

# PLANNED UNIT DEVELOPMENT OVERLAY

*THE OXBOW – GDP & PIP NARRATIVE*

A multifamily residential development in  
WATERTOWN, WI



A COMMUNITY BY  
**NORTH TOWN**  
PARTNERS

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## INTRODUCTION

### NORTH TOWN PARTNER'S DEVELOPMENT EXPERIENCE

North Town Partners started in the automotive business. Van Horn Automotive Group operates 18 new and used car dealerships in Wisconsin and Iowa. While the primary business was selling vehicles, getting that job done required beautiful showrooms in great locations. As the company prospered, the scope of these real estate activities grew. Somewhat unknowingly, Van Horn Automotive developed a strong property management organization.

To take advantage of these newly developed competencies, Chuck Van Horn, CEO of Van Horn Automotive Group, merged these two functions into a business unit, Van Horn Real Estate Development. Van Horn Real Estate Development was renamed to North Town Partners to reflect the business's separate focus from the automotive group.

Currently, North Town Partners' portfolio includes \$85M under management with several others under active construction & development. North Town Partners manages and operates all our communities to ensure the on-site Property Management is first-class.

North Town Partners is committed to developing INSPIRED, ENGAGED & DETAILED real estate experiences that provide value to the community. North Town Partners seeks to bring another such experience to the Watertown community with *THE OXBOW*



*Figure 1: Proposed Community Logo*

## PROJECT NARRATIVE

### Project Introduction

North Town Partners (North Town) has an agreement in place with CADY EMERALD LLC to acquire the old Johnsonville Meat Processing Plant at the intersection of E Division St. & N 2nd St with the intent to build a 68-unit luxury apartment & townhome community known as The Oxbow.

### Community Overview

North Town’s proposed community includes 68 homes within 3 residential buildings (2 of which share a zero-lot line). The primary buildings will be 4-story apartment buildings (14 units in the south & 51 units in the north). A smaller 3-unit, 3-story townhome building will front along 2nd Street, with an attached garage on the lower level. All buildings will be under single commercial ownership, all units are rentable as a singular multifamily community, and no unit is individually for sale.

A variety of housing types was a guiding principle of this community. 4 Studio, 32 one-bedroom, 18 two-bedroom, and 14 three-bedroom homes will be provided, as detailed in the table inset on the right. However, the Three-bedroom homes will be split amongst traditional apartment style, a hybrid townhome style unit within the apartment building, and a traditional townhome style home along 2nd street.

Type	#	%
3-Bed Townhome	9	13
Studio Apt	4	6
1-Bedroom Apt	32	47
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

## PROPOSED PLANNED DEVELOPMENT DESCRIPTION

### General Project Themes and Images



*Figure 2: Watertown Public Library*

North Town Partners has engaged Abacus Architects to bring the Oxbow project to life. After several visits to Watertown, the project team was inspired by the Public Library, which served as the foundation for the project's theme. The design aesthetic of the Oxbow will reflect clean, classic, and simplistic elegance, skillfully blending elements of historic and classical architecture with modern touches.

Along with the design inspiration, the project team also wanted to incorporate a color palette that would stand the test of time and not select a design trend that would fall out of style within a decade. Again, utilizing the library as an example, a warm neutral palette was selected along with a cream-colored masonry which appears to be the predominant masonry theme in Watertown.

Lastly, the team focused on the active open space to provide an enhanced quality of life & a sense of community that encourages community interaction with the natural and surrounding amenities. The obvious aspect of this is the activation and use of the riverfront to tie the community to the surrounding area. However, this also includes balcony and patio spaces for the units, including large rooftop patios on the tiered, endcap, hybrid townhome units. This also achieved the desired effect of stepping the building down at the periphery to better blend a higher density building into the surrounding residential areas.



Figure 3: Proposed Color Palette

Below is a rendered exterior elevation of the front of the building. Please see Exhibit A for the complete Architectural renderings and material selections of the proposed development and Exhibit B for the Site Plan.



Figure 4: Exterior Rendering

*THE OXBOW*

**NORTH TOWN**  
**PARTNERS**

General Mix of Dwelling Unit Types and Land Uses

As mentioned in the Project narrative the general mix of dwelling types is included in the table to the right. Land use will be exclusively Multifamily Residential.

Type	#	%
3-Bed Townhome	9	13
Studio Apt	4	6
1-Bedroom Apt	32	47
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

Residential Densities

The residential density of the proposed development is described by the various intensity calculations below:

- Dwelling Units per Acre [ 38.9 ]
- Floor Area Ratio [ 1.44 ]
- Impervious Surface Area Ratio [ 0.62 ]

Natural Features

As alluded to earlier in the narrative the existing site condition is a vacant, partially paved & graveled site that generally slopes from N 2<sup>nd</sup> Street down to the Rock River. The site was the existing location of a Johnsonville meat processing plant that has since been demolished, filled in, and rough-graded to its current state. Based on Aerial Images and historical records the site was fully improved and impervious to the river except for the NW flag parcel that has since been incorporated into the property.

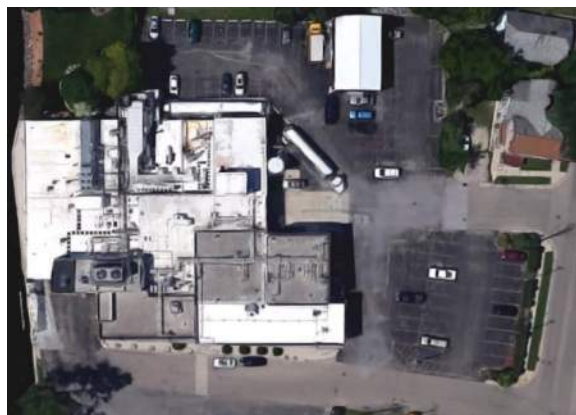


Figure 5: Aerial of Existing Plant



Figure 6: Current Site Conditions

All wet and dry utilities are already available and stubbed into the property given its existing use. Of note, there is a sewer line that crosses under the Rock River along the direction connecting Rock Street to Cole Street and then a lateral extends north running parallel to the river. The proposed building orientation and setback account for this sewer line to ensure no part of the building is over the sewer line and any easement.

Given the sloping topography of the site, the team is proposing a lower parking level, exposed on the west side and underground on the east side. This will allow the community to be developed with reduced impact on the overall mass grading of the site.

Lastly, it should be noted that this property is bisected by the county line separating Dodge and Jefferson counties. Additional considerations are being made to account for this demarcation as it will affect

municipal reporting, voting districts, zoning requirements, etc.

Relationship to Nearby Properties and Public Streets

The site is bounded by a mix of business & single-family homes to the north, Cole Street to the south, N 2<sup>nd</sup> Street to the east, and finally by the Rock River to the west. The table to the right notates the various setback information. To better blend the building into the surrounding residential areas, the apartment building will step down on the edges. The Townhome building will front N 2<sup>nd</sup> Street in a traditional reduced setback nature to provide that sense of urban/suburban living while still providing access to rear-loaded attached garages. A Location Map provided in Exhibit C also provides further details on the surrounding area.

Setback	Feet
North (Side-Residential)	6.4
South (Side-Street)	0
East (Front-Street)	3
West (Rear)	61.4

As part of the development process, North Town partners will seek the discontinuance of the northern half of the Cole Street ROW. Vacating this ROW will allow the community to provide additional Townhome units along N 2<sup>nd</sup> Street, increased setbacks, and better orientation of the overall property. Cole Street will serve as the primary access road to the garage opening to the lower parking level while the main entrance at the surface level will be aligned with the E Division Street extension to the property.

Cohesion to Watertown’s Guiding Principles

The Oxbow will contribute to and reinforce Watertown’s 2040 Vision Statement and its Overarching Plan Recommendations such as:

- Promote high-quality design in any new multi-family, mixed-use, commercial, and industrial development, traditional neighborhood development, and interconnected neighborhoods.
- Facilitate smart growth by utilizing opportunities for redevelopment throughout the city
- Focus investment downtown and along the Rock River
- Encourage redevelopment of brownfield sites

Watertown boasts impressive community assets that enhance its appeal to residential development. Located midway between Milwaukee and Madison, the city sits along the Rock River, featuring an up-and-coming downtown area and a beautiful riverwalk. The Oxbow will seek to tap into these assets and design esthetics, amenities, and connectivity around these features.

The main focus will be the Rock River. The Oxbow will be oriented to maximize views of the Rock River, both to the immediate west and the north. A sanitary sewer line running parallel to the river will inherently create a greenspace that will be activated with public-private features. A promenade, grilling stations, a fire pit, and lounge areas will not only provide great community amenities but will also provide access for sanitary line maintenance if required.

Although not located on the main downtown corridor, the Oxbow aims to enhance the overall downtown area. By redeveloping an underutilized brownfield site, the Oxbow intends to serve as a catalytic development that will draw further investment into this part of Watertown. This site is identified in various downtown planning efforts as a key area for pedestrian connectivity. North Town Partners will collaborate with the City to establish a pedestrian corridor anchor and hopes to bring the envisioned riverwalk to fruition.



According to RINKA's Downtown River Corridor Opportunity Analysis & Strategic Development Plan, respondents prioritized high-quality public amenities, investment opportunities, and walkability/connectivity. The Oxbow will address these priorities while leveraging residential density to support existing businesses. The spending power of future residents is expected to bolster local businesses and retailers, contributing to economic and employment growth. Exhibit D presents the estimated annual spending by residents of The Oxbow, showing a total estimated spending by households of around \$5,500,000.

Furthermore, housing demand is significantly driven by the need to provide accommodations for a growing population, along with a variety of housing options for a diverse community. The Oxbow offers a range of new housing options that specifically address these needs for current and future residents. With one to three-bedroom apartment units, hybrid apartment townhomes, and traditional townhome units, the proposed community will attract young professionals, provide new opportunities for current City residents, and allow residents to age and thrive in place.

### Planned Development Rationale

North Town Partners respectfully requests that the City consider this development, as outlined in the accompanying information and drawings. In alignment with the City's overarching principles, North Town Partners aims to create inspired, detailed, and engaged communities that feature dynamic, community-oriented amenities. This approach is designed to enhance the area's character, foster a sense of place, and support future investments. Maximizing the overall density of the community is essential for the financial viability of the project. To ensure a high-quality, well-amenitized, and efficiently managed operation, we are seeking a minimum of 70 to 80 residential units. Achieving this density on a prioritized brownfield redevelopment site of just 1.6 acres presents challenges that conflict with standard zoning regulations. The overall impact of this project is intended to catalyze revitalization in the Downtown River Corridor and fulfill one of the City's top three priorities as outlined in the Comprehensive Plan. To accomplish this goal, North Town Partners is requesting the proposed PD zoning with requested exemptions as listed below.

Zoning Standards Comparison

Listed below are the zoning standards listed for the Central Business District and how they compare to the proposed Planned Development:

**Residential Land Use Standards**

Land Use Standards	Central Business (CB) Zoning	Proposed PD
Multifamily Residential	Not Permitted without a PD	Flexibility Requested
Dwelling units are allowed on the first floor.	Not Permitted without a PD	Flexibility Requested
Landscaping Regulations	See Below & Requested Flexibilities	See Below & Requested Flexibilities
Performance Standards	See Below & Requested Flexibilities	See Below & Requested Flexibilities
Signage Requirements	Flexibility Requested	Flexibility Requested
MR-10: Minimum zoning district area (13,100 sqft)	-	Meets (76,270 sqft)
MR-10: Maximum gross density (10.00 du/acre)	-	Flexibility Requested (38.9 du/acre)
MR-10: Minimum landscape surface ratio (50%)	-	Flexibility Requested (38%)
MR-10: Maximum building coverage (40%)	-	Meets (39%)
MR-10: Maximum accessory building coverage (10%)	-	Meets (4%)
MR-10: Minimum Lot Area (4,350sqft/du = 295,800 sqft)	-	Flexibility Requested (76,270 sqft)
MR-10: Minimum Lot Width (100 feet)	-	Meets (239 feet min)
MR-10: Minimum Street Frontage (50 feet)	-	Meets (50'-6" min)
MR-10: Minimum Setbacks	-	See Below & Requested Flexibilities
MR-10: Required Bufferyard	-	Flexibility Requested
MR-10: Minimum paved surface setback (3 feet from side or rear; 10 feet from street)	-	Meets (20'-8" side; 11'-7" street)

MR-10: Minimum dwelling unit separation (20 feet or 0 feet along common wall)	-	Meets (0' along common wall)
MR-10: Maximum height of dwelling unit (35 feet)	-	Meets (29'-2" townhome top of 3 <sup>rd</sup> floor)
MR-10: Maximum height of accessory structure (18 feet)	-	Flexibility Requested (~41'-6" top of townhome)
MR-10: Minimum number of off-street parking spaces (143)	-	Flexibility Requested (103)
MR-10: Minimum dwelling core dimensions: 24' x 40'	-	Flexibility Requested (18'-6" x 28'-8" min)
Regulations applicable to nonresidential uses.	-	Not Applicable

### Bulk Standards

Zoning District	Minimum Lot Area (sqft)	Minimum Lot Width (ft)	Minimum Setbacks (feet)				Minimum Building Separation (feet)	Maximum Building Height (feet)
			Front / Street; Side	Rear	Side/Rear from Accessory	Pavement		
Central Business	2000	10	Maximum setback of 0 feet or block average, except per Plan Commission as a component of site design; side yard is 10 feet from residential	0/10 <sup>1</sup>	3/5 <sup>2</sup>	0 <sup>3</sup>	Maximum is 0, except per Plan Commission	50; minimum is 20, except per Plan Commission
Proposed PD	70,567	225	3 Front, 4 side (street), 10 side (residential)	64	NA	14	NA	49'-3" - 59'-3"

Notes:

- 1 Ten feet from residential districts
- 2 Accessory buildings shall be three feet from the property line, five feet from an alley
- 3 Five feet from side and rear lot lines, except where modified along district boundary by required buffer yard; see § 550-99; 10 feet from front or street line.

Regarding the parking and loading standards, it's important to note that "within the Central Business (CB) District, the parking requirements of this chapter are hereby waived" §550-107G(4). Nevertheless, the team aims to comply with the guidelines outlined in this chapter to the best of their ability. The proposed standards related to the code are listed in the table below.

**Off-street Parking Layout Dimensions**

Description	Parking lot design standards (90-degree parking angle) (feet)					Parking module width (feet)	
	Stall width at parking angle	Stall width parallel to aisle	Stall depth to wall	Stall length (including 1.5-foot curb overhang)	Aisle width	Wall to wall (single-loaded)	Wall to wall (double-loaded)
Code	9	9	18.5	18.5	26	44.5	63
Proposed	9	9	exceeds	19.5	24	42	60

Below are the Density and Intensity standards comparison tables for review:

**Density Standards**

Zoning District	Development Option	Maximum Gross Density (MGD)	Minimum Lot Area (MLA)	Minimum Zoning District Area	Minimum Landscape Surface Ratio (LSR)
Central Business	Conventional	Up to 50 du/acre per the limits of the conditional use permit	9,000 sf	9,000 sf	0%
Proposed PD	Conventional	38.9 du/acre	70,567 sf	70,567 sf	38%

**Non-Residential Intensity Standards**

Zoning District	Maximum Number of Floors	Minimum Landscape Surface Ratio (LSR)	Maximum Floor Area Ratio (FAR)	Minimum Lot Area (MLA)	Maximum Building Size (MBS)
Central Business	4	0%	3.00	2,000 sf	NA
Proposed PD	4+1	38%	1.44	70,567 sf	27,798 sf

Requested Flexibilities

Given the unique nature of the property and the development proposed, North Town Partners is requesting the following flexibilities listed in the table below within the Planned Development Overlay:

PD OVERLAY REQUESTED FLEXIBILITIES

Flexibility Request	Proposed
Multifamily Residential Use in CB District	Multifamily Residential
Allow 1 <sup>st</sup> Floor Residential	17 units on the first floor above lower parking level
Total Dwelling Units (Apartment Building)	(2) Apartment Buildings of 12 units or more on 2 separate lots; 14-unit building & 51-unit building (65 units total)
Total Dwelling Units (Freestanding Townhomes)	(1) 3-unit townhome building
Maximum Gross Density	38.9 du /acre
Landscaping Requirements & Minimum Landscape Surface Ratio	Landscaping per the proposed landscaping plan (38% LSR)
MR-10 Minimum Lot Area	76,270 sqft
MR-10 Minimum Setbacks	Please see the Attached Site Plan
MR-10 Required Buffer Yard	No buffer yard proposed
MR-10 Maximum Height of Accessory Structure	~41'-6" top of townhome
MR-10 Minimum Number of Off-street Parking Spaces	103 stalls
MR-10 Minimum Core Dimensions	18'-6" x 28'-8" min (Studio)
Direct Access to a residential local or collector street	The lower parking level will have direct access off of Cole St.
Off-street Driveway Widths	24'
Parking Module Widths	42' Single Loaded & 60' Double Loaded
Floor Area Ratio	1.44
Building Height	Currently ranging from 49'-3" to 59'-3"
Waterway Overlay District Setback Requirement	61.4'
Zero Lot Line	(2) MF apartment buildings with zero lot line wall
Zero Lot Line Access Points	Internal Access points between 2 zero lot line buildings (hallways on resident levels and within the parking level)
<b>*Assuming State Variance Approval</b>	
Fire Curtain in the parking level	Eliminate the need for an additional fire curtain in the parking level given the fire rating of the proposed floor system (spancrete)
Signage	Signage per the proposed Signage plan. Given the 2 building, 2 addresses, & 2 building entryways nature of this development, additional signage is being requested



**EXHIBIT A**  
Architectural Renderings  
&  
Material Selections







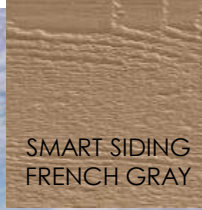




# WATERTOWN APARTMENTS – EXTERIOR MATERIALS



SMART SIDING  
WHITE



SMART SIDING  
FRENCH GRAY



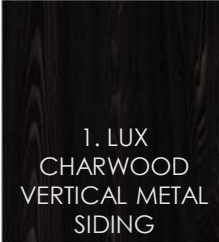
EXTERIOR  
METALS  
BLACK



MANUFACTURED  
STONE  
CASA DI SASSI  
BOLZANO



LUX IRONWOOD  
HORIZONTAL  
METAL SIDING



1. LUX  
CHARWOOD  
VERTICAL METAL  
SIDING



# WATERTOWN APARTMENTS – EXTERIOR MATERIALS



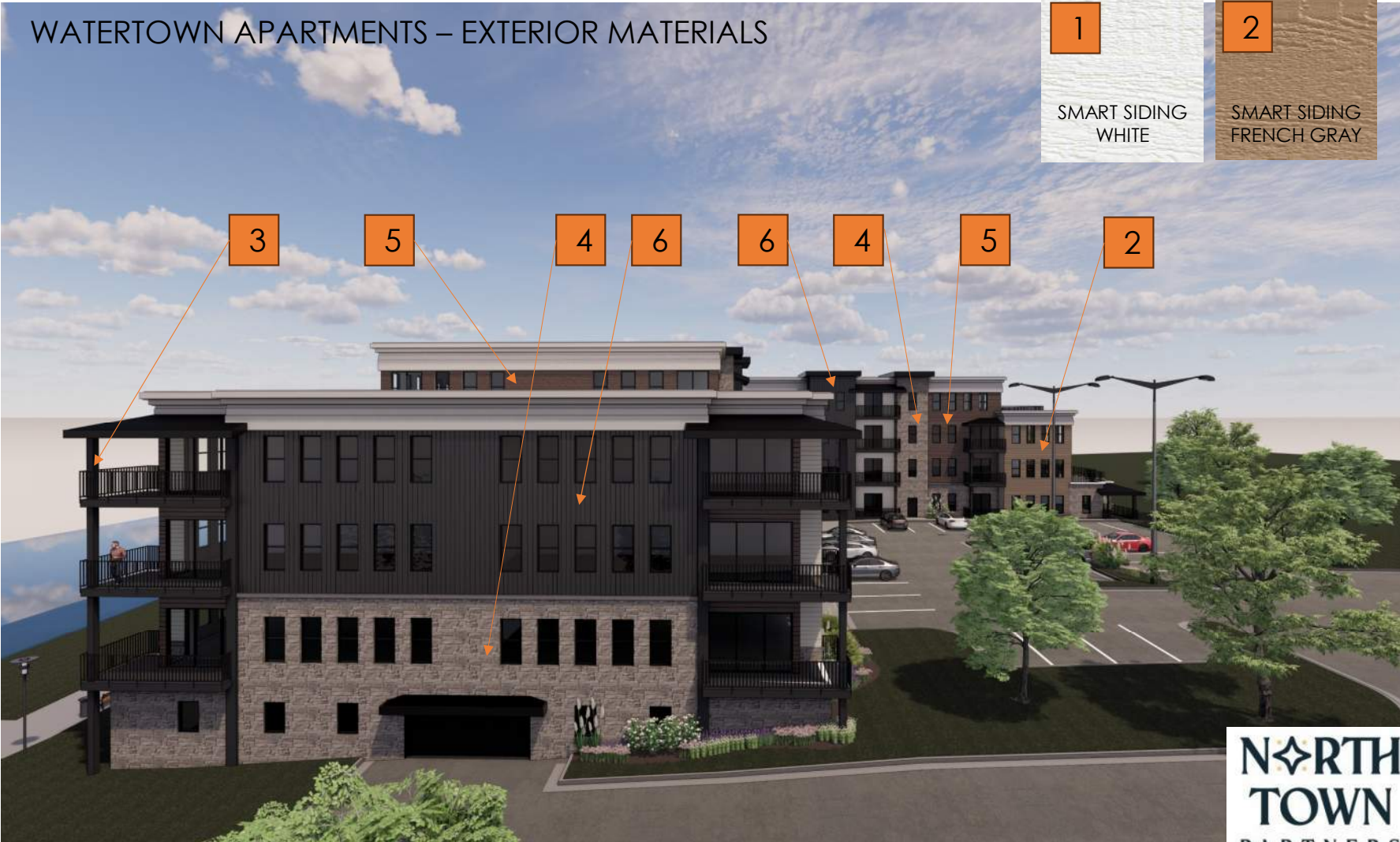
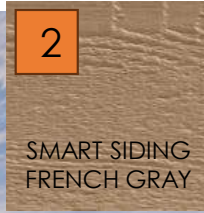
# WATERTOWN APARTMENTS – EXTERIOR MATERIALS



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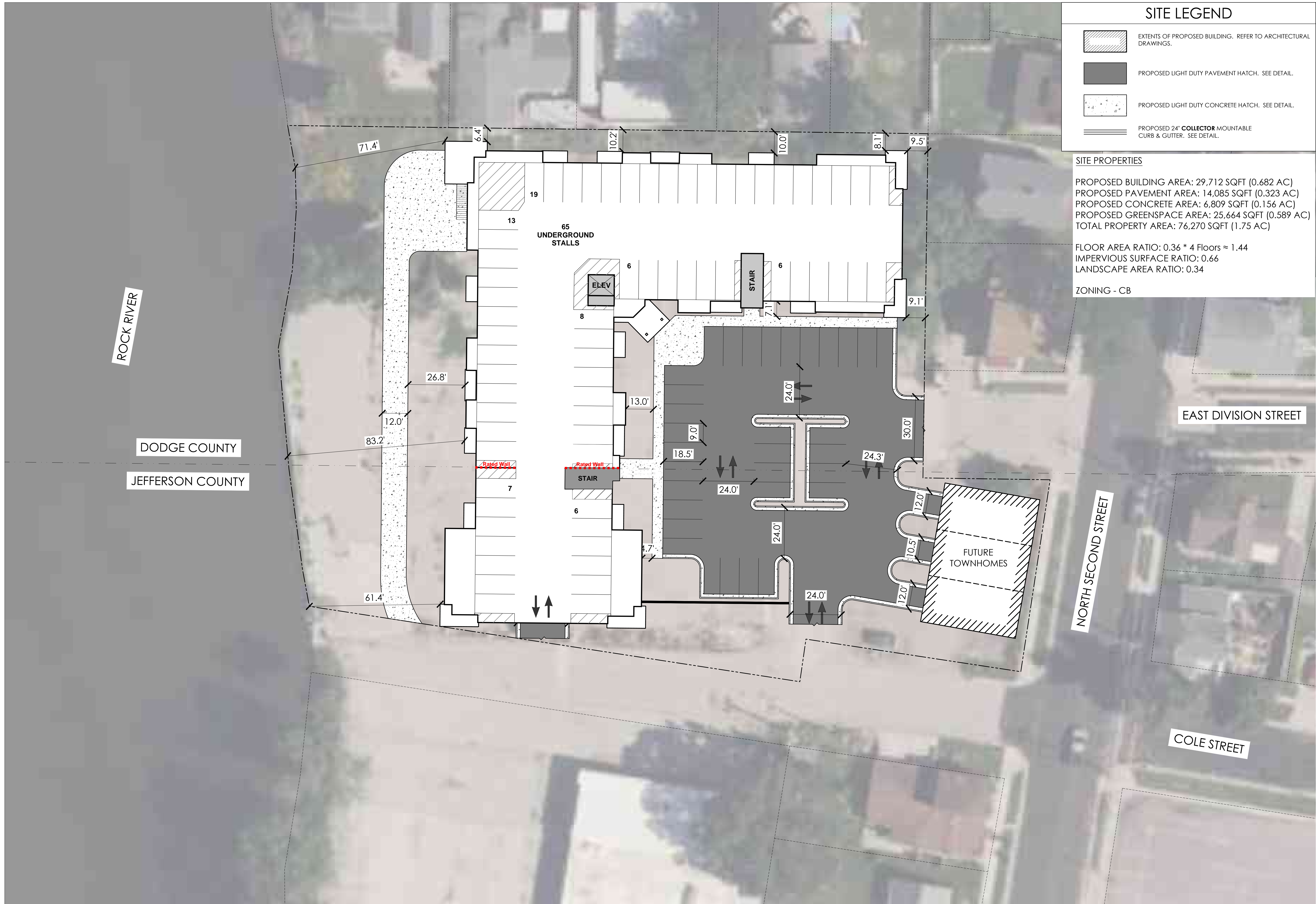
# WATERTOWN APARTMENTS – EXTERIOR MATERIALS





**EXHIBIT B**  
Site Plan with Unit Layouts  
&  
Landscaping Plan

March 12, 2025  
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### SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED 24" COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL.

### SITE PROPERTIES

PROPOSED BUILDING AREA: 29,712 SQFT (0.682 AC)  
 PROPOSED PAVEMENT AREA: 14,085 SQFT (0.323 AC)  
 PROPOSED CONCRETE AREA: 6,809 SQFT (0.156 AC)  
 PROPOSED GREENSPACE AREA: 25,664 SQFT (0.589 AC)  
 TOTAL PROPERTY AREA: 76,270 SQFT (1.75 AC)

FLOOR AREA RATIO: 0.36 \* 4 Floors ≈ 1.44  
 IMPERVIOUS SURFACE RATIO: 0.66  
 LANDSCAPE AREA RATIO: 0.34

ZONING - CB



### REVISIONS:

DATE	ISSUE

NOTICE TO BIDDERS  
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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ROCK RIVER

DODGE COUNTY

JEFFERSON COUNTY

EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

FUTURE TOWNHOMES

65 UNDERGROUND STALLS

ELEV

STAIR

STAIR

LOWER LEVEL PLAN



ISSUE DATE: 03/12/2025  
 NEW CONSTRUCTION FOR:  
**OXBOW APARTMENTS**  
 100 E DIVISION ST., WATERTOWN, WI 53098  
 1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE., SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: MBS

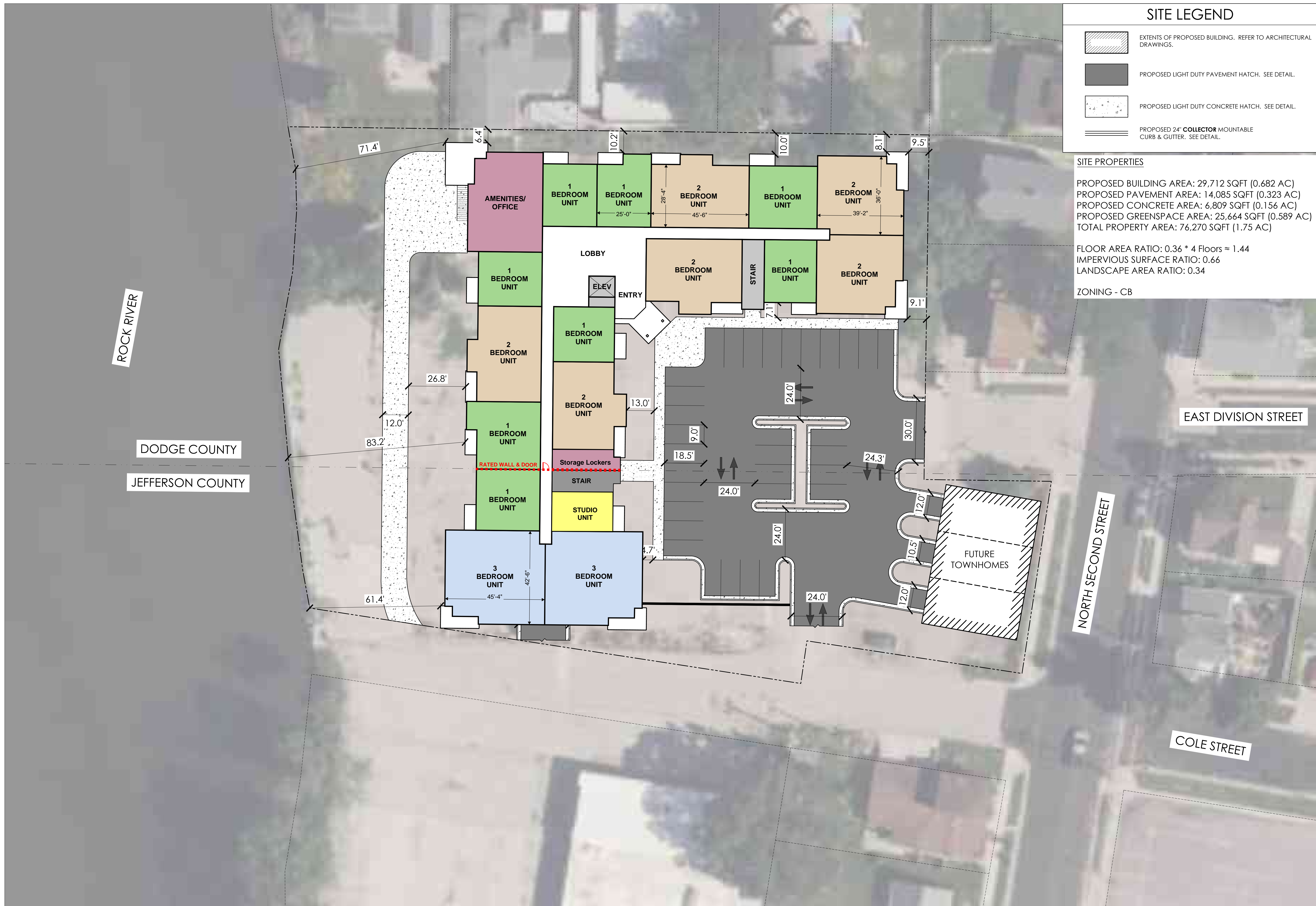
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LOWER LEVEL PLAN

A  
101

PROJ. NO. 2024-171

March 12, 2025  
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ISSUE DATE: 03/12/2025  
NEW CONSTRUCTION FOR:

## OXBOW APARTMENTS

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DRAWN BY: MBS

CHECKED BY: JRV

FIRST FLOOR PLAN

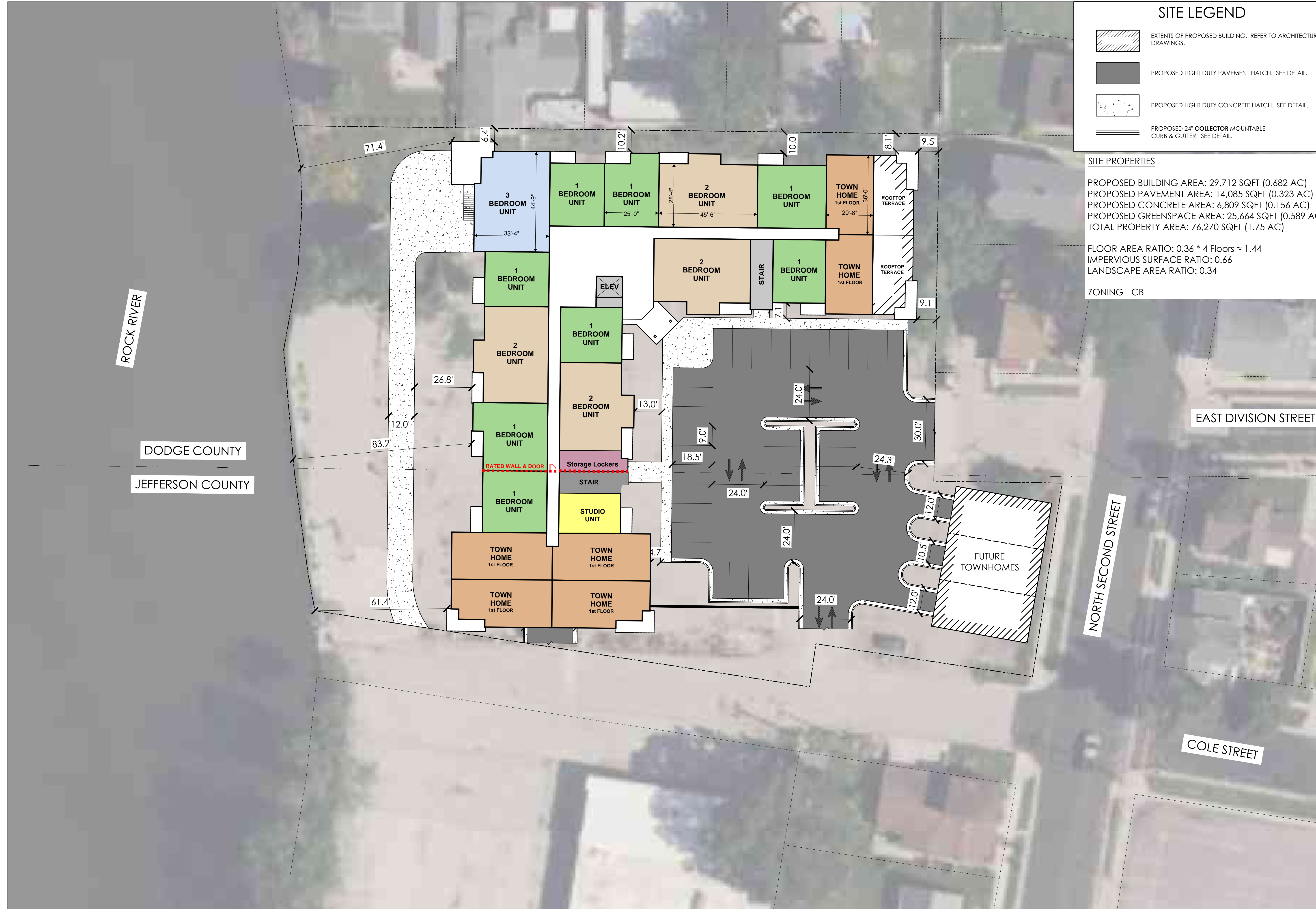
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PROJ. NO. 2024-171

### FIRST FLOOR PLAN



March 12, 2025  
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ROCK RIVER

DODGE COUNTY

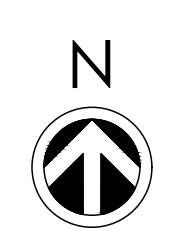
JEFFERSON COUNTY

EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

## SECOND FLOOR PLAN



ISSUE DATE: 03/12/2025  
NEW CONSTRUCTION FOR:

### OXBOW APARTMENTS

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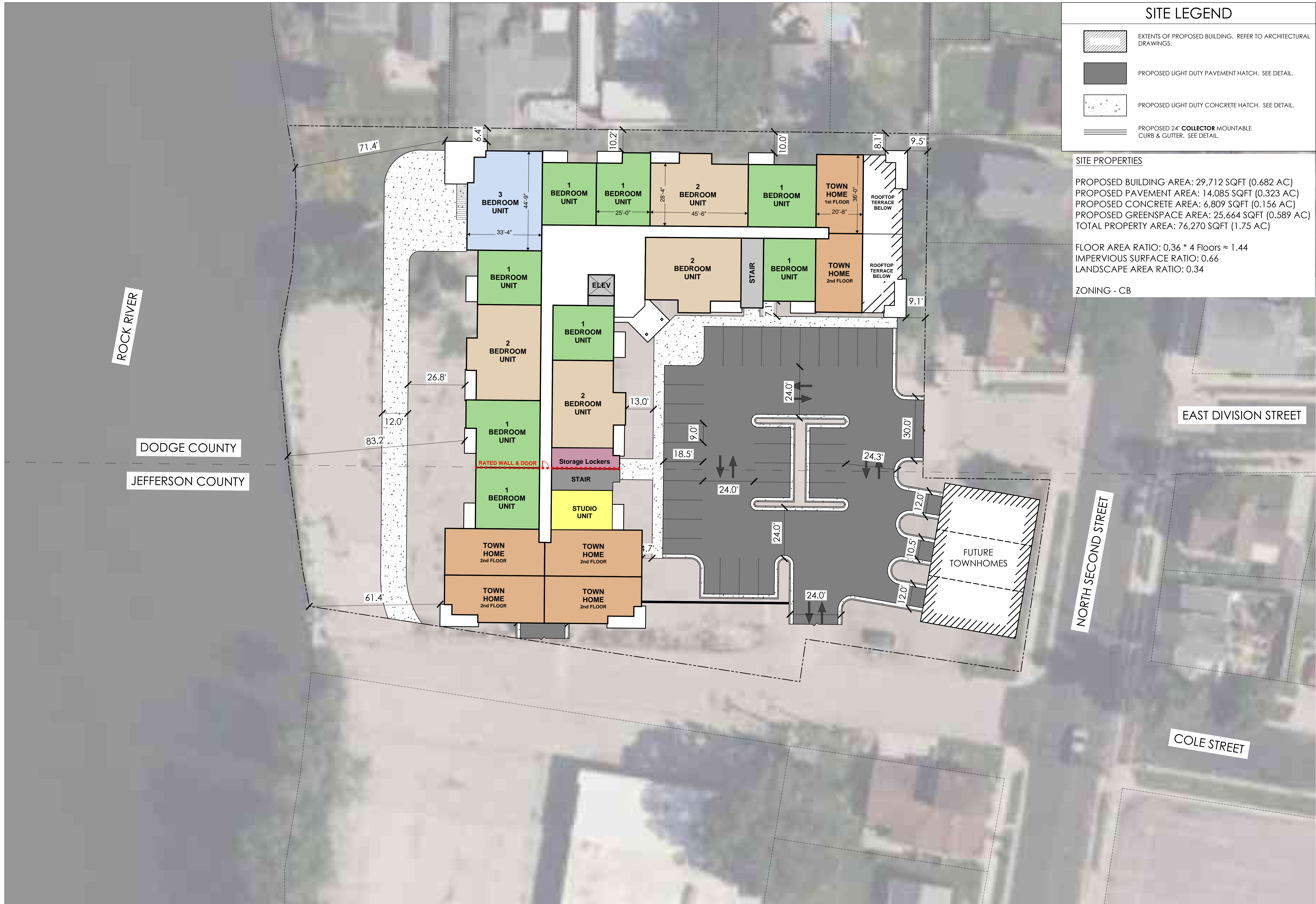
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SECOND FLOOR PLAN

# A 103

PROJ. NO. 2024-171

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 March 12, 2025



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ISSUE DATE: 03/12/2025  
 NEW CONSTRUCTION FOR:

**OXBOW APARTMENTS**

100 E DIVISION ST., WATERTOWN, WI 53098  
 1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE., SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: MBS

CHECKED BY: JRV

**THIRD FLOOR PLAN**

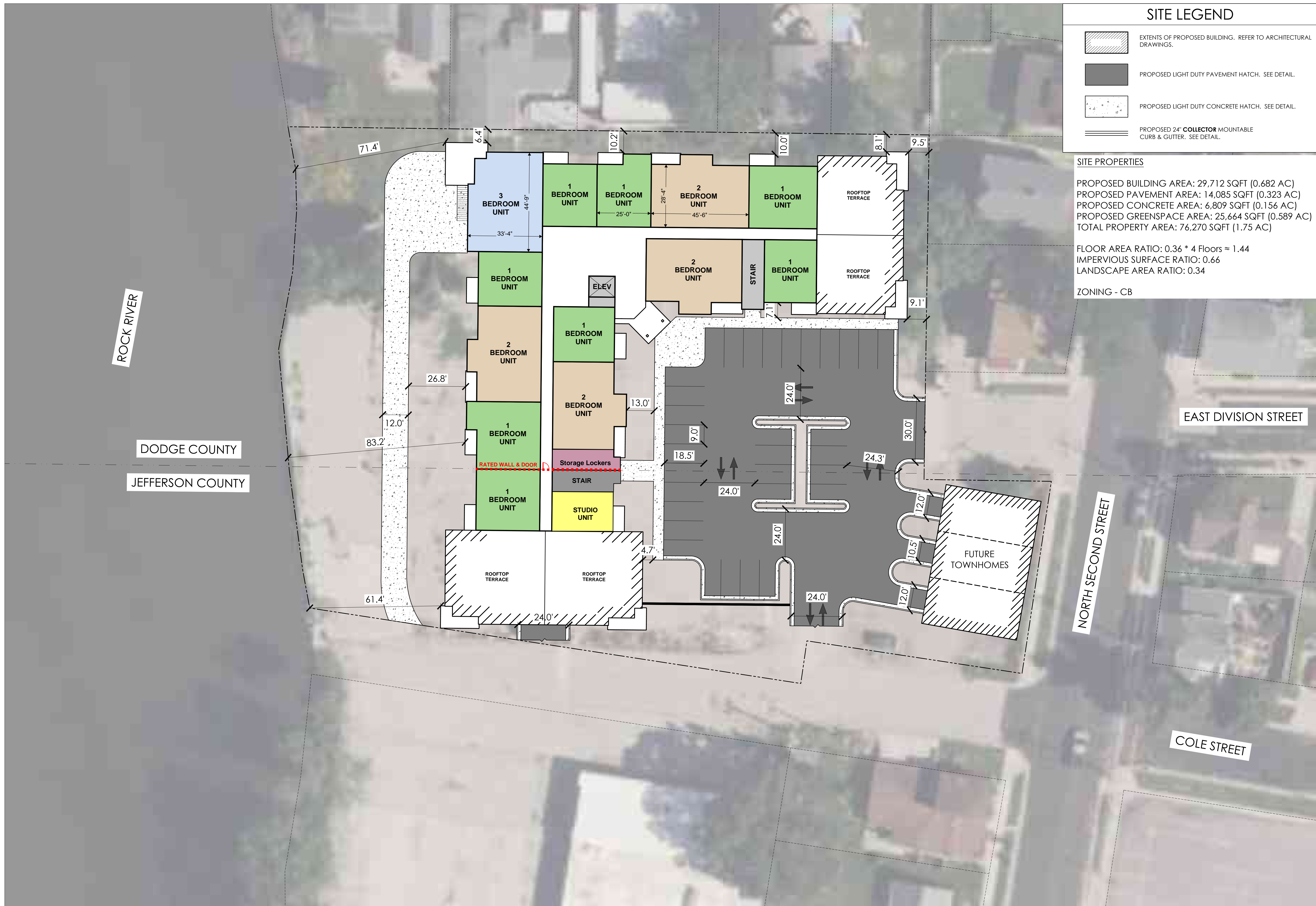
A  
104

PROJ. NO. 2024-171

**THIRD FLOOR PLAN**  
N.T.S.



March 12, 2025  
P:\2024-CONTRACTS\2024-171 Watertown Apartments Phase 1\Phase - 2\Construction Documents\3 Site\2024-171 - Base.dwg



### SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED 24" COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL.

### SITE PROPERTIES

PROPOSED BUILDING AREA: 29,712 SQFT (0.682 AC)  
 PROPOSED PAVEMENT AREA: 14,085 SQFT (0.323 AC)  
 PROPOSED CONCRETE AREA: 6,809 SQFT (0.156 AC)  
 PROPOSED GREENSPACE AREA: 25,664 SQFT (0.589 AC)  
 TOTAL PROPERTY AREA: 76,270 SQFT (1.75 AC)

FLOOR AREA RATIO: 0.36 \* 4 Floors ≈ 1.44  
 IMPERVIOUS SURFACE RATIO: 0.66  
 LANDSCAPE AREA RATIO: 0.34

ZONING - CB



### REVISIONS:

DATE	ISSUE

NOTICE TO BIDDERS  
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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ROCK RIVER

DODGE COUNTY

JEFFERSON COUNTY

EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

FUTURE TOWNHOMES

## FOURTH FLOOR PLAN

N.T.S.



ISSUE DATE: 03/12/2025  
NEW CONSTRUCTION FOR:

## OXBOW APARTMENTS

100 E DIVISION ST., WATERTOWN, WI 53098

1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE., SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: MBS

CHECKED BY: JRV

FOURTH FLOOR PLAN

A  
105

PROJ. NO. 2024-171

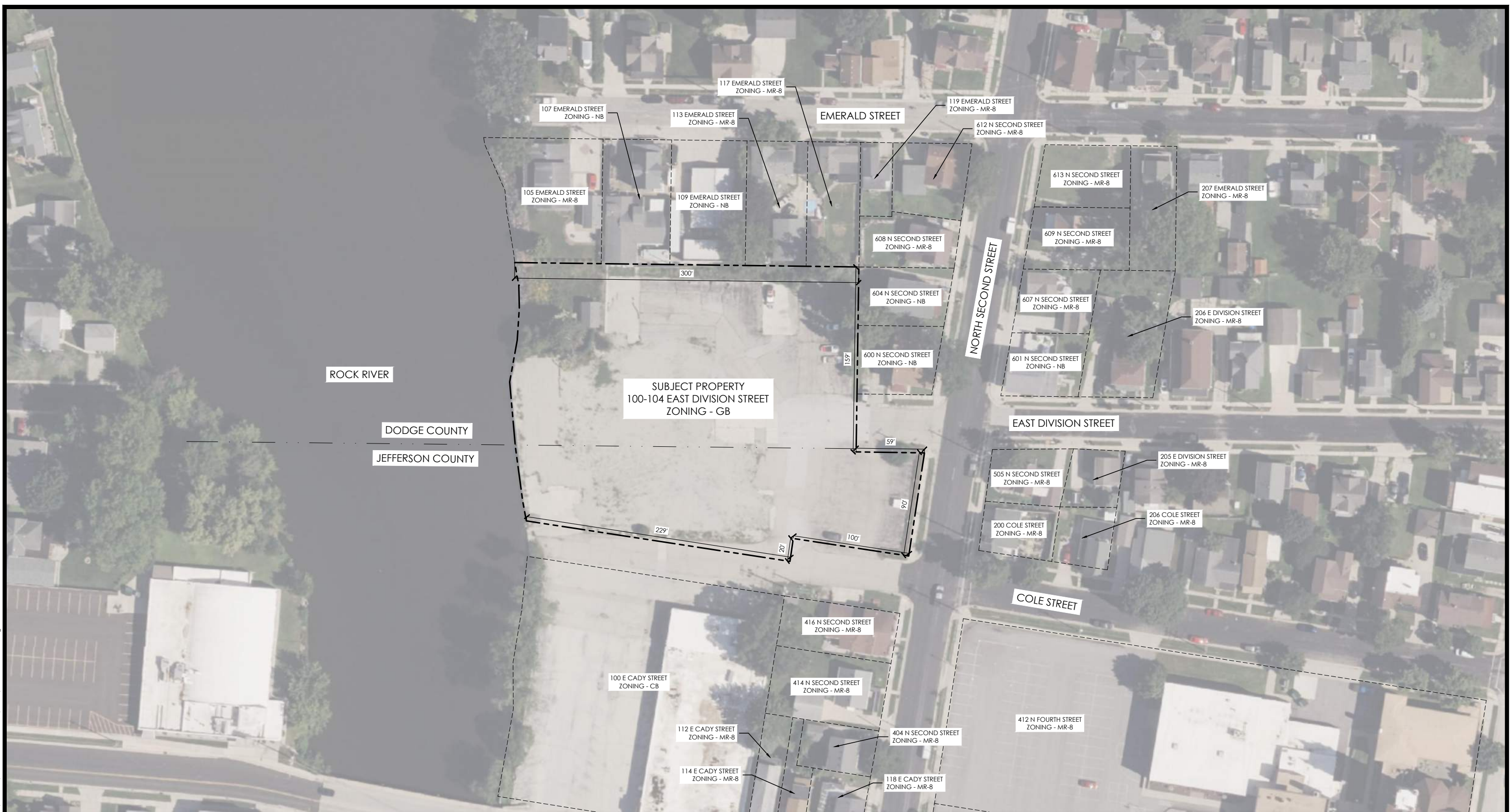


**EXHIBIT C**  
Location Map

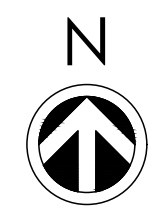


2/19/2025

P:\2024-CONTRACTS\2024-171 Watertown Apartments Phase 1\Phase - 2\Construction Documents\3.3 Site\2024-171 - Site Base.dwg



# LOCATION MAP



SCALE: 1"=80'

February 19, 2025  
**Watertown Apartments**  
 Watertown, WI Proj. No. 2024-171

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**EXHIBIT D**  
Estimated Annual Spending by Residents

# Estimated Annual Spending by Residents

The Oxbow

Watertown, WI

February-25

<i>Catagory</i>	<i>Avg. Annual Expenditure</i>
Food	\$ 10,100
Alcoholic beverages	\$ 626
Housing	\$ 25,758
Apparel and services	\$ 2,036
Transportation	\$ 13,310
Healthcare	\$ 6,263
Entertainment	\$ 3,680
Personal care products and services	\$ 940
Reading	\$ 157
Education	\$ 1,644
Tobacco products and smoking supplies	\$ 391
Miscellaneous	\$ 1,253
Cash contributions	\$ 2,427
Personal insurance and pensions	\$ 9,708
<b>Total Average Annual Expenditures per HH</b>	<b>\$ 78,292</b>

LESS "Homeowner Expenses"	
Mortgage Payment & Basics	\$ 13,811
Maintenance & Remodeling Services	\$ 4,639
Maintenance & Remodeling Materials	\$ 752
Lawn & Garden	\$ 662
<b>Subtotal</b>	<b>\$ 19,864</b>

**SUBTOTAL - Annual Expenditures per Renter Household Excluding Rent** \$ **58,428**

Average monthly rent at The Oxbow	\$ 2,030
PLUS Ave. Annual Rent	\$ 24,360
<b>TOTAL - Annual Expenditures per Oxbow Household</b>	<b>\$ 82,788</b>

Total Homes in the Oxbow Community	69
<b>Adjusted for (95% occupancy)</b>	<b>66</b>
<b>Total Residents (avg. household size of 2.4)</b>	<b>158</b>

**TOTAL Annual Expenditures by The Oxbow Households** \$ **5,500,000**

Source: North Town Partners analysis, Bureau of Labor Statistics & ESRI "Retail Goods & Services Expenditures" report

**EXHIBIT E**  
General Signage Plan



**A** Qty: 1  
 Double Sided  
 Aluminum Monument Sign



<p><b>Marshall Sign</b>                  920.526.3100 • marshallsign.com</p>	<p><small>This is an original unpublished drawing submitted for use in connection with a project being planned for you by Marshall Sign. It is not to be re-produced, copied or exhibited in any fashion without the written permission of Marshall Sign.</small></p>	<p>ACCOUNT: <u>The Oxbow</u>                  LOCATION: _____                  ACCT. REP: <u>Jim Marshall</u>                  DATE: <u>2-19-24</u></p>	<p>REVISIONS</p> <table border="1"> <tr><td>1</td><td>_____</td></tr> <tr><td>2</td><td>_____</td></tr> <tr><td>3</td><td>_____</td></tr> <tr><td>4</td><td>_____</td></tr> <tr><td>5</td><td>_____</td></tr> </table>	1	_____	2	_____	3	_____	4	_____	5	_____
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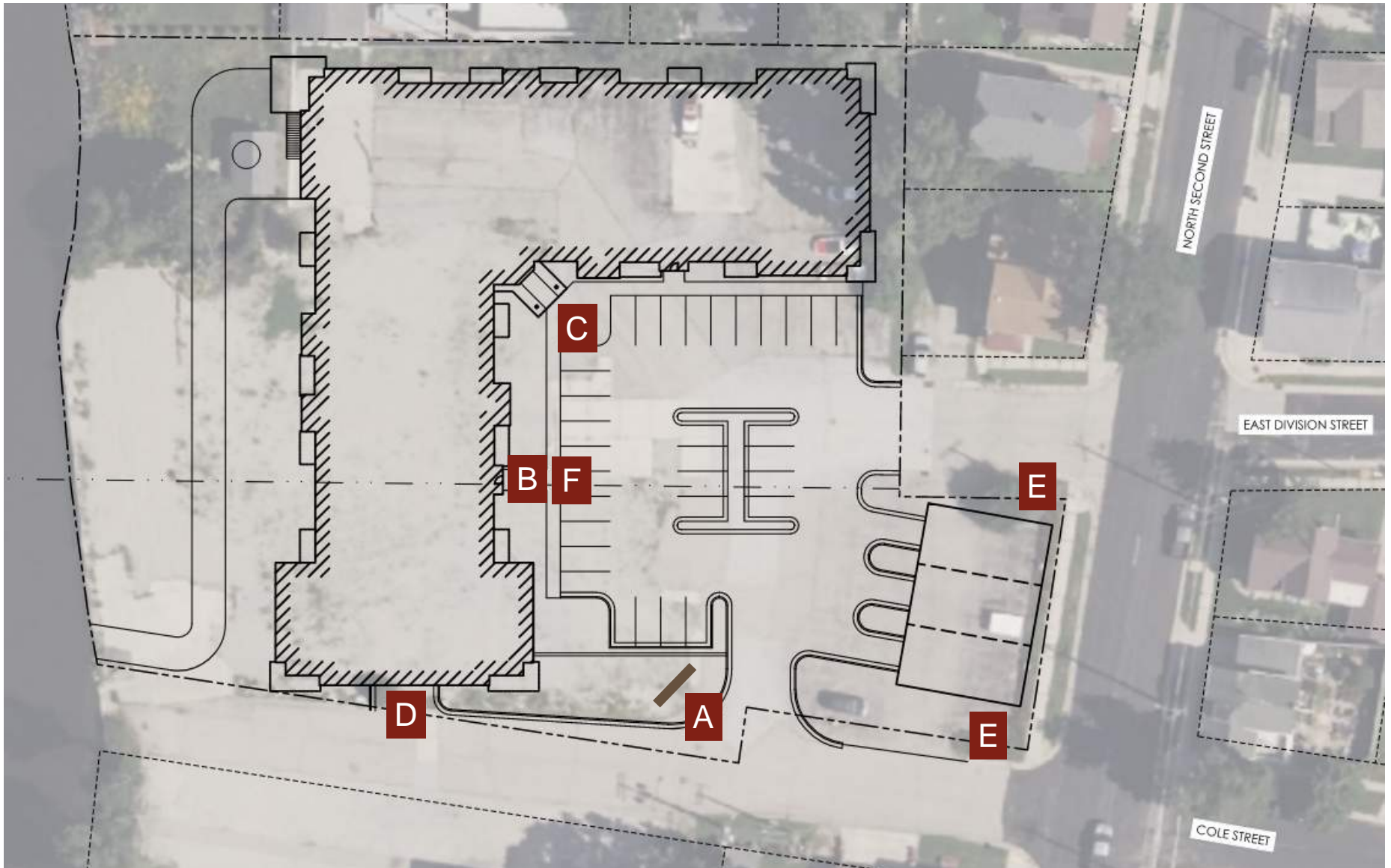


**E** Qty: 1  
Single Sided  
Address Sign



**F** Qty: 1  
Halo Illuminated Letters





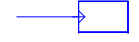
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ACCOUNT: <u>The Oxbow</u>	REVISIONS
LOCATION: _____	1 _____
ACCT. REP: <u>Jim Marshall</u>	2 _____
DATE: <u>2-19-24</u>	3 _____
	4 _____
	5 _____



**EXHIBIT F**  
Lighting Plan

Luminaire Schedule							Luminaire Lumens	Luminaire Watts	Total Watts	LLF
Symbol	Qty	Tag	Arrangement	Label	Description					
	3	S1	Single	ALW_LS210_T5_G2_FSK-6500Lm-40	ALW LS210 T5 G1 FSK-6500Lm-40K	6827	40.94	122.82	0.950	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Lot Line	Illuminance	Fc	0.04	0.5	0.0	N.A.	N.A.
Site Calcs	Illuminance	Fc	0.11	2.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	0.88	1.9	0.1	8.80	19.00



Vertical Lighting + Controls  
558 Plate Dr. Ste. 1  
East Dundee IL 60118



Watertown Apartments

Watertown, WI

REVISIONS

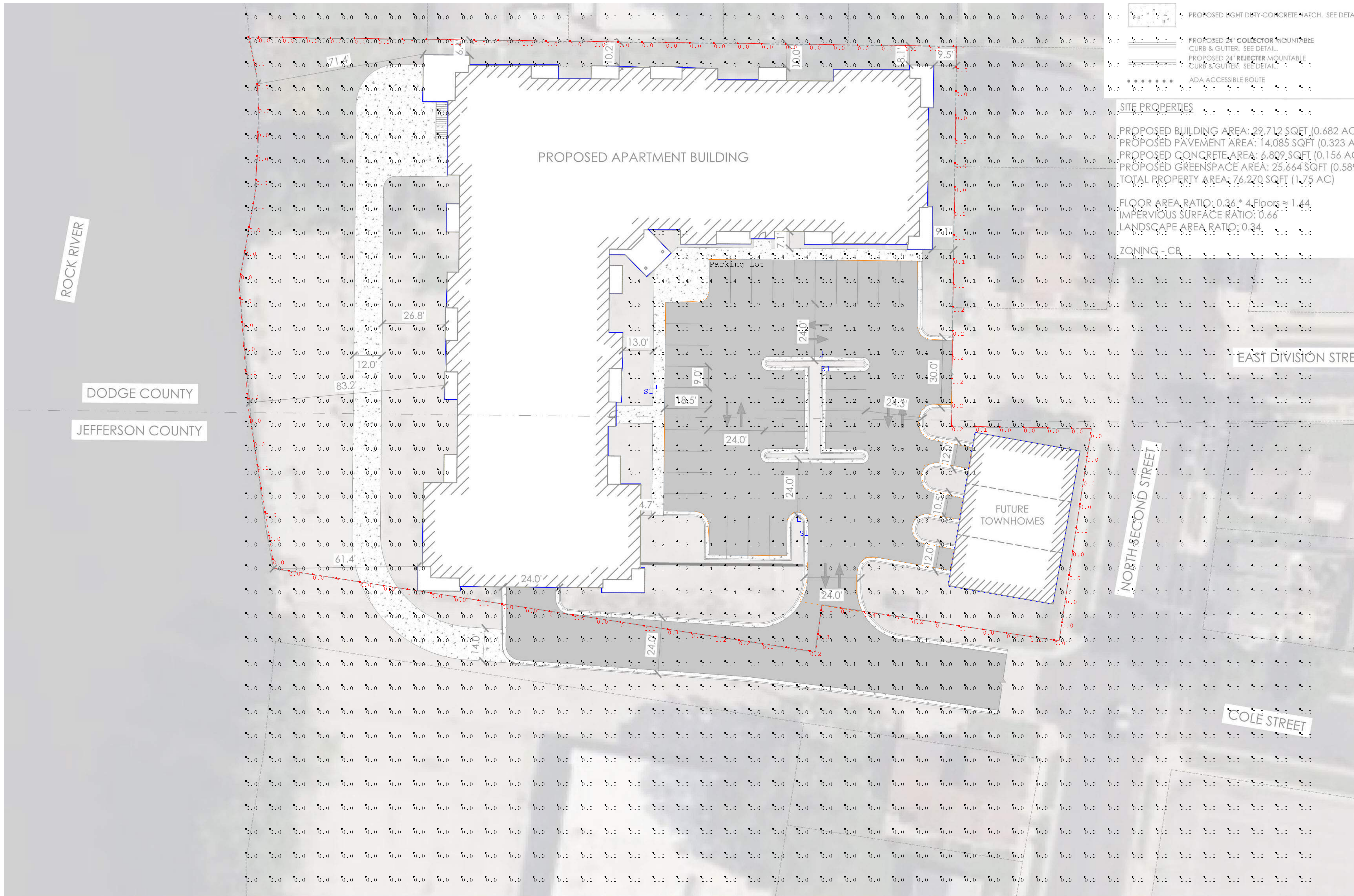
#	Description	Date

FILE NAME	Watertown Apartments - Watertown WI Elevator Lot Layout
MADE BY	ALEC
CHECKED	ALEC
DATE	3/14/2025

LIGHTING PHOTOMETRIC ANALYSIS

PAGE NO.	BID PKG.
1	

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- PROPOSED 1.5% COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL.
- PROPOSED 24" REJECTER MOUNTABLE CURB & GUTTER. SEE DETAIL.
- ADA ACCESSIBLE ROUTE

**SITE PROPERTIES**

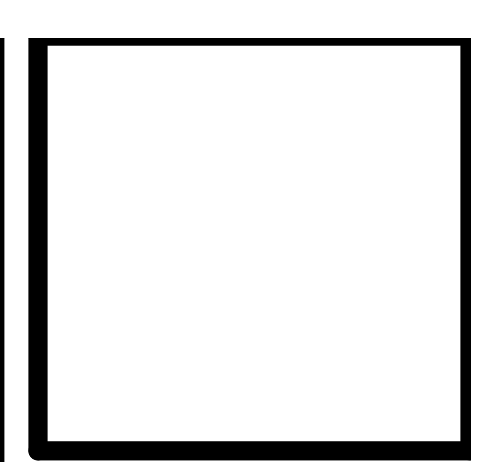
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ZONING - CB

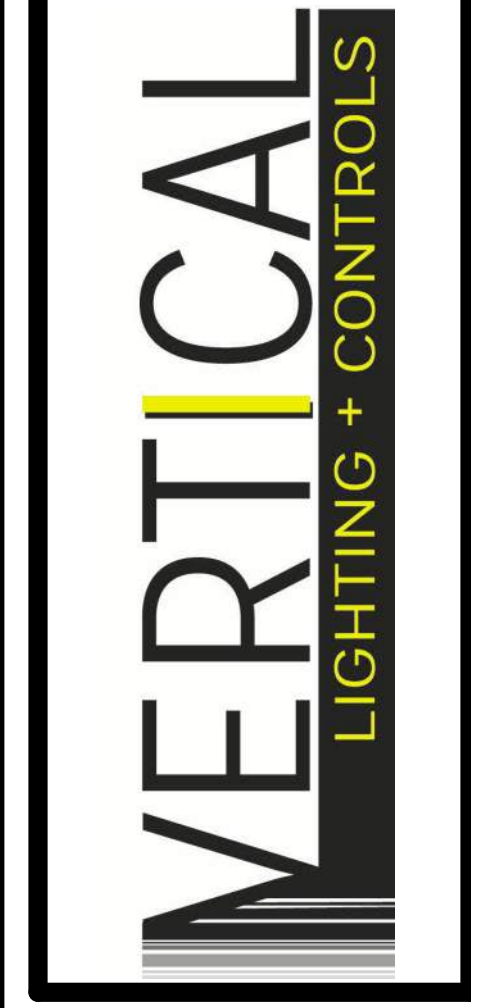
Scale: 1 inch= 15 Ft.

**SITE PLAN**  
 SCALE: 1"=20'



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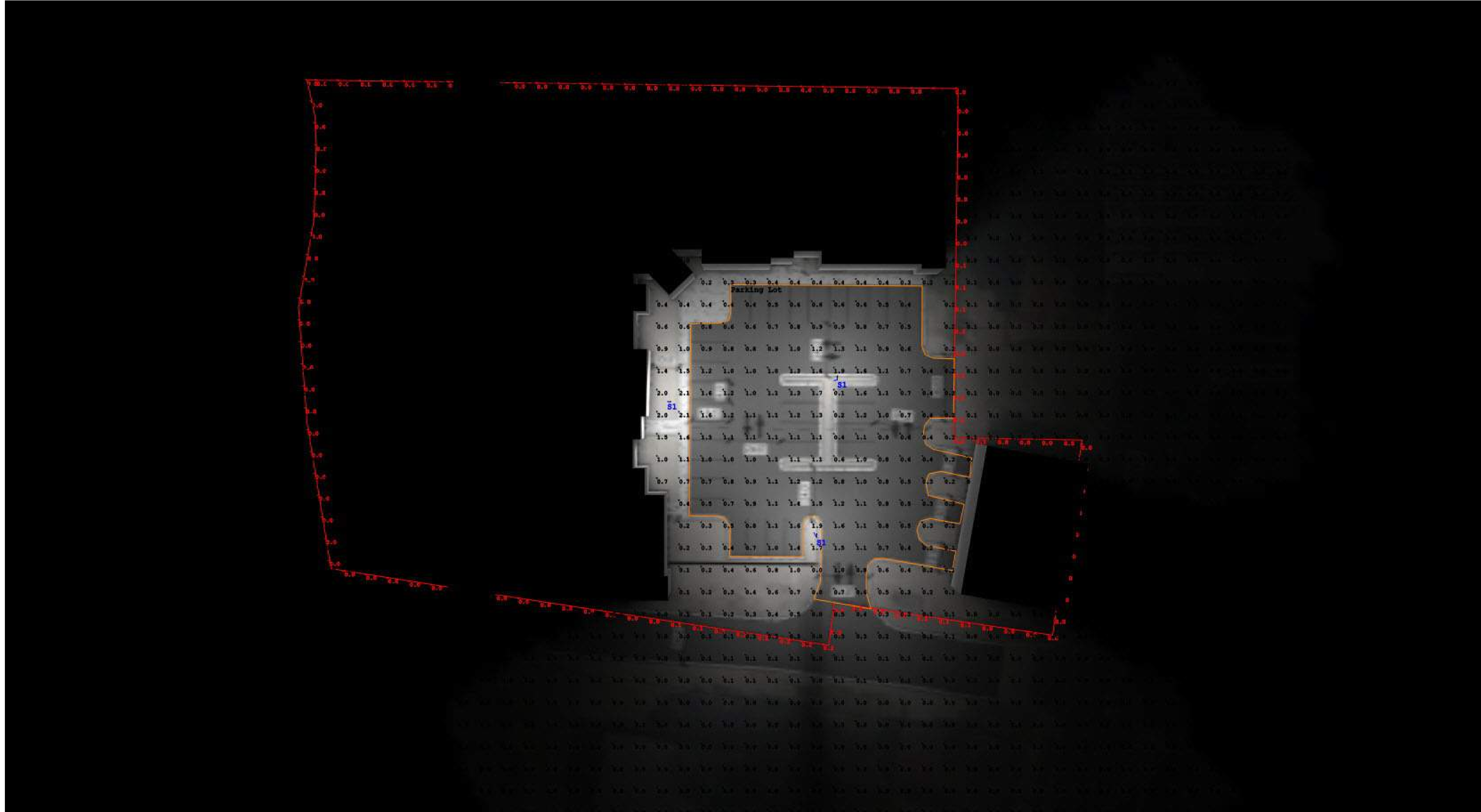
Vertical Lighting + Controls  
 558 Plate Dr. Ste. 1  
 East Dundee IL 60118



Watertown Apartments  
 Watertown, WI

#	REVISIONS Description	Date

FILE NAME Watertown Apartments - Watertown, WI - Electrical Layout	MATCHED	CHECKED
DATE 3/14/2025	ALEC	ALEC
LIGHTING PHOTOMETRIC ANALYSIS		
PAGE NO. 2	REV. NO.	



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Vertical Lighting + Controls  
558 Plate Dr. Ste. 1  
East Dundee IL 60118



Watertown Apartments

Watertown, WI

REVISIONS		
#	Description	Date

FILE NAME	
Watertown Apartments - Watertown WI Exterior Lot Layout	
MADE BY	CHECKED
ALEC	ALEC
DATE	3/14/2025
LIGHTING PHOTOMETRIC ANALYSIS	
PAGE NO.	BID PKG.
3	