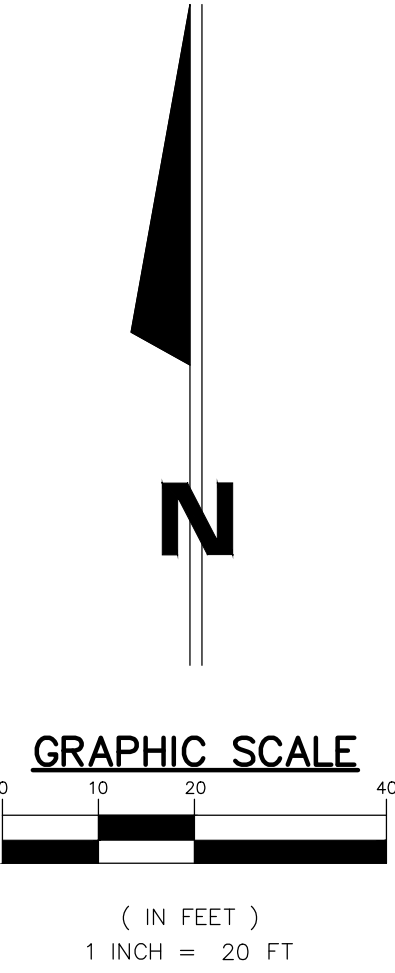
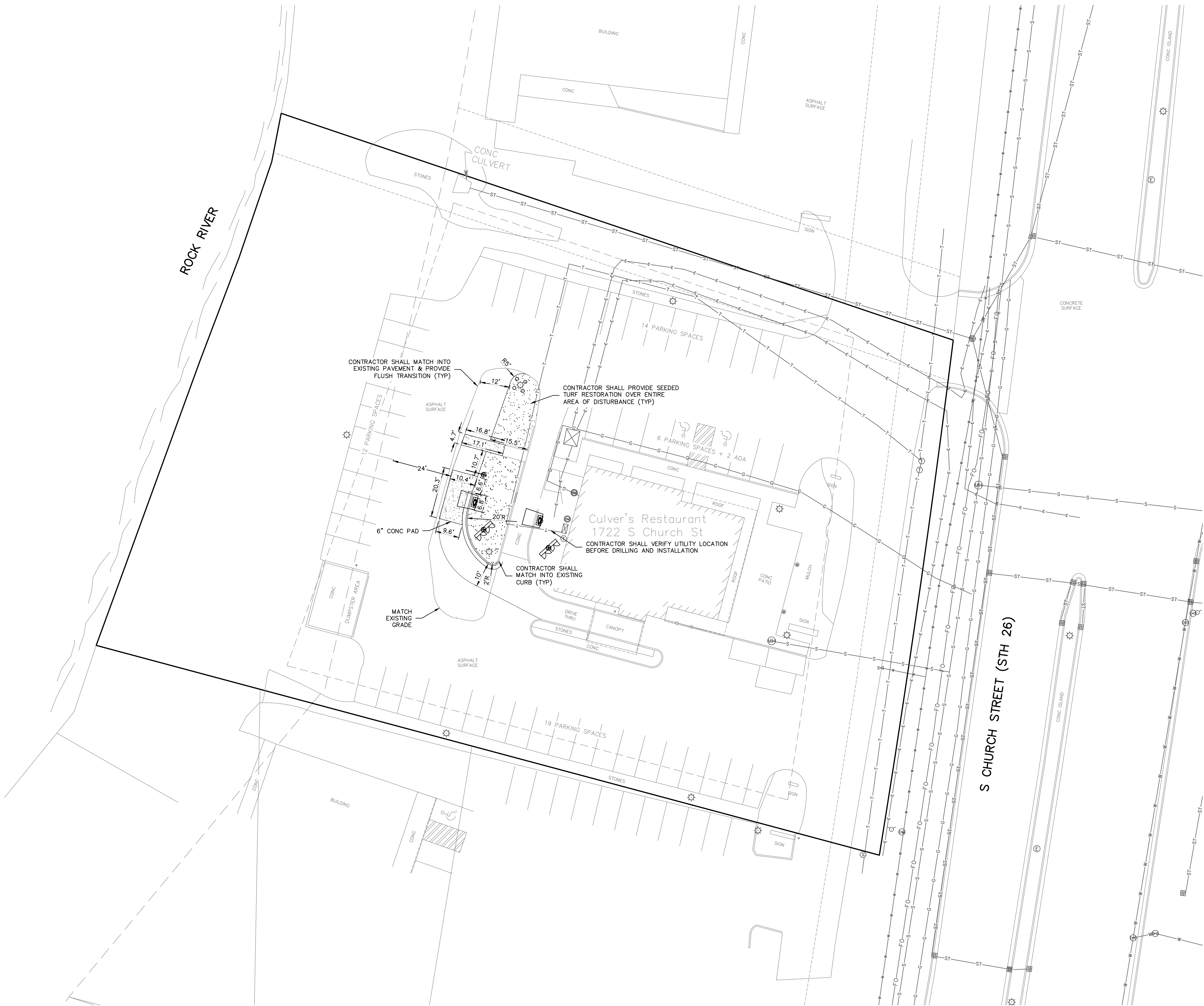




- LEGEND**
- CONCRETE PAVING
 - SEEDDED TURF
 - E — EXISTING ELECTRIC LINE
 - ST — EXISTING STORM SEWER
 - G — EXISTING GAS LINE
 - W — EXISTING WATER LINE
 - T — EXISTING TELEPHONE LINE
 - OH — EXISTING OVERHEAD ELECTRIC LINE
 - SS — EXISTING SANITARY
 - FO — EXISTING FIBER OPTIC LINE

- TABULATED SITE DATA**
- ACREAGE OF SITE (±48,287 SFT) ±1.11 Acres
 - LAND COVERAGE:
AREA TO IMPERVIOUS = 543 SFT
AREA TO PERVIOUS = 391 SFT
IMPERVIOUS: NET GAIN OF 152 SFT
 - SITE PARKING:
A. EXISTING PARKING SPACES
B. PROPOSED PARKING SPACES
TOTAL SPACES:
60 INCLUDING 3 ADA
53 INCLUDING 2 ADA*
 - SURFACE RUN-OFF AND DRAINAGE TO CONTINUE TO BE COLLECTED ON-SITE IN THE SAME MANNER AS CURRENT.
- *ADA STALLS WILL BE BROUGHT INTO COMPLIANCE AS PART OF FUTURE REMODEL PROJECT
- NOTE: UTILITY LOCATIONS ARE APPROXIMATE & ARE TO BE FIELD VERIFIED BY CONTRACTOR

WATERTOWN, WI DDT		WATERTOWN, WI 53094	
1722 S CHURCH ST.		MCCON BUILDING CORPORATION	
1059 CIRCLE DRIVE P.O. BOX 247		HIGHLAND, WI 53543	
SITe DIMENSIONAL PLANS			
DESIGNED BY: MM			
DRAWN BY: MM			
DATE: MARCH 2023			
JOB NUMBER: 2022-0168			
SCALE: 1" = 20'			
C201			

JONES PETRIE RAFINSKI

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Fort Wayne, IN
P: 264.422.2322

DATE	BY	DESCRIPTION	REV
			C101

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