

# SPECIAL USE PERMIT PLANS

## FOR

# OAK VIEW NATIONAL BANK

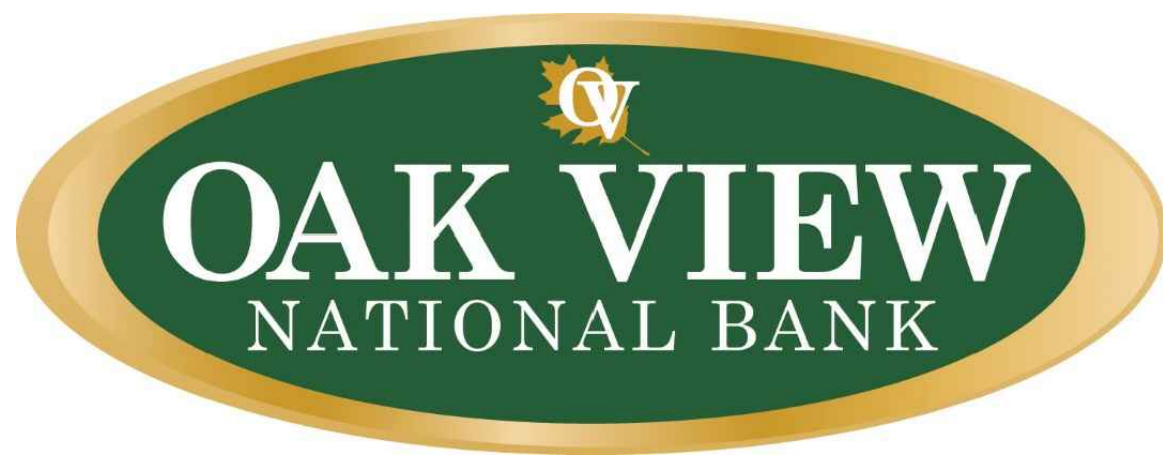
TOWN OF WARRENTON,  
VIRGINIA

PREPARED BY:



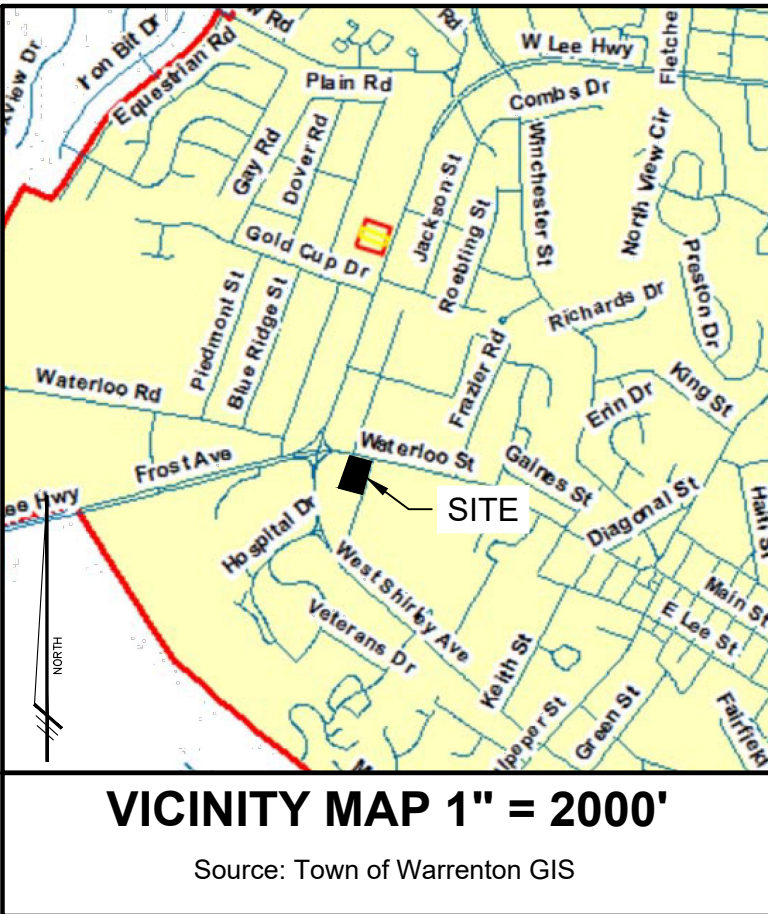
**ENGINEERS, PLC**  
CIVIL - STRUCTURAL - FORENSIC  
7190 Brewster Ln., Suite 100; Warrenton, Virginia 2017  
540-349-7840  
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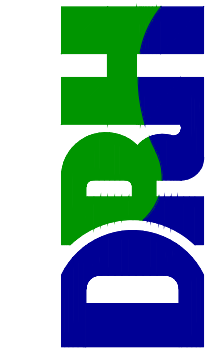
PREPARED FOR:



4174 OLD STOCKYARD RD,  
P.O. BOX 368  
MARSHALL VA 20115

MAY 23, 2022  
REVISED 07/20/22





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REVISIONS  
07/20/22 REVISIONS PER TOWN COMMENTS

COVER SHEET

SPECIAL USE PERMIT PLAN  
FOR  
OAKVIEW NATIONAL BANK  
TOWN OF WARRENTON  
FAUQUIER COUNTY, VIRGINIA

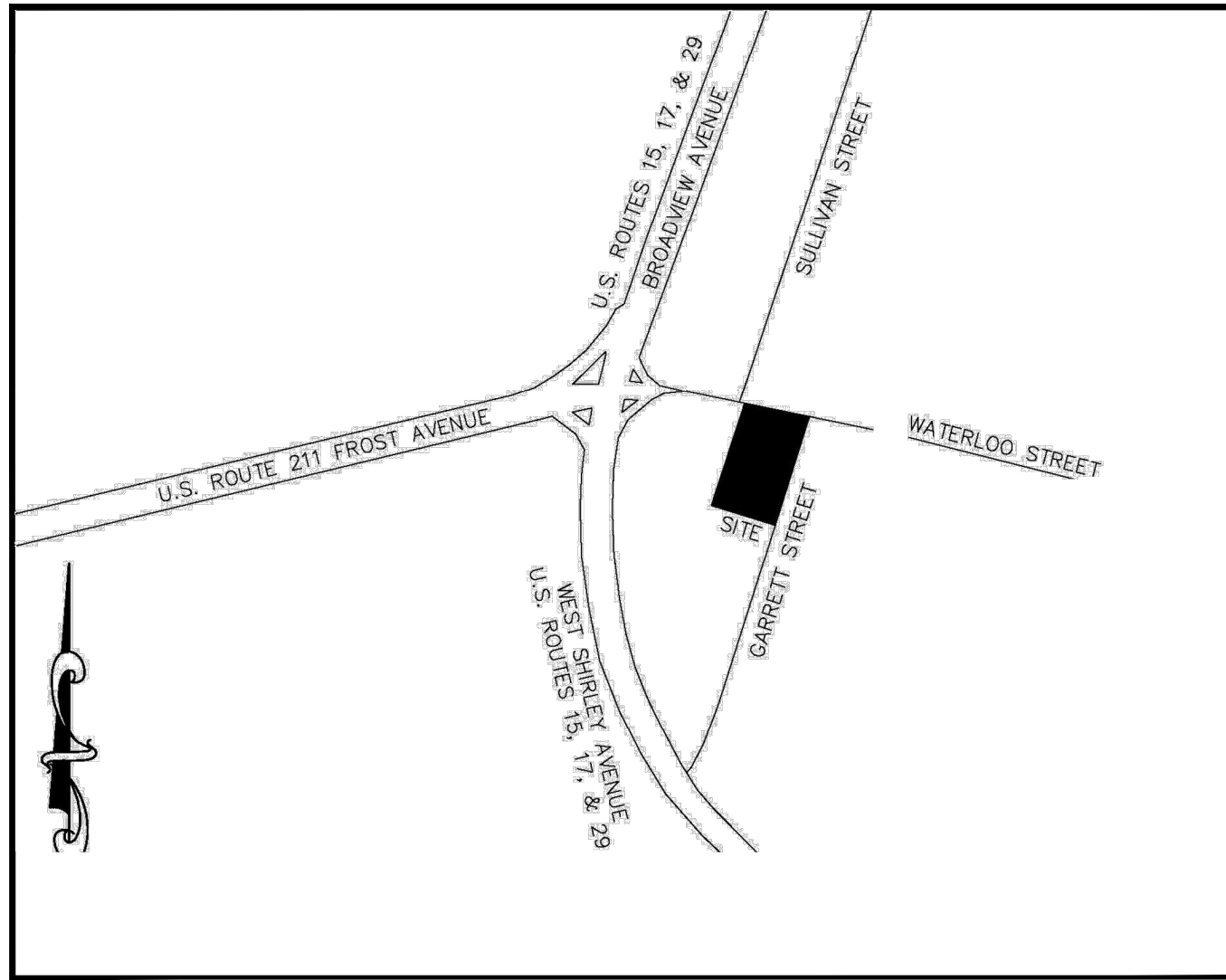


DESIGNED BY:  
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DRAWN BY:  
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CHECKED BY:  
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SCALE:  
AS INDICATED  
DATE:  
05/23/22  
DRH - JOB NO:  
2210662.00  
DRAWING NO:

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SHEET OF





DESCRIPTION OF PARCEL

ALL that certain lot, piece of parcel of land, with all improvements thereon and appurtenances thereunto, belonging, lying and being in the Town of Warrenton Center District, Fauquier County Virginia, known and designated as "MIDDLEBURG BANK", containing 1.23779 acres, more or less, as shown on the plat prepared by William H. Gordon Associates, Inc., Engineers - Land Planners - Landscape Architects - Surveyors, entitled "Plat Showing Street Dedication, Storm Drainage Easement and Sight Distance Easements on the Property of Middleburg Bank, Town of Warrenton Center District, Fauquier County, Virginia," dated February 14, 2006, recorded in the Clerk's Office, Circuit Court, Fauquier County, Virginia, in a Deed Book 1280, page 453, reference to which plat is made for a more particular description of the said property hereby conveyed.

BEING a portion of the same real estate conveyed to Middleburg Bank, a Virginia state chartered financial institution, by Deed from Cheryl Mills Plamer, married, and Peggy Mills Hawkins, married, dated July 12, 2004, in the Clerk's Office, Circuit Court, Fauquier County, Virginia, in Deed Book 1109, 307.

TITLE REPORT:

This survey was prepared in conjunction with title insurance File No. PT17-2102, effective March 2, 2021, issued by American Land Title Association. The property is subject to the following easements and rights of ingress and egress, designated in brackets with the corresponding number in Schedule "B", Section 2 of the above referenced commitment.

- [1-3] not survey related issues
- [4] Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land. shown on survey if any
- [5-8] not survey related issues
- [9] Plat Notes, Storm Drainage Easement and Sight Distance Easements as shown on plat of survey or record in Deed Book 1280, page 453. shown on survey.
- [10] Easement(s) granted TOWN OF WARRENTON, by instrument(s) recorded in Deed Book 1280, page 453 shown on survey
- [11] Easement(s) granted, VIRGINIA ELECTRIC AND POWER COMPANY, by instrument(s) recorded in Deed Book 180, page 70. does not affect subject property

LEGEND

Property Line	○ Telephone Pedestal	⚡ Electric Box
---1000--- Contour	① Telephone Manhole	⚡ Guy Pole
—g— Gas Line	☒ Telephone Box	⚡ Electric Marker
—ohp— Overhead Power	⚡ Fire Hydrant	Ⓜ Electrical Manhole
—ss— Sanitary Sewer and Manhole	⚡ Water Valve	⚡ Utility Pole
— Storm Line and Manhole	⚡ Water Meter	Ⓜ Electric Transformer
— Storm Line and Inlet	Ⓜ Well	⚡ Ground Light
—catv— Underground Cable TV	★ Benchmark	⚡ Light Pole
—uge— Underground Electric	● Bollard	⚡ Fiber Optic Pedestal
—ugt— Underground Telephone	○ Rod Found	Ⓜ Fiber Optic Handhole
—fo— Underground Fiber Optic	□ Monument Found	⚡ Gas Vent
Unknown Utility	Sign (1-post)	○ Gas Valve
Sign (2-post)	⚡ Spot Elevation	⚡ Gas Meter
+1561.3	Ⓜ Deciduous Tree	○ Sewer Clean Out
Ⓜ Evergreen Tree	Ⓜ Shrub	⚡ Wood Post
Ⓜ Concrete	Ⓜ Iron Rod Set	⚡ Metal Post
Ⓜ Top of Wall	Ⓜ To Be Removed	Ⓜ Iron Rod Set
Ⓜ Iron Pipe Found		

STORM TABLE

- ① manhole top-509.79  
24" inv. in-506.09 (SE)  
24" inv. out-504.66 (SW)
- manhole top-518.47  
24" inv. in-513.44 (SE)  
12" inv. in-516.11 (SW)  
24" inv. out-513.11 (NW)
- manhole top-518.50  
12" inv. out-516.15 (NE)
- ④ manhole top-525.97  
24" inv. in-521.42 (SE)  
15" inv. in-523.42 (SW)  
24" inv. out-521.02 (NW)
- manhole top-526.25  
15" inv. out-523.47 (NE)

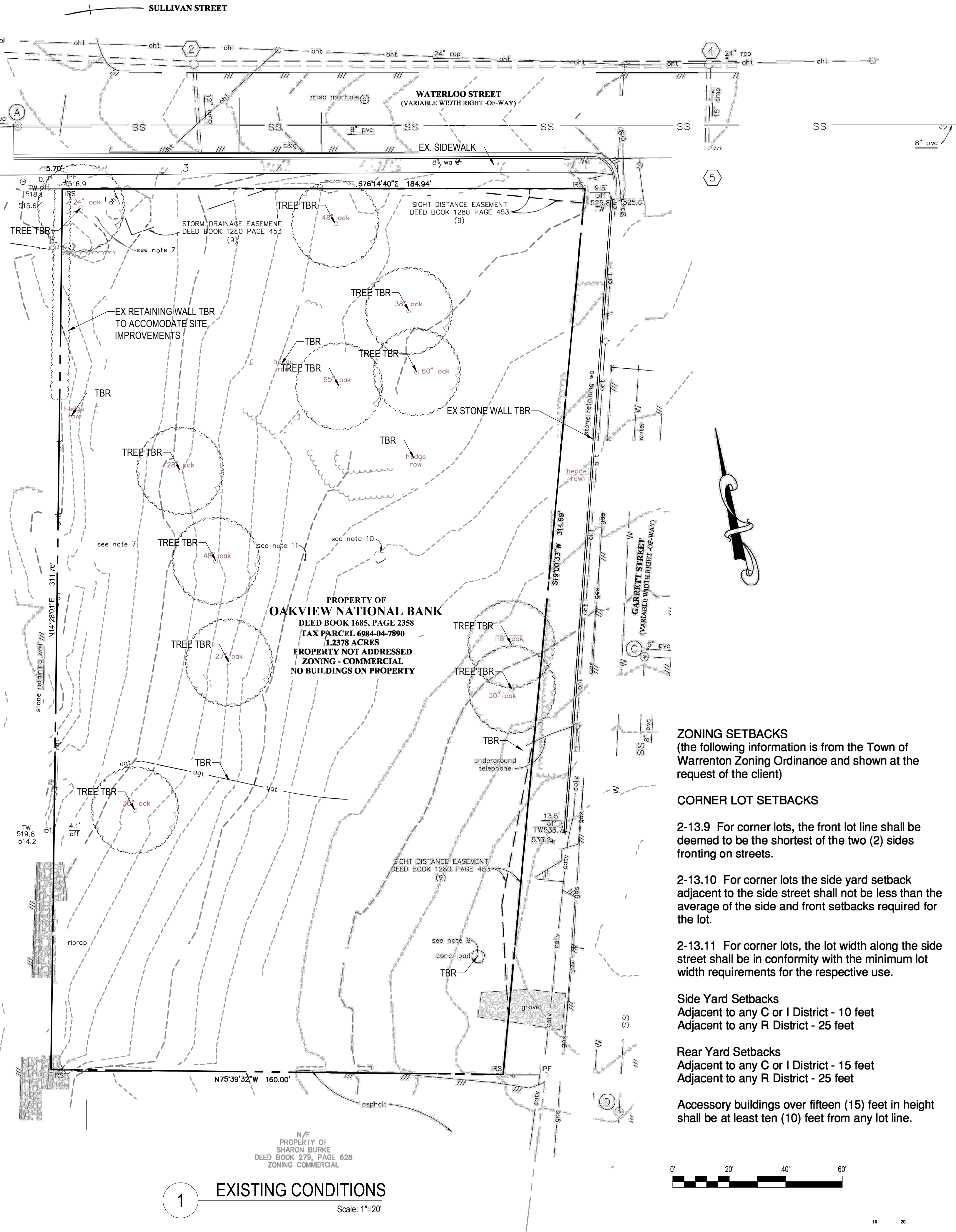
SANITARY TABLE

- Ⓐ manhole top-515.68  
8" inv. in-504.68 (SE)  
8" inv. out-504.36 (NW)
- Ⓑ manhole top-528.74  
8" inv. in-518.09 (SE)  
8" inv. out-517.82 (NW)
- Ⓒ manhole top-530.89  
6" inv. in-526.51 (SE)  
8" inv. out-525.64 (SW)
- Ⓓ manhole top-532.17  
8" inv. in-524.28 (NE)  
8" inv. out-524.12 (SW)

NOTES:

- Source of Meridian: NAD83 based upon: GPS observations.
- Vertical datum: NAVD88 based upon: GPS observations.
- Record measurements are shown in parentheses.
- Utilities shown are based upon: SUE Quality Level B, ASCE 38-02 - field designation of underground utilities performed by DAA in October 2017 and visible evidence in conjunction with compiled records.
- This ALTA/NSPS land title survey was completed under the direct and responsible charge of, Kevin D. Shreiner L.S. from an actual Ground survey made under my supervision; that the imagery and/or original data was obtained 3/17/2021; and that this plat and/or map meets minimum accuracy standards unless otherwise noted.
- Contour interval: 1'.
- The property shown hereon appears to be located in Flood Zone X based on a scaled location on FIRM panel #51061C0308C effective date February 6, 2008.
- There is an overhead utility line with poles that crosses the NW corner of the property and runs down the westerly property line for which there is no easement in the title report.
- Waterline sizes are taken from Town of Warrenton GIS.
- Circular concrete pad with metal pipe flush to ground. Appears to be an old well, but such is unknown.
- Small pile of rocks. Metal finder search of area around rocks did not indicate any type of structure below the surface. It is unknown if an underground object exists.
- Small diameter metal pipe sticking up out of the ground +/-2.5'. Metal finder search of area around pipe did not indicate any type of structure below the surface. It is unknown if an underground object exists. Pipe could not be removed by hand.

THIS SURVEY WAS COMPLETED BY DRAPER ADEN ASSOCIATES DATED 03/23/2021 AND UPDATED 03/21/22.



ZONING SETBACKS  
(the following information is from the Town of Warrenton Zoning Ordinance and shown at the request of the client)

CORNER LOT SETBACKS

2-13.9 For corner lots, the front lot line shall be deemed to be the shortest of the two (2) sides fronting on streets.

2-13.10 For corner lots the side yard setback adjacent to the side street shall not be less than the average of the side and front setbacks required for the lot.

2-13.11 For corner lots, the lot width along the side street shall be in conformity with the minimum lot width requirements for the respective use.

Side Yard Setbacks  
Adjacent to any C or I District - 10 feet  
Adjacent to any R District - 25 feet

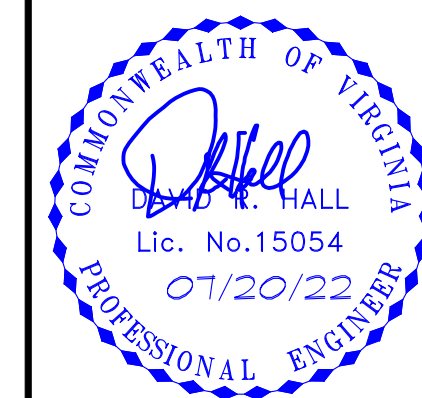
Rear Yard Setbacks  
Adjacent to any C or I District - 15 feet  
Adjacent to any R District - 25 feet

Accessory buildings over fifteen (15) feet in height shall be at least ten (10) feet from any lot line.

REVISIONS
DATE
REVISIONS PER TOWN COMMENTS

EXISTING CONDITIONS & SITE DEMOLITION

SPECIAL USE PERMIT PLAN FOR OAKVIEW NATIONAL BANK



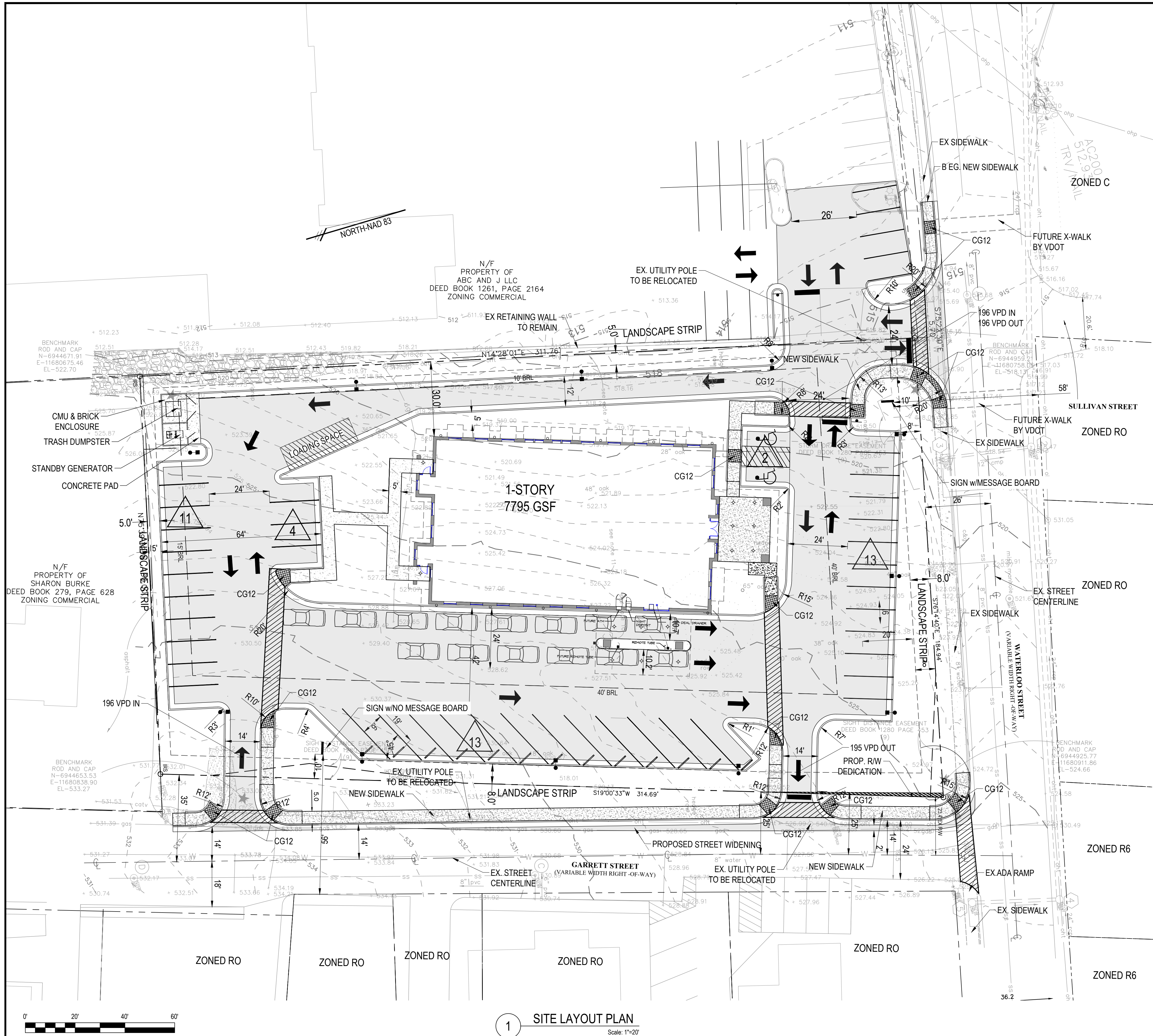
DESIGNED BY: DRH  
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CHECKED BY: DRH  
SCALE: AS INDICATED  
DATE: 05/23/22  
DRH JOB NO: 2210662.00  
DRAWING NO:

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J:\221 PROJECTS\2210662 - Oak View Nat Bank-site plan-new branch-Garrett and Waterloo Streets, Warrenton\dwg\SUP\OAK VIEW SUP PLAN REV01 072022.dwg, SUP-1, 9/11/2022 5:50:07 PM, AutoCAD PDF (High Quality Print).pc3



#### PROJECT NARRATIVE:

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW BRANCH BANK WITH DRIVE THRU LANES LOCATED IN THE TOWN OF WARRENTON AT WATERLOO AND GARRETT STREETS. THE PROPERTY IS OWNED BY OAKVIEW NATIONAL BANK AS RECORDED AT DB 1685 PG 2358.

#### HOURS OF OPERATION:

MONDAY -THURSDAY 8:30 AM UNTIL 4:00 P.M.  
FRIDAY 8:30 AM- 6:00 P.M.  
SATURDAY 9:00 A.M. - 12:00 P.M.  
NO ILLUMINATED SIGNS WILL BE ON BETWEEN THE HOURS OF 12 A.M. AND 7 A.M.

#### SITE DATA

- THE IMPROVEMENTS SHOWN ON THESE PLANS ARE FOR THE CONSTRUCTION OF A 7795 S.F. BANK WITH TWO DRIVE-THRU LANES. THE USE OF THE PROPERTY WILL BE BY RIGHT COMMERCIAL (C), HOWEVER THE DRIVE-THRU REQUIRES A SPECIAL PERMIT PER § 3-4-10.3 OF THE TOWN OF WARRENTON ZONING ORDINANCE.
- THE PROPOSED BUILDING WILL HOUSE APPROXIMATELY 26 EMPLOYEES.
- THE PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF WATERLOO AND GARRETT STREETS IN THE TOWN OF WARRENTON, VIRGINIA AND IS SHOWN ON ASSESSMENT PIN# 6984-04-7890-000 AND IS ZONED C (COMMERCIAL) AND CONTAINS 1.2378 ACRES
- THE PROPERTY IS CURRENTLY OWNED BY OAKVIEW NATIONAL BANK. AS RECORDED IN DB 1685 PG 235 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA
- THIS PARCEL DOES NOT LIE WITHIN ANY KNOWN 100 YEAR FLOOD HAZARD AREA.
- THIS PROPERTY IS LOCATED IN THE CENTER MAGISTERIAL DISTRICT, TOWN OF WARRENTON ON AT THE CORNER OF WATERLOO AND GARRETT STREETS.
- ACCESS TO THE SITE WILL BE PROVIDED BY A FULL ENTRANCE AND EXIT ONTO WATERLOO STREET AT THE NORTHWEST CORNER OF THE PROPERTY SHARED WITH THE ADJACENT SHOPPING CENTER AND LINED UP OPPOSITE SULLIVAN STREET. THERE WILL ALSO BE TWO DIRECTIONAL ENTRANCES FROM THE SITE TO GARRETT STREET (ONE INGRESS AND ONE EGRESS).
- SEE SURVEYOR NOTES AND CERTIFICATION ON SHEET EC1 FOR SURVEY DATUM AND TITLE INFO.
- THE CONTACT PERSON FOR THIS SITE PLAN IS:  
DAVID R. HALL, P.E.  
DRH ENGINEERS, PLC  
7190 BREWSTER LANE  
WARRENTON, VIRGINIA 20187  
PHONE: (540)349-7840
- LOT SIZE REQUIREMENTS:  
MINIMUM LOT AREA: 6000 S.F. PROVIDED: 53,918.56 S.F.  
MINIMUM LOT WIDTH: 50 FEET PROVIDED: 150 FEET
- SETBACK REGULATIONS:  
FRONT YARD: 40 FEET (WATERLOO & GARRETT STREETS)  
SIDE YARD: 10 FEET  
REAR YARD: 15 FEET
- AREA REGULATIONS:  
MAXIMUM LOT COVERAGE : 85% (1.09 AC.)  
LOT COVERAGE USED: 73% (0.90 AC.: 39,321 SF.)
- HEIGHT REGULATIONS:  
MAXIMUM ALLOWED: 45 FEET  
PROPOSED BUILDING HEIGHT: 25 FEET
- PARKING REQUIREMENTS:  
BUILDING AREA: 7,795 S.F.  
REQ. PARKING: 1 PER 400 SF = 20  
PARKING PROVIDED: 43 INCL. 2 HANDICAPPED  
LOADING SPACE REQ.: 1 PER 1000 S.F. : 1 PROVIDED  
STACKING SPACES REQ. 12: 14 PROVIDED
- SITE VEHICLE TRIP GENERATION PER ITE TRIP GENERATION MANUAL 11<sup>TH</sup> EDITION.  
AVERAGE TRIPS PER DAY (WEEKDAY) = 100.35 PER 1000 GFA  
TRIPS PER DAY FOR SITE = 100.35 x 7.8 = 782.73 OR 783  
50% ENTERING AND 50% EXITING WITH 50% (392) OF TRIPS AT WATERLOO STREET AND 50% (391) ON GARRETT STREET
- ALL CONSTRUCTION WORK SHALL CONFORM TO TOWN OF WARRENTON STANDARDS.
- ALL GRADING SHALL BE PERFORMED TO MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
- AT TIME OF SITE PLAN, THE FOLLOWING ITEMS WILL BE INCLUDED AND/OR ADDRESSED:
  - THE SITE IS TO BE PLANNED AND DESIGNED AS A REDEVELOPED SITE UNDER THE STATE'S RUNOFF REDUCTION REQUIREMENTS FOR STORMWATER MANAGEMENT (SWM) AND IN COMPLIANCE WITH THE TOWN OF WARRENTON'S SWM ORDINANCE.
  - SITE DRAINAGE WILL BE COLLECTED ON SITE AND DIRECTED TO THE EXISTING INLET ON WATERLOO STREET IN FRONT OF PROPERTY. UNDERGROUND ONSITE DETENTION WILL BE PROVIDED TO MEET THE REQUIREMENTS OF MS-19 AT THE OUTLET TO THE INLET.
  - NEW CG-12 HANDICAP SIDEWALK CURB CUTS WILL BE INSTALLED AT THE SIDEWALK CROSSING OF THE ENTRANCES AS WELL AS ON-SITE SIDEWALK ACCESS.
  - DOMESTIC WATER SERVICE WILL BE EXTENDED FROM EX. 8" WATER MAIN ON WATERLOO STREET. METER WILL BE SET IN GRASS AREA OF RIGHT-OF-WAY.
  - SANITARY SEWER SERVICE WILL TAP INTO THE EXISTING SEWER LINE ON WATERLOO STREET.
  - OVERHEAD UTILITIES WILL BE RELOCATED AS REQUIRED TO ACCOMMODATE THE SITE.

### SPECIAL USE PERMIT PLAN FOR OAKVIEW NATIONAL BANK TOWN OF WARRENTON FAUQUIER COUNTY, VIRGINIA



DESIGNED BY:  
DRH  
DRAWN BY:  
DRH  
CHECKED BY:  
DRH  
SCALE:  
AS INDICATED  
DATE:  
05/23/22  
DRH JOB NO:  
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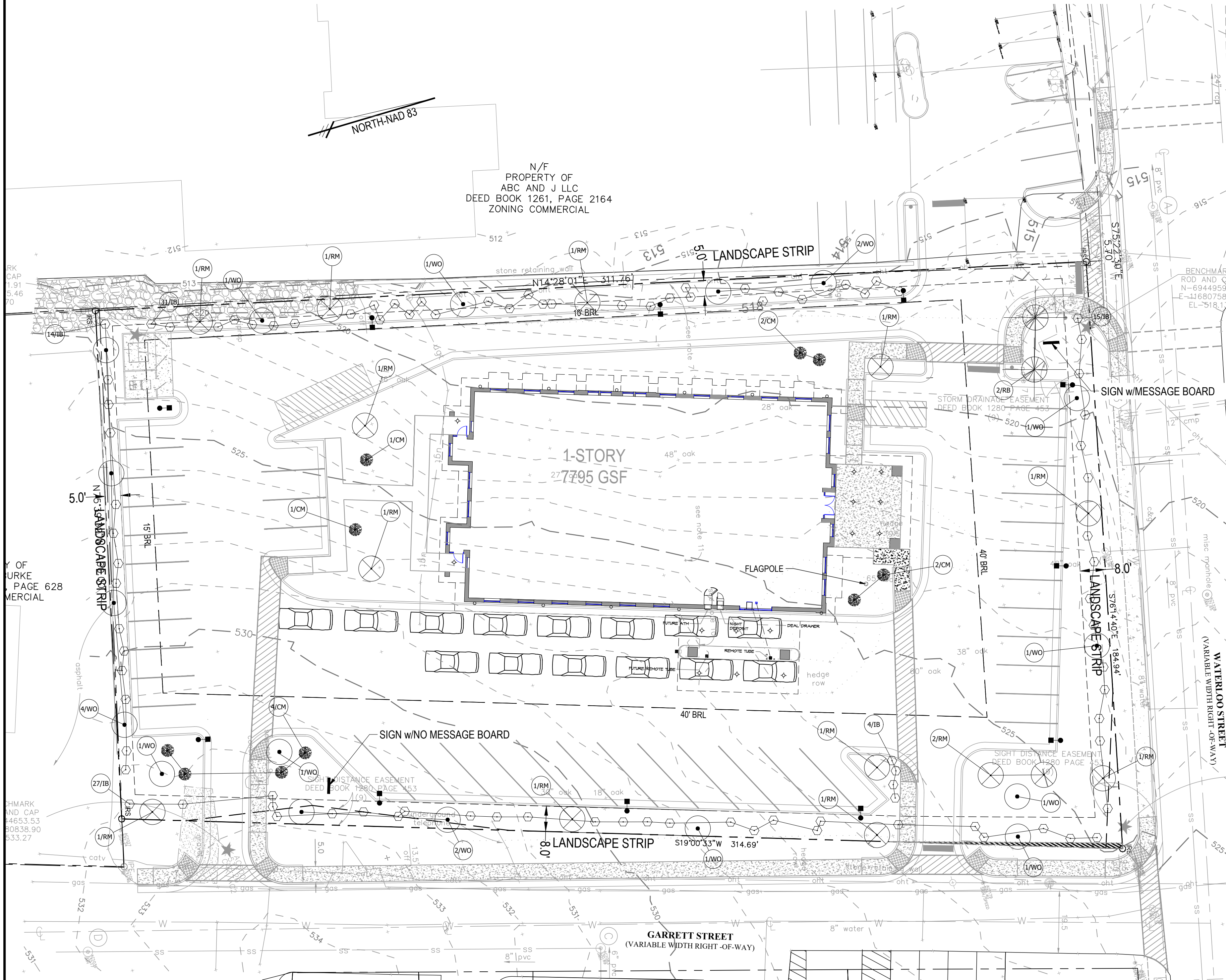
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SHEET OF

REVISIONS  
07/2022 REVISIONS PER TOWN COMMENTS

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PLANT SCHEDULE						
KEY	Quantity	Botanical Name	Common Name	Size	Coverage	Detail
(Symbol)				Height Spread Cal.	(SF)	No.#
17	14	QUERCUS PHellos	WILLOW OAK (RM)	15' 250 3"	--	B&B
2	2	ACER RUBRUM	RED MAPLE (RB)	12' 200 2"	--	B&B
10	10	CERCIS CANADENSIS	REDBUD (CM)	8' 150 --	--	B&B
87	87	LAGERSTROEMIA INDICA	CRISPE MYRTLE (B)	2' -- --	--	1 gal
			INKBERRY OR EQUIV			

NOTE: FINAL PLANT SELECTION SUBJECT TO AVAILABILITY  
(PLANT SELECTION SUBJECT TO TOWN OF WARRENTON STDS)

GENERAL PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "USA STANDARD FOR NURSERY STOCK," LATEST EDITION.
- ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
- CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO INSTALLATION OF ANY PLANT MATERIALS.
- ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 3" SHREDDED HARDWOOD BARK UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND SEEDED.
- OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
- ALL PLANT BEDS SHALL BE CONTAINED WITH A SPADED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTORS CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL APPLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF WARRENTON LANDSCAPE ORDINANCE.
- GENERAL CONTRACTOR IS TO PROVIDE ALL MATERIALS AND LABOR, INCLUDING PLANTS, PLANTER FILL MATERIALS, MULCHES, SOIL PREPARATION, DECORATIVE ITEMS, INSPECTION, TRANSPORTATION, WARRANTY, ETC.
- TOPSOIL TO A DEPTH OF 4" IN ALL AREAS TO BE SEEDED OR SODDED.
- EACH PLANTING BED AREA IS TO RECEIVE A MINIMUM OF 6" OF PREPARED SOIL CULTIVATED TO A 12" DEPTH. PREPARED SOIL SHALL BE MIXED AS FOLLOWS: 2/3 SANDY LOAM TOPSOIL FREE OF ROOTS, ROCKS, WEEDS, AND OTHER DEBRIS AND 1/3 PEAT MOSS OR APPROVED ORGANIC MULCH.
- SOIL ADDITIVES TO BE GRANULAR FERTILIZER OF 1:2:1 RATIO. SOIL OUTSIDE RANGE OF 5.0 - 7.0 pH SHALL BE TREATED APPROPRIATELY TO CORRECT FOR HIGH ALKALINITY OR ACIDITY.
- THE USE OF ON-SITE TOPSOIL MUST BE APPROVED IN ADVANCE BY LANDSCAPE ARCHITECT.
- ALL BEDS TO BE TREATED WITH GRANULAR PREEMERGENT WEED CONTROL PER MANUFACTURER'S SPECIFICATIONS. LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH IN ALL PLANTING BEDS EXCLUDING GROUND-COVER AND PERENNIAL AREAS. USE TREFLAN OR EQUAL AS APPROVED BY LANDSCAPE ARCHITECT.
- SODDED AND SEEDED AREAS SHALL BE PROPERLY PREPARED, FINISH GRADED AND HAND ROLLED PRIOR TO SOD PLACEMENT OR SEEDING. SEEDED AREAS SHALL BE RE-SEEDED AS NECESSARY TO PROVIDE AN EVEN STAND OF GRASS.

LANDSCAPING REQUIREMENTS PER ZO 8.6

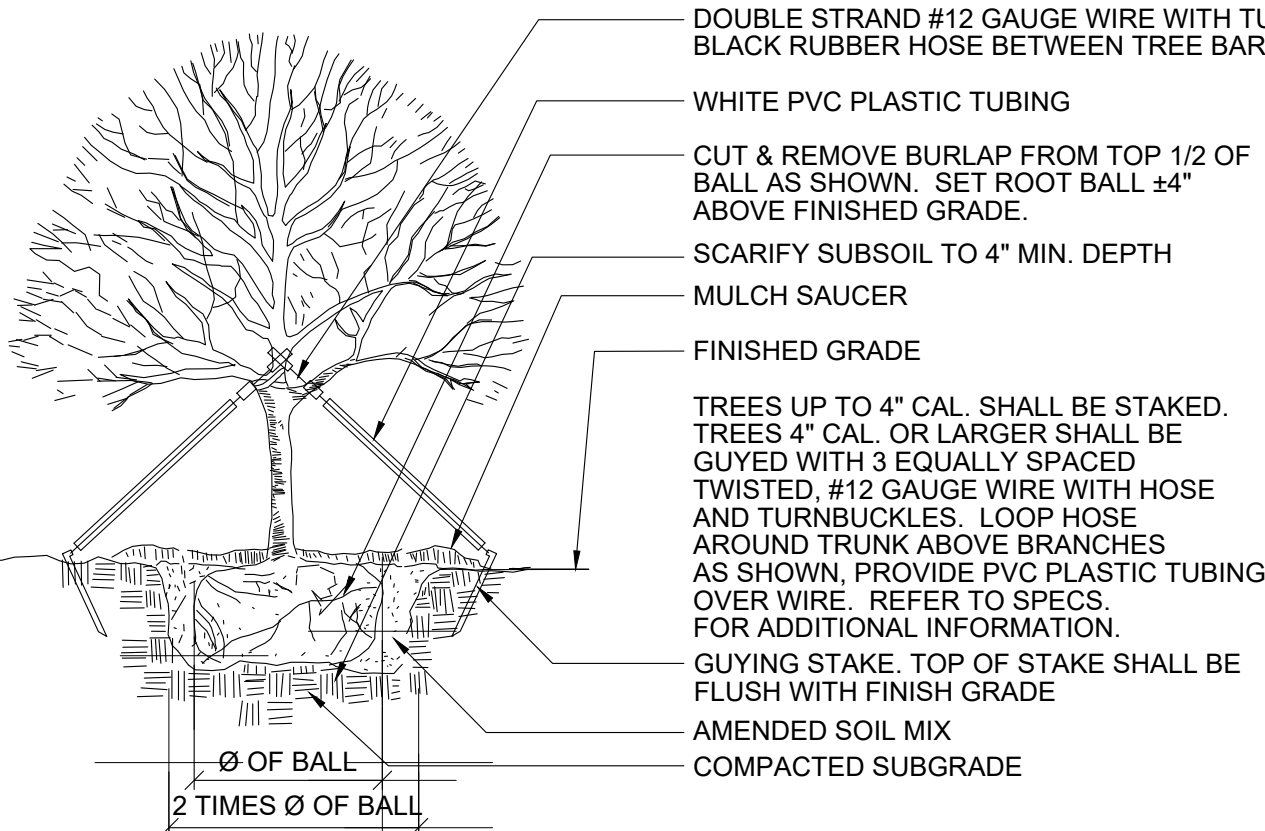
- REQ. PERIMETER LANDSCAPING - 1 TREE AND 3 SHRUBS/50' OF LENGTH  
(PER ZO 8-6.1.3 EXISTING TREES LOCATED WITHIN 10' OF PROPERTY LINE ON ADJACENT PROPERTY CAN COUNT TOWARDS THIS REQUIREMENT)
  - TREES REQUIRED ON WESTERN OR RIGHT SIDE OF PROPERTY=312/50'= 6.24
  - TREES PROVIDED ON WESTERN OR RIGHT SIDE OF PROPERTY = 7
  - SHRUBS REQUIRED = 312/50'x3= 18.72
  - SHRUBS PROVIDED = 31
  - TREES REQUIRED ON SOUTHERN OR REAR SIDE OF PROPERTY = 160/50' = 3.2
  - TREES PROVIDED = 4
  - SHRUBS REQ.= 160/50'x3= 9.6
  - SHRUBS PROVIDED = 14
- REQ. STREET TREES - 1 CANOPY TREE/50' OR TWO ORNAMENTAL TREES /50'
  - GARRETT STREET: 315 FT/50 = 7 CANOPY TREES REQ. SHRUBS PROVIDED: 27
  - WATERLOO STREET: 185FT/50 = 4 CANOPY TREES REQ. SHRUBS PROVIDED: 15
- REQ. INTERIOR PARKING LOT LANDSCAPING 1 TREE AND 3 SHRUBS/8 PARKING SPACES.
  - 43 PARKING SPACES/8= 6 TREES AND 17 SHRUBS
  - PROVIDED 11 CANOPY 10 ORNAMENTAL TREES, AND 40 SHRUBS TBD
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH ORANGE SAFETY FENCE INCLUDING OFFSITE TREES.
- ALL TREES TO BE PLANTED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VIRGINIA NURSERYMEN'S ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS. AT A MINIMUM, ALL TREES PLANTED SHALL HAVE ROOTBALLS ADEQUATE TO ENCLOSE THE ENTIRE ROOT SYSTEM, ALL TREES SHALL BE MULCHED AND STAKED, AND ALL PLANTS SHALL BE WATERED AT TIME OF INSTALLATION.

- PROVIDE A WARRANTY ON ALL WORK FOR A MINIMUM OF ONE YEAR INCLUDING ONE CONTINUOUS GROWING SEASON. COMMENCE WARRANTY ON THE DATE IDENTIFIED IN THE CERTIFICATE OF SUBSTANTIAL COMPLETION. WARRANTY TO INCLUDE COVERAGE OF PLANTS FROM DEATH OR UNHEALTHY CONDITIONS. REPLACEMENT PLANTS SHALL BE THE SAME SIZE AND SPECIES AS SPECIFIED, PLANTED IN THE NEXT GROWING SEASON WITH A NEW WARRANTY COMMENCING WITH THE DATE OF THE REPLACEMENT.
- MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND CONTINUE MAINTENANCE UNTIL TERMINATION OF WARRANTY. MAINTENANCE TO INCLUDE WEEDING, APPLICATIONS OF PESTICIDES, WATERING, TRIMMING AND PRUNING, DISEASE CONTROL, AND MAINTENANCE OF PLANT BRACING EQUIPMENT.

- AREAS TO BE TOP DRESSED
- PRIOR TO ALL SOIL PREPARATION WORK, ALL CONSTRUCTION AND PLANTING IN THE AREA SHALL HAVE BEEN COMPLETED.
  - CLEARING: PRIOR TO APPLICATION OF TOP DRESS MATERIAL, THE GROUND SURFACE SHALL BE WELL DRAINED AND CLEAR OF ALL DEBRIS OR ANY OTHER MATERIAL WHICH MAY HINDER THE PROPER APPLICATION OF SUBSEQUENT MAINTENANCE OPERATIONS.
  - PRECAUTIONS: DO NOT WORK SOIL WHILE FROZEN OR WET. DO NOT WORK SOIL IN A DUSTY CONDITION, BUT MOISTEN TO PREVENT A DUST NUISANCE.
  - AERATE ALL THE TOP DRESSED AREAS, USING A CORE REMOVING AERATOR.
  - ANY BARE AREAS LARGER THAN 1 SQ. FT. SHOULD BE RESTORED TO FINISHED GRADE WITH SCREENED COMPOSTED SEWAGE SLUDGE OR FINE GRADE TOPSOIL (SUBMIT SAMPLE FOR APPROVAL). USE EQUIPMENT AND METHODS COMMON TO SUCH WORK AND TILL SOIL TO THOROUGHLY INCORPORATE THE SCREENED COMPOSTED SLUDGE INTO EXISTING SOIL.
  - SCREENED COMPOSTED SLUDGE: UNIFORMLY APPLY SCREENED COMPOSTED SLUDGE OVER AREAS TO BE TOP DRESSED AT THE RATE OF 1.5 CUBIC YARDS PER 1000 SQ. FT. NO COMPOSTED SLUDGE SHALL BE SPREAD WHICH IS SO WET THAT IT WILL CLOD OR CAKE.
  - FERTILIZER: FOLLOWING THE AERATION PROCESS, APPLY A STARTER FERTILIZER EVENLY AT THE RATE OF 1 CY/1000 SQ. FT. INTO THE TOP 2 INCHES OF SOIL BY CROSS DISKING OR OTHER APPROPRIATE METHOD.
  - SOW SEED ONLY AFTER THE SCREENED SOIL AMENDMENT AND FERTILIZER HAVE BEEN APPLIED AND THOROUGHLY SETTLED BY RAINFALL OR WATERING. OVERSEED LAWN AREAS EVENLY AT A RATE OF 2 LBS/1000 SQ. FT. SEED WITH EQUIPMENT THAT PROVIDES A MULTI-DIRECTIONAL SEEDING PATTERN TO ENSURE PROPER SEEDING RATE AND UNIFORMITY OF SEEDING.
  - MULCHING: AFTER SEEDING, COVER BARE AREAS THAT HAVE BEEN REPAIRED WITH CLEAN WHEAT STRAW. A MINIMUM OF 50% OF THE SOIL SURFACE SHALL BE COVERED UNTIL GERMINATION HAS OCCURRED.

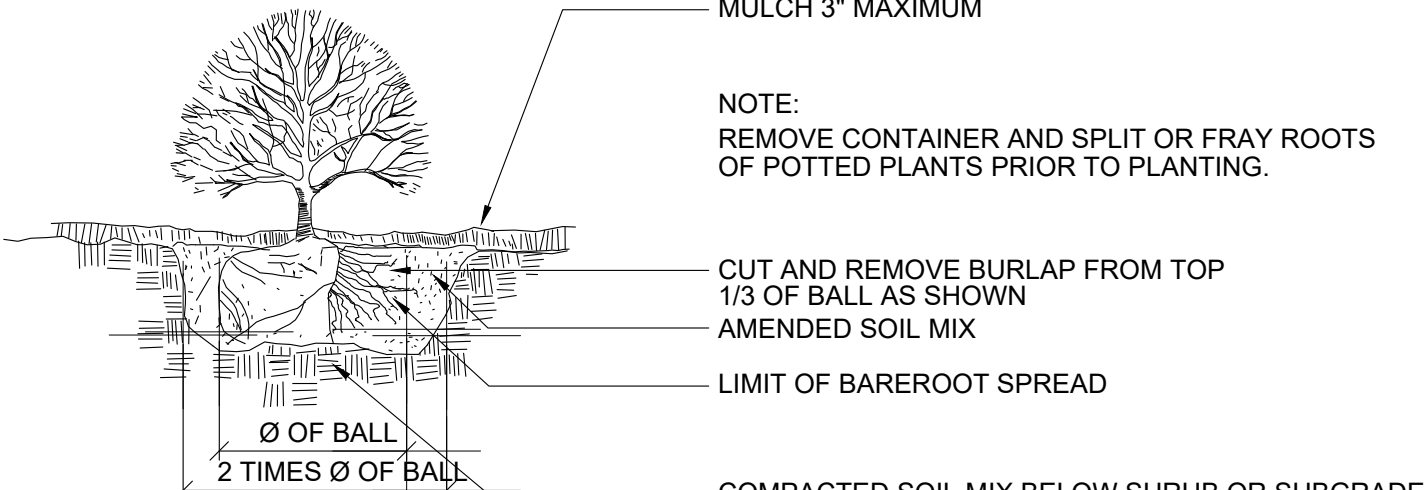
1 LANDSCAPING PLAN  
Scale: 1"=20'

NOTE: ALL EXISTING TREES TBR



2 DECIDUOUS TREE PLANTING ON GRADE

N.T.S.



3 SHRUB PLANTING ON GRADE

N.T.S.

REVISIONS  
07/20/22 REVISIONS PER TOWN COMMENTS

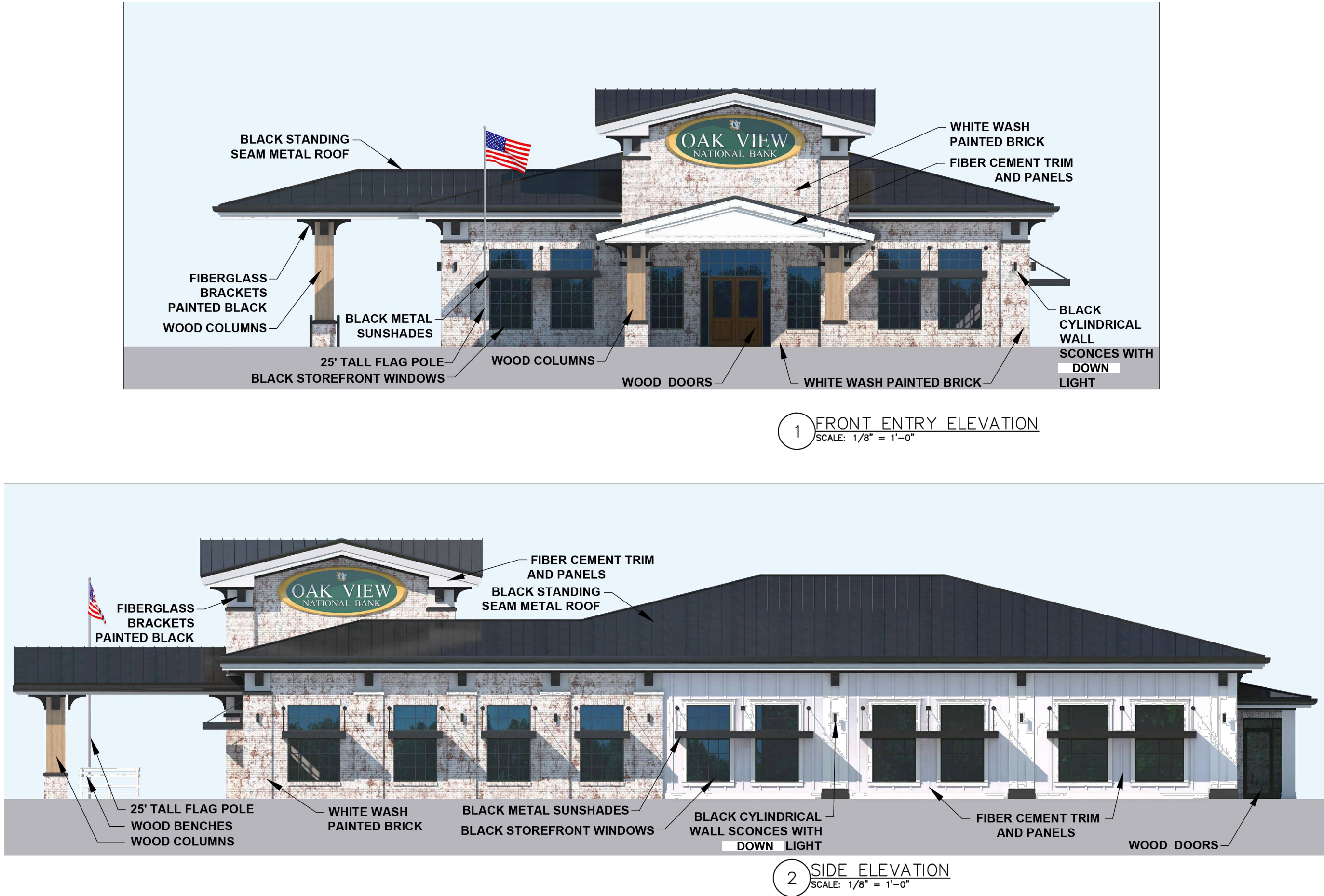
CONCEPTUAL LANDSCAPE PLAN  
SPECIAL USE PERMIT PLAN  
FOR  
OAKVIEW NATIONAL BANK  
TOWN OF WARRENTON  
FAUQUIER COUNTY, VIRGINIA



DESIGNED BY:  
DRH  
DRAWN BY:  
DRH  
CHECKED BY:  
DRH  
SCALE:  
AS INDICATED  
DATE:  
05/23/22  
DRH JOB NO:  
2210662.00  
DRAWING NO:



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OAK VIEW  
NATIONAL BANK  
WARRENTON, VA

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A-2.1



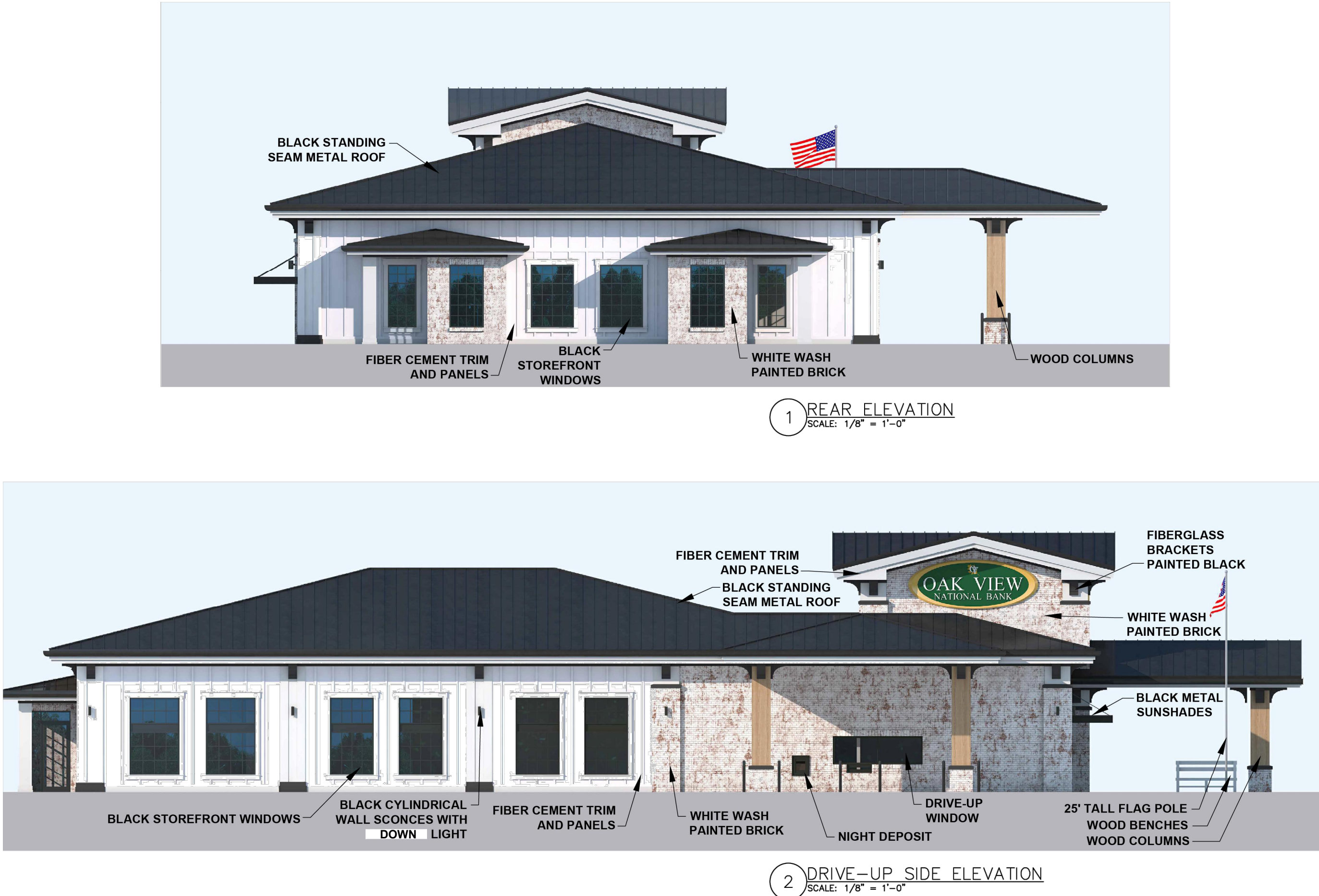
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NOTE: SHOWN BUILDING SIGNAGE IS ILLUSTRATIVE ONLY AND TO BE PERMITTED SEPARATELY



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Sheet  
A-2.2

BUILDING ELEVATIONS  
SPECIAL USE PERMIT PLAN  
FOR  
OAKVIEW NATIONAL BANK  
TOWN OF WARRENTON  
FAUQUIER COUNTY, VIRGINIA



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DRH  
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DRH  
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DRH  
SCALE:  
AS INDICATED  
DATE:  
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DRH JOB NO:  
2210662.00  
DRAWING NO:

SUP-3

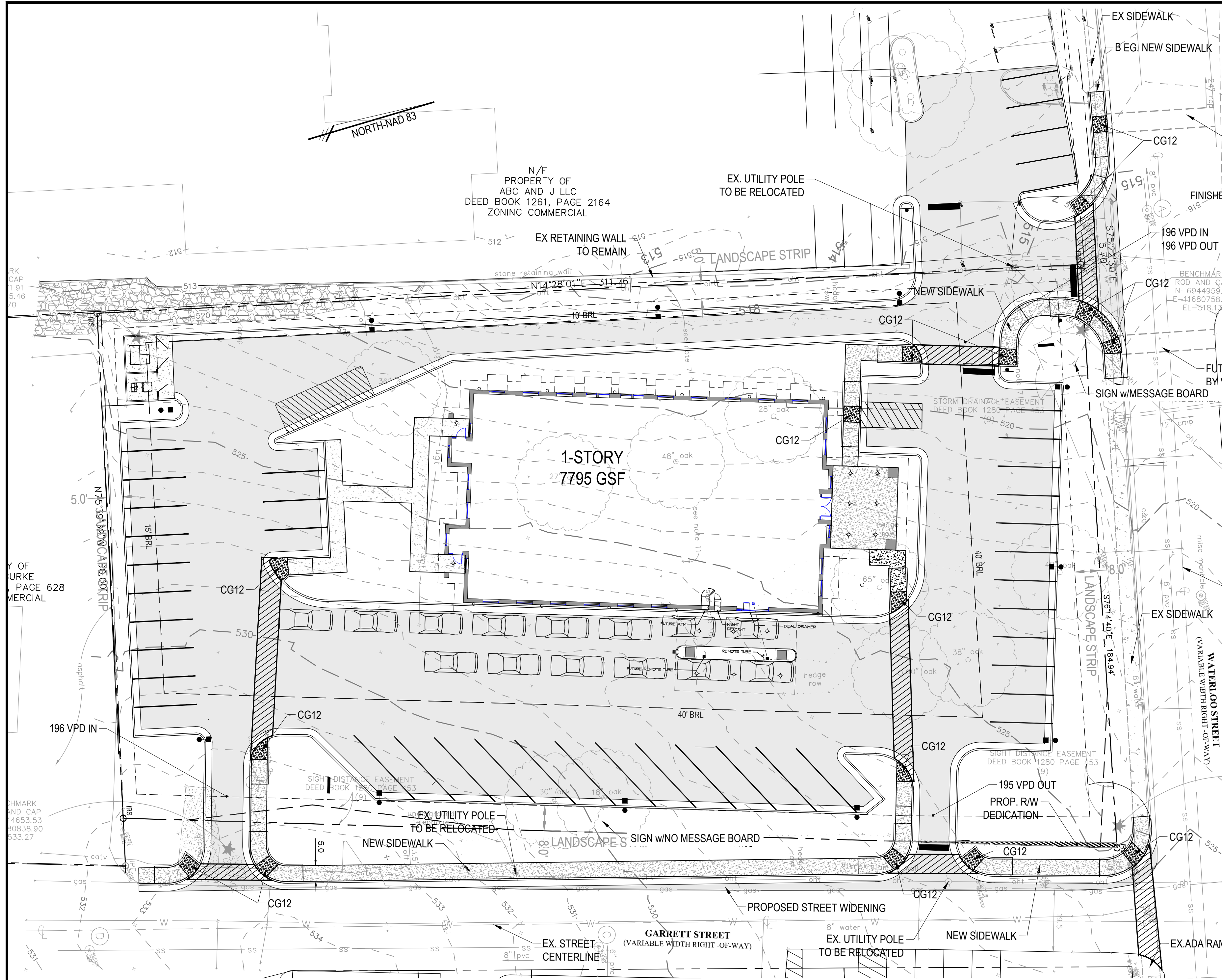
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07/20/22 REVISIONS PER TOWN COMMENTS

DRH  
ENGINEERS, PLC  
CIVIL - STRUCTURAL - FORENSIC  
7190 Brewster Ln., Suite 100, Warrenton, Virginia 2017  
540-549-7640  
www.drhengineers.com

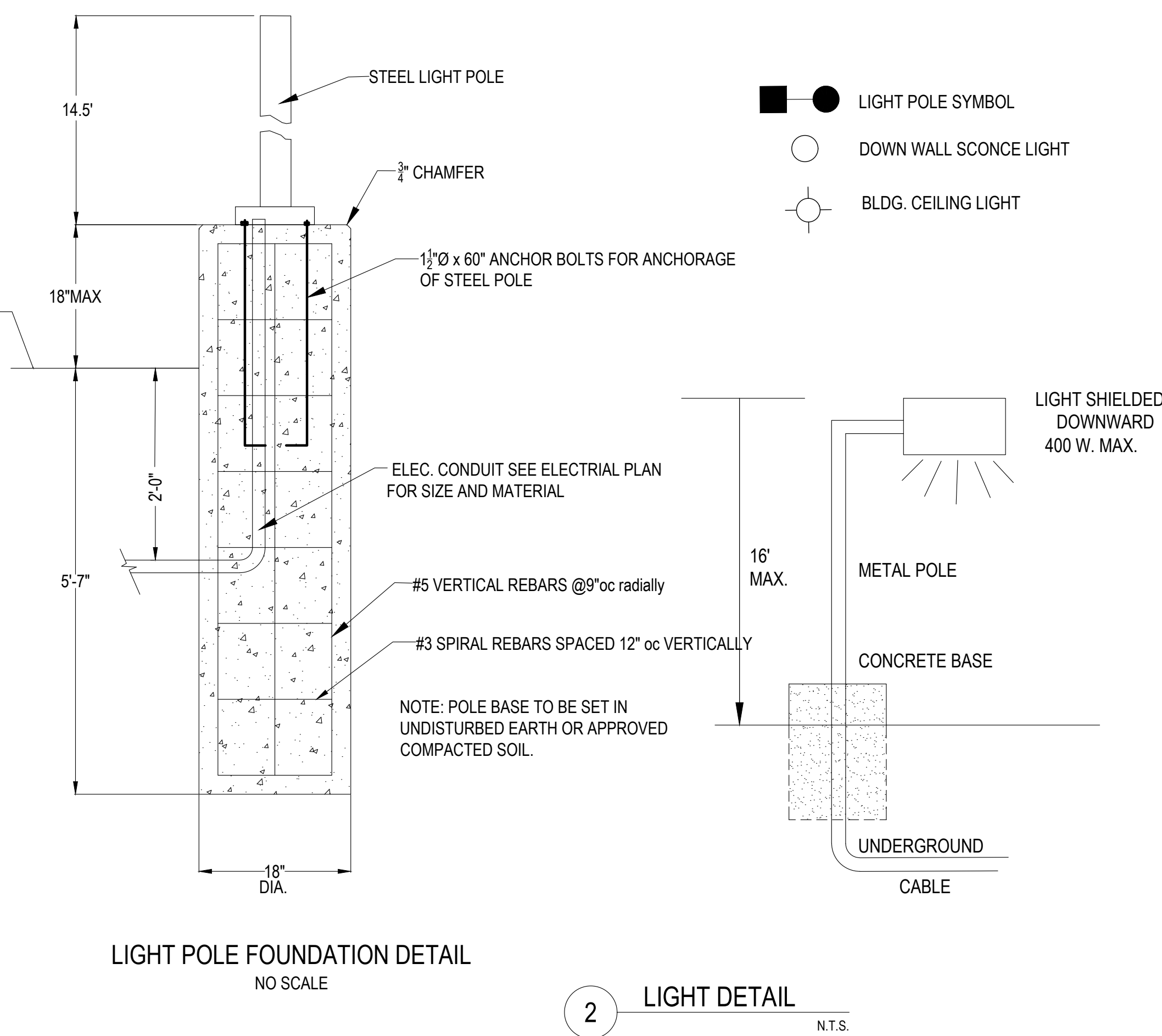


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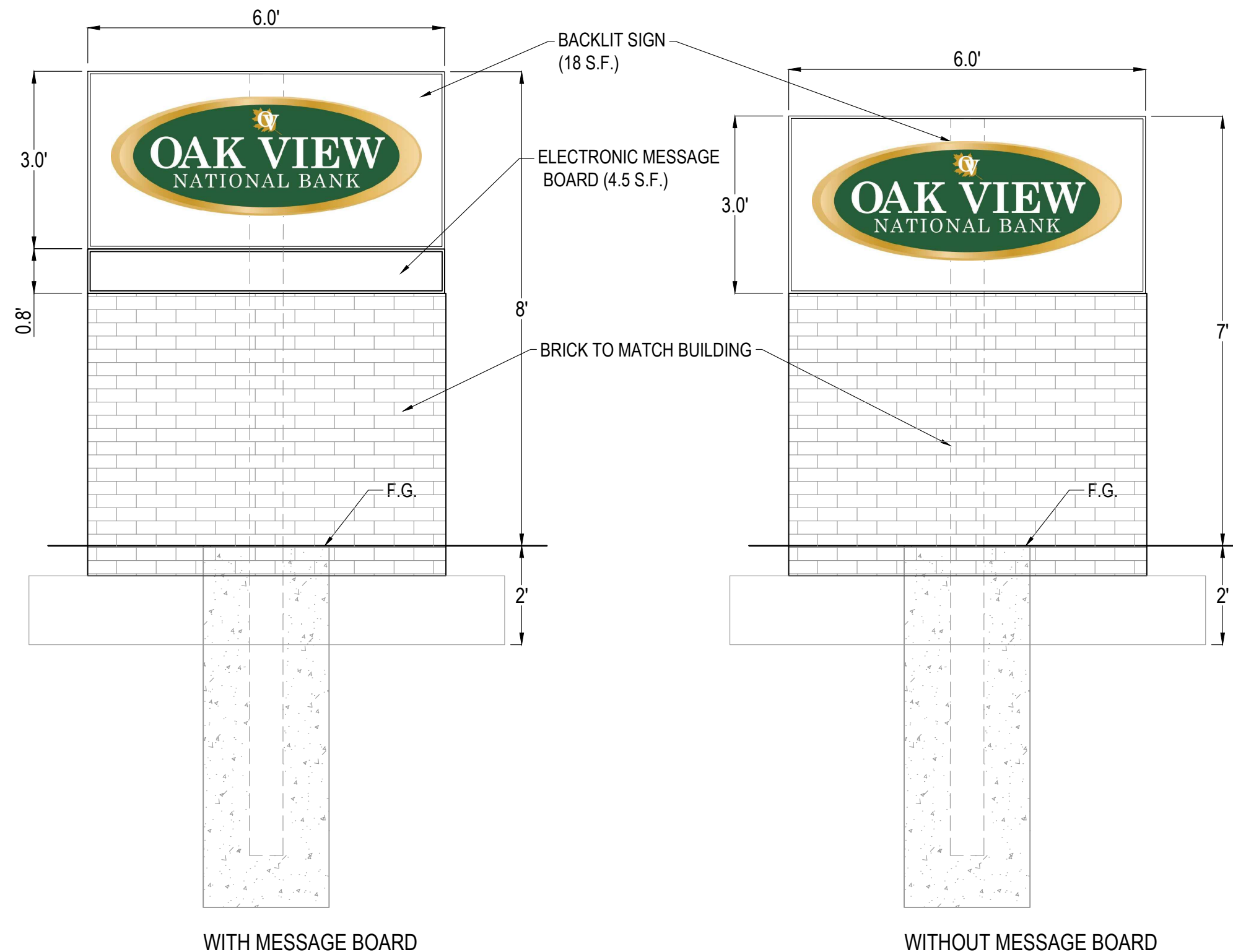


1 SITE LIGHTING PLAN  
Scale: 1"=20'

- LIGHTING NOTES:**
- LIGHTING SHALL BE LED OR OLED WITH A CORRELATED COLOR TEMPERATURE OF BETWEEN 2700 AND 3000 KELVIN.
  - AFTER INSTALLATION A NIGHT-TIME LIGHTING STUDY WILL BE DONE TO CHECK ILLUMINATION, UNIFORMITY, AND BRIGHTNESS AND TO ENSURE THE LIGHTS ARE PROPERLY SHIELDED SO GLARE DOESN'T AFFECT TRAFFIC ON WATERLOO DR. AND GARRETT STREET.
  - LIGHTING SHALL BE OF AN UNBREAKABLE MATERIAL AND BE TAMPERPROOF TO PREVENT VANDALISM AND POCKETS OF SHADOWS.
  - A PHOTOMETRIC PLAN WILL BE SUBMITTED WITH SDP.



2 LIGHT DETAIL  
N.T.S.



3 SIGN DETAIL  
SCALE: 1/2"=1'-0"

REVISIONS  
07/20/22 REVISIONS PER TOWN COMMENTS

CONCEPTUAL SITE LIGHTING PLAN  
SPECIAL USE PERMIT PLAN  
FOR  
OAKVIEW NATIONAL BANK  
TOWN OF WARRENTON  
FAUQUIER COUNTY, VIRGINIA

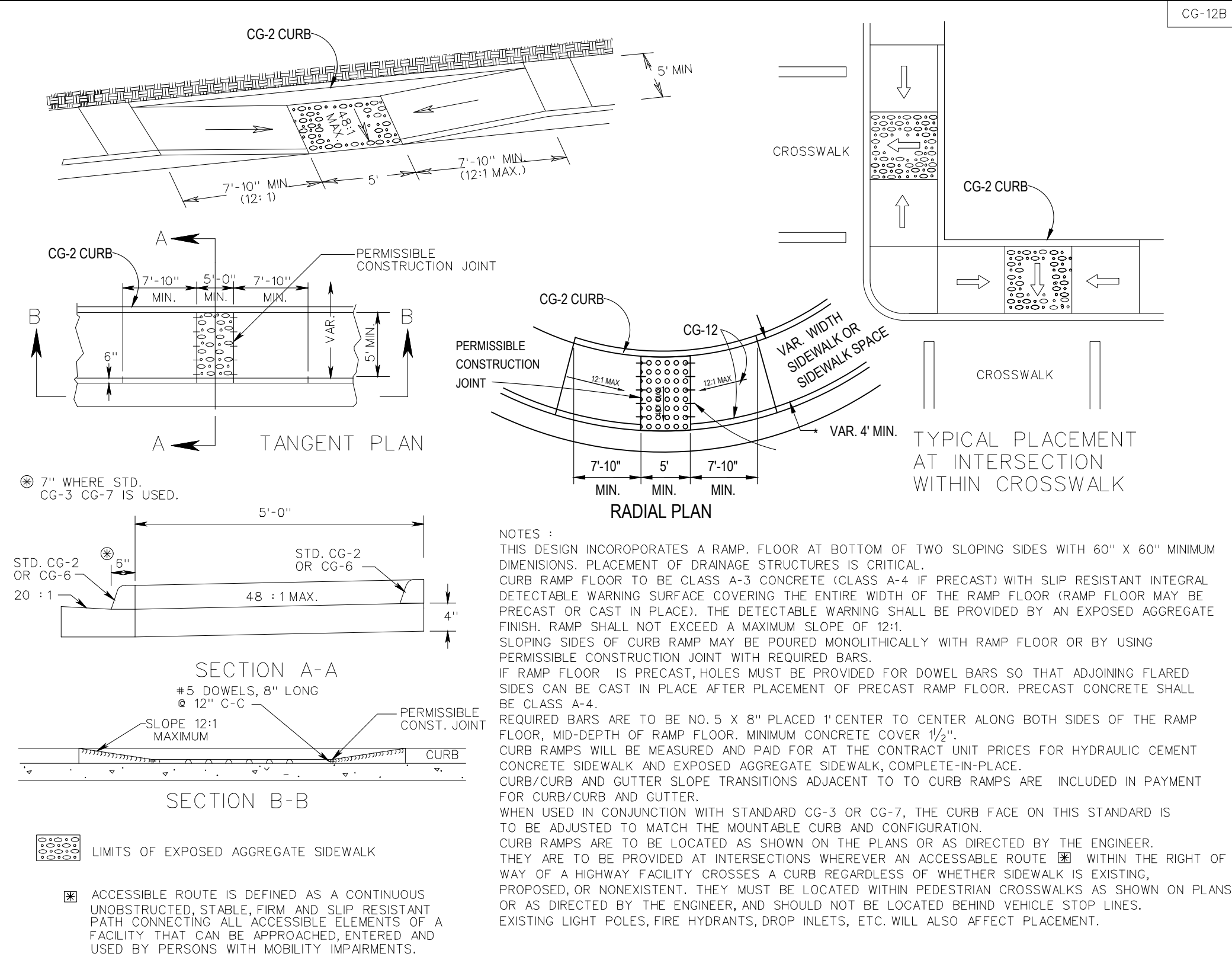
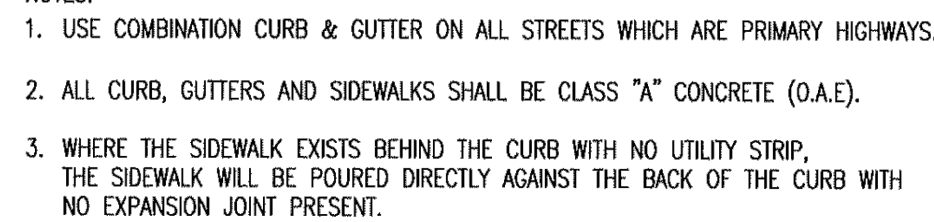


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DRH  
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05/23/22  
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2210662.00  
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SUP-4

SHEET OF





PARALLEL CURB RAMP  
(ACCESS FOR MOBILITY IMPAIRMENTS)  
VIRGINIA DEPARTMENT OF TRANSPORTATION

203.06

DRAWING NO:  
R-4

DRAWING  
NUMBER

R-8

SPECIFICATION REFERENCE
105 502

PARALLEL CURB RAMP  
(ACCESS FOR MOBILITY IMPAIRMENTS)  
VIRGINIA DEPARTMENT OF TRANSPORTATION

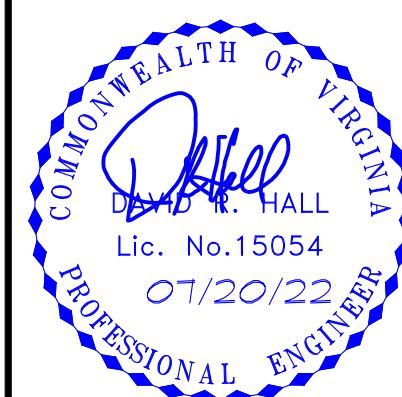
203.06

07/20/22	REVISIONS PER TOWN COMMENTS	REVISIONS
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## MISCELLANEOUS SITE DETAILS

**SPECIAL USE PERMIT PLAN  
FOR  
OAKVIEW NATIONAL BANK**

TOWN OF WARRENTON  
FAUQUIER COUNTY, VIRGINIA



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DRAWING NO:	

SUP-5

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