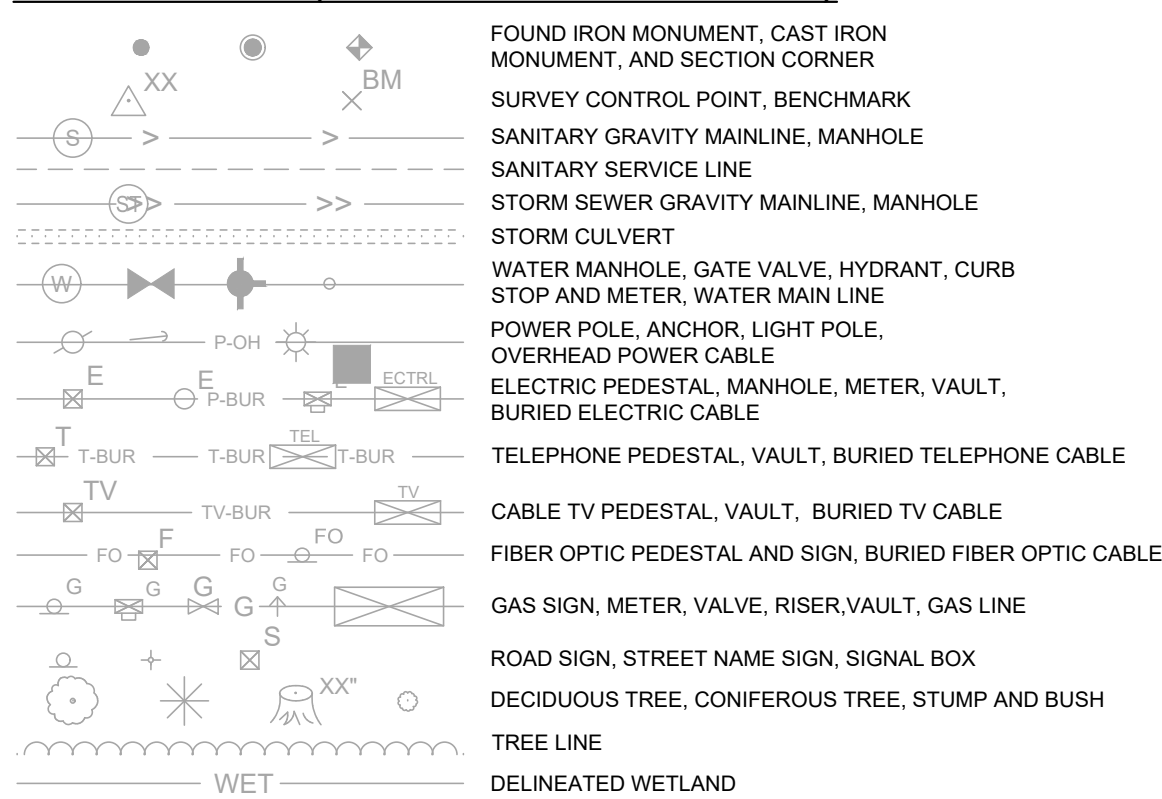


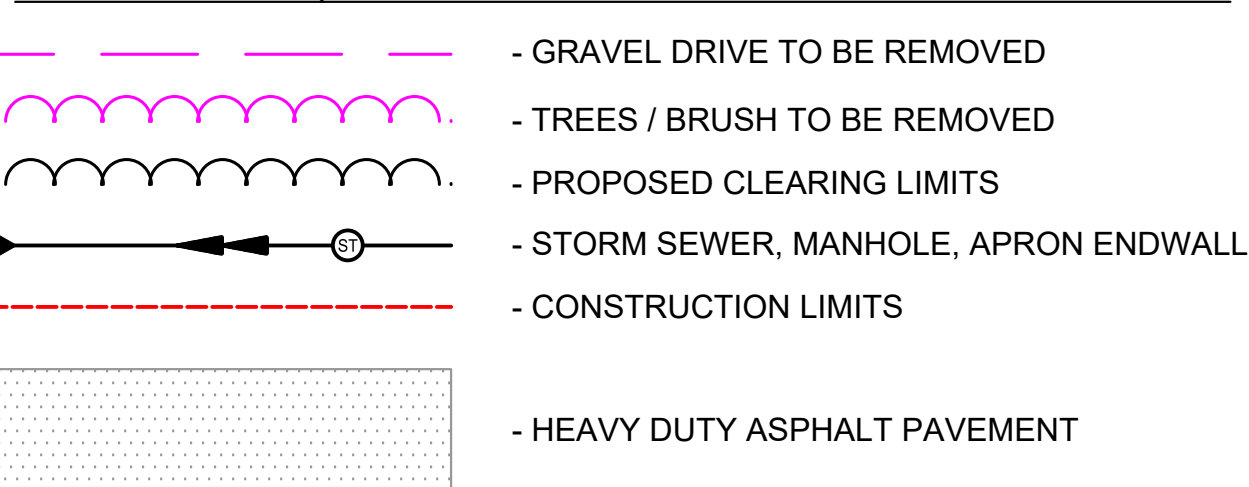
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LEGEND - (EXISTING FEATURES)



LEGEND - (DEMOLITION & PROPOSED FEATURES)



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WATERTOWN FIRE STATION
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PROPOSED SITE PLAN

C 100



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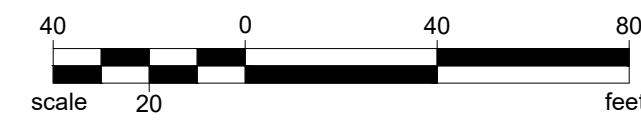
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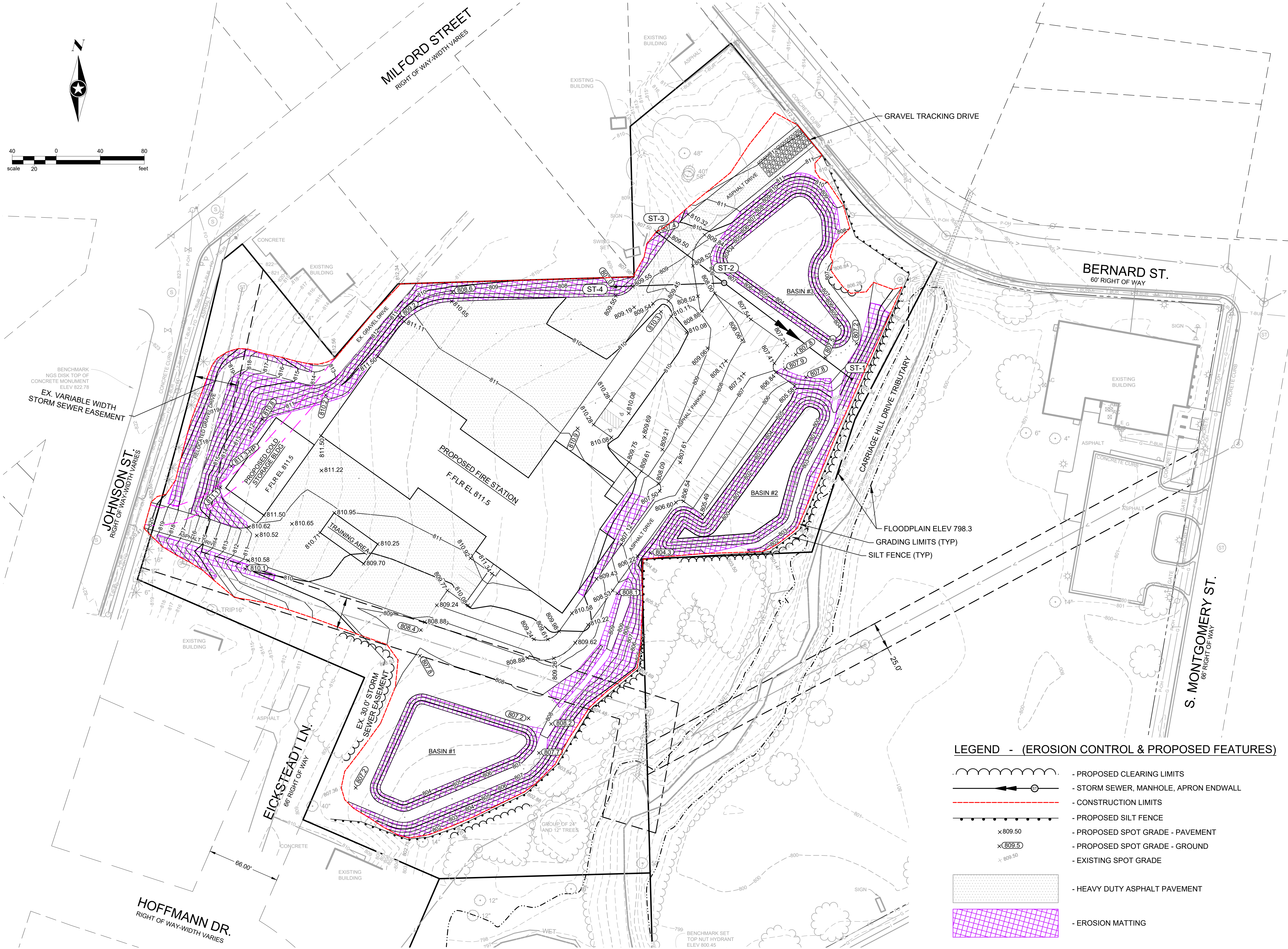
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**PROPOSED GRADING &
EROSION CONTROL PLAN**

C 200



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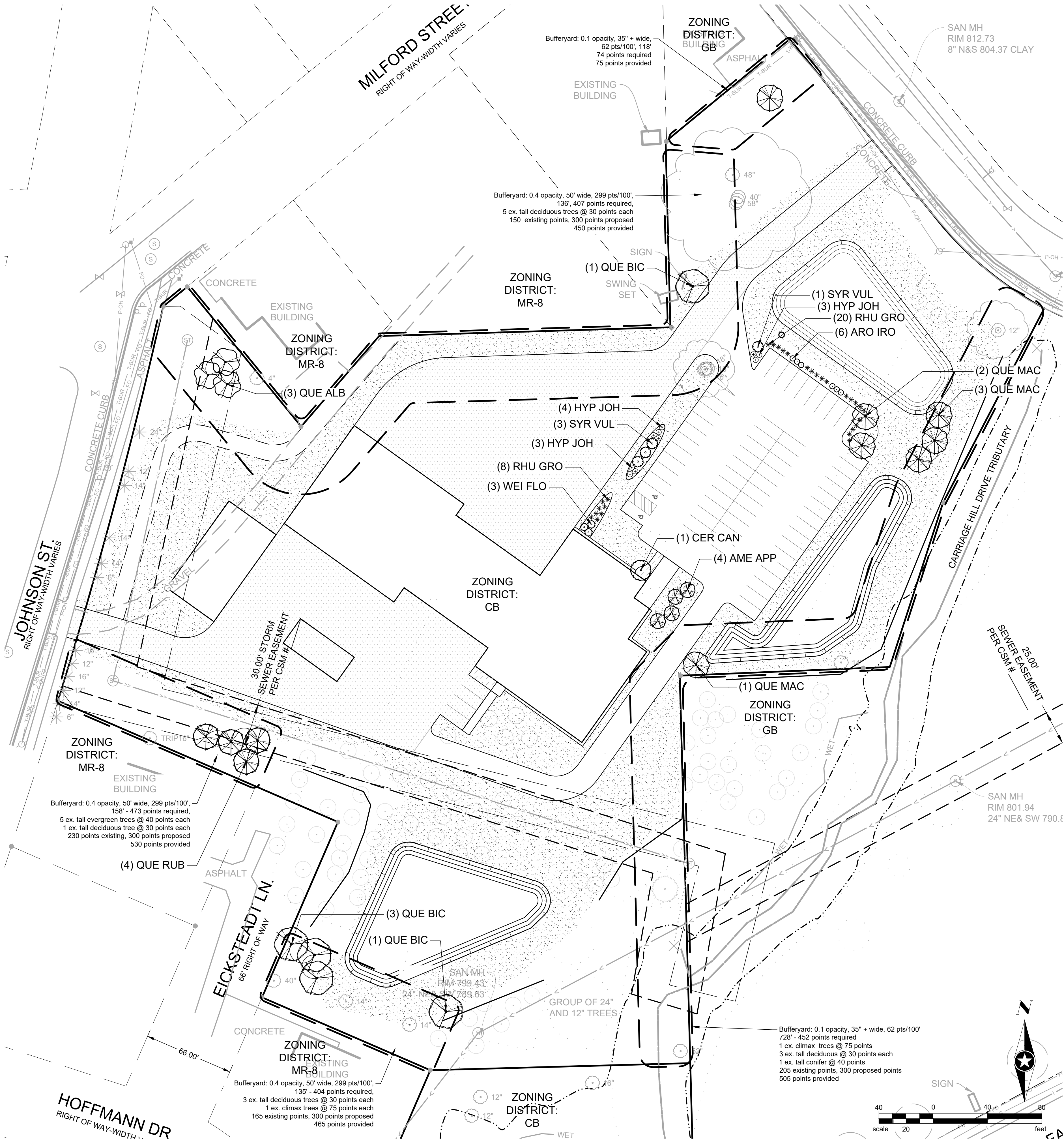
LEGEND - (EROSION CONTROL & PROPOSED FEATURES)

- PROPOSED CLEARING LIMITS
- STORM SEWER, MANHOLE, APRON ENDWALL
- CONSTRUCTION LIMITS
- PROPOSED SILT FENCE
- PROPOSED SPOT GRADE - PAVEMENT
- PROPOSED SPOT GRADE - GROUND
- EXISTING SPOT GRADE
- HEAVY DUTY ASPHALT PAVEMENT
- EROSION MATTING

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PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
CLIMAX DECIDUOUS TREE: 75 POINTS EA					
	QUE ALB	QUERCUS ALBA / WHITE OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	3	
	QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	5	
	QUE MAC	QUERCUS MACROCARPA / BURR OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	7	
	QUE RUB	QUERCUS RUBRA / RED OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	4	
LOW DECIDUOUS TREES: 10 POINTS EA					
	AME APP	AMELANCHIER X GRANDIFLORA / APPLE SERVICEBERRY	6' TALL MULTISTEM	4	
	CER CAN	CERCIS CANADENSIS / EASTERN REDBUD	2" CAL	1	
TREES					
		EXISTING 2 - 8" CALIPER OAK		79	
		EXISTING EVERGREEN		1	
LOW DECIDUOUS SHRUB: 1 POINT EA					
	ARO IRO	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' TM / BLACK CHOKEBERRY	5 GAL.	6	
	HYP JOH	HYPERICUM KALMIANUM / KALM ST. JOHNSWORT	5 GAL.	10	
	RHU GRO	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.	28	
MEDIUM DECIDUOUS SHRUB: 3 POINTS EA					
	WEI FLO	WEIGELA FLORIDA / OLD FASHIONED WEIGELA	5 GAL.	3	
TALL DECIDUOUS SHRUB: 5 POINTS EA					
	SYR VUL	SYRINGA VULGARIS / COMMON LILAC	5 GAL.	4	
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GROUND COVERS					
		PERENNIALS			531 SF
		LAWN			71,859 SF

LANDSCAPE POINTS - CB CENTRAL BUSINESS ZONING DISTRICT				
	Building Foundation	Street Foundation	Paved Areas	Developed Lots
Requirement	N/A	N/A	20 points per 20 parking stalls or 10,000 SF of parking area	N/A
Measurement	N/A	N/A	79,281 SF total area paved for vehicles	N/A
Points Required	N/A	N/A	158 points required, 64 points as shrubs, remainder as tall/climax trees, within 10' of pavement	N/A
Points Provided	N/A	N/A		N/A



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172202
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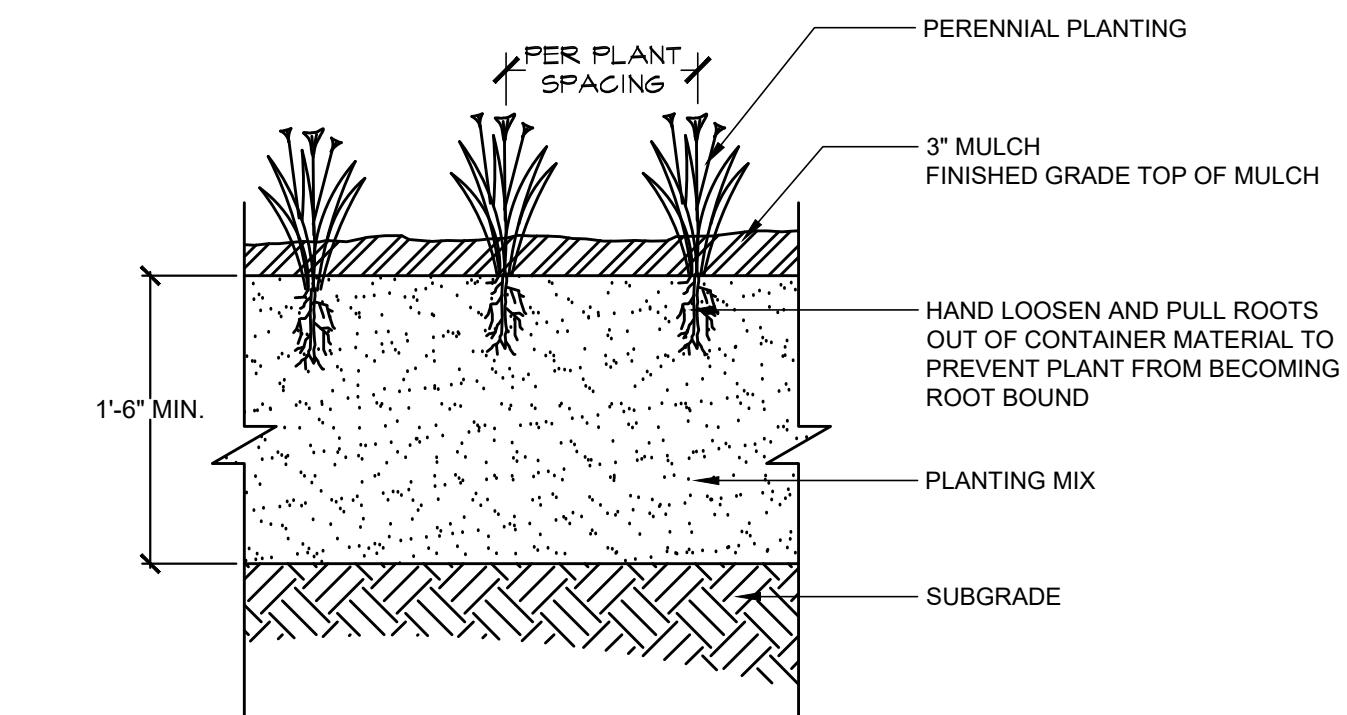
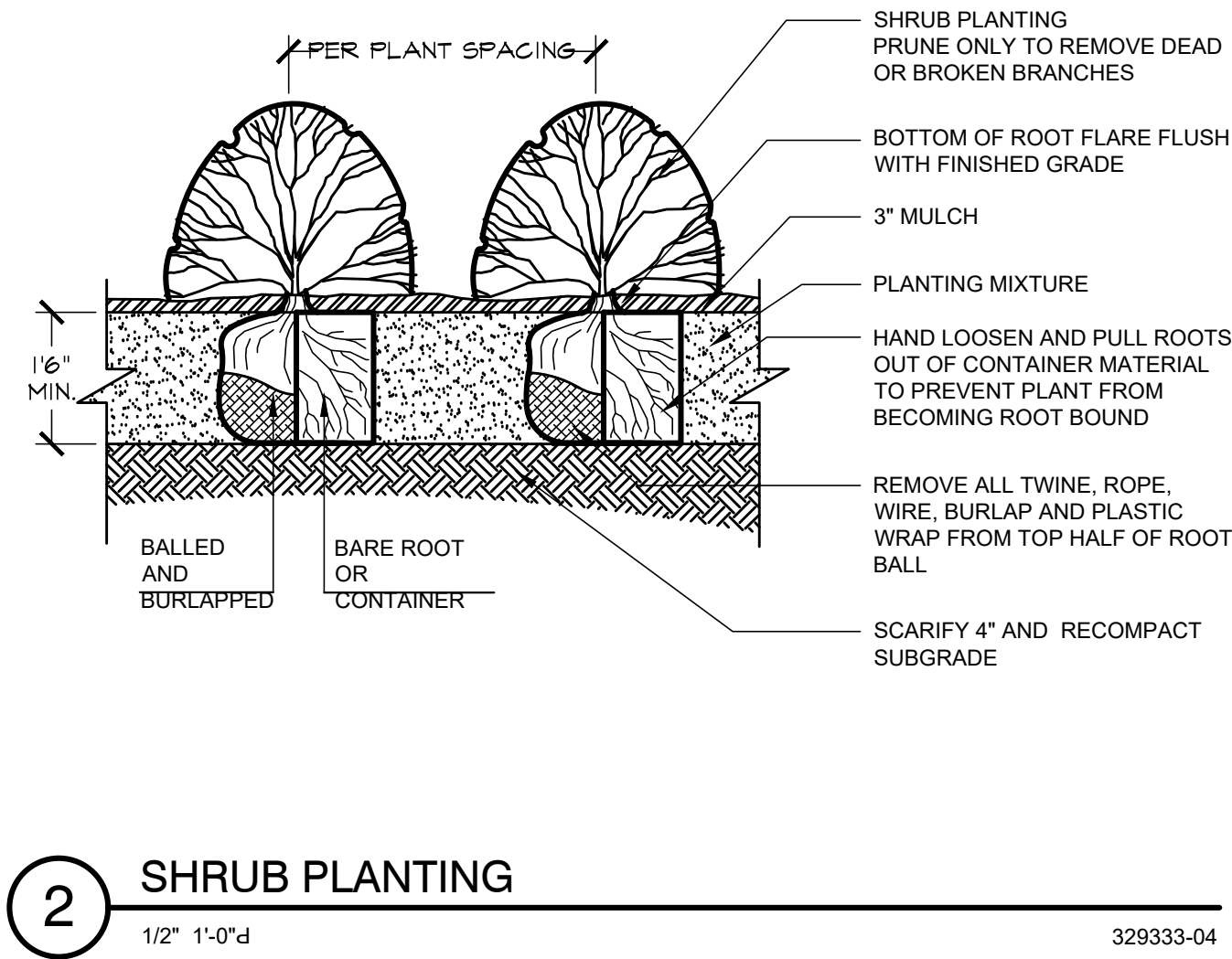
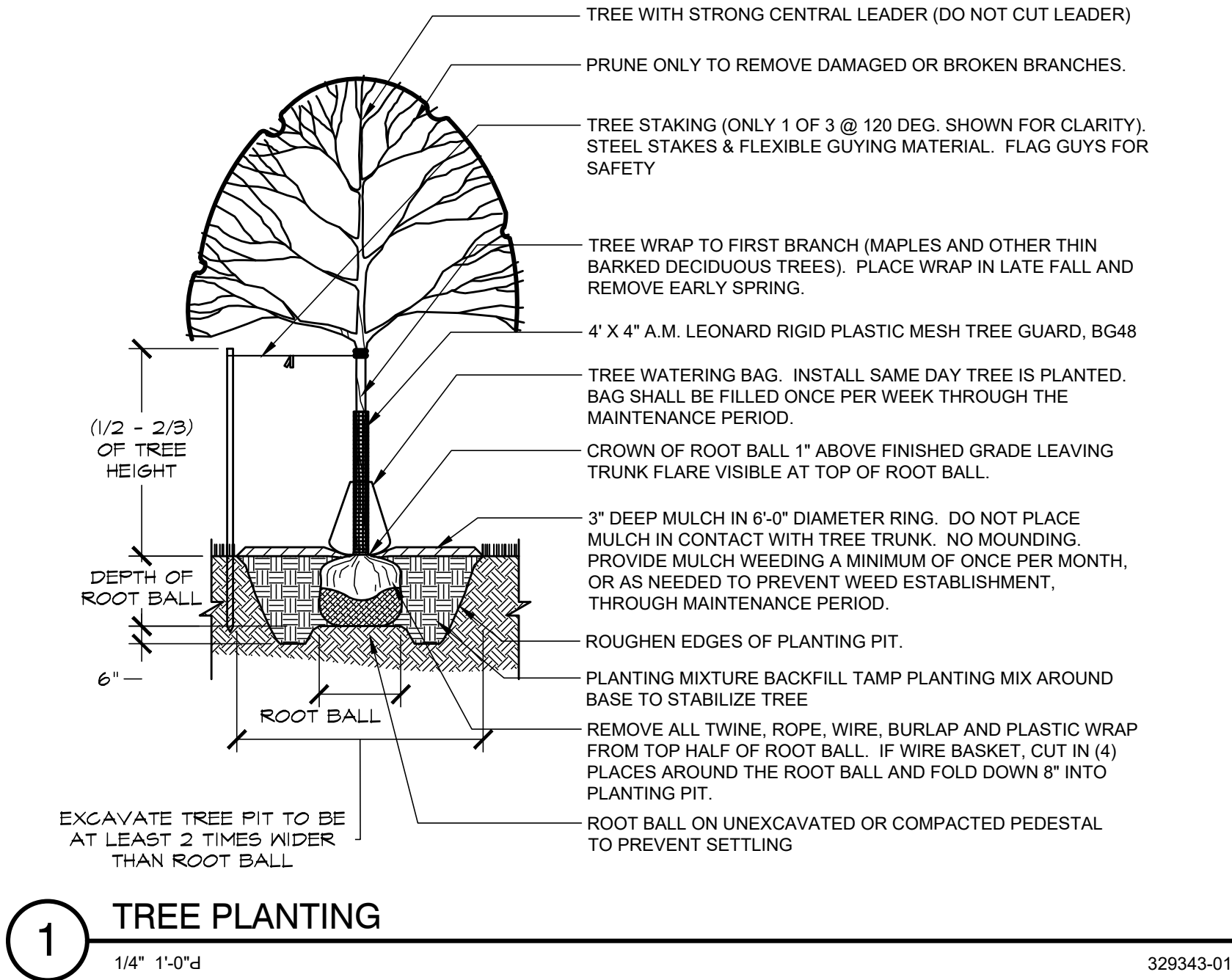
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LANDSCAPE PLAN

L101

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PLANTING NOTES

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL.
- ALL PLANTING BEDS SHALL RECEIVE 18" DEPTH OF PREPARED SOIL.
- SEED AND PLUG PLANTING SHALL OCCUR IN DESIGNATED PLANTING WINDOWS, SEE SPECIFICATIONS.
- PAINT OR STAKE LIMITS OF SEEDING FOR REVIEW BY LANDSCAPE ARCHITECT & OWNER PRIOR TO SEEDING.
- NEW SEEDED AREAS TO BE TREATED WITH HERBICIDE TO KILL ALL EXISTING GROUNDCOVER. THERE SHALL BE A MINIMUM OF TWO (2) APPLICATIONS SEPARATED BY 10 DAYS. IF ALL EXISTING GROUNDCOVER VEGETATION IS NOT KILLED WITHIN 10 DAYS OF 2ND APPLICATION, A 3RD APPLICATION IS REQUIRED.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTING BEDS SHALL HAVE A SHOVEL CUT EDGE, UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING BEDS AND PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- LAWN SEED SHALL BE ESTABLISHED BY THE CONTRACTOR TO A DENSE, GREEN CONSISTENT LAWN VOID OF ANY BARE OR PATCHY AREAS LARGER THAN 3" X 3".
- SEED PRIOR TO OCT. 15. IF SEEDED AFTER OCT. 15, MAINTAIN AND ESTABLISH LAWN UNTIL SPRING REVIEW.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



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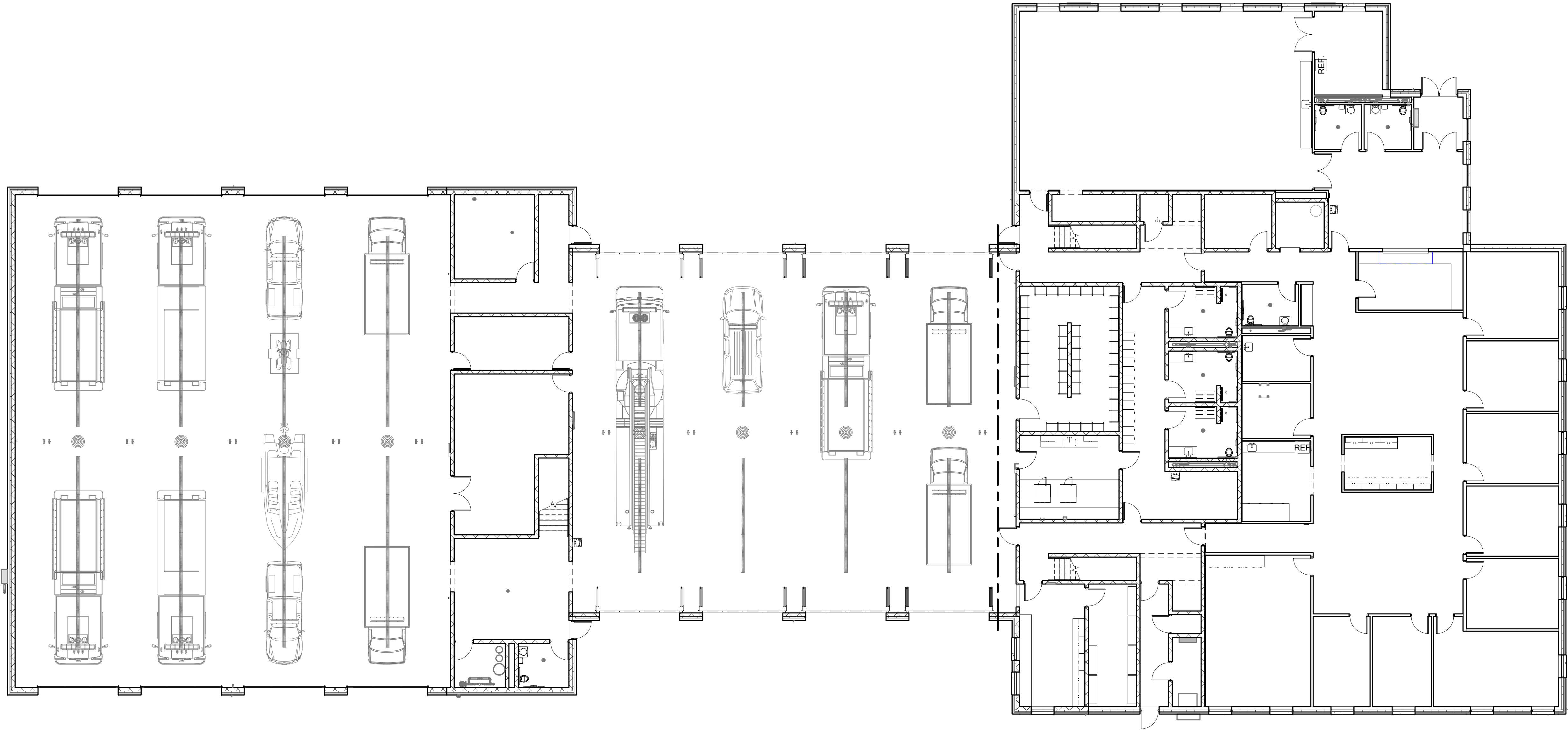
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LANDSCAPE SCHEDULE,
DETAIL, NOTES

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1 FLOOR PLAN - LEVEL 1
A100 3/32" = 1'-0"



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WATERTOWN FIRE STATION

621 BERNARD STREET
WATERTOWN, WISCONSIN

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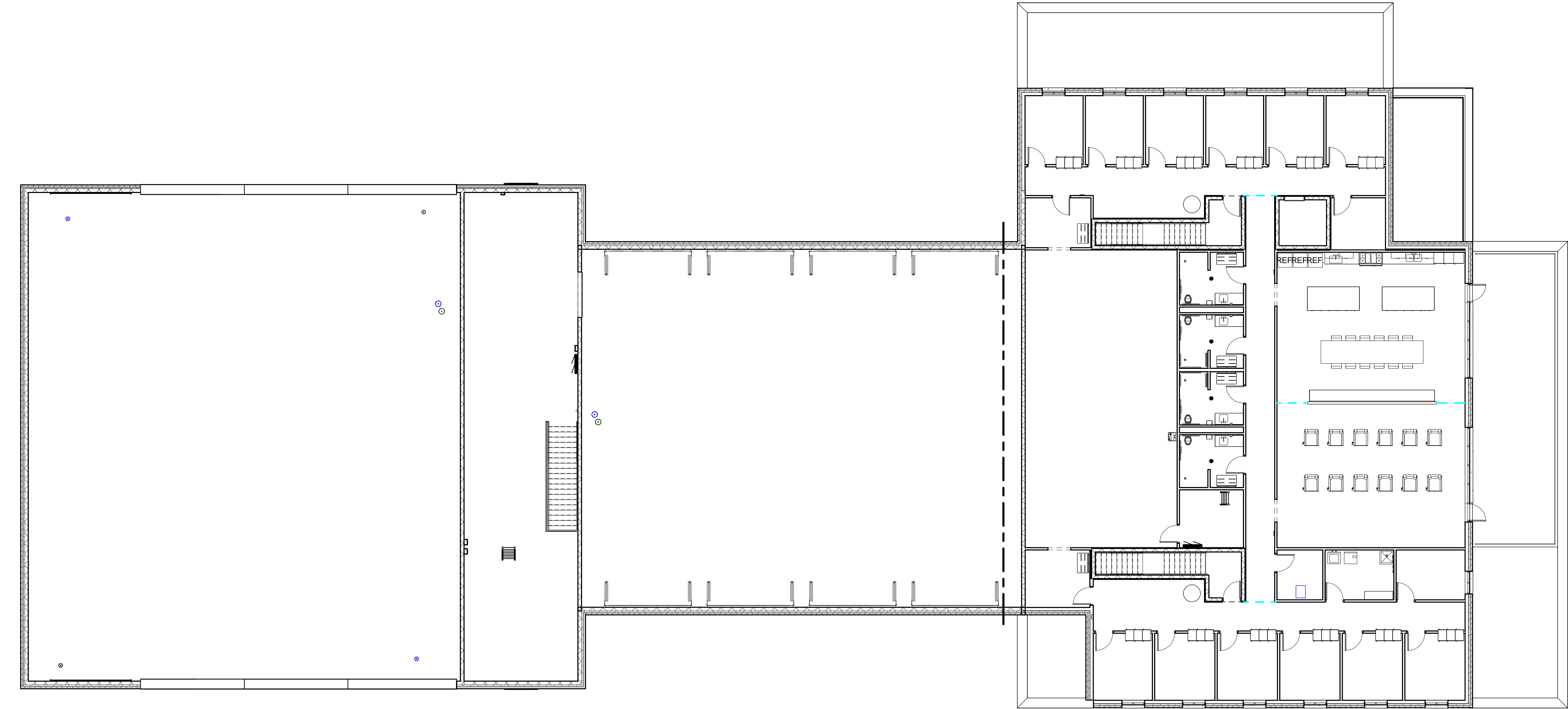
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OVERALL PLAN - BUILDING A
- LEVEL 1

A100

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1 LEVEL 2
A101 3/32" = 1'-0"



OVERALL PLAN - BUILDING A
- LEVEL 2

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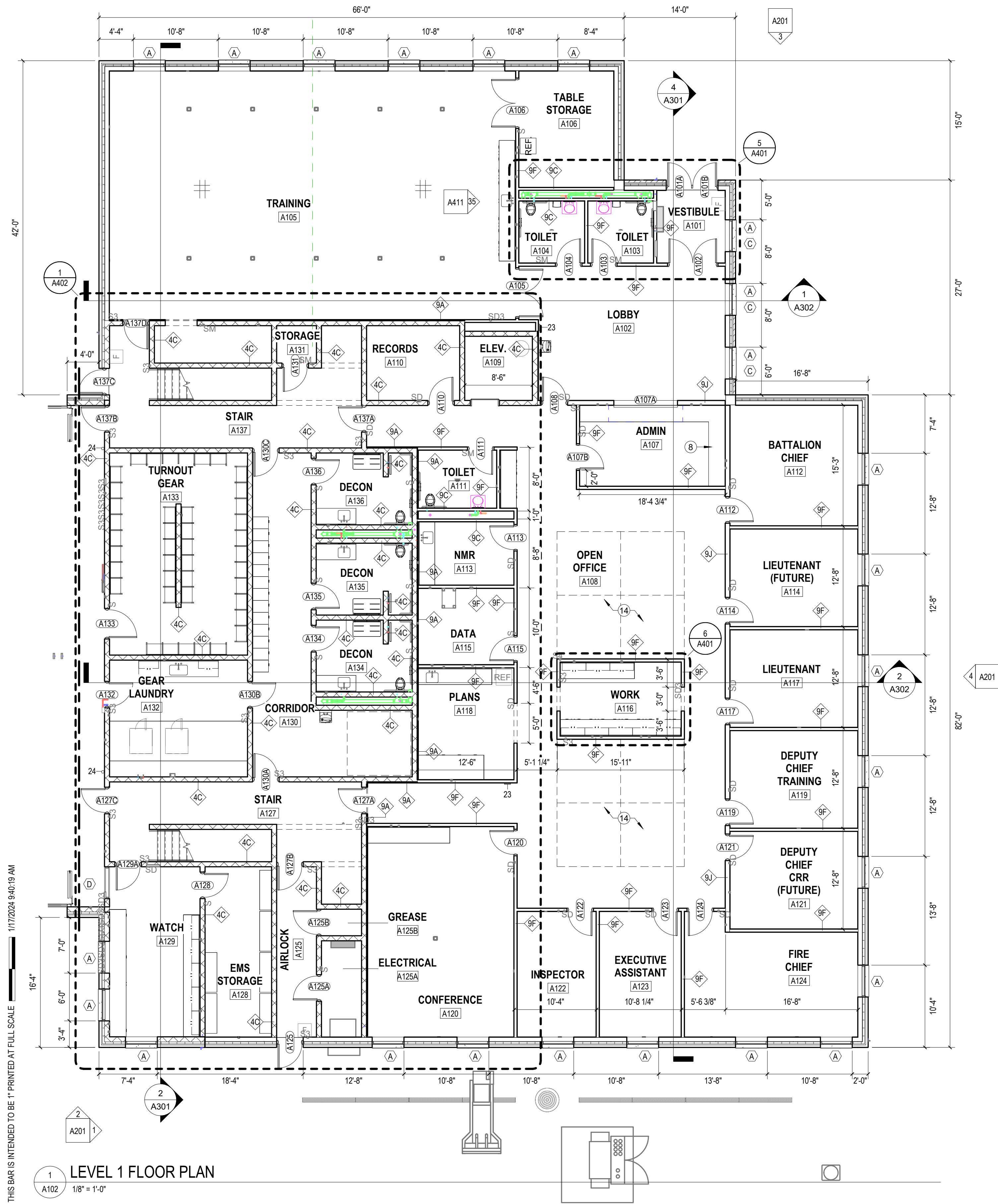
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CONSTRUCTION KEYNOTE LEGEND	
1	CONCRETE FILLED METAL PAN STAIR
2	STEEL PIPE HANDRAIL, MOUNTED TO WALL
3	(3) THRU-WALL, PASS-THRU LOCKERS, SEE 9 / A503xxxxxxx FOR DETAILS
4	TILE SHOWER, SEE xxxxxxxx FOR THRESHOLD DETAIL
5	INSTALL GRAB BARS IN SHOWERS WITH TOP OF GRIPPING SURFACE AT 34" A.F.F.
6	WALL-MOUNTED WIRE SHELF, ULINE H-6723 OR EQUAL
7	PROVIDE BLOCKING IN THIS WALL, 4 STUD CAVITIES W/ (2) 8" TALL BLOCKS EACH. VERIFY LOCATIONS W/ OWNER
8	SOLID SURFACE COUNTERTOP W/ 4 GROMMETS, VERIFY GROMMET LOCATIONS W/ OWNER, SEE 3 / A503
9	BULLNOSE ALL OUTSIDE CORNERS OF CMU WALL
10	WALL MOUNTED STEEL SHIPS LADDER, SEE xxxxxxxx
11	ROOF HATCH, LOCATE BETWEEN STEEL JOISTS
12	REMOVABLE RAILING, SEE xxxxxxxx FOR DETAIL
13	FIRE POLE, BASIS OF DESIGN: MCINTIRE BRASS WORKS, INC. MODEL 23, WWW.SLIDEPOLE.COM
14	CUBICLES, N.I.C.
15	ROOF PAVERS, TYPICAL
16	PRECAST CONCRETE ROOF PAVERS ON PEDESTAL SUPPORTS
17	STAINLESS STEEL GUARDRAIL, SEE xxxxxxxx
18	FURNITURE - N.I.C.
19	PIPE BOLLARD, SEE STRUCTURAL FOR DETAIL
20	HOSE WASHER - N.I.C.
21	GEAR DRYER - N.I.C.
22	PROVIDE DOOR BUMPER TO PROTECT ADJACENT WALL FROM PASS-THRU LOCKER DOOR, TYP.
23	48" HIGH MIRROR ALONG ENTIRE WALL MOUNTED @ 36" A.F.F.
24	31" DIAMETER MANHOLE COVER & RIM (NEENAH FOUNDRY MODEL R-1581-A), ENSURE THAT LOCATIONS ON BOTH LEVELS ARE ALIGNED
25	METAL PLATE TO COVER OPENING ABOVE STRINGER, WELD TO WIDE FLANGE, SEE 9 / A503
26	EQUIPMENT PAD, SEE STRUCTURAL FOR DETAILS
27	PROVIDE BLOCKING IN THIS WALL FOR FUTURE WALL-MOUNTED SHOWER SEAT, PROVIDED BY OWNER
28	SEE 7 / A504 FOR WALL RECESS DETAIL FOR UNDERCOUNTER DISHWASHER
29	SUMP GUARD RAIL, SEE 14 / A507
30	REFERENCE STRUCTURAL FOR INSULATION THICKNESS

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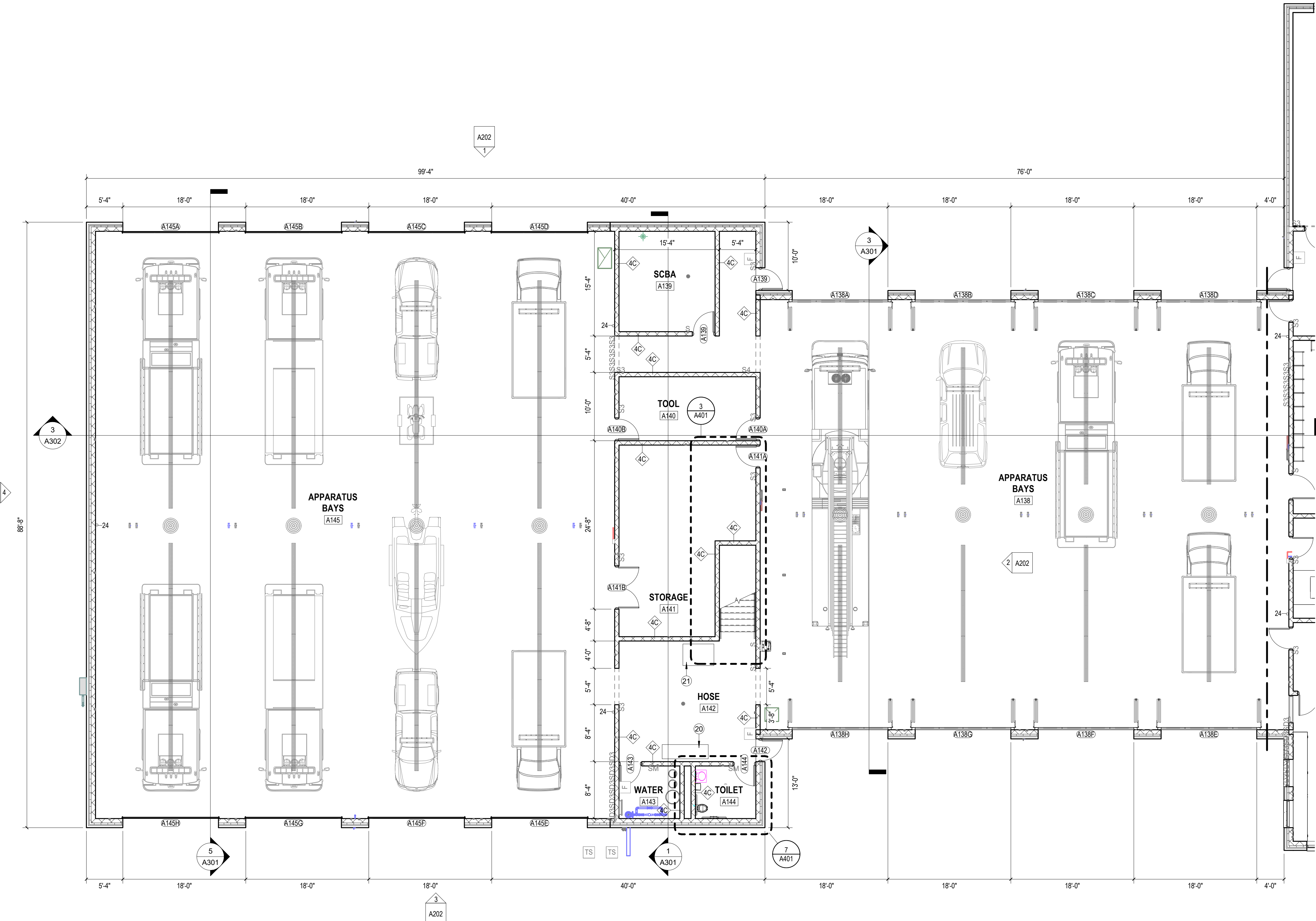
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FLOOR PLAN - BUILDING A -
LEVEL 1

A102

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1
A103 1/8" = 1'-0"



CONSTRUCTION KEYNOTE LEGEND

- 1 CONCRETE FILLED METAL PAN STAIR
- 2 STEEL PIPE HANDRAIL, MOUNTED TO WALL
- 3 (3) THRU-WALL, PASS-THRU LOCKERS, SEE 9/A503xxxxxx FOR DETAILS
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- 5 INSTALL GRAB BARS IN SHOWERS WITH TOP OF GRIPPING SURFACE AT 34" A.F.F.
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- 9 BULLNOSE ALL OUTSIDE CORNERS OF CMU WALL
- 10 WALL MOUNTED STEEL SHIPS LADDER, SEE XXXXXXX
- 11 ROOF HATCH, LOCATE BETWEEN STEEL JOISTS
- 12 REMOVABLE RAILING, SEE XXXXXX FOR DETAIL
- 13 FIRE POLE, BASIS OF DESIGN: MCINTIRE BRASS WORKS, INC. MODEL 23. WWW.SLIDEPOLE.COM
- 14 CUBICLES, N.I.C.
- 15 ROOF PAVERS, TYPICAL
- 16 PRECAST CONCRETE ROOF PAVERS ON PEDESTAL SUPPORTS
- 17 STAINLESS STEEL GUARDRAIL, SEE XXXXXXX
- 18 FURNITURE - N.I.C.
- 19 PIPE BOLLARD, SEE STRUCTURAL FOR DETAIL
- 20 HOSE WASHER - N.I.C.
- 21 GEAR DRYER - N.I.C.
- 22 PROVIDE DOOR BUMPER TO PROTECT ADJACENT WALL FROM PASS-THRU LOCKER DOOR, TYP.
- 23 48" HIGH MIRROR ALONG ENTIRE WALL MOUNTED @ 36" A.F.F.
- 24 31" DIAMETER MANHOLE COVER & RIM (NEENAH FOUNDRY MODEL R-1581-A), ENSURE THAT LOCATIONS ON BOTH LEVELS ARE ALIGNED
- 25 METAL PLATE TO COVER OPENING ABOVE STRINGER, WELD TO WIDE FLANGE, SEE 9/A503
- 26 EQUIPMENT PAD, SEE STRUCTURAL FOR DETAILS
- 27 PROVIDE BLOCKING IN THIS WALL FOR FUTURE WALL-MOUNTED SHOWER SEAT, PROVIDED BY OWNER
- 28 SEE 7/A504 FOR WALL RECESS DETAIL FOR UNDERCOUNTER DISHWASHER
- 29 SUMP GUARD RAIL, SEE 14/A507
- 30 REFERENCE STRUCTURAL FOR INSULATION THICKNESS



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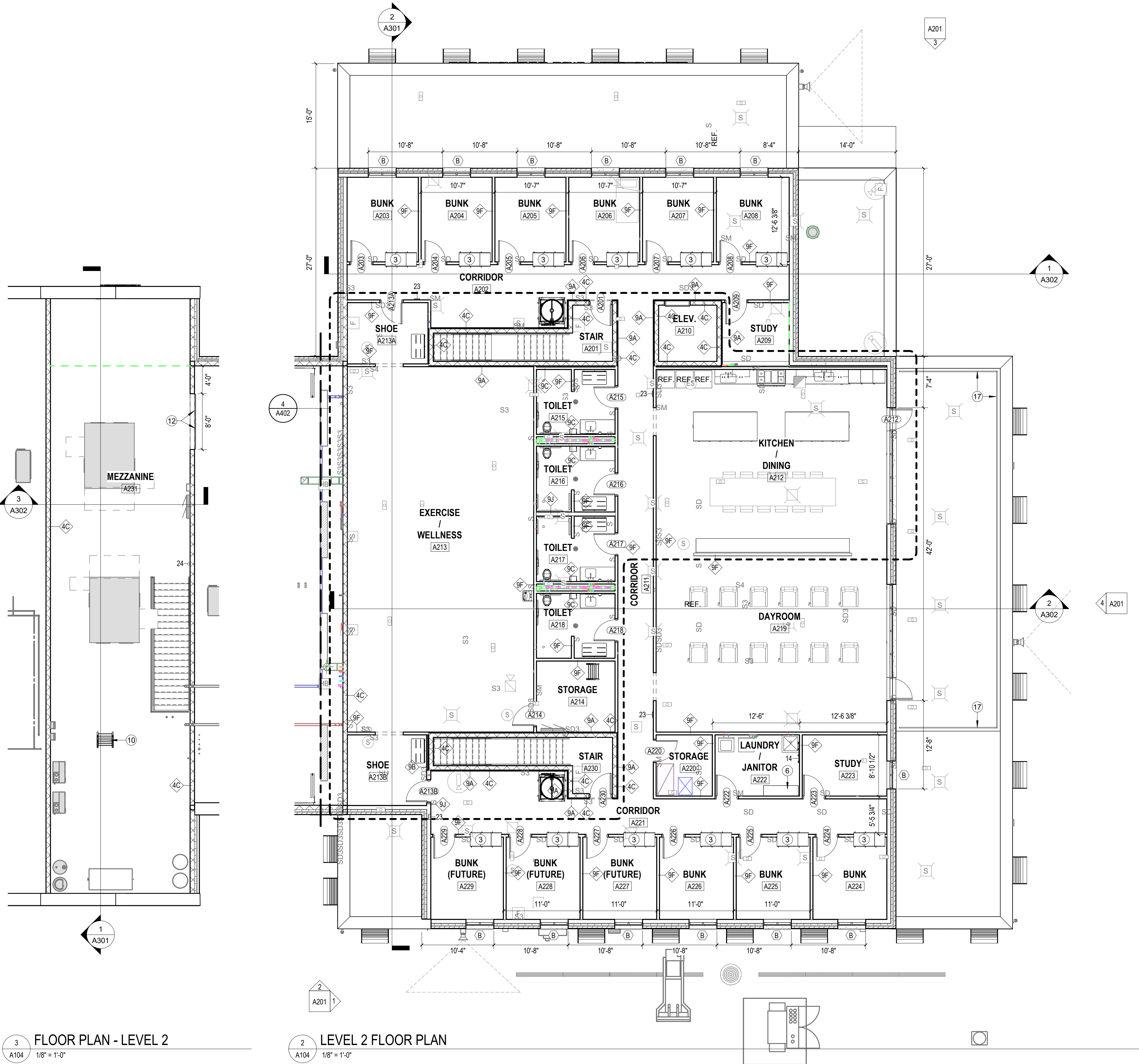
FLOOR PLAN - BUILDING A -
LEVEL 1



A103

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3 FLOOR PLAN - LEVEL 2
A104 1/8" = 1'-0"



2 LEVEL 2 FLOOR PLAN
A104 1/8" = 1'-0"

- CONSTRUCTION KEYNOTE LEGEND
- 1 CONCRETE FILLED METAL PAN STAIR
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621 BERNARD STREET
WATERTOWN, WISCONSIN

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Project Status Issue Date
CONSTRUCTION DOCUMENTS 2/14/2024

REVISION SCHEDULE

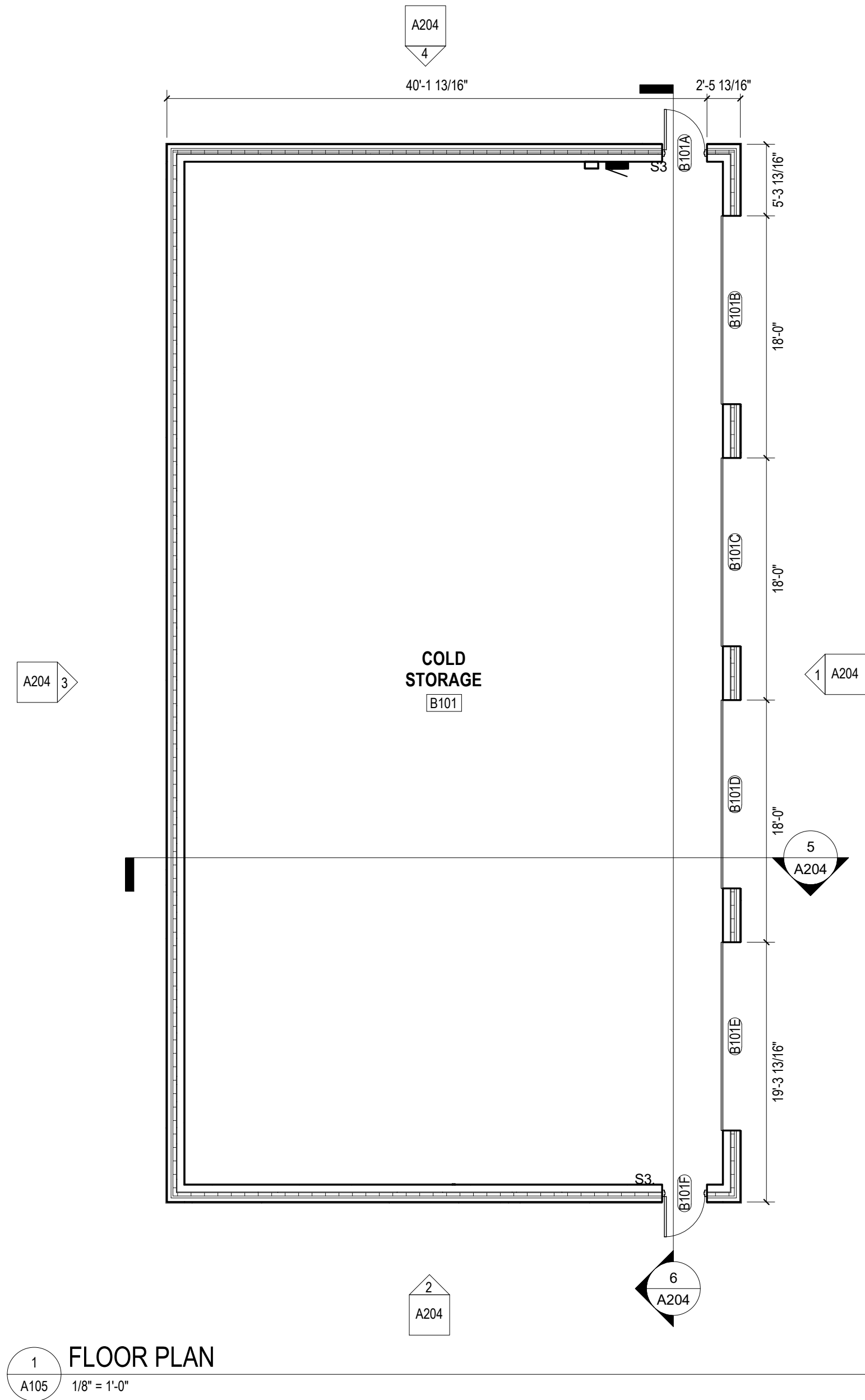
REV. #	DESCRIPTION	DATE
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FLOOR PLAN - BUILDING A -
LEVEL 2

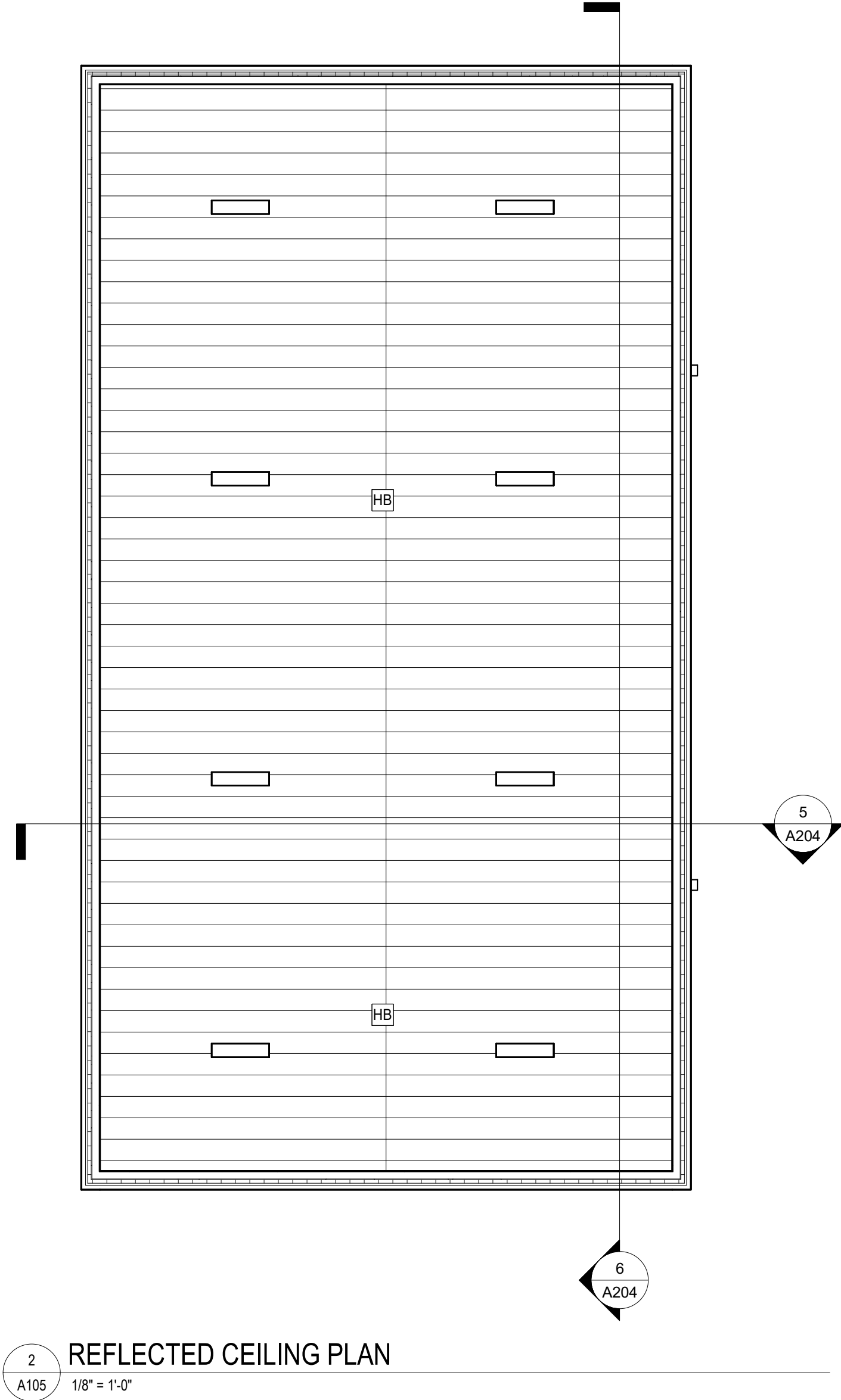


A104

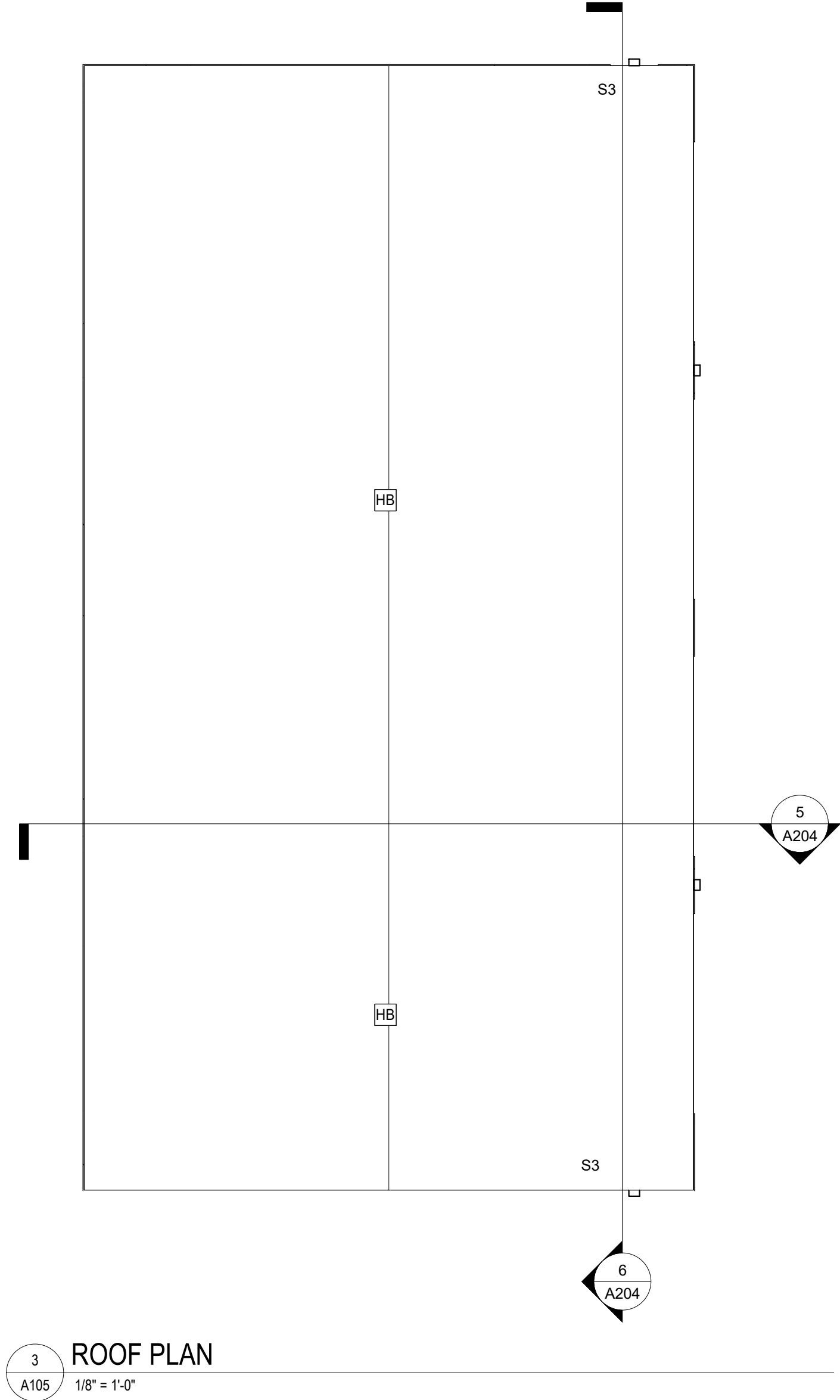
THIS BAR IS INTENDED TO BE 1" PRINTED AT FULL SCALE 1/17/2024 9:41:12 AM



1 FLOOR PLAN
A105 1/8" = 1'-0"



2 REFLECTED CEILING PLAN
A105 1/8" = 1'-0"



3 ROOF PLAN
A105 1/8" = 1'-0"



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CITY OF WATERTOWN
WATERTOWN FIRE STATION
621 BERNARD STREET
WATERTOWN, WISCONSIN

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FLOOR PLAN - BUILDING B -
LEVEL 1

A105

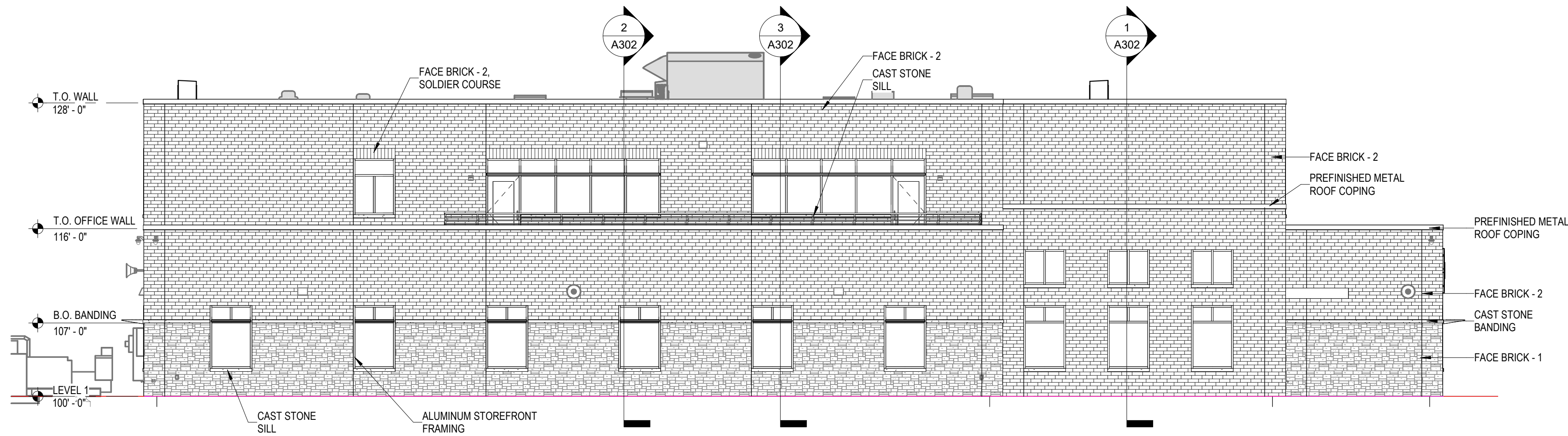


3
A201
1/8" = 1'-0"

EXTERIOR ELEVATION - PARTIAL NORTH

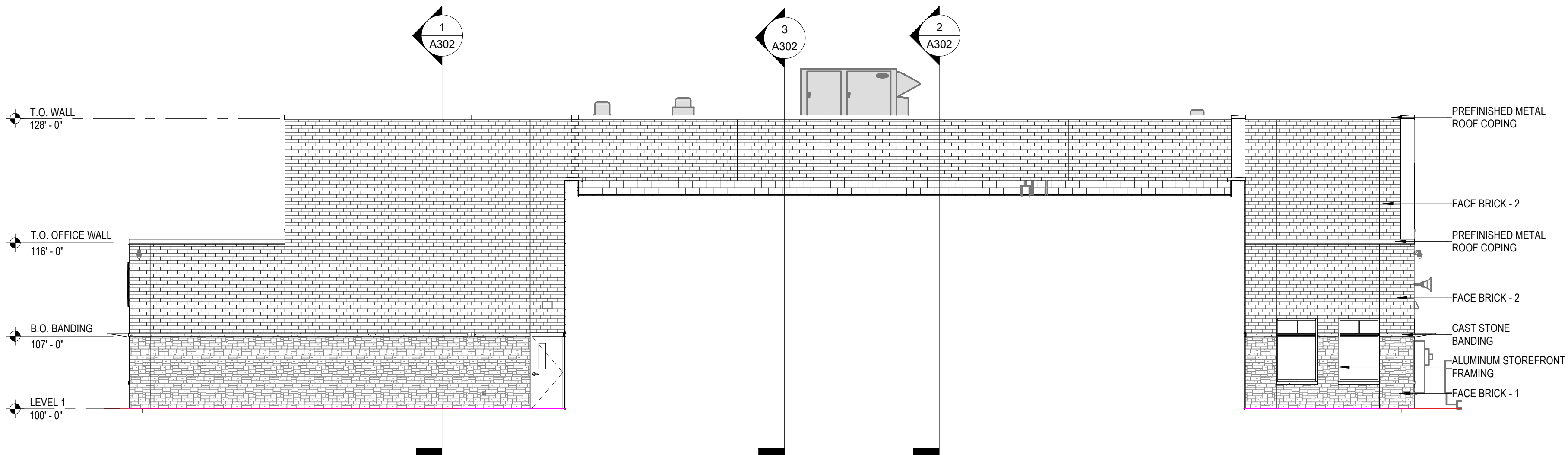
2
A201
1/8" = 1'-0"

EXTERIOR ELEVATION - PARTIAL SOUTH



4
A201
1/8" = 1'-0"

EXTERIOR ELEVATION - EAST



1
A201
1/8" = 1'-0"

EXTERIOR ELEVATION - PARTIAL WEST

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1/17/2024 9:41:47 AM



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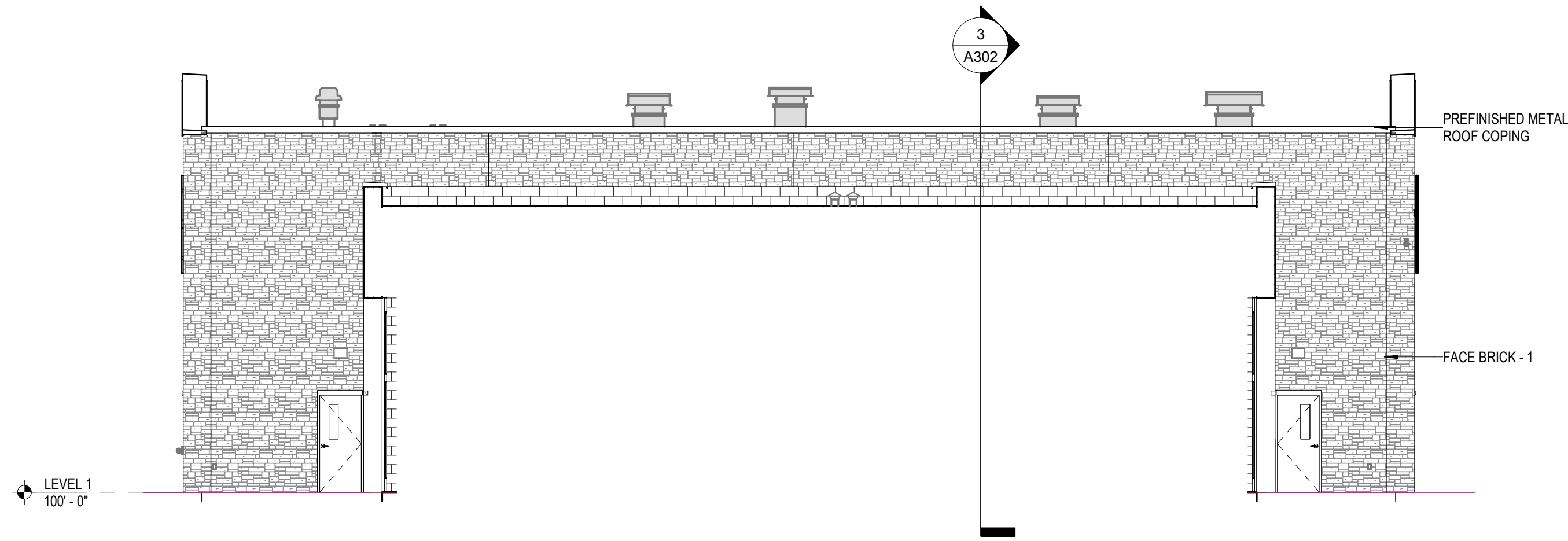
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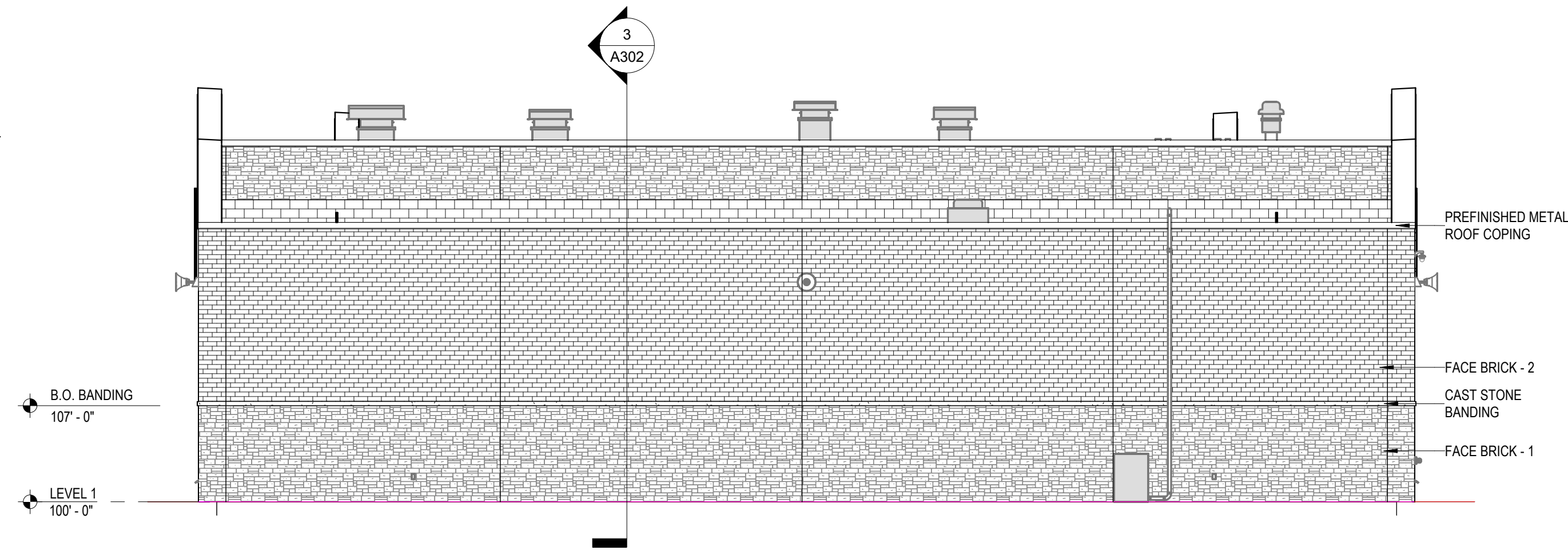
EXTERIOR ELEVATIONS -
BUILDING A

A201

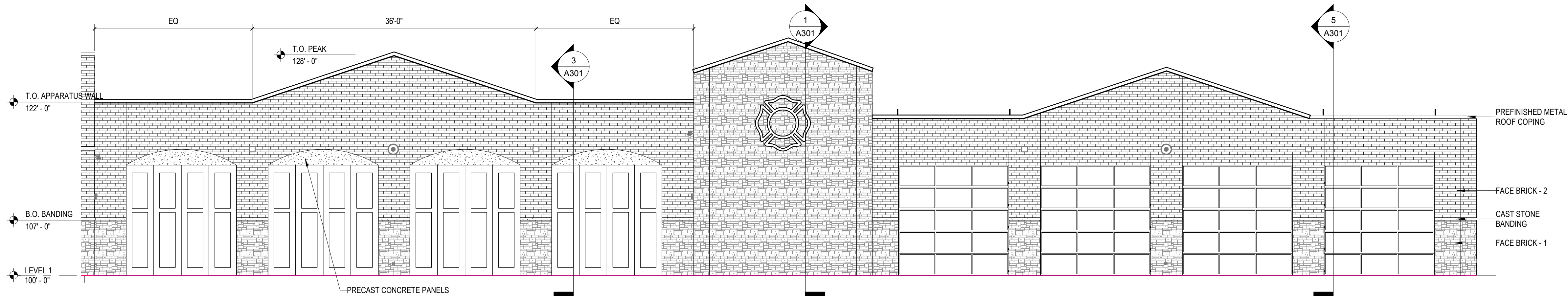
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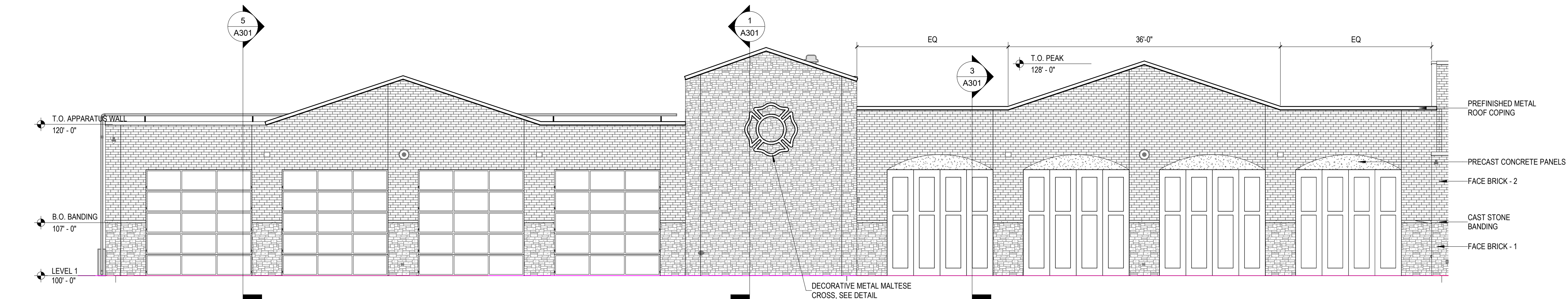
2
A202
EXTERIOR ELEVATION - PARTIAL EAST
1/8" = 1'-0"



4
A202
EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



1
A202
EXTERIOR ELEVATION - PARTIAL NORTH
1/8" = 1'-0"



3
A202
EXTERIOR ELEVATION - PARTIAL SOUTH
1/8" = 1'-0"



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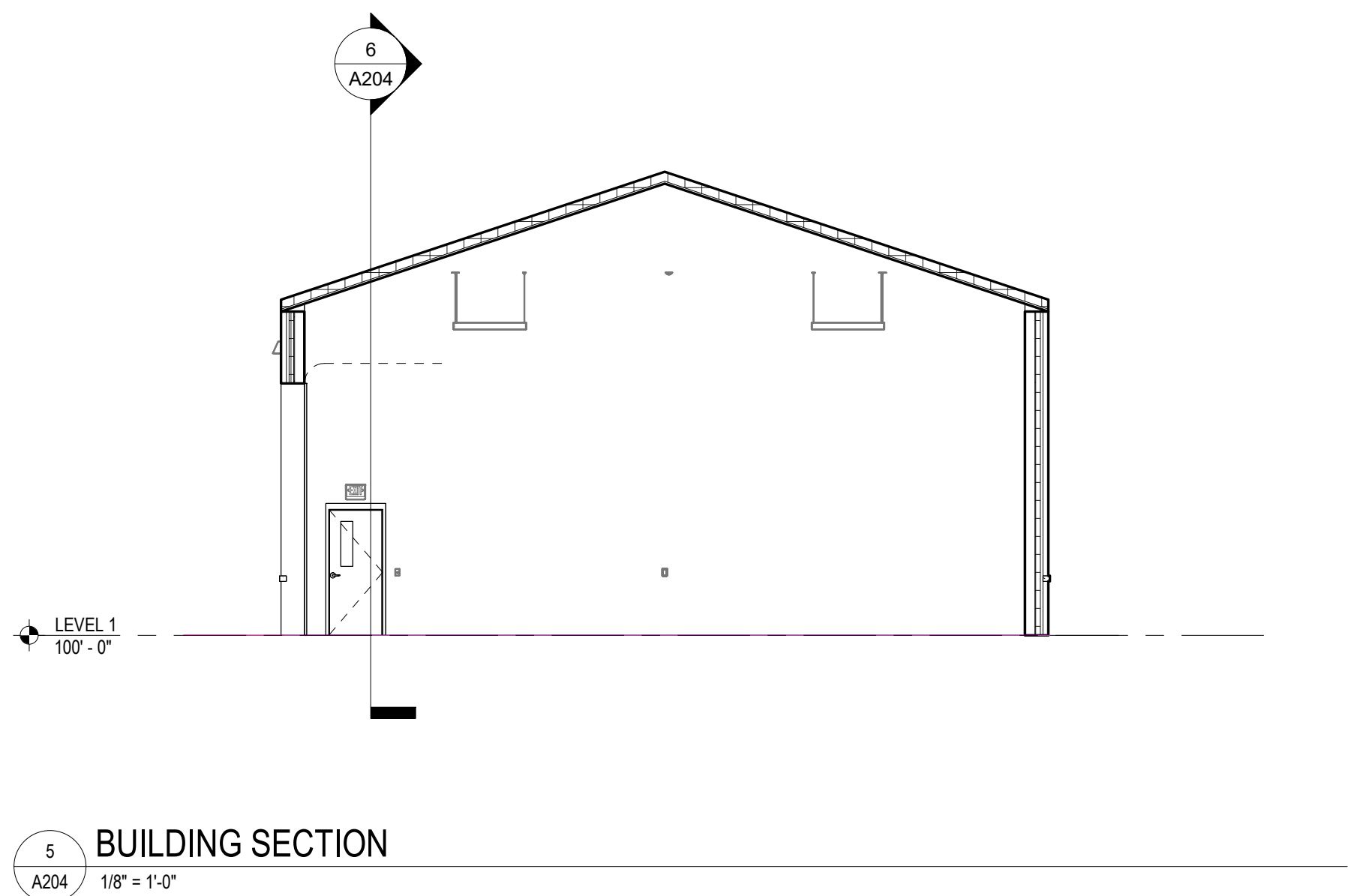
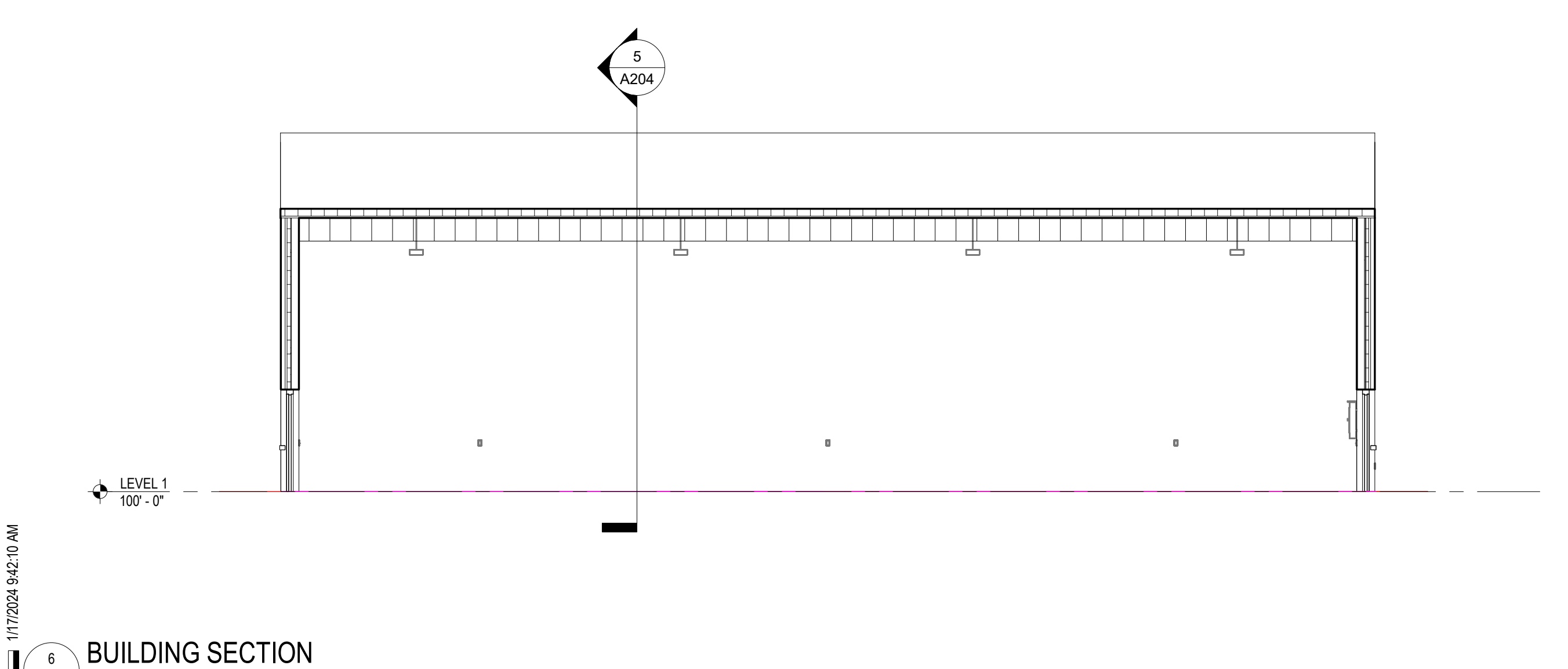
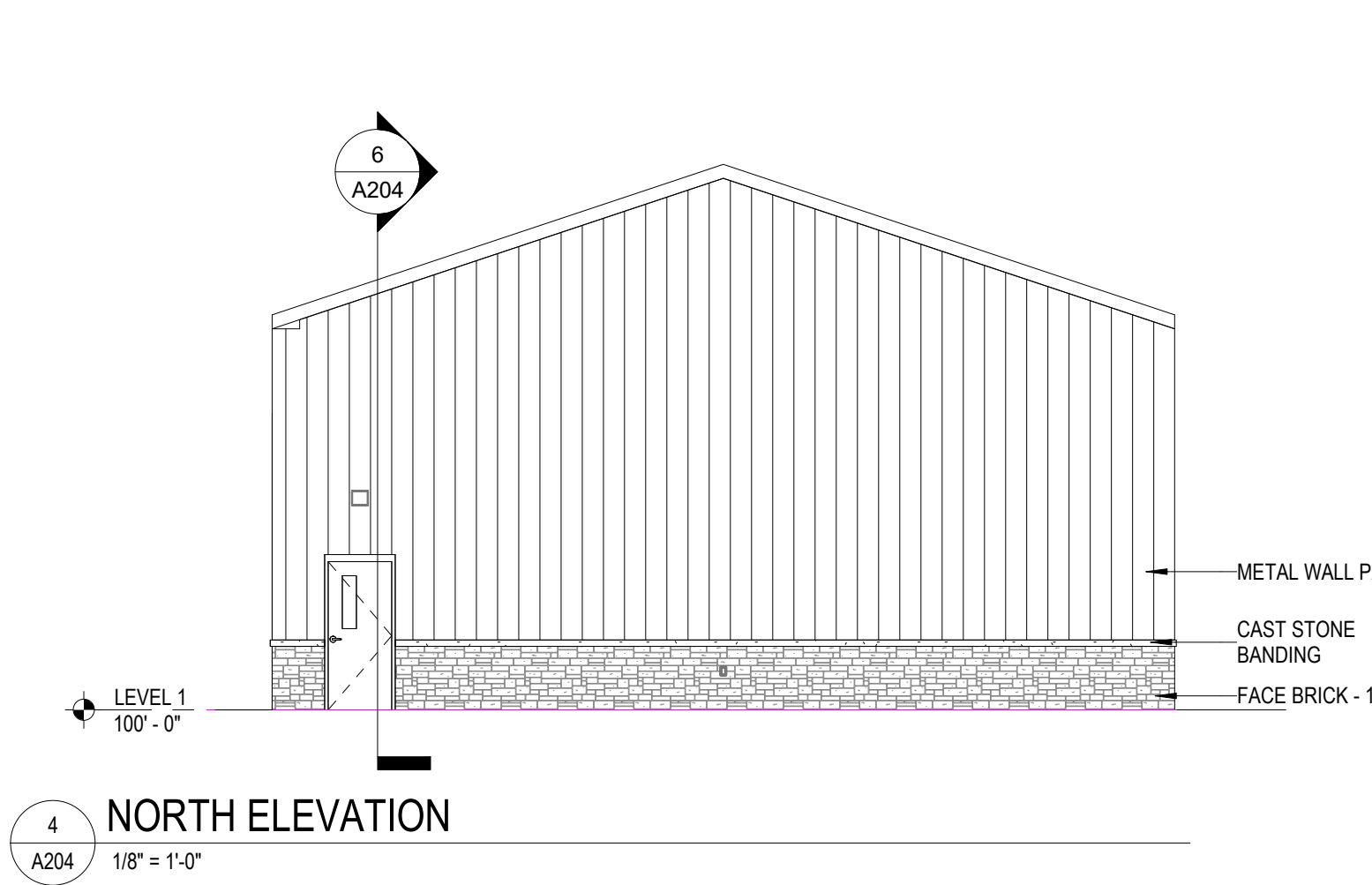
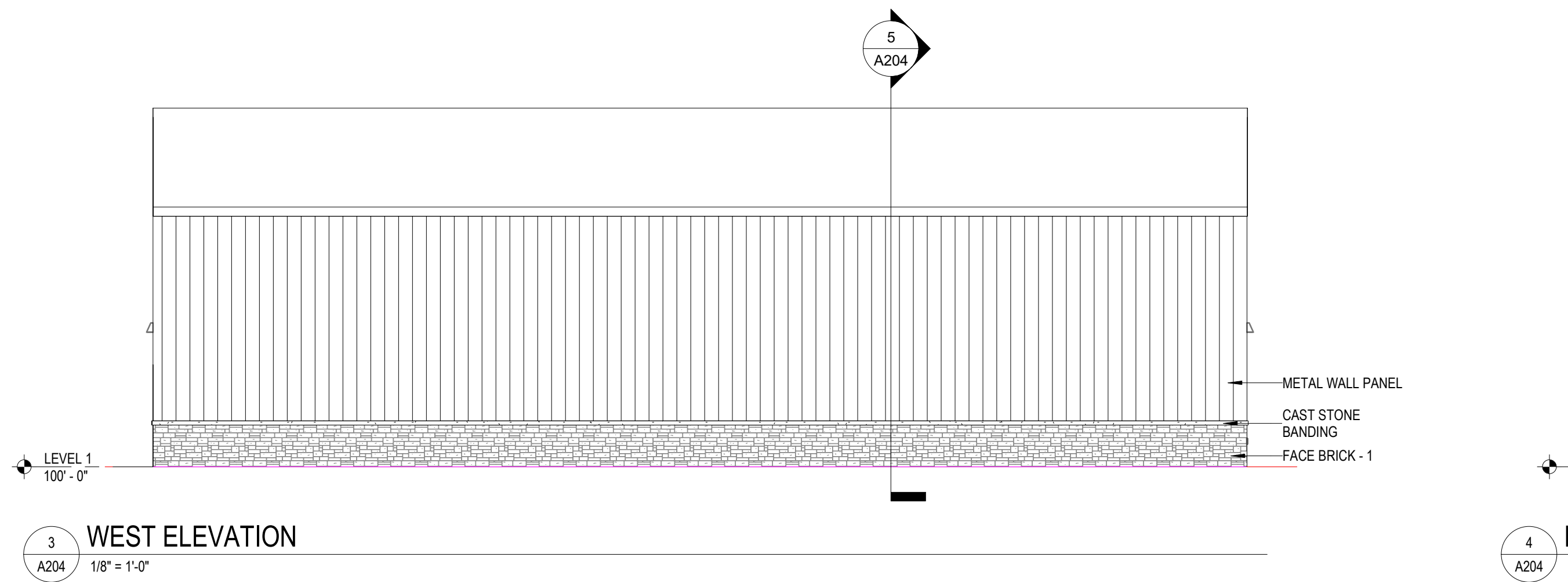
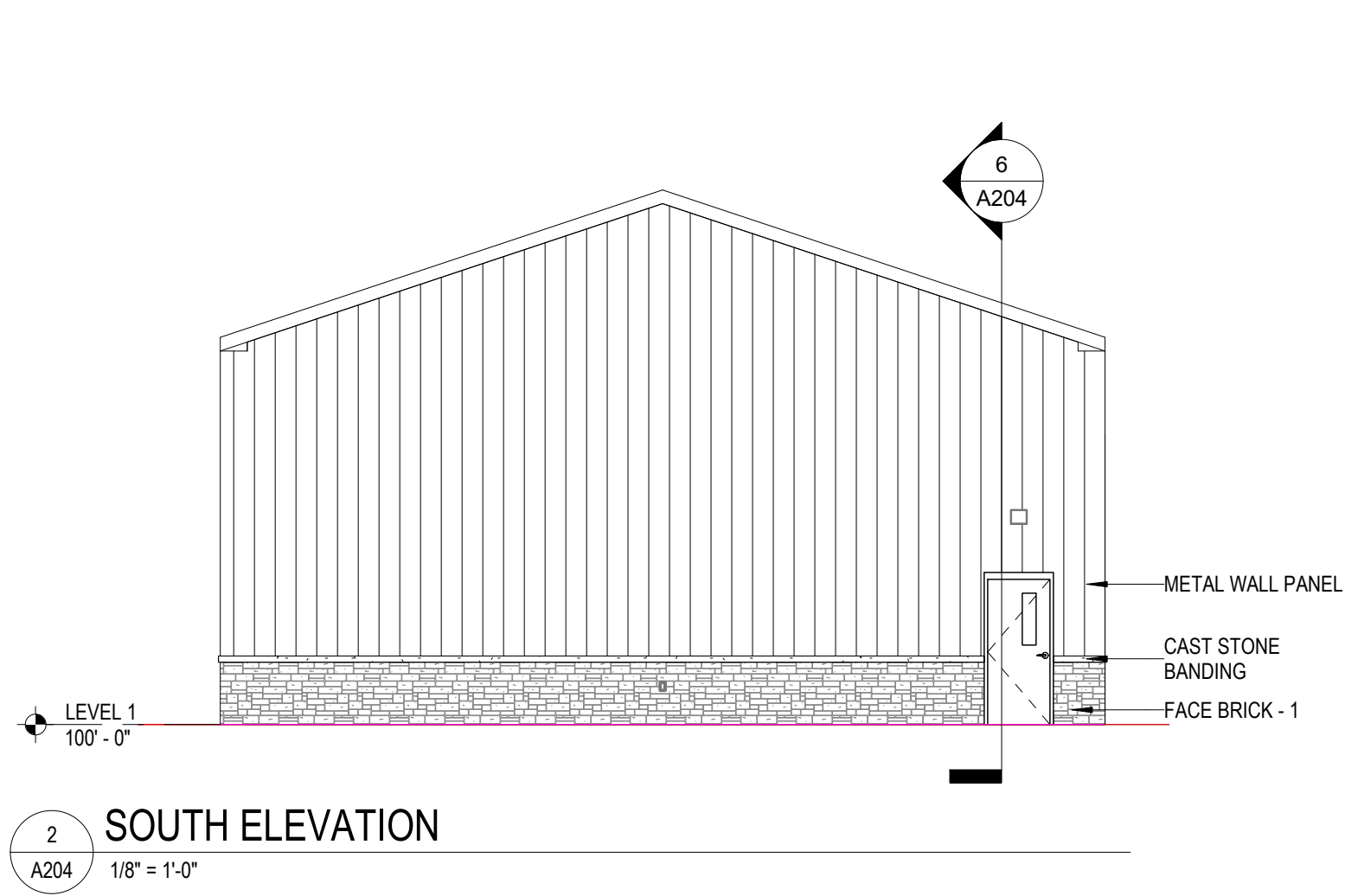
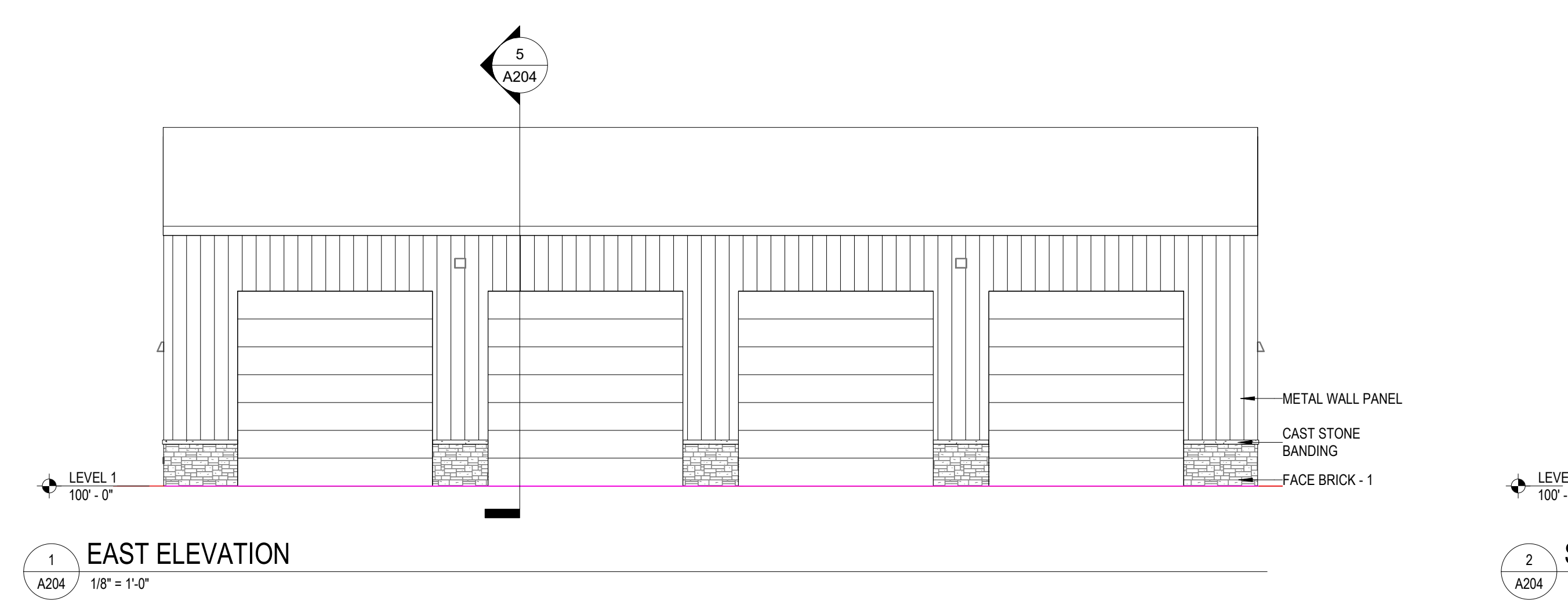
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EXTERIOR ELEVATIONS -
BUILDING A

A202



1/17/2024 9:42:10 AM
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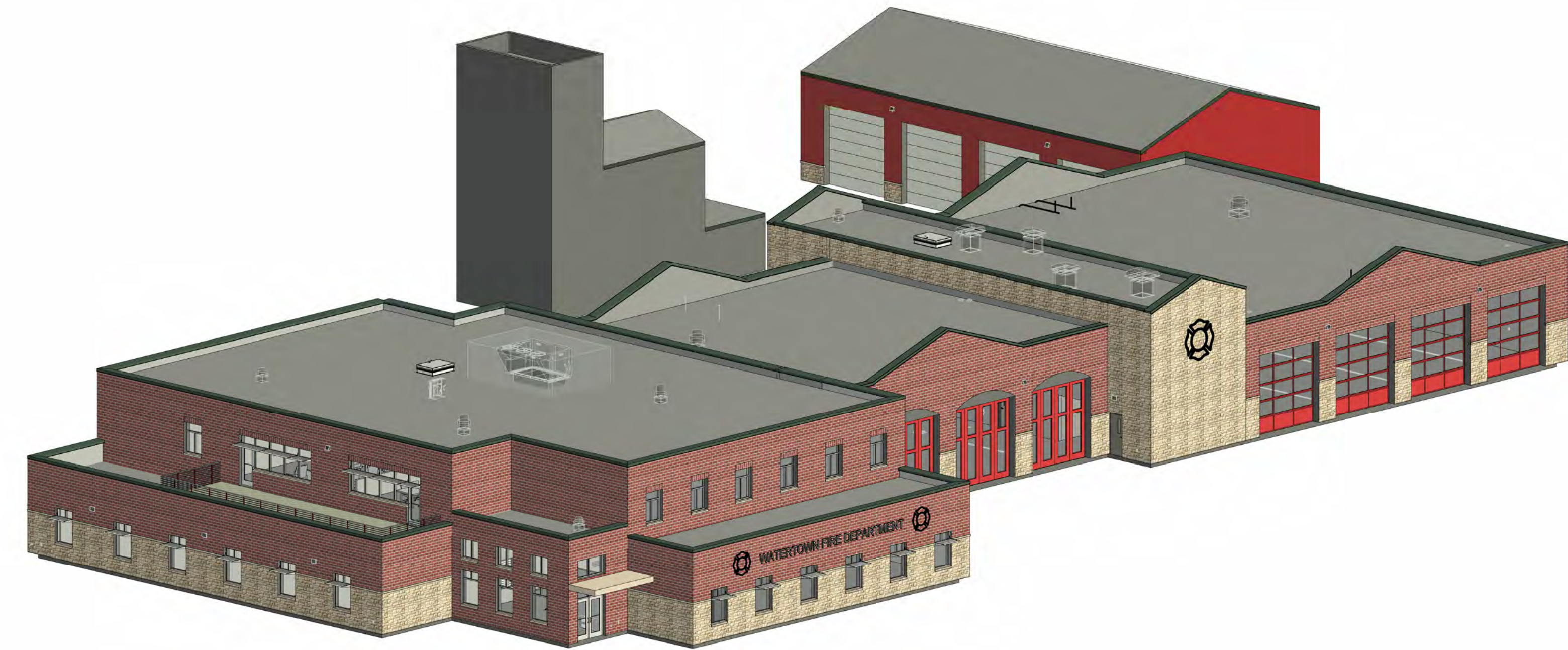
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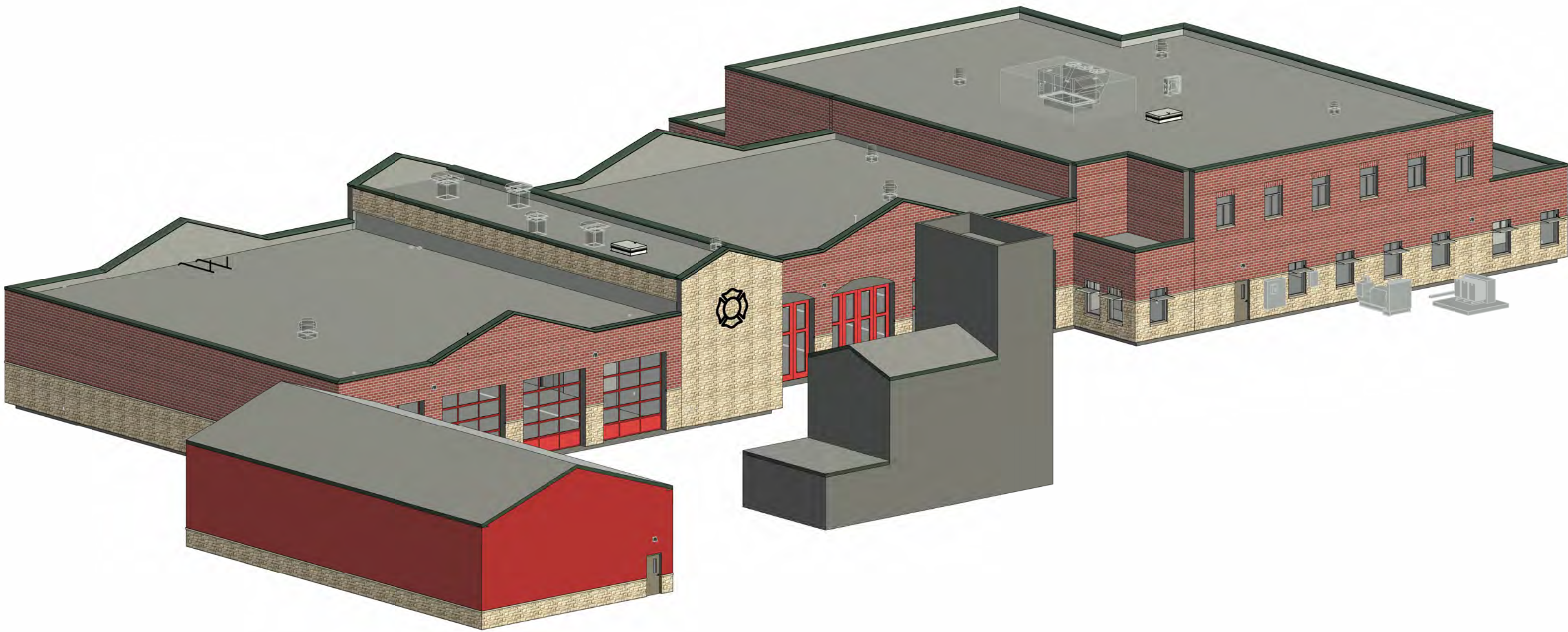
EXTERIOR ELEVATIONS -
BUILDING B

A204

THIS BAR IS INTENDED TO BE 1" PRINTED AT FULL SCALE 1/17/2024 9:45:19 AM



1 OVERALL ARCHITECTURAL - EXTERIOR 3D
A703



2 OVERALL ARCHITECTURAL - EXTERIOR 3D
A703



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3D LOW-RES VIEW

A703

THIS BAR IS INTENDED TO BE 1" PRINTED AT FULL SCALE

11/17/2024 9:45:20 AM

Blended (with Flashing) Color Options

Smooth

Winter Blend (B)

Sand Castle Blend (B)

Cedar Blend (A)

Tuscany Villa Blend (A)

Harvard Blend (A)

Coffee Blend (A)

Smooth

Savanna Stone Blend (A)

Granite Rose Blend (A)

Amber Rose Blend (A)

Cardinal Blend (A)

Regency Red Blend (A)

Brandywine Blend (A)

Smooth

Ash Blend (A)

Letter following color names denote pricing levels.
"A" indicates lowest price level;
"C" is highest price level.

Colors, product data, and availability are subject to change without notice. Please confirm all details with a County Materials representative for availability in your area. Colors shown may vary from actual hues and should only be used as a guide. Refer to actual product samples for final color selection.

Facing Options (for Blended and NF)

**Burnished

Smooth

Splitface

Tumbled

**See page 23 for burnished color options.

Note: Bough Estate is no longer a Facing Option for Heritage Collection Designer Concrete Brick.

NF (No Flashing) Color Options

Smooth

Harvard (A)

Amber Rose (A)

Cinnabar (A)

Cardinal (A)

Regency Red (A)

Brandywine (A)

Smooth

Winter (A)

Graystone (A)

Smokey Mountain (A)

Coffee (A)

Sable (A)

Slate (B)

*PREMIUM COLORS – NF (No Flashing)

Smooth

* White (C)

*Dove Gray (B)

*Reunion (C)

*Sienna Cream (C)

* Denotes product manufactured in Janesville, WI.
All other Heritage colors are manufactured in Marathon, WI.

Note: All colors shown above are also available in Tumbled finish.

Vision

Clarity

Enchantment

Slate



CLARITY



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EXTERIOR MATERIALS

A704

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NORTHEAST PERSPECTIVE



SOUTHWEST AERIAL



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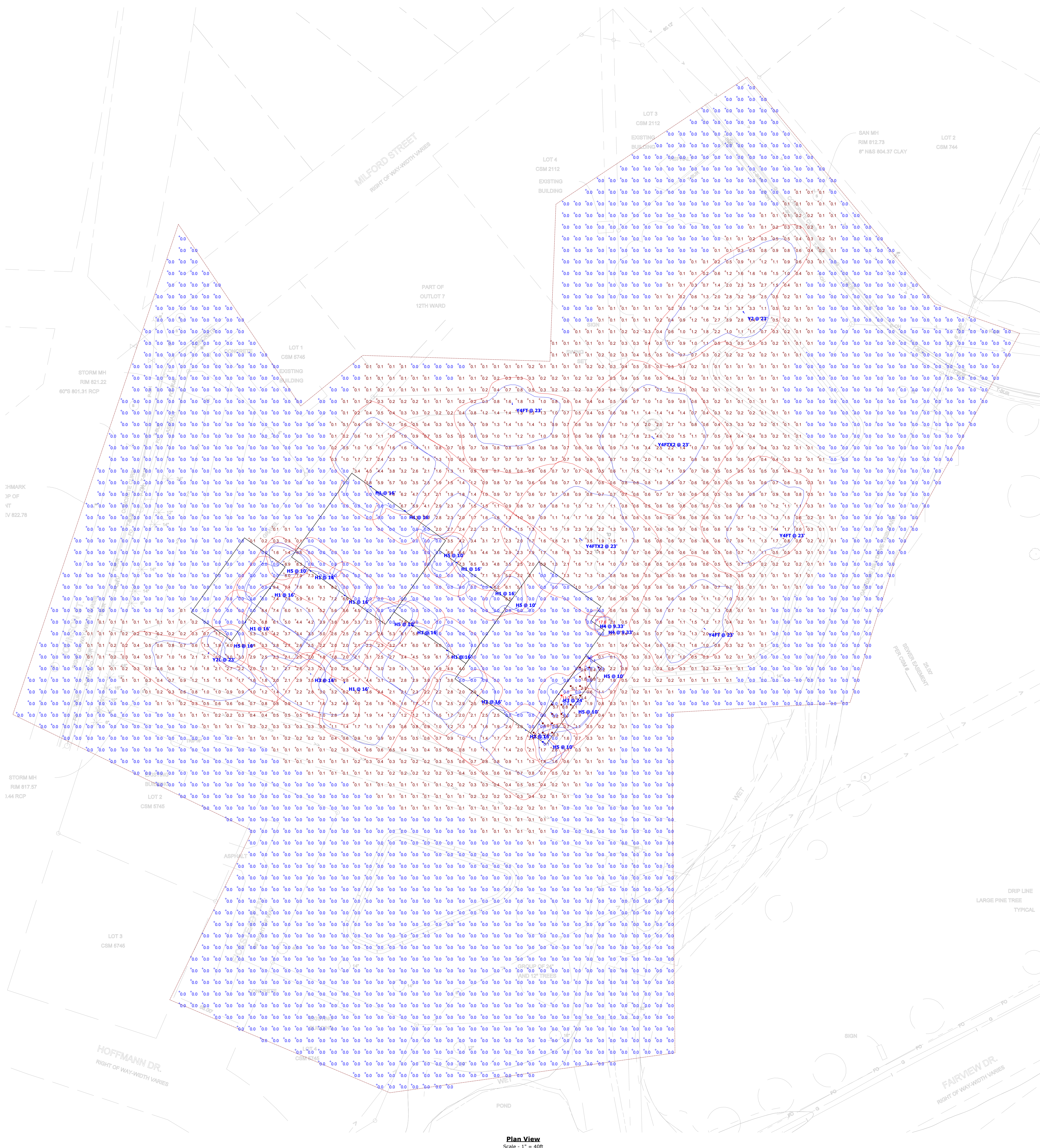
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RENDERINGS



Plan View
Scale - 1" = 40'

Distribution									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	Lumen Multiplier	Wattage
	H1	11	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA2B-740-U-T4FT	GALLEON WALL LUMINAIRE (2) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEDES EACH AND TYPE IV FORWARD THROW OPTICS	32	375	1	86
	H2	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1B-740-U-T4FT	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 800mA LIGHTSQUARE WITH 16 LEDES AND TYPE IV FORWARD THROW OPTICS	16	384	1	44
	H3	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1A-740-U-T2	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 415mA LIGHTSQUARE WITH 16 LEDES AND TYPE II OPTICS	16	305	1	34
	H4	2	Gotham Architectural Lighting	EVO6 40/15 AR MD LD	EVO 6IN ROUND, 80 CRI, 4000K, 1500LM, MED DIST, CLEAR, MATTE DIFFUSE	1	1307	1	14.7
	H5	8	Lithonia Lighting	WPX1 LED P1 40K Mvot	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Vols	1	1568	1	11.47
	Y2	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA2C-740-U-T2	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDES EACH AND TYPE II OPTICS	32	444	1	113
	Y2L	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA1C-740-U-T2	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEDES AND TYPE II OPTICS	16	454	1	59
	Y4FT	3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA1C-740-U-T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEDES AND TYPE IV FORWARD THROW OPTICS	16	466	1	59
	Y4FTX2	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA1C-740-U-T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEDES AND TYPE IV FORWARD THROW OPTICS	16	466	1	118

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BALCONY		2.5 f.c.	11.2 f.c.	0.1 f.c.	112.0:1	25.0:1
SITE CALC		6.4 f.c.	17.6 f.c.	0.0 f.c.	N/A	N/A