



December 8, 2025

Mayor Robert Stocks
City of Watertown
106 Jones Street, PO Box 477
Watertown, WI 53094

Re: Request for Rezoning and Planned Development Approval
Lot 0, Gateway Drive, Watertown, WI 53094
Tax Key 291-0815-1631-003

Dear Mayor Stocks and Members of the Common Council:

On behalf of the Greater Watertown Community Health Foundation (GWCHF) and Hoffman Matz, LLC, we're pleased to submit this request for approval of a Planned Development (PD) for **Lot 0, Gateway Drive**. Our proposal asks for flexibility in the City's zoning requirements -specifically, a reduction in minimum lot size – to allow for the creation of homes that are thoughtfully scaled to the neighborhood and designed for efficient, livable spaces.

This effort is directly tied to GWCHF's mission to strengthen community health and well-being by expanding access quality, attainable housing. The current zoning standards limit opportunities to develop homes that meet the needs of today's workforce and first-time buyers. By allowing smaller, right-sized lots, the City can help enable the development of high-quality single-family homes at price points that are achievable for local residents, including young professionals, families, and essential workers who want to live and invest in Watertown.

The site's location – across Gateway Drive from existing retail and commercial uses – offers a natural opportunity to introduce well-designed housing that complements nearby development and provides a gradual transition from commercial to residential land uses.

This project represents an intentional approach to neighborhood-scale design, connecting residents to jobs, services, and amenities while using existing infrastructure responsibly.

We believe this project offers real benefits for Watertown:

- **More Housing Choice:** It adds a housing type not currently available in the Watertown market, bridging the gap between rental housing and higher-priced single-family homes.

- **Smarter Infrastructure Use:** Smaller lots mean reduced costs of extending and maintaining public infrastructure, improving the efficiency of utilities, roads, and (if required) stormwater systems.
- **Alignment with City Goals:** This proposal advances the City's Comprehensive Plan objectives for compact growth patterns and sustainable neighborhood design.
- **Community Investment:** Reinforces GWCHF's commitment to local partnership and long-term reinvestment in the people and places that make Watertown strong.

Together, these elements expand attainable homeownership opportunities while supporting the City's vision for healthy, balanced growth and a thriving local economy.

Thank you for considering this request. We look forward to working together with the City to bring this project to life – one that reflects our shared commitment to quality, sustainability, and the overall well-being of the Watertown community.

Sincerely,

Benjamin P. Wehmeier

Benjamin P. Wehmeier (Dec 8, 2025 10:44:24 CST)

Ben Wehmeier

President & CEO

Greater Watertown Community Health Foundation

Enclosures:

Exhibit A PLAN COMMISSION & SITE PLAN REVIEW APPLICATION

Exhibit B REZONING
 Rezoning Request

Exhibit C PLANNED DEVELOPMENT
 Concept Layout
 Elevations and Plans
 Detailed site/utility plans
 Preliminary Plat
 Site Assessment Checklist

APPLICANT	Hoffman Matz, LLC	Nate Peters	npeters@watertownhealthfoundation.com	920.988.6266
ENGINEER	Harwood Engineers	Brad Seubert	brad.seubert@hecl.com	414.918.1204
CONTRACTOR	White Oak Design & Build	Dan Wegner	dan@whiteoakbuild.com	262.894.4105

EXHIBIT B

Rezoning

Current Zoning and Proposed Change

The subject parcel, Lot 0 – Gateway Drive is currently zoned MR-8 – Multi-Family Residential District under Chapter 550, Article V of the City of Watertown Zoning Code. GWCHF is requesting a rezoning to SR-4 – Single-Family Residential District, accompanied by a Planned Development (PD) Overlay to allow flexibility in lot width requirements.

Current Zoning: MR-8 (Multi-Family Residential District)

Code Reference: § 550-25

The **MR-8 District** is intended for medium-density, multi-family housing such as townhomes and apartments. It allows higher residential intensity and shared infrastructure but is not ideal for individually platted, fee-simple single-family homes.

Key Dimensional Standards:

- Minimum lot area: 8,000 sq ft
- Minimum lot width: 75 feet
- Permitted uses: Multi-family dwellings (up to 8 units per acre), townhouses, and accessory community amenities
- Character: Shared drives, common open space, and multi-unit configurations

While the proposed single-family housing would be permitted within this zoning, MR-8 zoning complicates individual home financing and ownership because lenders view homes in multi-family districts as part of a larger rental or condominium structure rather than standalone parcels.

Proposed Zoning: SR-4 (Single-Family Residential District)

Code Reference: § 550-24

The **SR-4 District** is established to provide stable neighborhoods for detached single-family homes on individual lots.

Key Dimensional Standards:

- Minimum lot area: 8,000 sq ft
- Minimum lot width: 75 feet (per § 550-24 F(2)(b))
- Minimum street frontage: 50 feet.
- Maximum gross density (MGD): 4.00 du/acre
- Permitted uses: Detached single-family homes and customary accessory structures
- Character: Individually owned lots, private yards, and separate utility connections

This SR-4 Zoning district aligns directly with traditional homeownership models and is most consistent with the character of existing neighborhoods near Gateway Drive.

Reasoning for Rezoning Request

Reclassifying the property from **MR-8** to **SR-4** creates a more appropriate framework for **individual homeownership** and for the **Planned Development Overlay** flexibility to reduce minimum lot width from 75 feet to 54 **feet and reduce the minimum lot area from 8,000 sq ft to 7,200 sq ft.**

This change supports GWCHF's mission and addresses a practical financing barrier:

- **Mortgage Accessibility:** Local lenders and national banking guidelines typically require homes to be located within single-family residential districts for standard mortgage underwriting. MR-8 zoning can limit financing options or increase rates and documentation burdens.
- **Market Compatibility:** The SR-4 designation more accurately reflects the planned use – seven detached single-family homes with individual driveways and yards – rather than multi-family or rental configurations.
- **Community Fit:** SR-4 zoning complements nearby neighborhoods and provides a smooth transition between residential and adjacent commercial uses along Gateway Drive.

In conclusion, **rezoning to SR-4 with a PD Overlay** establishes a clear, efficient regulatory path for both home construction and mortgage financing – making it easier for buyers to purchase and for lenders to support attainable, high-quality housing in Watertown.

EXHIBIT C

Planned Development

This General Development Plan (GDP) also serves as the Precise Implementation Plan (PIP).

Summary & Requested Lot Width Modification

The subject property, Lot 0 – Gateway Drive, is governed by the City of Watertown Zoning Code, Chapter 550, which establishes dimensional standards for all residential districts. The SR-4 Single-Family Residential District is intended to provide stable, attractive neighborhoods of detached homes on individual lots, supported by public infrastructure and neighborhood amenities.

CURRENT Zoning Standard: SR-4 Minimum Lot Width Requirement

Code Reference: *City of Watertown Zoning Code § 550-24 F(2)(b)*

Under the **current SR-4** regulations:

- Minimum Lot Area: **8,000 square feet**
- Minimum Lot Width: **75 feet**
- Minimum street frontage: 50 feet
- Maximum gross density (MGD): **4.00 du/acre**
- Front Setback: 25 feet
- Side Setback: 8 feet per side
- Rear Setback: 25 feet

These standards were designed for traditional single-family neighborhoods featuring larger parcels and lower density. While appropriate in many areas, they can unintentionally limit the creation of smaller, right-sized homes that meet modern affordability and sustainability goals.

REQUESTED Planned Development Flexibilities

GWCHF is requesting a Planned Development (PD) Overlay to reduce the **minimum lot width from 75 feet to 54 feet, reduce the Minimum Lot Area from 8,000 sq ft to 7,000 sq ft, and increase the Maximum gross density (MGD) from 4.00 du/acre to 7.00 du/acre** while maintaining all other SR-4 dimensional and design requirements.

Under the **requested SR-4** change:

- Minimum Lot Area: **7,000 square feet**
- Minimum Lot Width: **54 feet**
- Minimum street frontage: 50 feet
- Maximum gross density (MGD): **7.00 du/acre**
- Front Setback: 25 feet
- Side Setback: 8 feet per side
- Rear Setback: 25 feet

These modest adjustments allow the subdivision of the 1.17-acre parcel into **seven single-family lots**, each sized and proportioned for efficient, livable homes with front-facing driveways and private yards. The proposed layout preserves the residential character of Gateway Drive while supporting a more attainable housing price point.

***ALIGNMENT* with the City's Comprehensive Plan**

The City of Watertown Comprehensive Plan encourages:

- “A diversity of housing types to meet the needs of residents at all income levels.”
- “Compact residential development patterns that use existing infrastructure efficiently.”

The proposed reduction in lot width directly advances these policy goals by:

1. **Encouraging housing diversity and attainability:** 54-foot lots allow smaller, efficient home designs that lower land and construction costs without compromising quality.
2. **Promoting infrastructure efficiency:** narrower lots reduce public infrastructure costs per home, optimizing existing water, sewer, and roadway systems.
3. **Supporting sustainable growth:** by using infill land within city limits rather than requiring new subdivisions on the fringe.
4. **Context and Neighborhood Integration:** Although the site is not surrounded by existing residential neighborhoods, the proposed lot pattern and home scale establish a well-designed residential enclave that complements the surrounding area. Situated across Gateway Drive from an existing commercial and retail parcel (Tractor Supply), the development provides a thoughtful transition from the commercial corridor to the broader agricultural landscape, introducing high-quality single-family homes that set the framework for future compatible growth.

Concept Plan

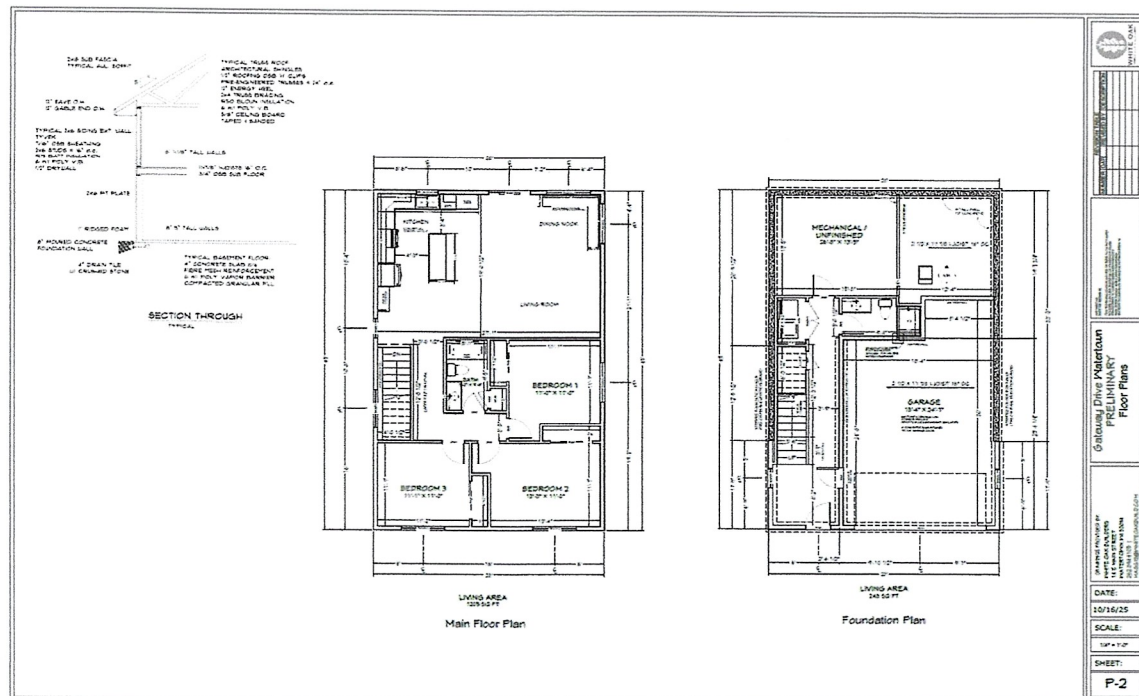
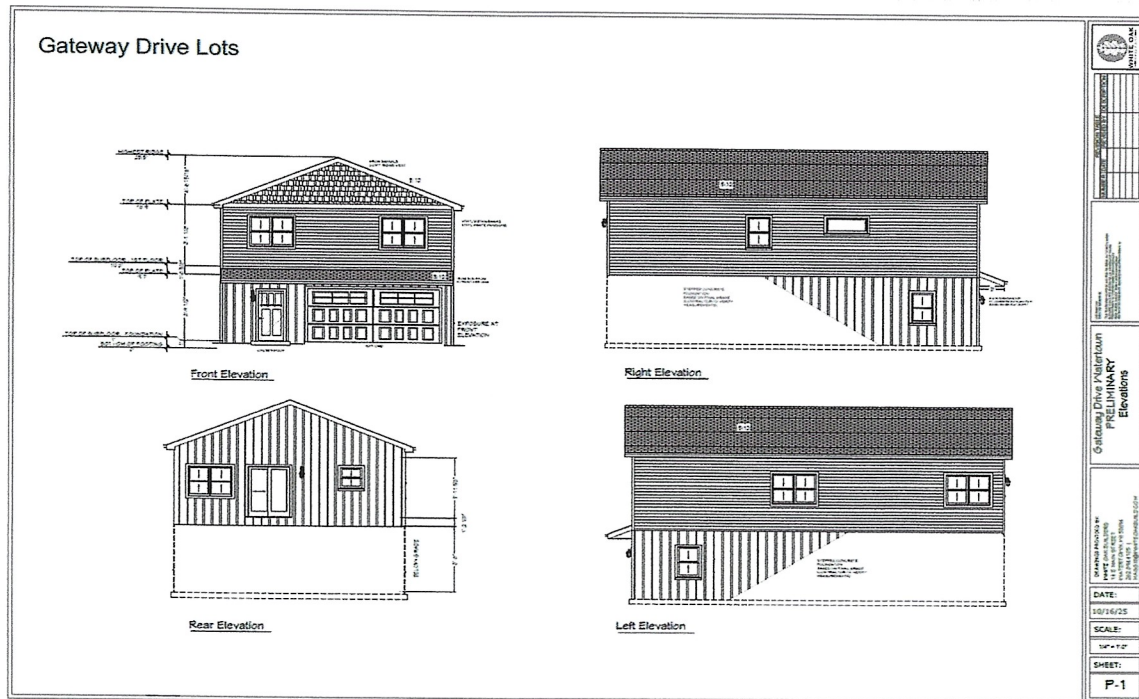
The following illustration depicts the **anticipated parcel configuration** for the proposed Planned



Development at Lot 0, Gateway Drive. The layout demonstrates how the site will be subdivided into seven single-family residential lots, each consistent with the requested PD dimensional standards and designed to create an efficient, attractive neighborhood setting.

Plans & Elevations

The following images present **conceptual house plans and elevations** representative of the homes envisioned for Lot 0, Gateway Drive. These designs emphasize high-quality materials, efficient layouts, and consistent architectural character to create a cohesive and welcoming streetscape.



The renderings highlight the attractive home designs envisioned for the development, demonstrating how their scale, materials, and architectural character align with the City's design and housing goals.

The homes are thoughtfully planned to appeal to modern homebuyers, offering quality, efficiency, and visual harmony that together create a welcoming and enduring residential environment.



Site/Utility Plans

See following pages.



HARWOOD

2015 Landscape Architectural
structure / fire protection - security
lighting design - telecommunications

255 North 2nd Street,
Milwaukee, Wisconsin 53233
414-472-5554 - hrc@hrc.com

Project Name:
Gateway Drive
Subdivision

Client:

Issuance:

Scale: 1" = 20'

Date: 12/5/2025

Project Number:
25-1207.00

Sheet Name:
SITE PLAN

Sheet Number:
C1.10

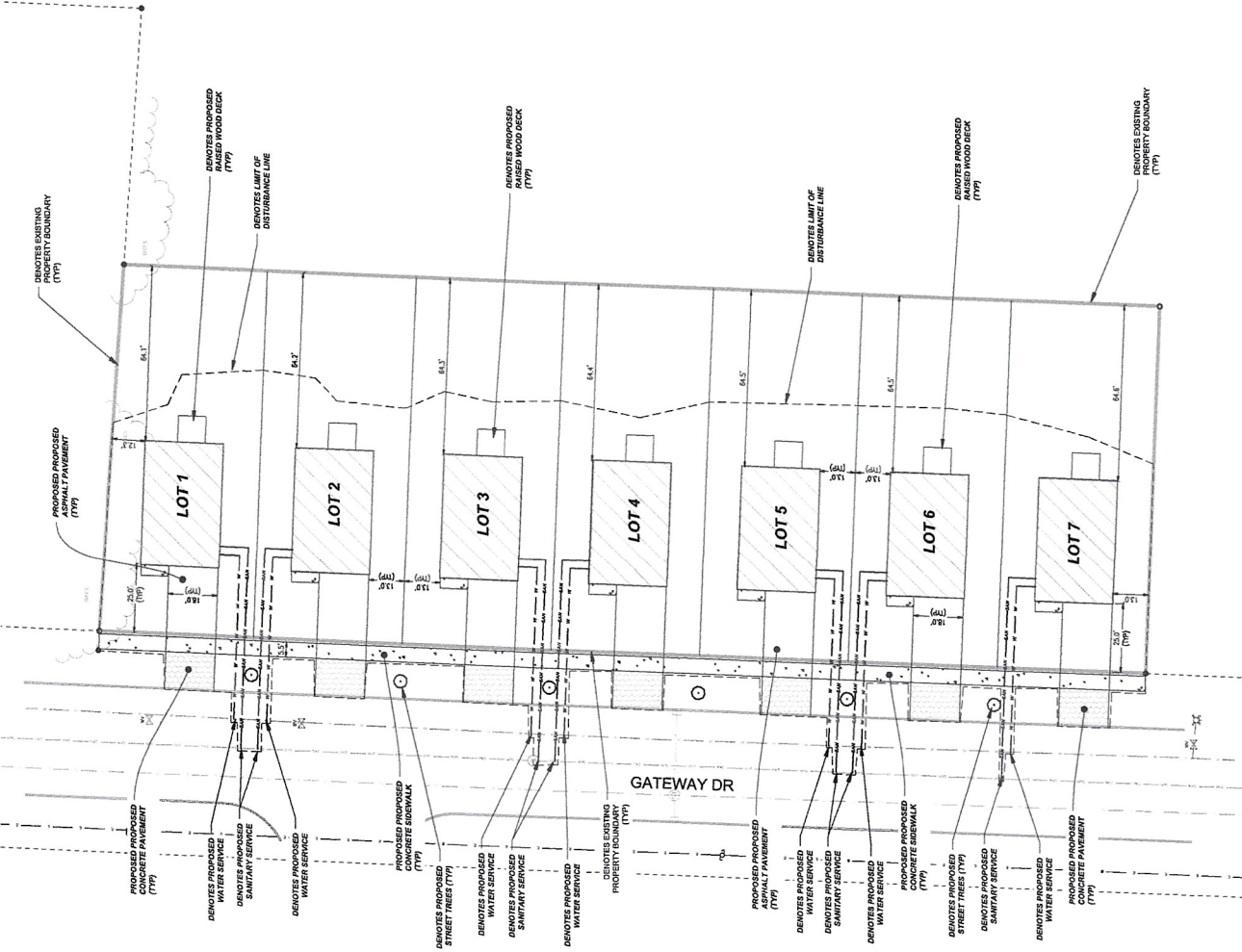
CONSENT 2024



IN ACCORDANCE WITH WISCONSIN STATUTE 18.02(1)(a), DAMAGE
TO THE PUBLIC INTEREST BY THE NEGLIGENCE OF AN ENGINEER
RESPONSIBLE TO PROVIDE PROFESSIONAL SERVICES TO THE
PUBLIC, THE ENGINEER SHALL BE RESPONSIBLE FOR THE
PROTECTION OF THE PUBLIC INTEREST AND THE
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ENGINEER'S PRIMARY RESPONSIBILITY AND THE
ENGINEER SHALL BE RESPONSIBLE FOR THE PROTECTION
OF THE PUBLIC INTEREST.

HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

SITE CALCULATION TABLE	
TOTAL SITE AREA	1.166 AC
TOTAL DISTURBED AREA	0.500 AC
EXISTING IMPERVIOUS AREA	0.000 AC
PROPOSED IMPERVIOUS AREA	0.372 AC





HARWOOD

civil, landscape architecture,
structural, mechanical, electrical,
plumbing, and telecommunications

285 North 7th Street
Milwaukee, Wisconsin 53233
414.475.5554 - hcd.com

Project Name:
Gateway Drive
Subdivision

Client:

Issuance:

Scale: 1" = 20'



Date: 12/6/2025

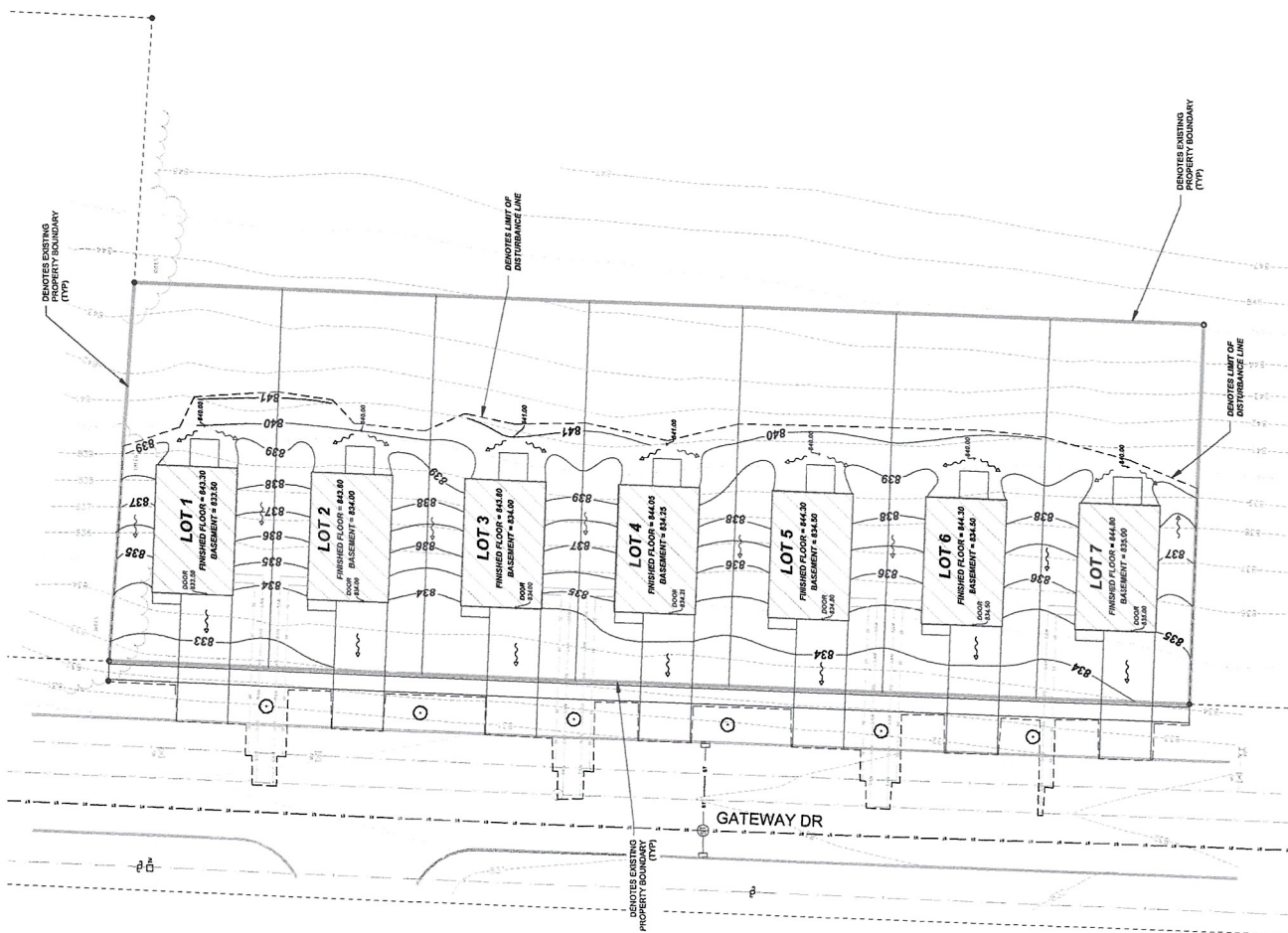
Project Number:
25-1207.00

Sheet Name:
GRADING PLAN

Sheet Number:
C1.20

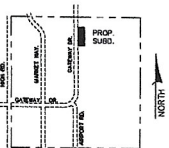
Copyright 2024

IN ACCORDANCE WITH WISCONSIN STATUTE RELATIVE TO DAMAGE TO ADJACENT PROPERTIES, THE DESIGNER SHALL BE RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE ADJACENT PROPERTY OWNER OF ANY PROPOSED GRADING WORK PRIOR TO COMMENCEMENT OF ANY EXCAVATING REQUIRED TO BE PERFORMED. THE DESIGNER SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THE STATUTE RELATIVE TO ADJACENT'S WORK.



Preliminary Plat

See following page.



VICINITY MAP
1" = 1000'
SW 1/4 16-B-15

PRELIMINARY PLAT OF GATEWAY SUBDIVISION

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5785, BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

CSE
CAPITOL SURVEY ENTERPRISES
2015 LACHANDELLE CT.
BROOKFIELD, WI 53005
PH: 262-786-6000
FAX: 262-786-6008
WWW.CAPITOLSURVEY.COM

OWNER/SUBDIVIDER:
WATERTOWN HEALTH FOUNDATION
672 JOHNSON ST., STE. 300
WATERTOWN, WI 53094

SURVEYOR:
CAPITOL SURVEY ENTERPRISES
2015 LACHANDELLE CT.
BROOKFIELD, WI 53005
262-786-6000

READING: BASED
ON THE BEARING TO THE NORTH LINE OF THE
SOUTHWEST 1/4 OF SECTION 16, WHICH HAS A
WISCONSIN COUNTY COORDINATE SYSTEM, JEFFERSON
COUNTY, BEARING OF N 84°18'52" W



LEGAL DESCRIPTION

LOT 1 OF REDIVISION SURVEY MAP NO. 5785, BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN, CONTAINING 80,802 SQUARE FEET, OR 1.8643 ACRES

- INDICATES FOUND 1 INCH IRON PIPE UNLESS OTHERWISE NOTED
- INDICATES 1 1/4 INCH DIA. IRON ROD 18 INCHES IN LENGTH, BEARING 3.65 LBS PER LINEAL FOOT, SET
- ALL OTHER LOT CORNERS ARE 3/4 INCH DIA. IRON ROD, 18 INCHES IN LENGTH, BEARING 3.65 LBS PER LINEAL FOOT, SET

NOTES

- SUBJECT PROPERTY ZONED: PB, PLANNED BUSINESS DISTRICT.
- SETBACKS BASED ON CITY OF WATERTOWN ZONING CODE AND ARE AS FOLLOWS:
MINIMUM LOT AREA - 10,000 SQ. FT.
MINIMUM LOT WIDTH - 80 FEET
FRONT YARD SETBACK - 35 FEET
SIDE YARD SETBACK - 10 FEET
REAR YARD SETBACK - 35 FEET
MINIMUM BUILDING HEIGHT - 35 FEET
- LEGAL DESCRIPTION BASED ON CERTIFIED SURVEY MAP NO. 1145 & CERTIFIED SURVEY MAP NO. 5785
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, RECORDS HEREON, AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A-1. THE ZONE DESIGNATION IS BASED ON THE CITY OF WATERTOWN ZONING CODE. THE ZONE DESIGNATION IS BASED ON THE CITY OF WATERTOWN ZONING CODE. THE ZONE DESIGNATION IS BASED ON THE CITY OF WATERTOWN ZONING CODE.
- SURVEY DATA:
ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). PROJECT ELEVATIONS ARE NOT INDICATED TO DIFFER. THE ELEVATION HEREON IS BASED ON THE CITY OF WATERTOWN ZONING CODE.
- THERE ARE NO EASEMENTS AFFECTING THE PROPERTY KNOWN TO THE SURVEYOR.

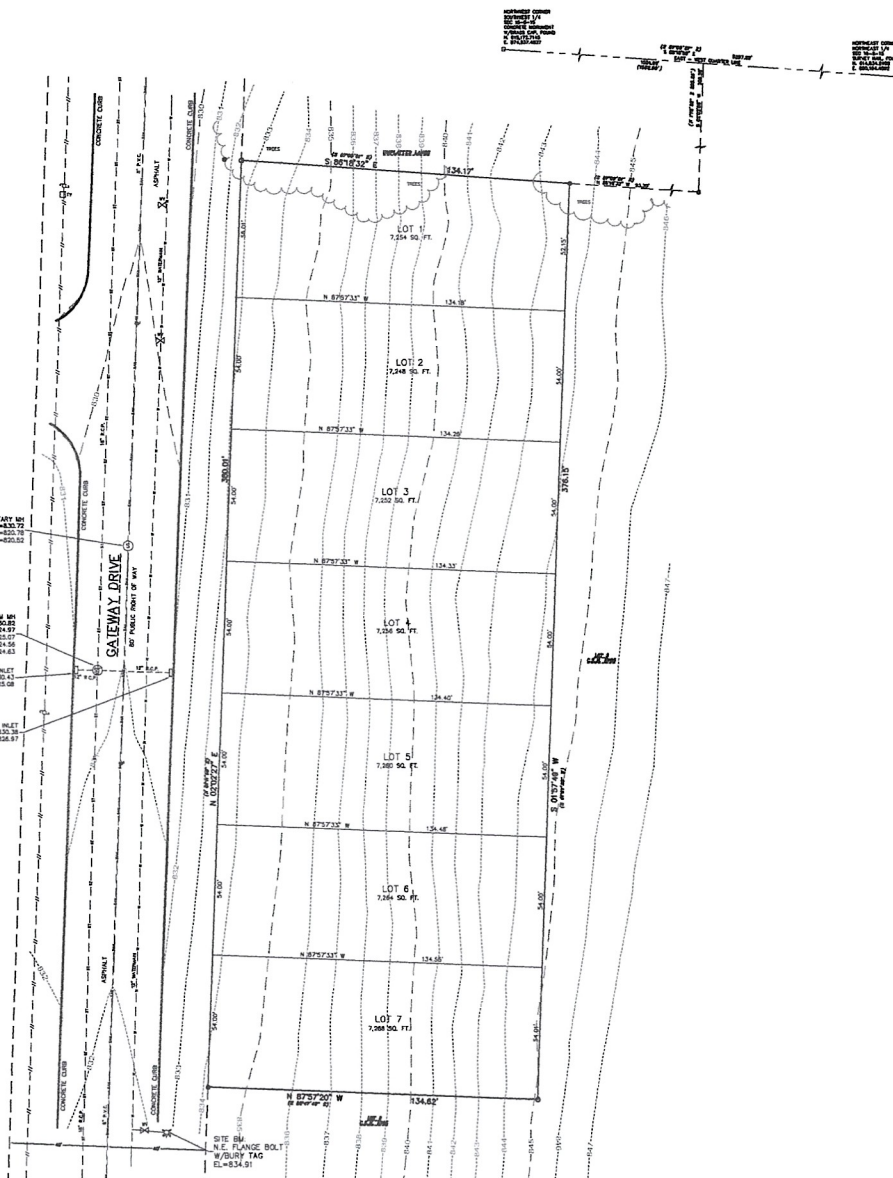
SUBDIVISION NOTES

- PROPOSED ZONING: PB - PLANNED BUSINESS DISTRICT
- PROPOSED DIVISION DIMENSIONS AS FOLLOWS:
- MINIMUM LOT AREA - 10,000 SQ. FT.
 - MINIMUM LOT WIDTH - 80 FEET
 - FRONT YARD SETBACK - 35 FEET
 - SIDE YARD SETBACK - 10 FEET
 - REAR YARD SETBACK - 35 FEET
 - MINIMUM BUILDING HEIGHT - 35 FEET
- ORIGINAL AREA - 80,802 SQUARE FEET OR 1.8643 ACRES
- NUMBER OF SINGLE FAMILY LOTS - 7
- HOME SITES TO BE SERVED BY CITY SEWER AND WATER
- AIRPORT APPROACH PROTECTION NOTE:
- ALL LOTS IN THE SUBDIVISION HAVE AN AIRPORT APPROACH PROTECTION ZONE ELEVATION LIST OF 565 FEET ABOVE MEAN SEA LEVEL FOR ALL BUILDINGS, STRUCTURES AND OBJECTS OF NATURAL GROWTH.

I, MICHAEL J. BERRY, PLAT, CERTIFY THAT THIS PROPERTY SURVEY CONFORMS WITH CHAPTER A-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DECEMBER 3, 2025
DATE

MJB
REGISTERED LAND SURVEYOR S-2545



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Site Assessment Checklist

See following pages.

SUBDIVISION OF LAND

545 Attachment 1

City of Watertown

Site Assessment Checklist

NOTE: All "yes" answers must be explained in detail by attaching maps and supportive documentation describing the impacts of the proposed development.

Item No.	Item of Information	Yes	No
I.	Land Resources. Does the project site involve?		
A.	Changes in relief and drainage patterns (attach a topographical map showing, at a minimum, two-foot contour intervals)	X See site plan & prelim plat.	
B.	A landform or topographical feature, including perennial streams and hills over 50 feet in elevation		X
C.	A floodplain (If "yes" attach two copies of the one-hundred-year floodplain limits and the floodway limits - if officially adopted)		X
D.	An area of soil instability — greater than 18% slope and/or organic soils, peats or mucks at or near the surface as depicted in the applicable County Soils Atlas		X
E.	An area of bedrock within 6 feet of the soil surface as depicted in the applicable County Soils Atlas		X
F.	An area with groundwater table within 10 feet of the soil surface as depicted in the applicable County Soils Atlas		X
G.	An area with fractured bedrock within 10 feet of the soil surface as depicted in the applicable County Soils Atlas		X
H.	Prevention of gravel extraction		
I.	A drainageway for 5 or more acres of land		X
J.	Lot coverage of more than 50% impermeable surfaces		X
K.	Prime agricultural land as depicted in adopted farmland preservation plans		
L.	Wetlands as depicted on wetland inventory maps		X
M.	Area within the airport height limitations or noise impact zone		
N.	Officially mapped environmental corridors		X
II.	Water Resources. Does the project involve?		
A.	Location in an area traversed by a navigable stream or dry run		X
B.	Impact on the capacity of a stormwater storage system or flow of a waterway within 1 mile		X
C.	The use of septic tank for on-site waste disposal		X
D.	Lowering of water table by pumping or drainage		X

WATERTOWN CODE

Item No.	Item of Information	Yes	No
E.	Raising of water table by altered drainage		X
F.	Lake or river frontage		X
III.	Biological Resources. Does the project site involve?		
A.	Critical habitat for plants and animals of community interest per DNR inventory		X
B.	Endangered, unusual or rare species of:		
1.	Land animals per DNR inventory		X
2.	Birds per DNR inventory		X
3.	Plants per DNR inventory		X
C.	Removal of over 30% of the present trees on the site		X
IV.	Human and Scientific Interest per State Historical Society Inventory. Does the project site involve?		
A.	An area of archaeological interest		X
B.	An area of historical interest		X
1.	Historic buildings or monuments		X
V.	Energy, Transportation and Communications.		
A.	Does the development increase traffic flow on any arterial or collector street by more than 10% based upon the most recent traffic counts and trip generation rates provided by the ITE?		X
B.	Is the development traversed by an existing or planned utility corridor (gas, electrical, water, sewer, storm, communications)?		X
VI.	Population.		
A.	Which public school service areas (elementary, middle and high) are affected by the proposed development, and what is their current available capacity?	E: Douglas Cap.: Max: ~450 Current: 324 M: Riverside Cap.: Max: ~850 Current: 649 H: Watertown Cap.: Max: ~1300 Current: 1087	
VII.	Comments on any of the above which may have significant impact.	See below.	
VIII.	Appendixes and Supporting Material.	See below.	

The development of Lot 0, Gateway Drive will have a positive impact on the surrounding area, advancing several key objectives identified in the City's Comprehensive Plan. The proposed homes support compact growth patterns, make efficient use of existing public infrastructure, and contribute to sustainable neighborhood design. By introducing well-scaled, high-quality housing in an appropriate infill location, the project strengthens the City's housing supply and enhances overall community vitality. Supporting information demonstrating these benefits is included throughout this submittal.