

Arrington

CODE OF DEVELOPMENT

REZN-22-017978





TABLE OF CONTENTS

- PART I: OVERVIEW**
 - Project Description3
 - Illustrative Plan5
 - Process8

- PART II: PLAN REQUIREMENTS**
 - Land Use 10
 - Streets, Streetscape & Utilities 13
 - Open Space & Amenities 20
 - Lot Regulating Plan 26
 - Phasing Plan 28

- PART III: LOT LAYOUT & BUILDING REQUIREMENTS**
 - Lot Layout & Building Design.....29
 - Parking & Loading Requirements.....40
 - Architectural Characteristics by Style.....41
 - Non-Residential Design Guidelines42

- PART IV: APPENDICES**
 - Architectural Styles..... 46
 - Building Materials 55
 - Landscape Requirements 56
 - Signage Requirements 59



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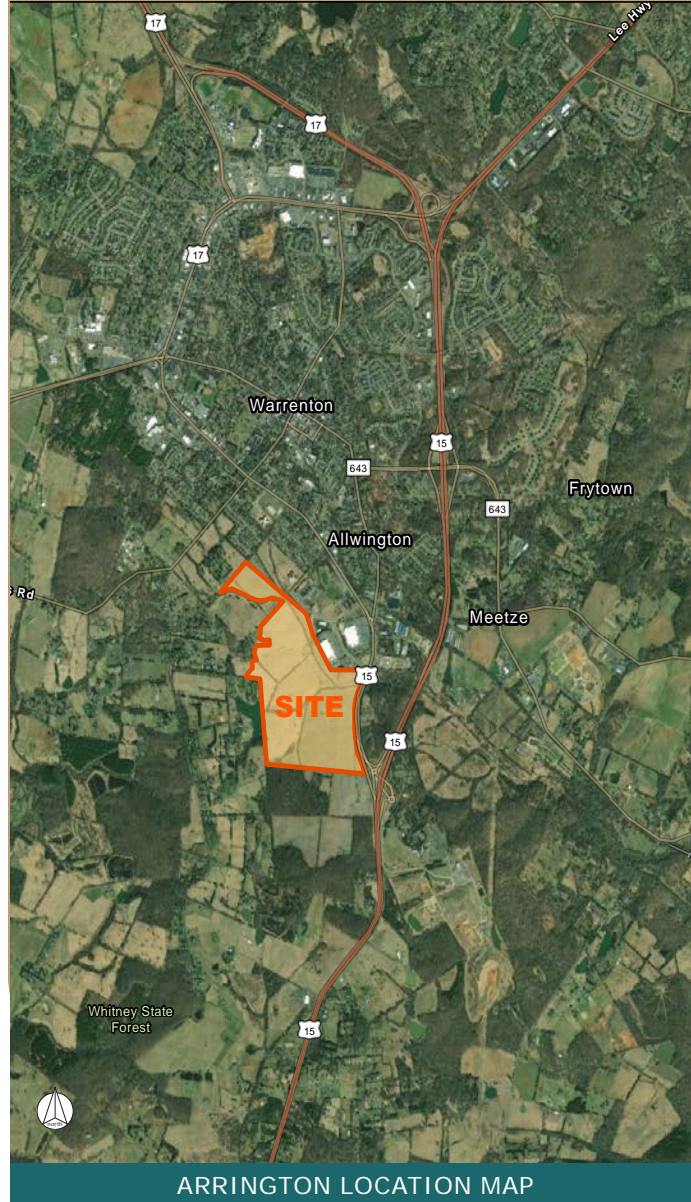
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DESCRIPTION OF THE PROJECT

Arrington is a development that organizes the design of homes, public spaces and environmental areas in a manner that complements and respects the traditional time-honored planning models of Warrenton and Fauquier County. Arrington embraces Traditional Neighborhood Design (TND) in a way that exemplifies the goals and objectives of the Planned Residential Development zoning district. Arrington is designed as a small, eclectic neighborhood that features the very best aspects of neo-traditional planning with an appreciation for the qualities that best represent Warrenton and Fauquier County. The community reflects the aesthetic form and warmth of older, established residential areas of Warrenton as well as the goals and objectives expressed in the recently adopted Town of Warrenton 2040 Plan and the Warrenton Service District Plan within the Fauquier County Comprehensive Plan. The Base Zoning plan for Arrington is comprised of a combination of residential blocks – each with homes constructed on lots of varying width and area, small pocket parks and internal open spaces served by a system of interconnected streets, sidewalks and trails providing multi-modal connectivity to nearby schools, shopping, recreation and services. Arrington is envisioned and designed as a walkable community. The residences will be of a Piedmont vernacular and vary in category, type, architectural style, form, and roof line (e.g. Federal, Colonial



Revival, Bungalow, American Foursquare, and Contemporary Variations – each specifically detailed in Part IV), floor area, and garage orientation.

The Arrington community will consist of two-hundred seventeen (217) residential lots under the Base Zoning plan. The base density at Arrington is 0.93 dwelling units per acre. Two alternative development plans are proposed which depend on inclusion of Arrington within the corporate boundaries of the Town of Warrenton, availability of public water and sewer service, and, with Alternative B, the availability of off-site right-of-way for the construction of the off-site portion of Phase 2 of the northerly extension of Alwington Boulevard.

Development Alternative A consists of two hundred and eleven (211) residential lots, of which 16 lots are reserved for the construction of affordable housing units, with a density of 1.01 dwelling units per acre. This alternative includes twenty-five (25) acres to be developed in accordance with the regulations of the Town's Commercial (C) Zoning District assigned to this area by the Town of Warrenton during the Town/County boundary line adjustment process. Development of the Arrington community under this alternative is subject to the inclusion of Arrington within the corporate boundaries of the Town of Warrenton and the availability of public water and sewer service.

Development Alternative B consists of two hundred and seventy (270) residential lots, of which 16 lots are reserved for the construction of affordable housing units. Proposed density of this plan is 1.29 dwelling units per acre. This alternative includes twenty-five (25) acres to be developed in accordance with the regulations of the Town's Commercial (C) Zoning District assigned to this area by the Town of Warrenton during the Town/County boundary line adjustment process. Development of the Arrington community

under this alternative is subject to the inclusion of Arrington within the corporate boundaries of the Town of Warrenton, the availability of public water and sewer service, as well as availability of off-site right-of-way for the construction of the off-site portion of Phase 2 of the northerly extension of Alwington Boulevard.

Arrington contains a traditional, substantially rectilinear pattern of blocks and interconnecting streets and alleys that are oriented to the pedestrian rather than the automobile. Informal Parking is provided along the public streets creating a streetscape consistent with the character of Warrenton and other historic towns. Single-family houses have garage access via alleys in certain blocks. Where residential units are front loaded with driveway access to the public street, the architectural standards require the garage to be set back from the front of the house ensuring that the garages are not a prominent feature of the streetscape. Street trees are required along both sides of public streets within landscape easements on each lot adjacent to the public sidewalks. The number of street trees to be planted shall result in an average density of one tree per 40 feet of block frontage with spacing to be adjusted based on site design constraints. In addition, the same species must be located on both sides of each street, although a different complimentary species is allowed at intersections.



Located throughout Arrington are various public spaces including large parks, pocket parks and other open spaces. They are interconnected by sidewalks and are easily accessible to the public. These spaces contain active and passive recreation uses. Many of the natural and environmentally sensitive areas such as wetlands have been preserved and protected. The key open space areas and their amenities are further defined in Part II.

Arrington requires a variety of lot areas, setbacks and widths. Additionally, variety in architectural style, form and resulting roof lines is also required. Houses are required to greet the public domain with varying front setbacks which are a minimum of 25 feet from the lot line to the house (porches and other building features may encroach into the setback). Specific architectural standards and lot layout diagrams for each housing category and type are located in Part III the Code of Development, assuring that Arrington will be a traditional neighborhood development that contains the lot design and variety of architecture inherent in neo-traditional towns and communities.





ARRINGTON ILLUSTRATIVE PLAN - BASE ZONING

ILLUSTRATIVE PLAN

The Base Zoning Development Plan consists of two-hundred seventeen (217) residential lots with a density of 0.93 dwelling units per acre. This is the same number of residential lots that was approved under the original Arrington PRD Rezoning in 2015.



ARRINGTON ILLUSTRATIVE PLAN (ALTERNATIVE A)

The Alternative A Development Plan consists of two hundred and eleven (211) residential lots with a density of 1.01 dwelling units per acre, an eating establishment, and a small hotel/inn limited to a maximum of 15 rooms. This alternative is subject to the inclusion of Arrington within the corporate boundaries of the Town of Warrenton and the availability of Town public water and sewer service. With town sewer, there is no need for the discharge dispersal area located south of Turkey Run. The increase in developable ground allows for 71 single-family attached (townhouse) and single family detached units with a hotel/inn and eating establishment/restaurant in this location. In addition, Alternative A includes twenty-five (25) acres (Land Bay W) to be developed in accordance with the regulations of the Town's Commercial (C) Zoning District assigned to this land bay by the Town of Warrenton during the Town/County boundary line adjustment process.



The Alternative B Development Plan consists of two-hundred and seventy (270) residential lots of which 16 are to be affordable housing units, with a density of 1.29 dwelling units per acre, an eating establishment, and a small hotel/inn limited to a maximum of 15 rooms. This alternative is subject to the inclusion of Arrington within the corporate boundaries of the Town of Warrenton, the availability of Town public water and sewer service, as well as availability of off-site right-of-way for the construction of Phase 2 of the north-erly extension of Alwington Boulevard. Alternative B includes twenty-five (25) acres (Land Bay W) to be developed in accordance with the regulations of the Town's Commercial (C) Zoning District assigned to this land bay by the Town of Warrenton during the Town/ County boundary line adjustment process.

PROCESS

In accordance with these Building and Lot Requirements (the “BLRs”) for the development of the Arrington community, all new construction shall conform to the building and lot requirements, and design and construction operation requirements, set forth below. The requirements set forth herein cover a broad scope of design elements including, but not limited to, lot layout of building and accessory structures (including garages and driveways), architectural design elements and requirements, fencing, lighting and landscape design and installation. The intention of these regulations is to ensure a consistent level of high quality design throughout the community.

All house grading and landscape plans, as well as the architectural design and details of each home to be constructed within the Arrington community, shall be submitted by the builder (“Builder”) and approved by the Arrington Conservancy Architectural Review Committee (“ARC”) before construction commences. ARC approval does not relieve the applicant of the responsibility of obtaining all other necessary approvals and permits required by Town of Warrenton, Fauquier County, the Commonwealth of Virginia, and/or other governmental agencies having jurisdiction over the construction of the same.

INITIAL ARCHITECTURAL REVIEW COMMITTEE:

MEMBERSHIP

The role of the ARC is the review and approval of use, site planning, appearance, architectural design, and aesthetics of lots and homes in the Arrington community.

The ARC shall consist of three members, two of whom shall be appointed by the Declarant, and the third of whom shall be appointed by

the applicable jurisdiction at its discretion. The ARC will select an architect to advise it as to conformance of applications with these BLRs. The Architect shall be licensed to practice architecture in the Commonwealth of Virginia, shall possess a minimum of ten years of experience in working with Architectural Review Boards for historic districts, and traditional neighborhood design developments, and shall have completed previous projects that incorporate historical and/or agrarian community architectural styles found in Warrenton, Fauquier County and the broader Virginia Piedmont. Each of the three members shall have an equal vote.

Following completion of construction (defined herein as the issuance of the final certificate of occupancy of the first home constructed on 95% of the residential lots subject to these BLRs), and/or in the event the jurisdiction surrenders in writing its right to select a member of the ARC, whichever first occurs, the Declarant shall thereafter appoint all three members of the ARC.

NON-LIABILITY

Neither the ARC nor its members, their successors, agents, consultants, representatives, employees, or attorneys, shall be liable for damages, or other relief of any kind whatsoever, to anyone submitting plans to it for approval, or to any applicant, by reason of mistake in judgment, negligence arising out of any action of the ARC with respect to any submission, for failure to follow these BLRs, or for the performance or non-performance of any duty or responsibility assigned hereunder.

ACCURACY OF INFORMATION

Any person submitting plans to the ARC shall be responsible for verification and accuracy of all components of such submission, including, without limitation, all site dimensions, grades, elevations, utility locations, and other pertinent features of the site or plans.

REGULATORY COMPLIANCE

It is the responsibility of any Builder to obtain all necessary permits and ensure compliance with all applicable governmental regulations and other requirements. Plans submitted for ARC review shall comply with all applicable building codes, zoning regulations, and the requirements of all governmental entities having jurisdiction over the building project or the property. Regulatory approvals do not preclude or supersede the authority and responsibility of the ARC, which is independent of any other agency or entity with jurisdiction and which is established by the BLRs. It is not the responsibility or function of the ARC to review submissions for compliance with applicable governmental regulations and it will decline to do so.

NEW CONSTRUCTION APPROVAL PROCEDURES

Builders constructing new homes, or any commonly owned community facilities, shall submit plans therefor for review and approval by the ARC.

- Applications for plan approval: A submittal package (referred to herein as the “Application”) shall include two copies of house plot plans including, among other things, driveway layout with lot grading, and landscaping plans (including detailed plant lists), architectural floor plans and elevations, material samples, color palette samples, light fixtures (diagram or photograph), and details of any proposed decking or fencing. The application shall also include a tabulation showing compliance with corresponding Lot Standards for the Lot Category and Type as well as the Lot Mix Per Block standards and Unit Mix table listed in Part II and the Lot Layout Variety requirements set forth within Part III. The ARC may request additional materials that it deems necessary to complete a proper review of any building or other plans required hereby.

- **ARC Review and Approval:** The ARC will review the submission within fourteen (14) calendar days of receipt of a complete Application. The Applicant will within that time receive written approval (that may include conditions thereon), or written disapproval stating the bases for disapproval. Approval by the ARC does not relieve the applicant of the responsibility of obtaining all other necessary approvals and permits required by the Town of Warrenton, Fauquier County, the Commonwealth of Virginia, and/or any other agency having jurisdiction over the project.

Notification of the ARC’s final approval constitutes a binding agreement and commitment between the Builder and the ARC, and deviation from approved plans is prohibited without formal modification thereof pursuant to the procedures established herein.

The Committee’s action on any Application shall be in its sole discretion and shall be final and unappealable.

SUBMISSION OF A CODE OF DEVELOPMENT SITE PLAN:

The County’s process under the PRD zoning for the submission of a Code of Development Site Plan shall be followed, including the submission of additional information as necessary to determine compliance with this Code of Development. A Code of Development Site Plan shall be submitted for administrative approval by the Zoning Administrator. A Code of Development Site Plan may include any combination of grading, infrastructure, lots or buildings for any portion of the development subject to phasing and proffers, provided it is consistent

with the approved Concept Development Plan (CDP) referenced in this Code of Development. The established process for issuance of Land Disturbing Permits associated with site plans, infrastructure plans, and all construction plans involving land disturbance shall also be followed subsequent to the approval of a Code of Development Site Plan.

SUBMISSION OF FINAL PLATS:

The County’s process under the PRD zoning and the applicable Subdivision Ordinance for the submission of a Final Plat shall be followed, including the submission of additional information as necessary to determine compliance with this Code of Development and the approved Code of Development Site Plan.

SUBMISSION OF BUILDING/ZONING PERMITS FOR INDIVIDUAL HOUSES OR OTHER STRUCTURES:

The established process for Building/Zoning Permits shall be followed, except that:

- A review by the ARC for compliance with the Code of Development shall occur. The ARC review shall be completed prior to submittal for zoning review for Zoning/Building Permits.
- A copy of the ARC’s approval letter, the Application and all supporting materials submitted to the ARC shall be submitted with the building plans. Compliance with the Code of Development shall be required for issuance of a Zoning or Building Permit.
- Every structure on a residential lot, including all sheds (even those less than 150 square

feet) and residential fences shall require a zoning permit.

- Upon completion of construction and prior to issuance of an occupancy permit for each house, the Owner shall submit to the County a copy of a letter issued by the ARC which confirms that such house was constructed in substantial conformance with the approved ARC application.

DEVIATIONS FROM THE CODE OF DEVELOPMENT:

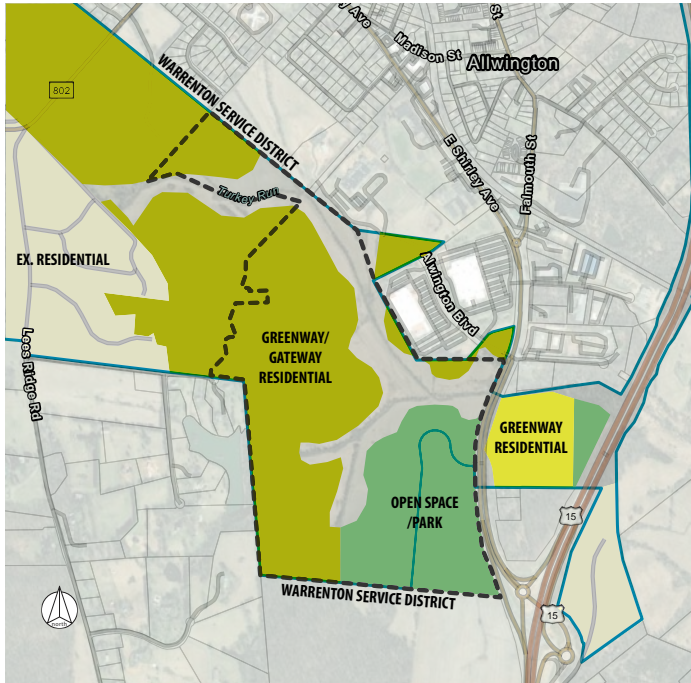
The developer/applicant shall comply with the provisions of this Code of Development, provided that the Zoning Administrator shall have the authority and discretion to approve certain deviations from the requirements within the parameters specifically set forth in this Code. Deviations beyond those authorized by the language of this Code or the Proffer Statement shall be considered an amendment to the Arrington rezoning and shall require a rezoning and/or proffer amendment application, as determined by the jurisdiction.

APPEALS:

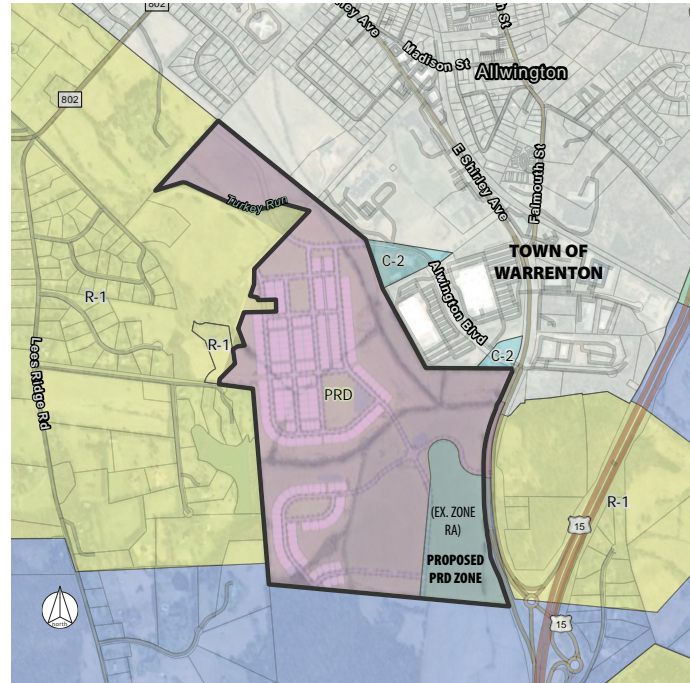
An appeal of any Zoning Administrator decision related to the interpretation of this Code of Development shall be made to the governing authority, following the established procedures for appeals of proffer interpretations.

DEVIATIONS IN PROCESS:

Should the jurisdiction amend the Zoning or Building Permit approval process or the approval authority, Arrington shall be required to follow that amended process.



EXISTING SERVICE DISTRICT MAP

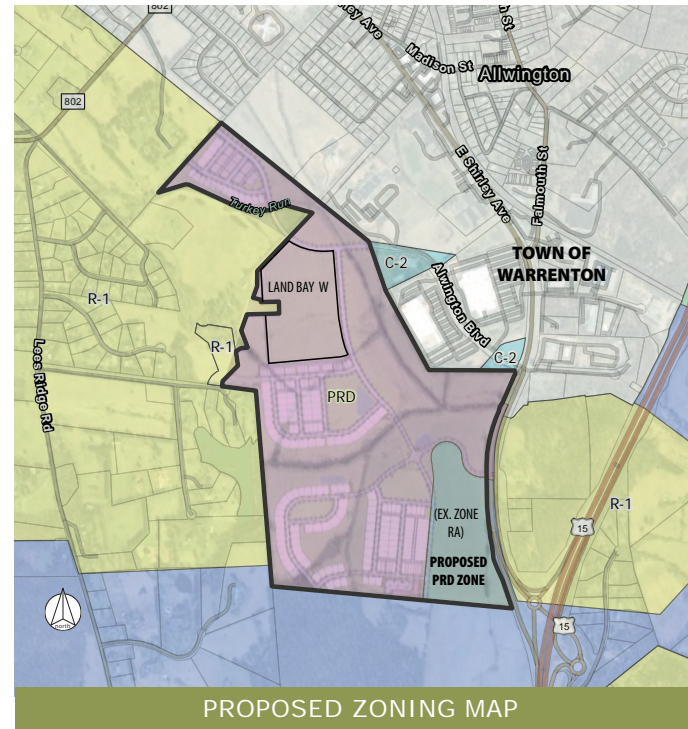
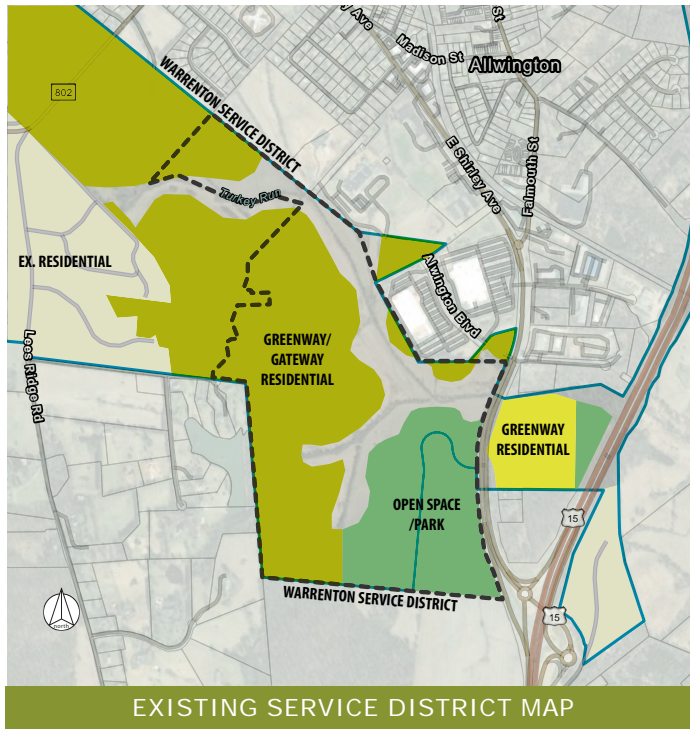


PROPOSED ZONING MAP

LAND USE - BASE ZONING

The Arrington development program includes residential uses consisting of single family dwellings on lots with varying lot frontages in a village design consistent with the Greenway/Gateway Residential objectives outlined in the Warrenton Service District Plan. Approximately 27 acres of the property was subject of a recent change in land use designation from “Rural” to “Open Space or Park” and inclusion within the Warrenton Service District. As illustrated in the Development Program Chart below, the 217 residential lots proposed under the current Base Zoning Plan is the same as the 217 residential lots approved under the 2015 Rezoning even though the acreage of the community has been increased by the 27 acres. Further, the number of lots with alley-oriented garages has been increased from 55 lots (25.3% of total) to 74 lots (34.1%) to further emphasize the neo-traditional design of the Arrington community and its conformance to the objectives for this property outlined in the Warrenton Service District Plan.

DEVELOPMENT PROGRAM - BASE ZONING									
2015 APPROVED REZONING					2022 PROPOSED REZONING (BASE)				
COMMUNITY SECTOR	LAND AREA (acs.)	TOTAL NO. OF LOTS	FRONT/SIDE LOAD (MAX)	REAR LOAD (MIN)		LAND AREA (acs.)	TOTAL NO. OF LOTS	FRONT/SIDE LOAD (MAX)	REAR LOAD (MIN)
PRD HAMLETS:									
VIGNERONS		63	49	14	CENTRAL		174	100	74
MERITAGES		53	45	8					
COOPERS VALLEY		52	37	15					
VINTNERS		49	31	18	SOUTHWEST		43	43	0
					SOUTHEAST				
					CENTRAL SFA				
					NORTH				
TOTAL	206.43	217	162	55	TOTAL	234.09	217	143	74
DENSITY =	1.05	lots/ac	74.7%	25.3%	DENSITY =	0.93	lots/ac	65.9%	34.1%



LAND USE - ALTERNATIVES A & B

The alternative Arrington development programs includes a core of single family dwellings on lots with varying lot frontages, market-rate and affordable townhomes, and a commercial component that includes an eating establishment and a hotel (inn) within a neo-traditional village design. The “village” will be bordered on the south and east by preserved open space and on the north by a 25-acre community commercial center to be developed in accordance with the regulations of the Town of Warrenton’s Commercial (C) Zoning District. The open space on the south and east will preserve the rural character of the southern gateway to the Town of Warrenton consistent with the Greenway/Gateway Residential objectives outlined in the Warrenton Service District Plan. The 25-acre community commercial center located adjacent to Alwington Boulevard and in close proximity to existing larger retail development provides the Town of Warrenton with the opportunity to expand the Greenway and Makers District established within the Plan Warrenton 2040 vision of “maintaining the district as a commercial hub for services while allowing for mixed use”.

DEVELOPMENT PROGRAM - ALTERNATIVES A & B								
2022 PROPOSED REZONING (ALT A)					2022 PROPOSED REZONING (ALT B)			
COMMUNITY SECTOR	LAND AREA (acs.)	TOTAL NO. OF LOTS	FRONT/SIDE LOAD (MAX)	REAR LOAD (MIN)	LAND AREA (acs.)	TOTAL NO. OF LOTS	FRONT/SIDE LOAD (MAX)	REAR LOAD (MIN)
PRD HAMLETS:								
CENTRAL		60	40	20		60	40	20
SOUTHWEST		43	43	0		43	43	0
SOUTHEAST		71	27	44		71	27	44
CENTRAL SFA		37		37		37		37
NORTH						59	17	42
TOTAL	209.09	211	110	101	209.09	270	127	143
DENSITY =	1.01	lots/ac	52.1%	47.9%	1.29	lots/ac	47.0%	53.0%

PERMITTED USES:

PRINCIPAL USES PERMITTED (PER ZO 4-103)

- A. Detached, single family dwellings
- B. Attached, single family dwellings including duplex, townhouses, atrium houses, and patio houses

SECONDARY USES PERMITTED (PER ZO 4-104)

- A. Parks, playgrounds, community centers and non-commercial recreational and cultural facilities such as tennis courts, swimming pools, game rooms, libraries and related facilities.
- B. Electric, gas, water, sewer, and communication facilities, including transformers, pipes, meters, pump stations and related facilities for distribution of local service.
- C. Intentionally Deleted
- D. Accessory uses and structures including home occupations, storage buildings, and detached garages
- E. Temporary buildings, the uses of which are incidental to construction during development being conducted on the same or adjoining tract or section which shall be removed upon completion or abandonment of such construction.
- F - H. Intentionally Deleted
- I. Eating establishments (maximum floor area of 8,000 square feet)
- J - R. Intentionally Deleted
- S. Farmer's market
- T. Intentionally Deleted
- U. Commercial/Office uses collocated with residential dwelling units
- V. Bed and breakfast, inn (maximum of 15 guest rooms)

GENERAL USE LIMITATIONS:

Unless otherwise specified under a specific provision of this Code of Development, all uses shall conform to the following use limitations and performance standards of the Fauquier County Zoning Ordinance:

- 1. Section 2-502: Limitations on the Occupancy of a Dwelling Unit
- 2. Section 2-508: Limitations on Junk and Inoperable Vehicles
- 3. Section 2-510: Sales from Vehicles
- 4. Section 2-512: Limitations on Keeping of Animals
- 5. Section 2-600: Common Open Space and Common Improvement Facilities
- 6. Article 5: Administrative Permits, Special Permits and Special Exceptions
- 7. Article 8: Signs
- 8. Article 9: Performance Standards
- 9. Article 11: Telecommunications Ordinance

ACCESSORY USES (PER ZO 6-102)

The following accessory uses shall be allowed within Arrington in conjunction with and incidental to, and on the same lot as the principal use, provided that all other requirements of this Code of Development are also met:

- 1-3. Intentionally Deleted
- 4. Child's play house not to exceed 100 SF & play equipment
- 5-7. Intentionally Deleted

- 8. Gardening
- 9. Intentionally Deleted
- 10. Parking and loading spaces, off-street, as regulated by Article 7.
- 11-17. Intentionally Deleted
- 18. Statues, arbors, trellises, barbecue stoves, flagpoles, fences, walls and hedges. Maximum height for fences is 6 feet located to the rear of the front façade of the house.
- 19. Intentionally Deleted
- 20. Storage structures incidental to a permitted use.
- 21. Swimming pool and bathhouses, private.
- 22. Tennis, basketball or volleyball court and other similar private outdoor recreation uses.
- 23a. Intentionally Deleted
- 24. Intentionally Deleted
- 25. Yard/garage sales access to residential uses (per ZO).
- 26-29. Intentionally Deleted
- 30. A Family day home for four or fewer children.
- 31. The letting for hire of not more than two rooms to not more than two persons for periods no shorter than one month.
- 32-33. Intentionally Deleted

The Arrington community will include multiple hamlets, primarily separated by natural stream valleys and tree lines. Each hamlet will include open space area(s) designated for passive and/or active uses. Each hamlet will include pedestrian sidewalks and will include multi-modal connectivity to the other hamlets via streets and sidewalks/trails.

The configuration of Arrington’s hamlets implements clustered development that will protect the site’s natural beauty and views as shown on the exhibit below, with the category, type, and number of lots within each hamlet detailed in the chart on page 10.

Notes:

1. The number of lots within each hamlet per category and type as well as total are approximate and are subject to change during preparation of the Code of Development Site Plan up to a maximum of ten percent (10%) per category and type within each hamlet and five percent (5%) for the total number of lots within a hamlet
2. The total number of lots may not exceed 217, 211, and 270 units for the Base Zoning, Alternative A, and Alternative B plans respectively.
3. The location of lots with alley-oriented garages may be shifted from block to block within each hamlet but the total number of lots with alley-oriented garages for such hamlet may not be reduced, notwithstanding Note #1 above.



HAMLET PLAN (BASE ZONING)



HAMLET PLAN (ALTERNATIVE B)

GENERAL REQUIREMENTS

STREETS:

All streets, excluding alleys, shall be public streets. Alleys shall be private streets owned and maintained by the HOA. All public streets and alleys shall be designed in a manner consistent with the typical sections shown on the subsequent pages subject to any modifications required to meet the applicable

jurisdictional design standards and specifications. Arrington has been designed to provide an interconnected street grid within the community with strategically located access points for future interparcel connectivity. This street grid design encourages a more friendly pedestrian circulation system, provides for dispersion of traffic, and

improves life safety response times. Temporary turnarounds at inter-parcel access points and signage indicating possible future street extension will be provided if required by the applicable jurisdictional design standards and specifications.





ON-STREET PARKING:

Informal on-street parking shall be provided along one or both sides of all residential streets within the public right-of-way subject to approval by the applicable governmental authority with jurisdiction over such public right-of-way.

UTILITIES AND EASEMENTS:

All underground utilities shall be located as set forth in this section. Public sewer and water lines shall be within the public right-of-way where possible based on standard engineering practices. Dry utilities serving lots with alley access shall be placed within the alley subject to utility provider approval.

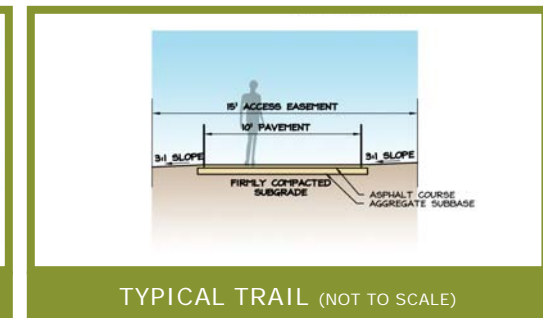
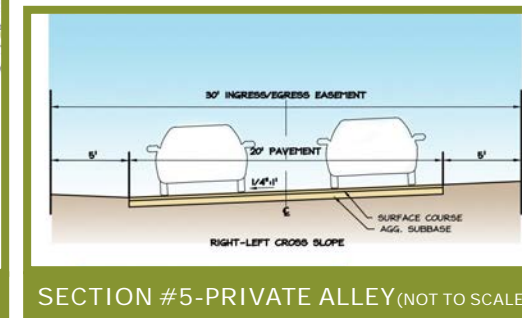
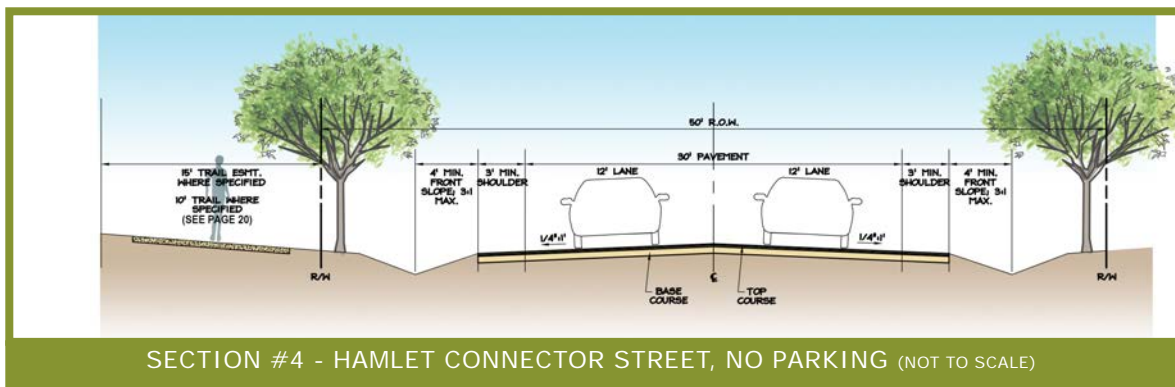
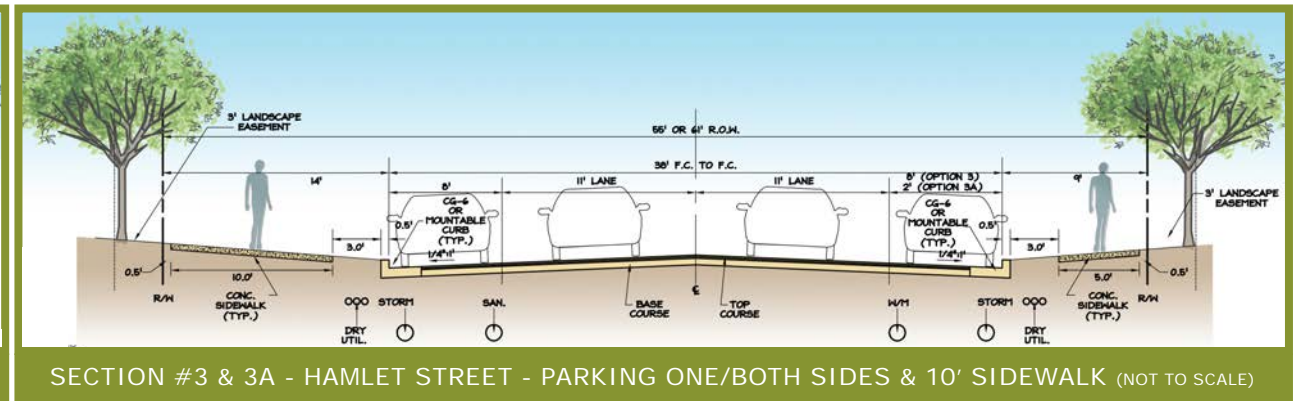
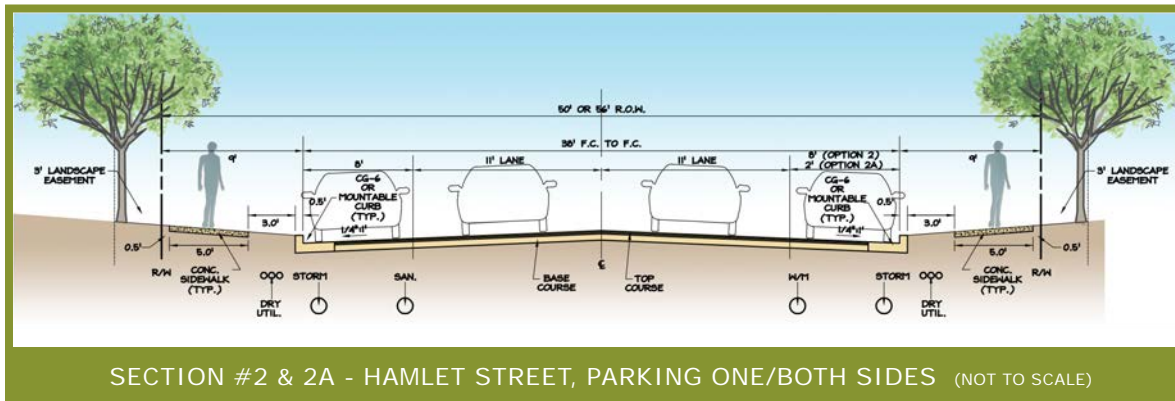
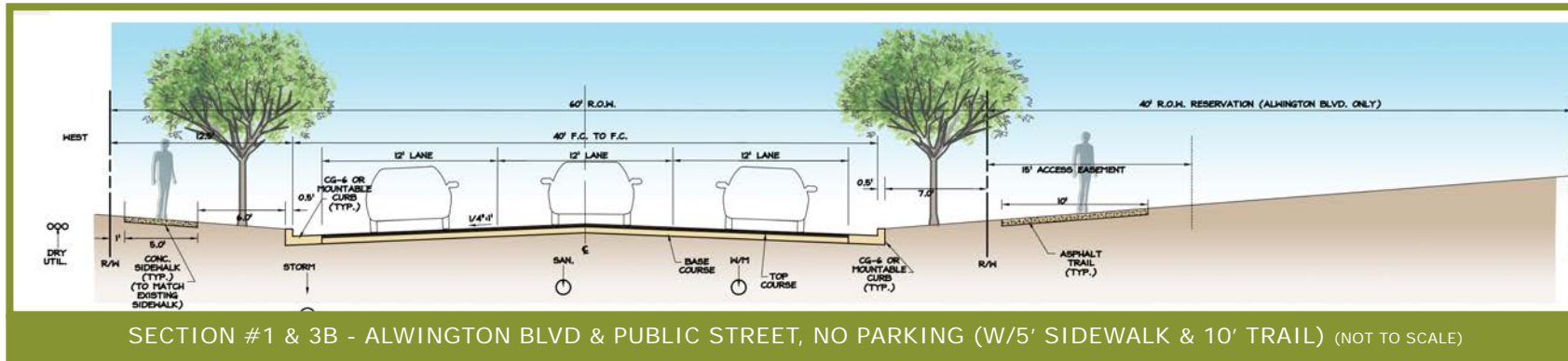
STREETSCAPE:

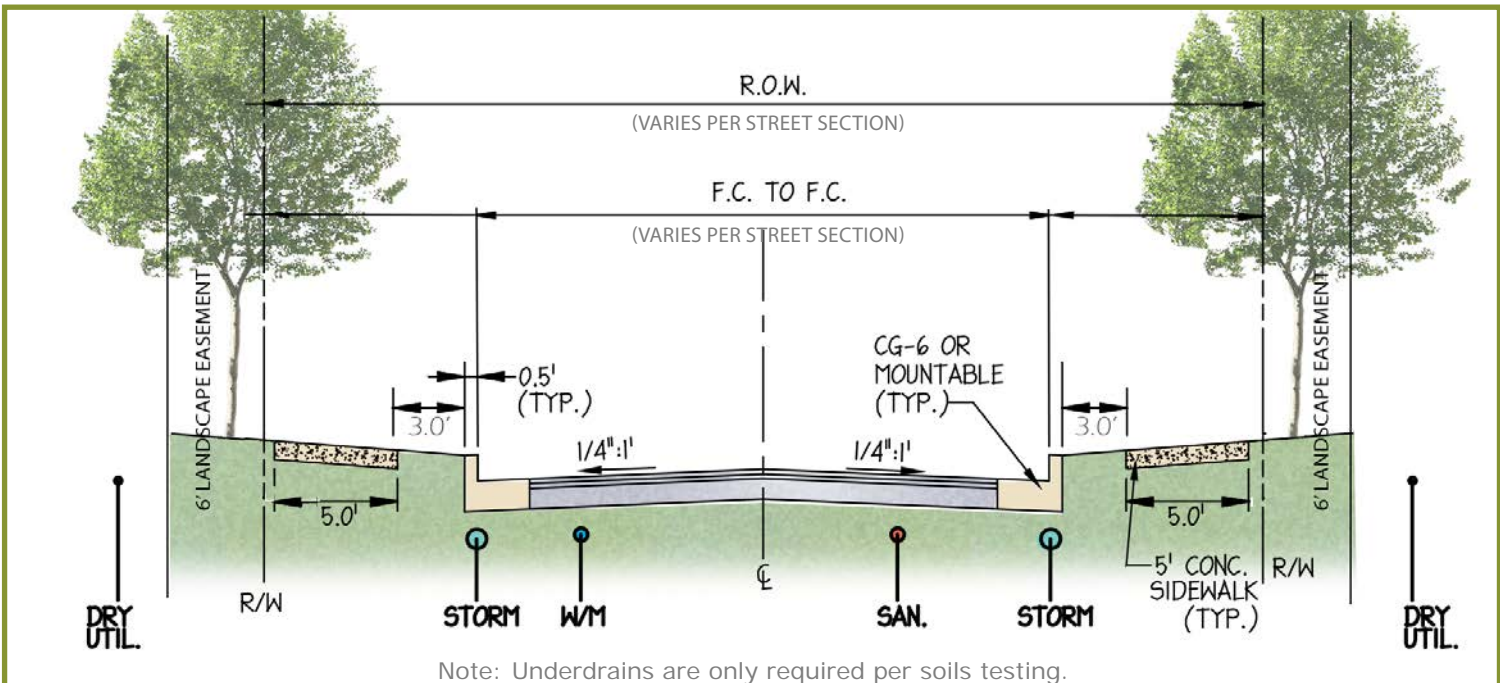
Streetscape elements including street trees, sidewalks, crosswalks and street lights shall be provided as set forth in this section.



STREET REGULATING PLAN (ALTERNATIVE B)

Typical Sections





Note: Underdrains are only required per soils testing.

PUBLIC INFRASTRUCTURE ROW SECTION

UTILITIES AND EASEMENTS

LOCATION:
 All utilities and utility easements will be located in a manner that supports the goal of creating traditional character within Arrington. All new utility lines shall be placed underground. Wet utility lines/easements will be located within the public right of way to the greatest extent possible. Dry utility lines/easements will be allowed to be placed within front yards to the extent such placement does not interfere with required landscaping or other required elements of the plan. To the extent achievable, shared easements and easements of reduced width will be utilized as allowed by various dry utilities.

FIRE HYDRANTS:
 Placement of fire hydrants shall occur at locations that minimize disruption to on-street parking (such as street corners) subject to fire and rescue approval and in conformance with fire and rescue standards.



TRANSFORMERS/UTILITY BOXES



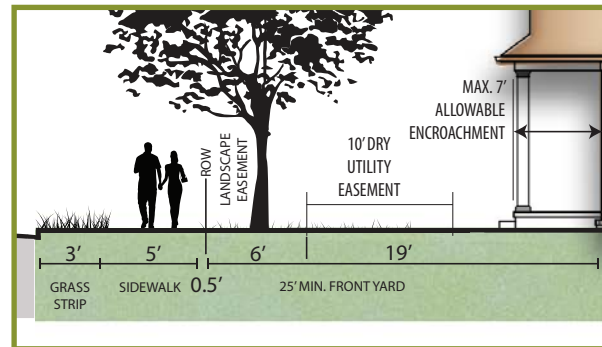
Streetscape

STREETSCAPE:

The streets within Arrington are designed to reflect the traditional neighborhood character of the development, as well as their carrying capacity. The goal is to provide narrow, traffic-calmed streets with on-street parallel parking in keeping with traditional forms of development. Every hamlet street is lined with sidewalks and canopy trees, helping to create an environment that accommodates cars, but also welcomes pedestrians to walk through the neighborhood. Streetscape features shall include pedestrian scale street lights. Standards for lighting are found on the following page.

STREET TREE REQUIREMENTS:

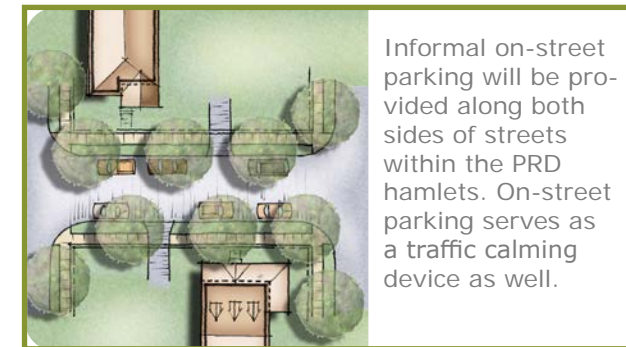
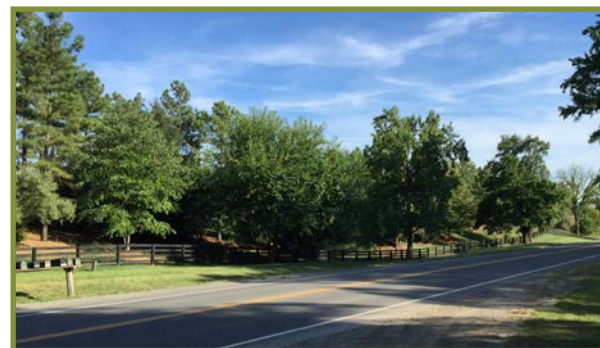
1. Every street shall have street trees planted on both sides of each street adjacent to the public sidewalks or trails.
2. Street trees shall generally be located just outside the right-of-way within landscape easements on each lot located between the sidewalk and house. The number of street trees to be planted shall result in an average density of one tree per 40 feet of cumulative block frontage. Spacing and location may be adjusted in order to create unique effects and to accommodate utility crossings and other site design constraints.
3. Street trees shall be selected from those listed in the table titled Appropriate Street Trees at Arrington in Appendix C. The list highlights specific cultivars of tree types specifically recommended for street tree use in Virginia by VDOT and the Virginia Tech Department of Forestry.
4. Street trees shall be planted in a manner that helps to create special character and identity for individual streets. This shall be accomplished by using the same tree type along both sides of the street, and varying that type from street to street.



TYPICAL STREETSCAPE

SIDEWALK NOTES:

1. Concrete sidewalks shall be provided as shown on the typical street section.
2. Score joints shall be provided to demark the limits of sidewalk through driveway aprons subject to jurisdictional approval.
3. Sidewalks shall be constructed so there is no change in grade at the driveway apron, subject to jurisdictional approval.



ON-STREET PARKING

Informal on-street parking will be provided along both sides of streets within the PRD hamlets. On-street parking serves as a traffic calming device as well.



PEDESTRIAN STREET LIGHTS:



DOMINION CUTOFF ACORN FIXTURE

Comparable HID Wattage	Finish Color	Initial Lamp Lumens	Lighting Pattern	Correlated Color Temperature (CCT)	Input Wattage
70	Black	3838	Type III	3000K	45
100	Black	5472	Type III	3000K	66
150	Black	8133	Type III	3000K	111

The illumination of streets will be provided in accordance with the following standards:

1. Street lights shall be provided along every street with a sidewalk or trail.
2. Street lights shall be a maximum of 12 feet in height as required by Dominion or the applicable jurisdiction.
3. Lights shall be spaced at intervals of 200-240 feet, or as determined by final photometrics.
4. Lights shall be shielded to direct light downward.
5. Fixtures and poles shall have a dark finish and be generally of a traditional design, consistent in character and quality to those shown on this page subject to approval in the public ROW by Dominion and the applicable jurisdiction.

GUARDRAIL:

Guardrail and guardrail elements (as required) shall utilize materials and colors as required by the applicable jurisdictional authority.



MAIL BOXES:

Mail boxes shall be simple, functional and in accordance with approved projects standards. Their design and location should minimize their visual impact and comply with all applicable design standards and codes. Individual freestanding mailboxes shall be allowed, with a requirement for dark finishes for the mailboxes and posts. No separate newspaper delivery boxes shall be allowed. Grouped mailboxes shall be allowed when required by the United States Postal Service (Postal Service). All group mailboxes shall be in dark finishes. Subject to approval by the Postal Service.



FREESTANDING MAILBOX
BLACK IN COLOR



GROUPED MAILBOX
BLACK IN COLOR



OPEN SPACE SYSTEM MAP (BASE ZONING)

OWNERSHIP, MANAGEMENT AND ACCESS TO OPEN SPACE:

Arrington includes a system of open spaces placed throughout the development linked by sidewalks and trails. The spaces are strategically designed to provide green relief to the hardscape created by streets and sidewalks and also to provide passive opportunities for recreation. All of the open spaces located within the development will be owned and maintained by the Arrington Conservancy except as otherwise noted herein and/or within the proffers.

PROGRAMMED OPEN SPACE AREAS: (BASE ZONING)

1. Entry Signage	0 Acres
1A. Entry Feature	0.1 Acres
2. Farm Pond	0.6 Acres
3. Wildflower Meadow	20.0 Acres
4. Berry Planting	0.2 Acres
4A. Central Hamlet North Green	3.4 Acres
5. Trails	3.4 Acres
6. Viewshed Conservation Area	27.8 Acres
7. N/A	
8. Southwest Hamlet Community Green	2.1 Acres
9. Central Hamlet Community Center and Community Green	6.1 Acres
10. Central Hamlet Community Green	1.9 Acres
Total Programmed Open Space	65.6 Acres
Other Open Space	33.5 Acres
Total Open Space	99.1 Acres



**PROGRAMMED OPEN SPACE AREAS:
(ALTERNATIVE A)**

1. Entry Signage	0 Acres
1A. Entry Feature	0.1 Acres
2. Farm Pond	0.6 Acres
3. Wildflower Meadow	20.0 Acres
4. Berry Planting	0.2 Acres
4B. Central Hamlet West Reforestation	2.0 Acres
5. Trails	3.4 Acres
6. Viewshed Conservation Area	27.8 Acres
6A. Eating Establishment/Inn and Agrobusiness (RA Zoned Area)	2.3 Acres
7. Southeast Hamlet Community Green	4.2 Acres
8. Southwest Hamlet Community Green	2.1 Acres
9. Central Hamlet Community Center and Community Green	6.1 Acres
10A. Central Hamlet Community Garden	2.5 Acres
Total Programmed Open Space	71.3 Acres
Other Open Space	37.1 Acres
Total Open Space	108.4 Acres





**PROGRAMMED OPEN SPACE AREAS:
(ALTERNATIVE B)**

1. Entry Signage	0 Acres
1A. Entry Feature	0.1 Acres
2. Farm Pond	0.6 Acres
3. Wildflower Meadow	20.0 Acres
4. Berry Planting	0.2 Acres
4B. Central Hamlet West Reforestation	2.0 Acres
5. Trails	3.4 Acres
6. Viewshed Conservation Area	27.8 Acres
6A. Eating Establishment/Inn and Agrobusiness (RA Zoned Area)	2.3 Acres
7. Southeast Hamlet Community Green	4.2 Acres
8. Southwest Hamlet Community Green	2.1 Acres
9. Central Hamlet Community Center and Community Green	6.1 Acres
10A. Central Hamlet Community Garden	2.5 Acres
Total Programmed Open Space	71.3 Acres
Other Open Space	37.1 Acres
Total Open Space	108.4 Acres

AMENITY 1
ENTRY FEATURE



1 & 1A. ENTRY SIGNAGE & ENTRY FEATURE:

Modest entry signage will consist of a customary, hanging farm sign on a post flanked by stone column and black farm fencing. Imagery is provided on page 59 in the signage section of the Appendices. Two natural fieldstone retaining walls framing a mini-roundabout just behind Arrington ridge will signify arrival to the community. One wall will hold a modest sign Black board farm fencing ubiquitous to Fauquier County will guide you into the community. The entrance will be accented with trees, shrubs, and/or perennial flowers to highlight its location along the expansive fence line.

AMENITY 2
FARM POND



2. FARM POND:

The small farm pond will keep its current size and informal un-manicured appearance. Invasive vegetation will be removed and replaced with native wetland plantings. A proposed trail will provide access to its banks for fishing and sightseeing. One bench will be provided for an informal, tranquil retreat from everyday life.

AMENITY 3
WILDFLOWER MEADOW



3. WILDFLOWER MEADOW: (FLOODPLAIN)

This passive recreational area will provide native wildflower seeding to the stream valley ecosystem and help reestablish a natural meadow for passive recreational enjoyment of residents and visitors alike. Bird houses will also be provided within the meadow. It will be visible from James Madison Highway and be a major contribution to the southern gateway of Warrenton. Select areas within the floodplain will be seeded based on field conditions and increased visibility. Alternatives A and B will include a trail meandering through the meadow with two seating areas.

AMENITY 4
BERRY PLANTINGS



4. BERRY PLANTINGS: (1,200 LINEAR FT)

An informal thicket containing blueberries, blackberries, raspberries, and/or huckleberries will be planted for the enjoyment of people and wildlife alike. They are located along a proposed paved trail in sufficient amounts to graze or harvest.

4A. CENTRAL HAMLET NORTH GREEN (BASE) OR NORTH HAMLET GREEN (ALTERNATIVE B)

This green will be a visible focal point when entering the site from Alwington Boulevard. This informal green will provide a well landscaped perimeter along Alwington Boulevard with active recreation and tot lot on the interior. It will incorporate perimeter trees and interior pathways and plantings.

4B. CENTRAL HAMLET WEST REFORESTATION

Native, deciduous trees (min. 2.5" caliper) shall be planted at a rate of one (1) tree per 1,000 square feet of land area on approximately two (2) acres along the western boundary of the site. This reforestation area will serve as a natural wildlife habitat, passive recreational area, and an additional western buffer.

OPEN SPACE AMENITIES/FEATURES:

- Seating areas
- Benches
- Tot Lot
- Groomed Park
- Community greens
- Pedestrian bridges
- Community gardens
- Berry planting
- Wildflower meadows with bird houses
- Gazebo or covered structure
- Community Center
- Pool
- Patio
- Trails
- Stone walls
- Ornamental trees
- Fencing

OPEN SPACE AMENITY DESIGN NOTE

Open space amenity designs shown herein are preliminary and conceptual. Actual design will follow the associated descriptions and provide the amenities/features mentioned. Actual layout may vary. Parking for the community center, inn and restaurant will be provided per the Zoning Ordinance.



AMENITY 5
TRAILS & TRAIL EASEMENTS



5. TURKEY RUN TRAIL:

The Turkey Run Trail (minimum ten feet (10') wide) will provide a continuous bicycle and pedestrian connection from the southerly boundary of Arrington near the intersection of James Madison Highway and the Eastern Bypass northward through the Arrington community to its northern boundary. A public access easement shall be provided for any portion of the Turkey Run Trail not located with a dedicated public street right-of-way. The easement shall be a minimum of fifteen feet (15') in width. The proposed trail system will connect sidewalks in and around Arrington to provide access and interconnectivity to each of the hamlets, the stream valley corridor, and all community amenities. The Turkey Run Trail will be privately maintained but open to the public.

AMENITY 6
CONSERVATION AREA



6. VIEWSHED AGRICULTURAL AREA:

The Arrington ridge and its views framing the southern entrance to Warrenton will remain in agricultural use as it is today. Various agricultural uses along the ridge and other areas of the site will preserve the county's farming tradition and scenic identity. If the Property is developed under the Base Zoning, only shallow root crops requiring no tilling will be planted within the area reserved for future drainfields.

AMENITY 6A
RESTAURANT, INN & FUTURE AGROBUSINESS



6A. RESTAURANT, INN & FUT. AGROBUSINESS

A special amenity of the site will be an eating establishment and hotel/inn proposed under development Alternatives A and B bordering the RA area to the south. The proposed eating establishment and hotel/inn along with the adjoining RA zoned parcel holds picturesque views west to the mountains. The RA zoned area could also provide the perfect setting for a single residence, farm, or agrobusiness that could be a unique rural destination within Arrington. A winery could be the venue of weddings and special events which could be served by the adjacent inn and restaurant. Furthermore, this site is home to the historic Leeton Forest Plantation ruins which could be restored and displayed or restored and adaptively reused within the grounds of the agrobusiness.

FORMAL & COMMUNITY GREENS:

Each of the hamlets within Arrington will include a community green with amenities such as planting beds, passive recreation, benches, gardens and manicured formal lawns for gathering and unprogrammed events.

Descriptions of each of the community greens and the amenities to be provided therein are provided on pages 23 through 25 of this COD. In addition to these main community greens, Arrington will also feature smaller scale pocket parks. These are more intimate areas reserved for relaxing while not being the main green or focal point of each hamlet. They are to be quieter and may provide closer proximity to dwellings located on the greens. They will contain some seating and are a great area for walking dogs.

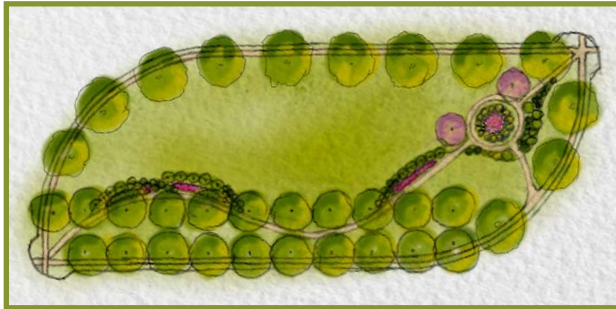
7. SOUTHEAST HAMLET COMMUNITY GREEN:

This entry green developed under Alternatives A and B will be visible when entering the site from Business Route 15/17/29. It will serve as an entrance to the Southeast Hamlet with agricultural plantings such as an orchard or vineyard. It will incorporate perimeter trees interior pathways, two benches, and a formal shade structure. It will have a sloping topography so will be used for passive recreation such as dog walking, sight-seeing, picnicking and relaxing much like the other greens.



AMENITY 7
COMMUNITY GREEN

AMENITY 8
FORMAL GREEN



8. SOUTHWEST HAMLET COMMUNITY GREEN:

Entering the site from Business Route 15/17/29 and traveling along the winding entrance road, this green will become visible after making your way through the first existing fencerow. Atop the knoll, this green is a welcome point of semi-formal open space. Trees and sidewalks circle the perimeter while the interior holds a meandering path with two benches within the proposed planting areas. This is the smallest of the greens being located in the smallest hamlet.

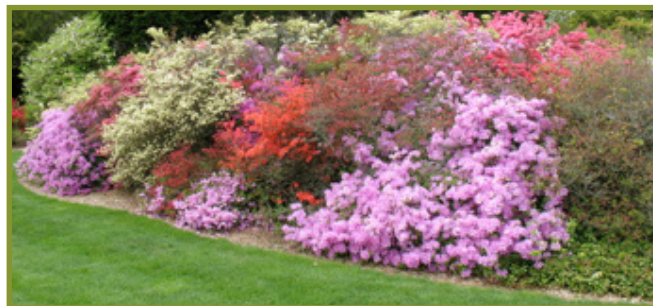
AMENITY 9
FORMAL GREEN



9. CENTRAL HAMLET COMMUNITY CENTER & COMMUNITY GREEN:

This is the largest green and will be the most active and heavily programmed. It will house the community center, pool, one tennis court or two pickleball courts, formal garden with seating and contain the largest area of open turf providing the opportunity for more active recreation. A gazebo or other covered structure is also proposed at its main entry point to allow escape from the sun and oversee activities. Plantings will circle the covered structure and its entrance from the street.

AMENITY 10
LINEAR PARK



10. CENTRAL HAMLET COMMUNITY GREEN:

This central green will be a focal point and amenity serving the largest Central Hamlet. This semi-formal green will provide supplemental recreation amenities not provided by the more active community green in the Central Hamlet. Much like the Southwest green, it will incorporate perimeter trees and interior pathways, two benches, and plantings. It will have a relatively flat topography so could be used from active play as well as passive recreation.

AMENITY 10A
COMMUNITY GARDEN



10A. CENTRAL HAMLET COMMUNITY GARDEN:

Development of this community garden under Alternatives A and B will be a place where residents can gather to socialize, share gardening skills and pick fresh herbs and vegetables for dinner. Three (3) benches and a work table for potting and planting will be available, as well as an area to keep tools and supplies. Raised beds will contain seasonal produce and provide easy maintenance. Design of the beds and paths will be well organized and tastefully prepared to be the pride of the community. A rain collection system may be provided for irrigation.

LOT TYPES:

The Arrington community will provide a mix of homes of varying category, type, and architectural styles to ensure neighborhood quality and visual diversity. Market-rate single family detached homes will consist of three categories (Village, Neighborhood, and Estate) with two distinct lot types (A and B) within each category. The widths of the market-rate single family detached lots will range from 44 feet to 116 feet with the specific range of lot widths for each lot category and type listed on page 27 - the "Lot Regulating Plan". Corresponding lot areas range from 4,752 square feet to 12,992 square feet as listed in the Lot Standards included on Pages 31 and 32 in this Code of Development. The width of each rectangular lot shall be measured at the front lot line. The width of each lot on a curvilinear street shall be measured at the minimum front setback line. The variation in lot widths and lot areas will facilitate a corresponding diversity in home sizes, placement on the lots, and garage orientation. Development under Alternative A would add a single family attached (townhome) lot category for the construction of market-rate and affordable townhomes. The location of all lot categories is shown on the Lot Regulating Plan. The "Lot Mix (Per Block and Total)" table on the right provides the proposed distribution of the lot categories, types, and garage orientations by block and hamlet under the Base Zoning to further define lot variation and distribution throughout the community. A similar table is provided for Alternatives A & B on page 26A. Visual diversity will be further enhanced through varying architectural styles of a Piedmont vernacular (e.g. Federal, Colonial Revival, Bungalow, American Foursquare, and Contemporary Variations) with each style having distinct form, massing, and roofline definitions as well as window, door, and porch details as illustrated in Part IV of this

Code of Development. The variety in architectural styles is assured within these Plan Requirements as well as the Lot & Building Requirements in Part III.

All hamlets as defined on Page 12 of this Code of Development and shown on the Concept Development Plan are required to have a variation of lot type, architectural styles, and setbacks (both front and side), all as set forth within this COD.

Corner lots with generous front and side yards are important to the character of the development because they are highly visible and serve as key features within the community. Homes on corner lots should include architectural features for both the front and side elevations fronting street, including items like wrap-around porches, turrets, columns, balconies, or other unique items.

UNIT MIX PER BLOCK NOTE:

The number of lots of a certain category and type to be located within each block is subject to change during preparation of the Code of Development Site Plan up to a maximum of twenty percent (20%) for each category type (rounded up) within each block for those types within a category with more than two (2) lots in such block as long as the cumulative effects of any changes do not exceed the maximum allowable change in number of lots of each category and type per hamlet as set forth in the overall hamlet tabulations previously described herein.

No more than three (3) market-rate single family detached lots of the same category and type (i.e., Village, Type A) may be located adjacent to each other along each street frontage of a block.

BASE ZONING LOT MIX (PER BLOCK AND TOTAL)									
HAMLET/BLOCK	SINGLE FAMILY DETACHED						SINGLE FAMILY ATTACHED		TOTAL
	Estate		Neighborhood		Village		Townhouse	Townhouse	
	A	B	A	B	A	B	Market	Affordable	
	Side Load Garage		Front Load Garage		Alley Load Garage		Alley Load Garage		
CENTRAL SFD HAMLET:									
1			4	4					8
2	5	3							8
3	3	9							12
4	CENTRAL HAMLET COMMUNITY CENTER & COMMUNITY GREEN (9)								
5			6	4	6	2			18
6			6	4	4	2			16
7			7	7					14
8					8	16			24
9			6	4	6	2			18
10			6	4	6	2			18
11			7	3					10
12					8	6			14
13	CENTRAL HAMLET COMMUNITY GREEN (10)								
14			4	4					8
15						6			6
SUBTOTAL	8	12	46	34	38	36	0	0	174
SOUTHWEST HAMLET:									
16	1		13	9					23
17	SOUTHWEST HAMLET COMMUNITY GREEN (8)								
18	1	5							6
19	3		1	2					6
20			2	3					5
21				3					3
SUBTOTAL	5	5	16	17	0	0	0	0	43
TOTAL (BASE)	13	17	62	51	38	36	0	0	217
MIX %	6.0%	7.8%	28.6%	23.5%	17.5%	16.6%	0.0%	0.0%	100.0%

ALTERNATIVE A & B LOT MIX (PER BLOCK AND TOTAL)									
HAMLET/BLOCK	SINGLE FAMILY DETACHED						SINGLE FAMILY ATTACHED		TOTAL
	Estate		Neighborhood		Village		Townhouse	Townhouse	
	A	B	A	B	A	B	Market	Affordable	
	Side Load Garage	Front Load Garage	Alley Load Garage	Alley Load Garage	Alley Load Garage				
CENTRAL HAMLET:									
2	5	3							8
3	3	9							12
4	CENTRAL HAMLET COMMUNITY CENTER & COMMUNITY GREEN (9)								
5			6	4	3	1	7		21
6			6	4	1	1	7		19
SUBTOTAL	8	12	12	8	4	2	14	0	60
SOUTHWEST HAMLET:									
16	1		13	9					23
17	SOUTHWEST HAMLET COMMUNITY GREEN (8)								
18	1	5							6
19	3		1	2					6
20			2	3					5
21				3					3
SUBTOTAL	5	5	16	17	0	0	0	0	43
SOUTHEAST HAMLET:									
22				3					3
	COMMERCIAL - EATING ESTABLISHMENT AND HOTEL (INN)								
23	3	4	3						10
24			8	6	3	1		7	25
25					10	14		9	33
26	SOUTHEAST HAMLET COMMUNITY GREEN (7)								
SUBTOTAL	3	4	11	9	13	15	0	16	71
CENTRAL SFA HAMLET:									
27A							5		5
27B							20		20
27C							12		12
	CENTRAL HAMLET COMMUNITY GARDEN (10A)								
	CENTRAL HAMLET WEST REFORESTATION (4B)								
SUBTOTAL	0	0	0	0	0	0	37	0	37
TOTAL (ALT A)	16	21	39	34	17	17	51	16	211
MIX %	7.6%	10.0%	18.5%	16.1%	8.1%	8.1%	24.2%	7.6%	100.0%
NORTH HAMLET:									
28	2	2							4
29							25		25
30							17		17
31			7	6					13
SUBTOTAL	2	2	7	6	0	0	42	0	59
TOTAL (ALT B)	18	23	46	40	17	17	93	16	270
MIX %	6.7%	8.5%	17.0%	14.8%	6.3%	6.3%	34.4%	5.9%	100.0%



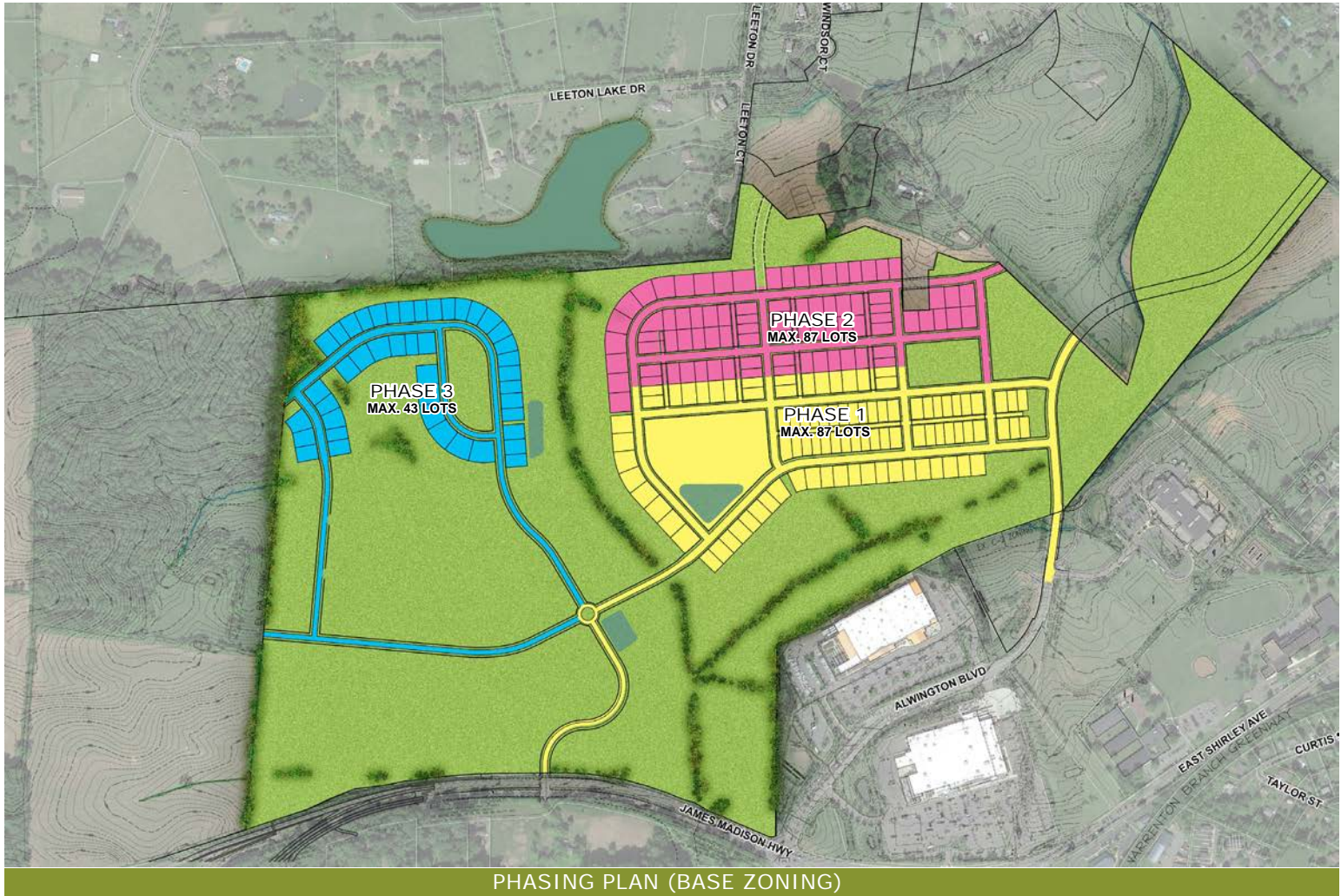
LOT REGULATING PLAN (BASE ZONING)

Note: See page 29 and proffers for project phasing.

LOT WIDTHS				
RESIDENTIAL LOTS CATEGORY	TYPE	INTERIOR/ CORNER/ END	LOT WIDTH	
			MIN (Ft)	MAX (Ft)
VILLAGE	Purple square	A INTERIOR	44	48
		A CORNER	59	63
		B INTERIOR	49	53
		B CORNER	64	68
NEIGHBORHOOD	Red square	A INTERIOR	62	66
		A CORNER	77	81
		B INTERIOR	74	78
		B CORNER	89	93
ESTATE	Yellow square	A INTERIOR	89	93
		A CORNER	104	108
		B INTERIOR	97	101
		B CORNER	112	116
TOWNHOUSE	Blue square	INTERIOR	19.5	20.5
		CORNER - PUB. STREET	35	40
		END - PVT. ALLEY/OS	29.5	30.5
TOWNHOUSE - AFFORDABLE	Blue square with asterisk	INTERIOR	19.5	20.5
		CORNER - PUB. STREET	35	40
		END - OPEN SPACE	29.5	30.5







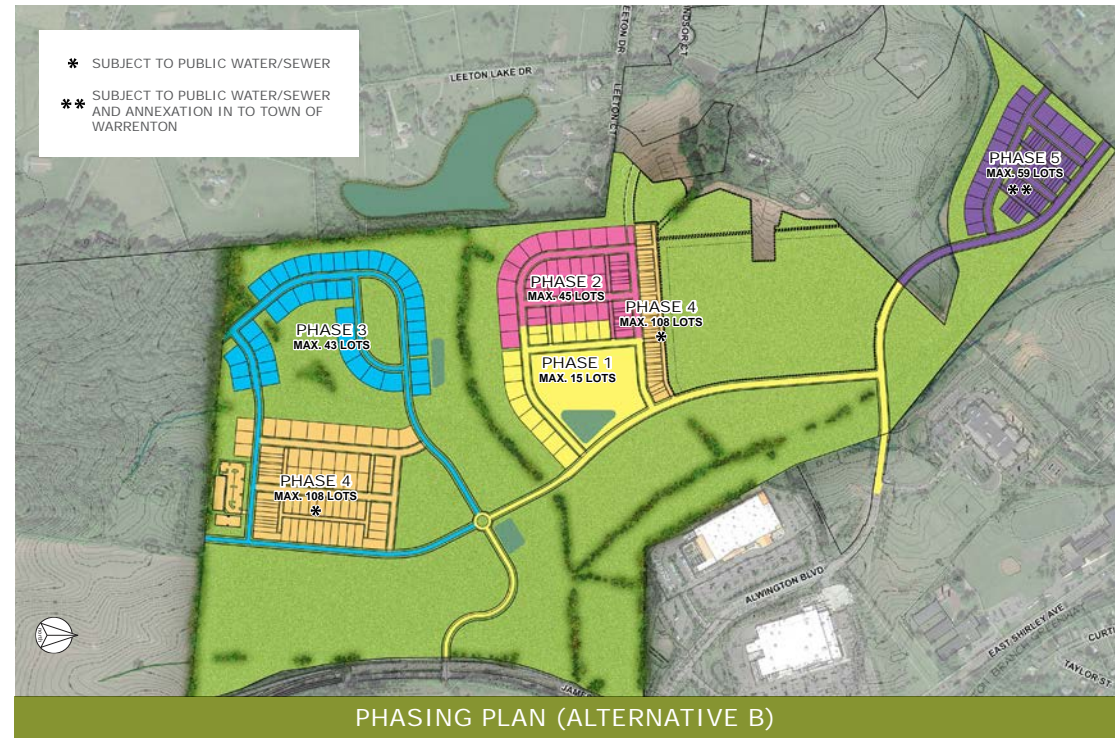
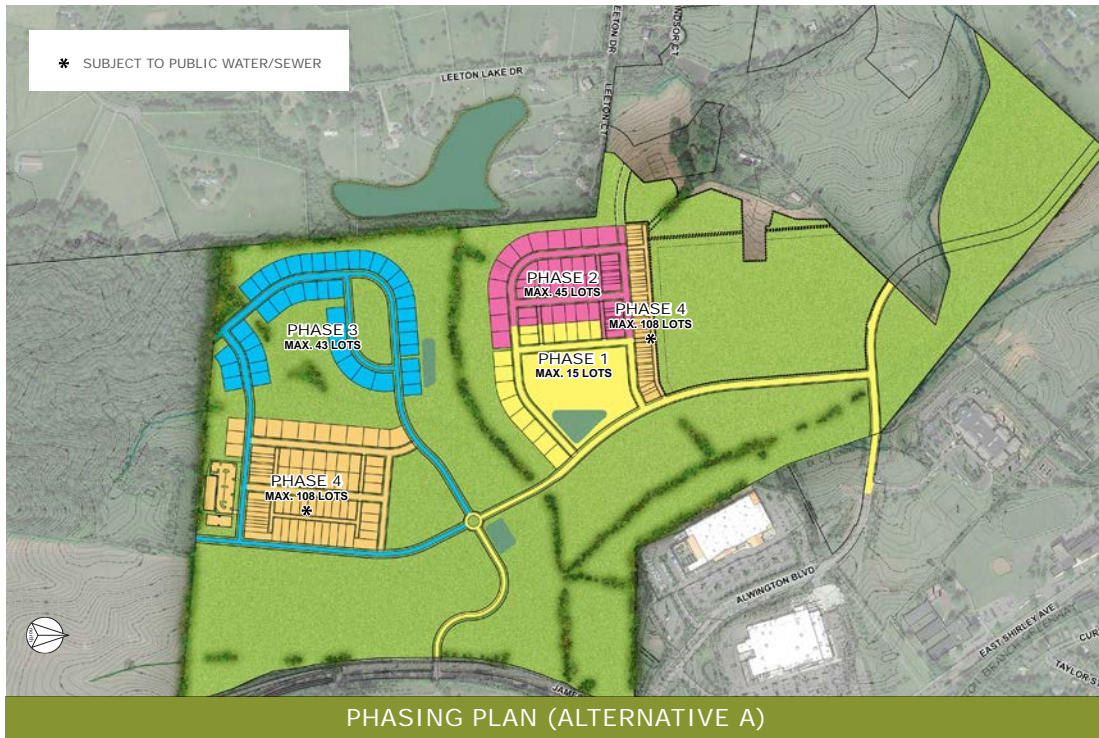
DEVELOPMENT PHASING

Arrington shall be developed in multiple phases. Each phase is specifically delineated on the Phasing Plan. Hamlets may be phased in any order and multiple hamlets may be developed together, so long as no more than 100 residential occupancy permits are issued in any one calendar year. Further, houses on no more than twenty (20) lots in total may be constructed on the Property prior to the Business Route 15/17/29 and the Awington Boulevard street connections being base paved and open to traffic.

All street and utility improvements, including sewer, water and stormwater management facilities shall be constructed as necessary to support individual houses. The design engineer in consultation with the applicable governmental authorities and utility agency shall determine the extent of streets and utilities necessary to be shown on each Code of Development Site Plan submission in order to determine that such facilities will be designed correctly.

All hardscape features within each open space shall be constructed in conjunction with the phase containing such feature.

PHASING TABULATIONS (BASE ZONING)		
PHASE NUMBER	HAMLET NAME	MAX. UNITS
1	CENTRAL SFD HAMLET PHASE 1	87
2	CENTRAL SFD HAMLET PHASE 2	87
3	SOUTHWEST HAMLET	43
TOTAL UNITS PROPOSED		217



PHASING TABULATIONS (ALTERNATIVE A)		
PHASE NUMBER	HAMLET NAME	MAX. UNITS
1	CENTRAL SFD HAMLET PHASE 1	15
2	CENTRAL SFD HAMLET PHASE 2	45
3	SOUTHWEST HAMLET	43
4	CENTRAL SFA & SOUTHEAST HAMLETS	108
TOTAL UNITS PROPOSED		211

PHASING TABULATIONS (ALTERNATIVE B)		
PHASE NUMBER	HAMLET NAME	MAX. UNITS
1	CENTRAL SFD HAMLET PHASE 1	15
2	CENTRAL SFD HAMLET PHASE 2	45
3	SOUTHWEST HAMLET	43
4	CENTRAL SFA & SOUTHEAST HAMLETS	108
5	NORTH HAMLET	59
TOTAL UNITS PROPOSED		270

Notes:

1. Phase 4 is subject to access to Town water and sewer service and inclusion of Arrington within the corporate boundaries of the Town of Warrenton.
2. Phase 5 is subject to access to Town water and sewer service, inclusion of Arrington within the corporate boundaries of the Town of Warrenton, and availability of offsite right-of-way for the northerly extension of Alwington Boulevard.

**LOT LAYOUT STANDARDS
(SINGLE-FAMILY DETACHED HOMES)**

**ACCESSORY STRUCTURES
(EXCLUDES DETACHED GARAGES):**

Notwithstanding the side and rear yard setbacks as set forth in the Lot Standards, accessory structures and uses may be located in the side and rear yard provided a minimum five (5) foot setback is provided from all side and rear property lines and the accessory structure or use is located at least ten (10) feet to the rear of the principal structure on the subject lot. The floor area of any accessory structures, except detached garage, shall be no larger than 150 square feet and the building height shall be limited to fifteen feet (15’).



CURB-CUTS:

Driveway curb-cuts shall be no wider than the greater of 12 feet or the minimum width allowed by the applicable jurisdiction. Curb-cuts and driveways shall be designed to emphasize and facilitate the continuation of the sidewalk across the apron.

DRIVEWAYS:

Driveways serving front loaded garages shall not exceed the width of the garage for a distance of 20 feet in front of the garage (the “Front Required Parking Area”), and shall then transition (within next 10 feet) from the width of the garage to the width of the curb-cut referenced above and the remainder of the driveway from the transition to the curb-cut shall not exceed the width of the curb-cut.



Driveways serving rear loaded garages from an alley shall not exceed the width of the garage for a distance of up to 20 feet between the alley and the garage (the “Rear Required Parking Area”). Driveways serving side loaded garages shall not exceed the width of the garage and shall transition (within 10’ forward of the front line of the garage) to the width of the curb-cut referenced above and the remainder of the driveway from the transition to the curb-cut shall not exceed the width of the curb-cut. Driveways and the Required Parking Areas may be constructed of asphalt, brick or concrete pavers (to include open pavers), stamped concrete, or broom finished concrete.

GARAGES:

All front loaded garages shall be sized for no more than two (2) vehicles, with a maximum width of 24 feet. Front loaded garages shall be set back a minimum of 20 feet behind the “Front” of the house. Side loaded garages need not be set back where the side wall of the garage is aligned with, or no closer to the street than, the main mass of house and may contain garage parking for up to three (3) vehicles.

Any rear loaded garage shall be sized for no more than two (2) cars. Rear loaded garages shall be sited to meet all side and rear yard setbacks as set forth in the Typical Lot Details below.

The “Front” of a house shall be defined as that element of the residential structure that is located closest to a street (e.g. the main mass, front addition, or greatest frontward projection of a bay or box window or front porch). Side and rear loaded garages are required for those lots designated for such garages.

LOT LAYOUT VARIETY:

Each residential block shall incorporate a variety of lot category, type, and architectural styles, and a variety of setbacks between the front lot line and the front of each house to ensure visual diversity. To achieve the aforesaid, the following design requirements shall be followed:

- Each street frontage of a block shall include a variety of setbacks between the front lot line and front of each house with a minimum setback of two feet (2') and a maximum setback of five feet (5') between the main massing of adjacent houses.
- Architectural front facades of the same style shall not be utilized on market-rate single family detached homes placed on adjacent lots of the same category and type or on lots of the same category and type directly across the street from each other.
- Market-rate single family detached homes with the same architectural style shall not be constructed on more than three lots of the same category and type along each street frontage of a block.
- Architectural styles with two-story elevations shall be offered for all lot categories and types except the Cottage category.
- No more than more twenty percent (20%) of the homes located along each street frontage of a block shall be the same color scheme.
- No more than 50% of all single-family detached houses constructed along each street frontage of a block shall consist of front facades with all siding above the water table, or utilize a front elevation where siding is the predominant (more than 50%) material above the water table.
- Homes on corner lots warrant special consideration due to the visibility of the home's side elevation. The side elevation of homes on corner lots shall be designed to include similar architectural elements and articulations as the front façade including items like wrap around porches, number of windows, and window treatments (e.g. shutters).

- Each street frontage of a block with more than five (5) market-rate single family detached lots adjoining such street shall include a minimum of three (3) different lot widths for said lots with a minimum of ten feet of variation between the narrowest and widest lot widths. Each street frontage of a block with five (5) or less market-rate single family detached lots adjoining such street shall include a minimum of two (2) different lot widths for said lots with a minimum of ten feet of variation between the narrowest and widest lot widths.
- Homes on no more than three (3) adjoining market-rate single family detached lots along each street frontage of a block may be of the same width.

MECHANICAL AND ELECTRICAL EQUIPMENT:

All mechanical and electrical equipment for each individual house (i.e., meters and condenser units) shall be located no closer to the street than the front line of the house and shall be screened from view from any public travel way by architectural treatment, landscaping, or both. Electric, telecommunication, and video distribution cable and equipment maintained by a municipality or public utility company (i.e. transformers and splicing pedestals) is excluded from this requirement.

LOT LAYOUT STANDARDS (SINGLE-FAMILY ATTACHED HOMES)

ACCESSORY STRUCTURES (EXCLUDES DETACHED GARAGES):

Accessory structures shall be located on the rear half of the lot and shall meet all side and rear yard setbacks as set forth in the Lot Regulating Standards The floor area of any accessory structures, except detached garage, shall be no larger than 50 square feet and the building height shall be limited to one-story.

CURB-CUTS:

Driveway curb-cuts along public ROW shall be prohibited. Access for garages shall only be off of a private alley.

DRIVEWAYS:

Driveways serving rear loaded garages from an alley shall not exceed the width of the garage (the "Rear Parking Area"). Driveways and the parking areas may be constructed of asphalt, brick or concrete pavers (to include open pavers), stamped concrete, or broom finished concrete.

GARAGES:

Garages shall not be required, but if provided shall be rear loaded and sized for no more than two (2) cars. Garages shall be sited to meet all side and rear yard setbacks as set forth in the Zoning Ordinance.

LOT LAYOUT VARIETY:

No more than six (6) single-family attached (townhouse) units shall be located in any one building and no more than thirty-seven (37) units shall be located in any block. Each building shall incorporate a variety of setbacks and front facades for the townhouse units consist of a minimum of two (2) units with ¾ porches within each building. Variation in architectural styles and building heights is recommended. The intent of these requirements is to create variation along each block. No two adjacent, diagonal, or opposite buildings may be of the same elevation or color scheme unless the intent of the architectural style of two adjoining townhomes is to create a massing and appearance of a single larger townhome.

MECHANICAL AND ELECTRICAL EQUIPMENT:

All mechanical and electrical equipment for each individual house (i.e., meters and condenser units) shall be located no closer to the street than the front line of the house and shall be screened from view from any public travel way by architectural treatment, landscaping, or both. Electric, telecommunication, and video distribution cable and equipment maintained by a municipality or public utility company (i.e. transformers and splicing pedestals) is excluded from this requirement.

LIGHTING (SINGLE-FAMILY DETACHED AND ATTACHED):

One or two building-mounted entry lights shall be provided on all homes. Building-mounted light fixtures shall be of a design and scale appropriate to complement the building architecture and shall not negatively impact neighboring properties.

LOT STANDARDS NOTES:

1. The term "story" means that part of a building between any floor and the next floor above, and if there is no floor above, then the ceiling above. In the event the roof design permits the area between the highest floor and the roof to be habitable space equal to, or less than, sixty percent (60%) of the floor area of the lowest level, than such area shall be referred to as a "half-story". The maximum height of a story between floors shall be 14 feet.
2. Building height shall be measured as set forth in the Fauquier County Zoning Ordinance.



LOT STANDARDS															
BUILDING CATEGORY	INTERIOR/CORNER/END TYPE	WIDTH		LOT DIMENSIONS DEPTH		LOT AREA		GARAGE ORIENTATION	PROPERTY LINE SETBACK YARD	ALLOWABLE ENCROACHMENT ⁽¹⁾		BUILDING HEIGHT MAX (Ft)			
		MIN (Ft)	MAX (Ft)	MIN (Ft)	MAX (Ft)	MIN (Sq Ft)	MAX (Sq Ft)			LIST	MAX (Ft)				
VILLAGE	A	INTERIOR	44	48	108	112	4752	5376	REAR-ALLEY	FRONT 25 SIDE 10 REAR 10	30 15 n.a.	A 7 B 4 C 0	35		
	A	INTERIOR BLOCK 25 ONLY	44	48	138	142	6072	6816	REAR-ALLEY	FRONT 55 SIDE 10 REAR 10	60 15 n.a.	A 7 B 4 C 0	35		
	A	CORNER	59	63	108	112	6372	7056	REAR-ALLEY	FRONT 25 SIDE 10 REAR 10	30 15 n.a.	A 7 B 4 C 0	35		
	B	INTERIOR	49	53	108	112	5292	5936	REAR-ALLEY	FRONT 25 SIDE 10 REAR 10	30 15 n.a.	A 7 B 4 C 0	35		
	B	INTERIOR BLOCK 25 ONLY	49	53	138	142	6762	7526	REAR-ALLEY	FRONT 55 SIDE 10 REAR 10	60 15 n.a.	A 7 B 4 C 0	35		
	B	CORNER	64	68	108	112	6912	7616	REAR-ALLEY	FRONT 25 SIDE 10 REAR 10	30 15 n.a.	A 7 B 4 C 0	35		
NEIGHBORHOOD	A	INTERIOR	62	66	108	112	6696	7392	FRONT (MIN. GARAGE SETBACK IS HOUSE FRONT + 20')	FRONT 25 SIDE 10 REAR 25	30 15 n.a.	A 7 B 4 C 15	35		
	A	CORNER	77	81	108	112	8316	9072	FRONT (MIN. GARAGE SETBACK IS HOUSE FRONT + 20')	FRONT 25 SIDE 10 REAR 25	30 15 n.a.	A 7 B 4 C 15	35		
	B	INTERIOR	74	78	108	112	7992	8736	FRONT (MIN. GARAGE SETBACK IS HOUSE FRONT + 20')	FRONT 25 SIDE 10 REAR 25	30 15 n.a.	A 7 B 4 C 15	35		
	B	CORNER	89	93	108	112	9612	10416	FRONT (MIN. GARAGE SETBACK IS HOUSE FRONT + 20')	FRONT 25 SIDE 10 REAR 25	30 15 n.a.	A 7 B 4 C 15	35		
ESTATE	A	INTERIOR	89	93	108	112	9612	10416	SIDE	FRONT 25 SIDE - HOUSE 10 SIDE - GARAGE 25 REAR 25	30 n.a. n.a.	A 7 B 4 C 15	35		
	A	CORNER	104	108	108	112	11232	12096	SIDE	FRONT 25 SIDE - HOUSE 10 SIDE - GARAGE 25 REAR 25	30 n.a. n.a.	A 7 B 4 C 15	35		
	B	INTERIOR	97	101	108	112	10476	11312	SIDE	FRONT 25 SIDE - HOUSE 10 SIDE - GARAGE 25 REAR 25	30 n.a. n.a.	A 7 B 4 C 15	35		
	B	CORNER	112	116	108	112	12096	12992	SIDE	FRONT 25 SIDE - HOUSE 10 SIDE - GARAGE 25 REAR 25	30 n.a. n.a.	A 7 B 4 C 15	35		

ALLOWABLE ENCROACHMENTS:

The yard requirements shall apply to all buildings and structures as they relate to the lot lines, public streets, and private streets (alleys).

GENERAL - The following structures shall be exempt from the minimum yard requirements as set forth in this Ordinance: telephone booths and pedestals, underground utility equipment, mailboxes, or any similar structure or equipment which in the opinion of the Zoning Administrator is obviously intended to be otherwise located in the public interest and are not incongruous with the aesthetic standards of the surrounding area. Ramps and/or other means of handicapped accessibility to and from any structure may encroach into any required yard area, assuming such encroachment is the least necessary in order to provide access to such structure. Cornices, eaves, sills, headers, belt courses and similar ornamental features may extend twelve (12) inches into any required yard. Exterior masonry chimneys not more than ten (10) feet in width may extend three (3) feet into any required front, side, or rear yard. Notwithstanding the side and rear yard setbacks as set forth in the Lot Standards, accessory structures and uses may be located in the side and rear yard provided a minimum five (5) foot setback is provided from all side and rear property lines and the accessory structure or use is located at least ten (10) feet to the rear of the principal structure on the subject lot. The floor area of any accessory structures, except a detached garage, shall be no larger than 150 square feet and the building height shall be limited to fifteen feet (15').

SPECIFIC YARDS – Certain features may extend into the required minimum yard areas as follows:

LIST A (FRONT YARD) – Porches and stoops (roofed or unroofed) may extend into the required front yard a maximum of seven (7) feet. An “open-work” railing or wall, which means at least fifty (50) percent of the area is open in a generally distributed manner, not over four (4) feet high, may be erected around such porch or stoop. Bay or box windows, canopies, or awnings may extend into the required front yard a maximum of three (3) feet.

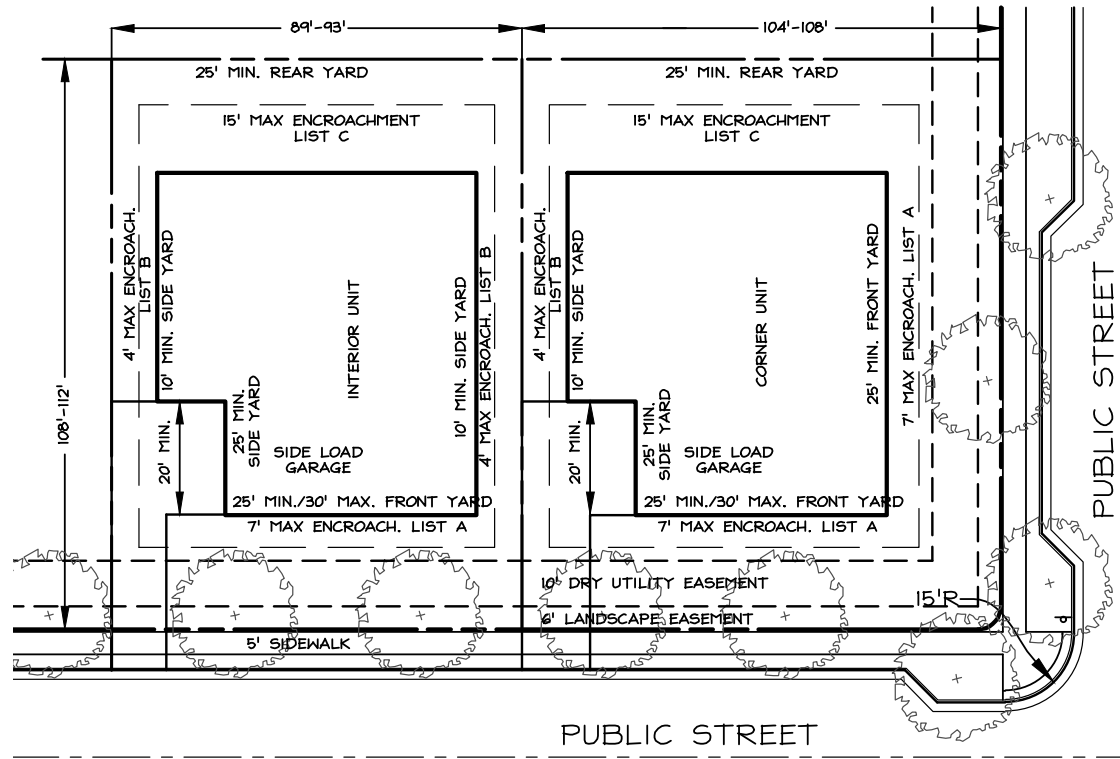
LIST B (SIDE YARD) – Bay or box windows, canopies, or awnings may extend into the required side yard a maximum of two (2) feet. An outside stairway, unenclosed above and below its steps, or areaway providing ingress/egress to a basement level may extend four (4) feet into any required side yard, but not nearer to any side lot line than six (6) feet.

LIST C (REAR YARD) – Porches, decks and balconies (roofed or unroofed) may extend into the required rear yard. Bay or box windows, canopies, or awnings may extend into the required rear yard a maximum of two (2) feet. An outside stairway, unenclosed above and below its steps, or areaway providing ingress/egress to a basement level may extend four (4) feet into any required rear yard.

LOT STANDARDS														
BUILDING CATEGORY	INTERIOR/ CORNER/ END TYPE	WIDTH		DEPTH		LOT AREA		GARAGE ORIENTATION	PROPERTY LINE SETBACK			ALLOWABLE ENCROACHMENT ⁽¹⁾		BUILDING HEIGHT MAX (Ft)
		MIN (Ft)	MAX (Ft)	MIN (Ft)	MAX (Ft)	MIN (Sq Ft)	MAX (Sq Ft)		YARD	MIN (Ft)	MAX (Ft)	LIST	MAX (Ft)	
TOWNHOUSE	INTERIOR	19.5	20.5	98	110	1911	2255	REAR-ALLEY	FRONT	25	30	A	7	40
	CORNER - PUBLIC STREET	45	50	98	110	4410	5500	REAR-ALLEY	SIDE	0	0	n.a.	n.a.	
	END - PRIVATE ALLEY OR OPEN SPACE	29.5	30.5	98	110	2891	3355	REAR-ALLEY	REAR	18	n.a.	C	10	
TOWNHOUSE - AFFORDABLE (BLOCKS 24 AND 25)	INTERIOR	19.5	20.5	138	140	2691	2870	REAR-ALLEY	FRONT	25	30	A	7	40
	CORNER - PUBLIC STREET	45	50	138	140	6210	7000	REAR-ALLEY	SIDE	0	0	n.a.	n.a.	
	END - PRIVATE ALLEY OR OPEN SPACE	29.5	30.5	138	140	4071	4270	REAR-ALLEY	REAR	18	n.a.	C	10	
COMMERCIAL - EATING ESTABLISHMENT						BUILDING FLOOR AREA (Sq Ft)			FRONT - ROLLING MEADOWS	25	30	A	7	35
						MIN	MAX		FRONT - VINEYARD VIEW	55	60	A	7	
						n.a.	8000		SIDE - BETWEEN BUILDINGS	10	n.a.	n.a.	n.a.	
									REAR (ADJ. TO RA)	10	n.a.	n.a.	n.a.	
COMMERCIAL - HOTEL (INN)						NO. OF GUEST ROOMS			FRONT - PARKING	MIN. 10' W/HEDGEROW OR STONE WALL (MIN. HT. = 36")				35
						MIN	MAX		ROLLING MEADOWS	120	n.a.	A	7	
						n.a.	15		FRONT - BUILDING					
						n.a.	14000		ROLLING MEADOWS					
									SIDE - BETWEEN BUILDINGS	10	n.a.	n.a.	n.a.	
									SIDE - ADJ. TO RESIDENTIAL HOMES	25	n.a.	n.a.	n.a.	
									REAR (ADJ. TO RA)	10	n.a.	n.a.	n.a.	

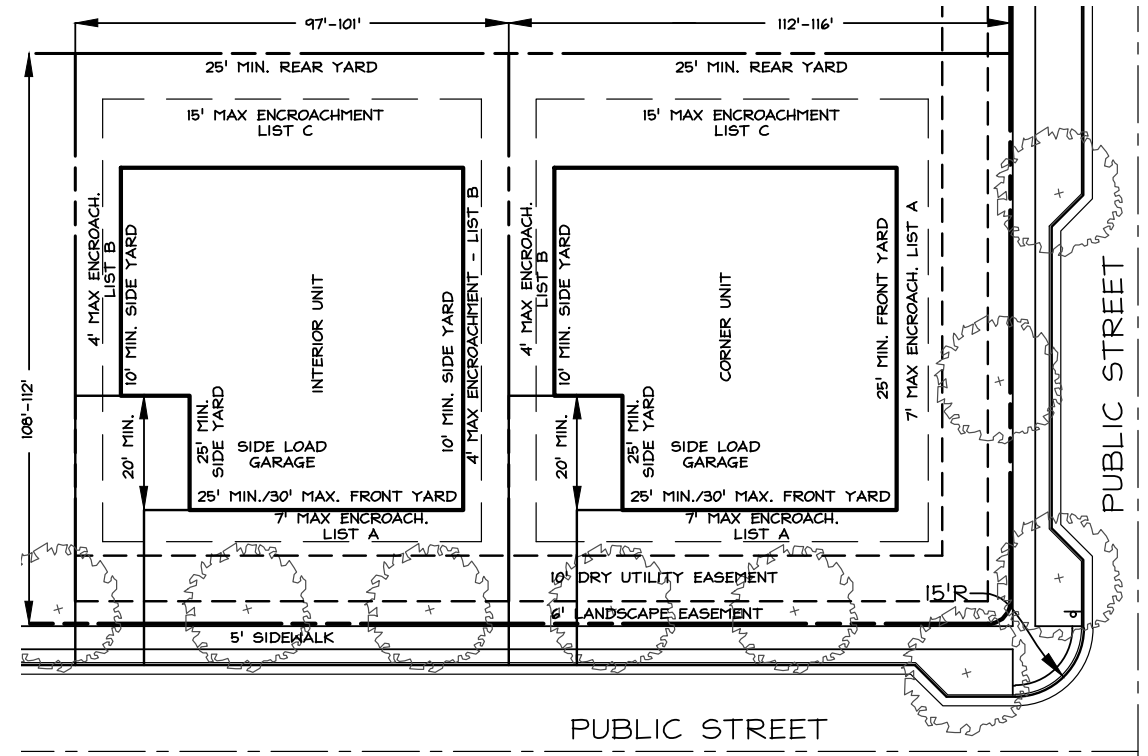
ESTATE LOT LAYOUT STANDARDS (TYPE A) (SIDE-LOAD, SINGLE-FAMILY DETACHED)

NOT TO SCALE



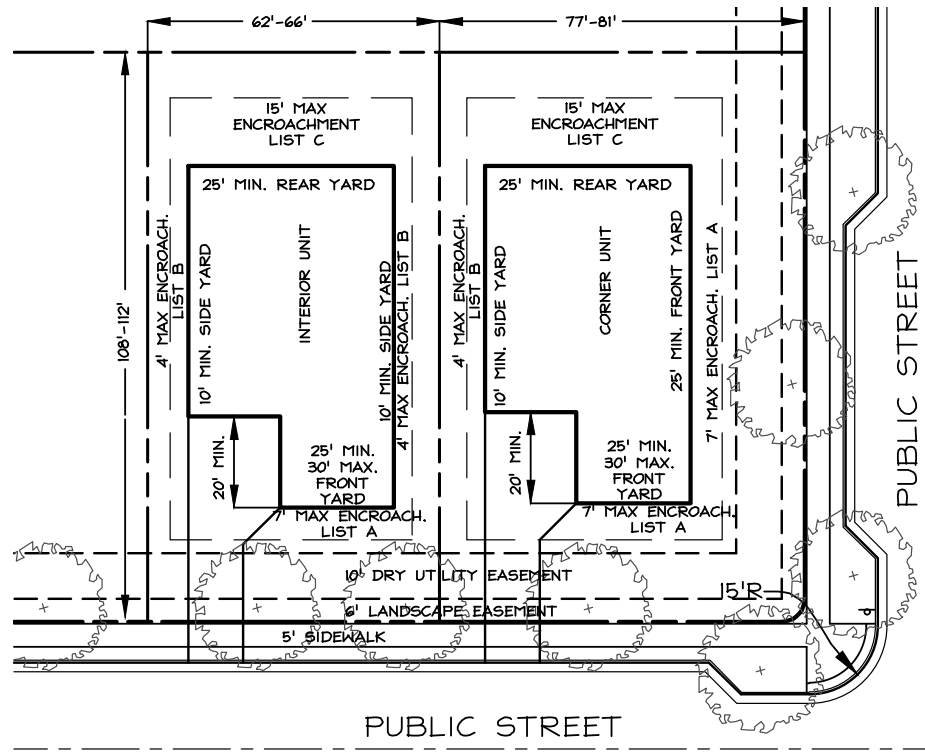
ESTATE LOT LAYOUT STANDARDS (TYPE B) (SIDE-LOAD, SINGLE-FAMILY DETACHED)

NOT TO SCALE



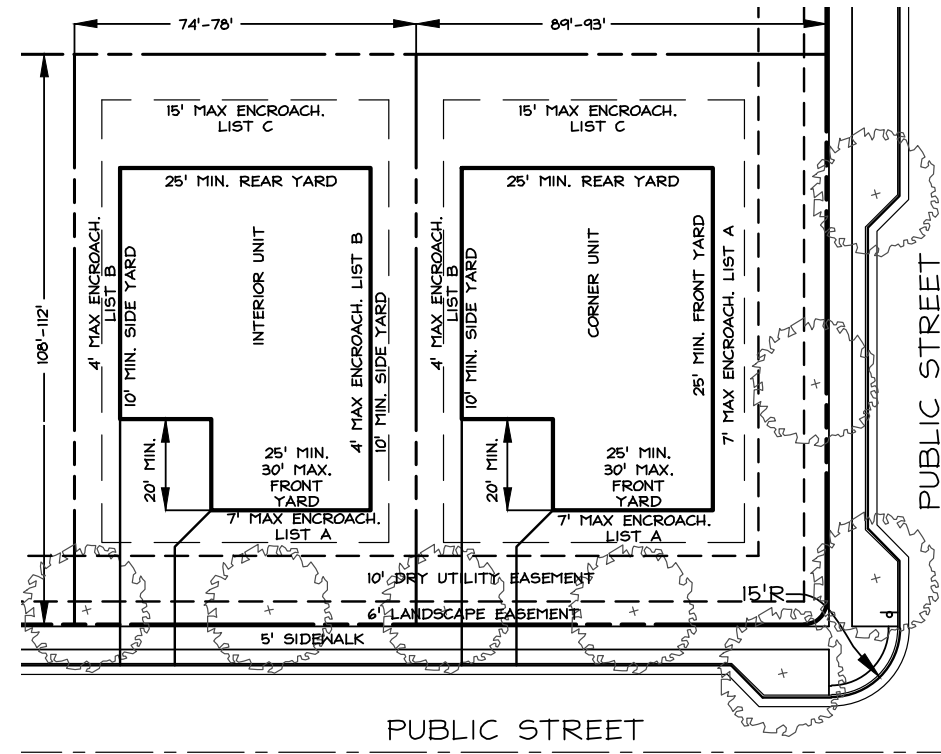
**NEIGHBORHOOD LOT LAYOUT STANDARDS
(TYPE A)
(FRONT-LOAD, SINGLE-FAMILY DETACHED)**

NOT TO SCALE



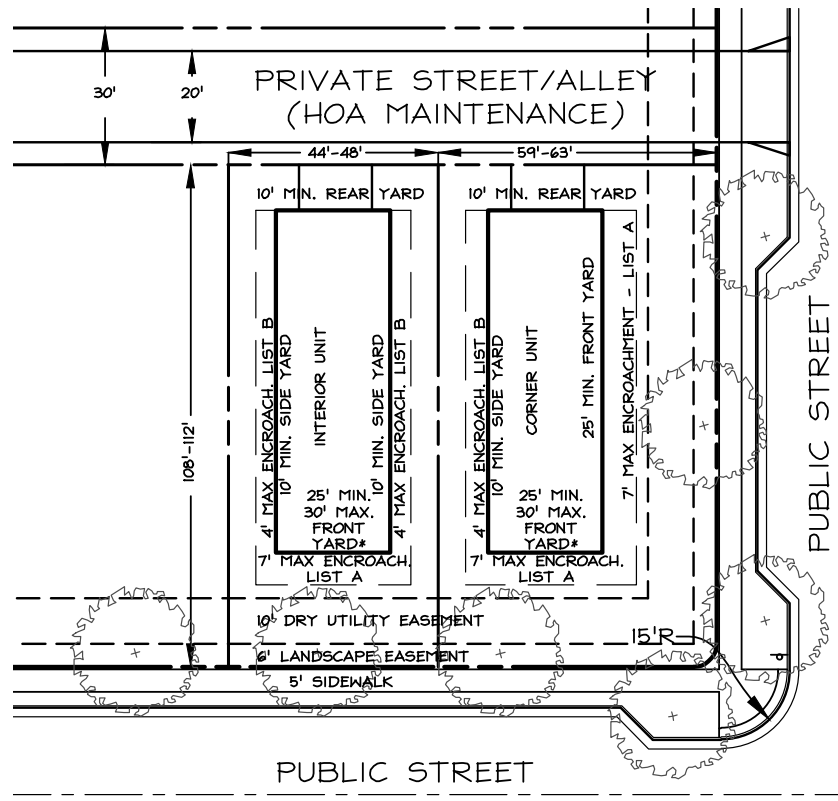
**NEIGHBORHOOD LOT LAYOUT STANDARDS
(TYPE B)
(FRONT-LOAD, SINGLE-FAMILY DETACHED)**

NOT TO SCALE



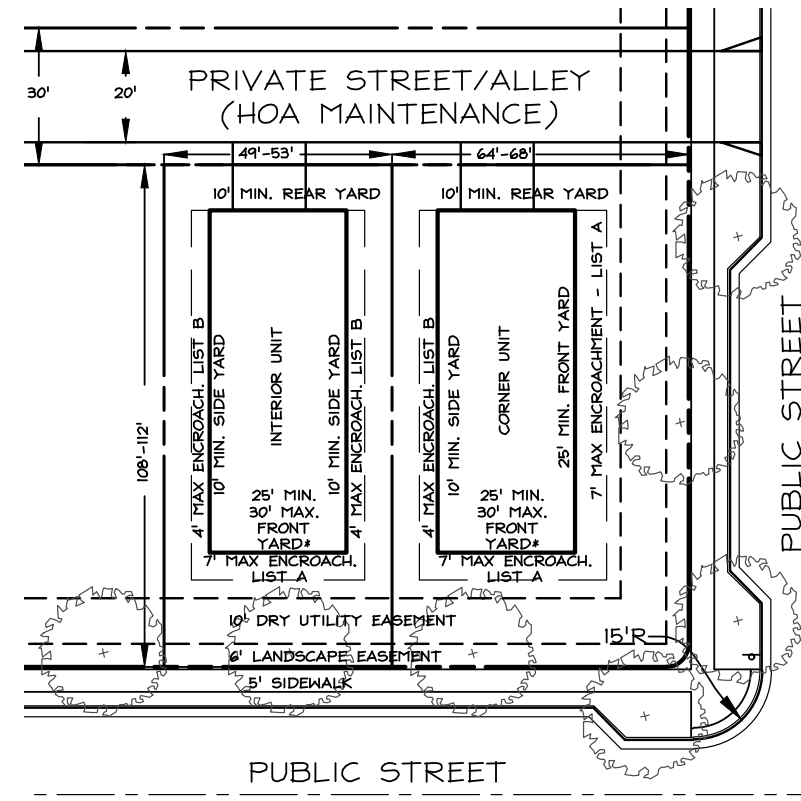
VILLAGE LOT LAYOUT STANDARDS (TYPE A) (REAR-LOAD, SINGLE-FAMILY DETACHED)

NOT TO SCALE



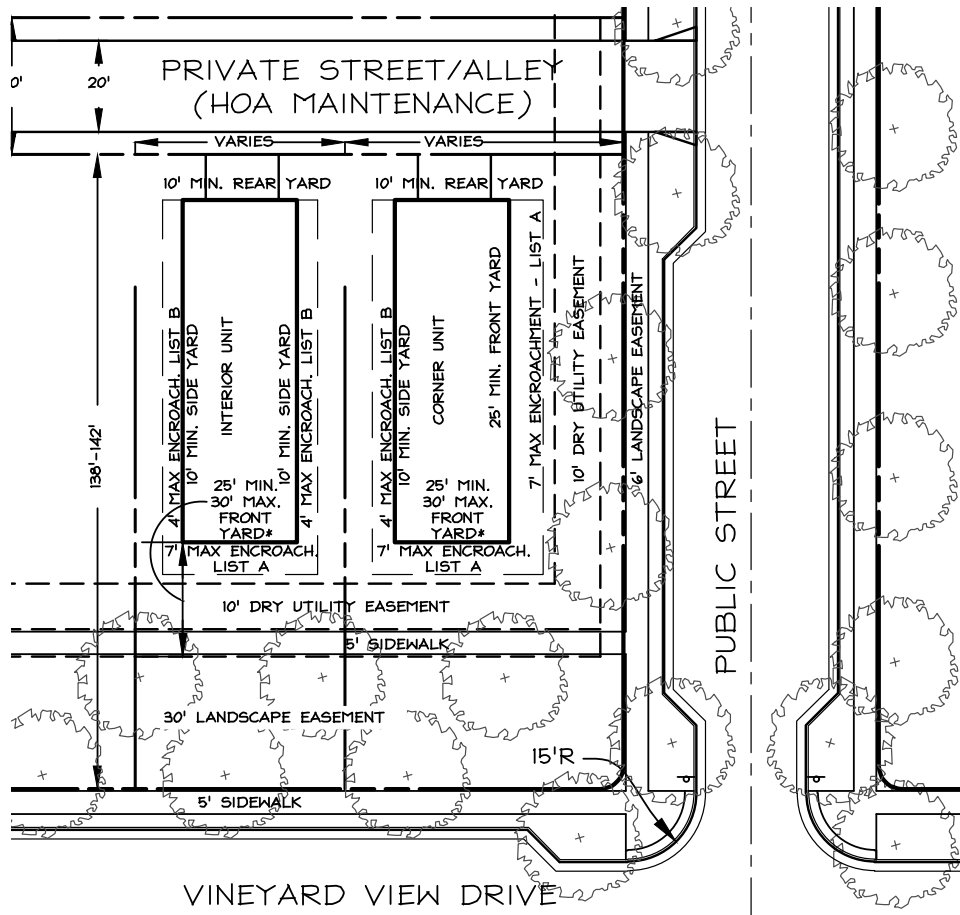
VILLAGE LOT LAYOUT STANDARDS (TYPE B) (REAR-LOAD, SINGLE-FAMILY DETACHED)

NOT TO SCALE



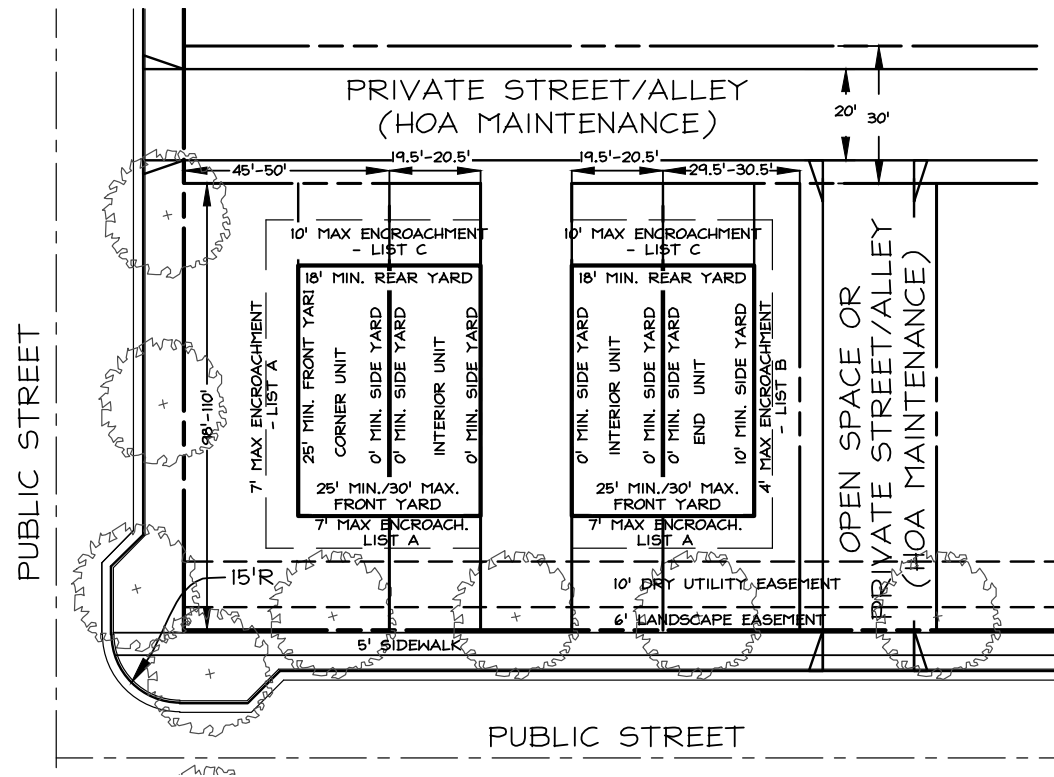
**VILLAGE LOT LAYOUT TYPE A & B, BLOCK 24 & 25
(REAR-LOAD, SINGLE-FAMILY DETACHED)**

NOT TO SCALE



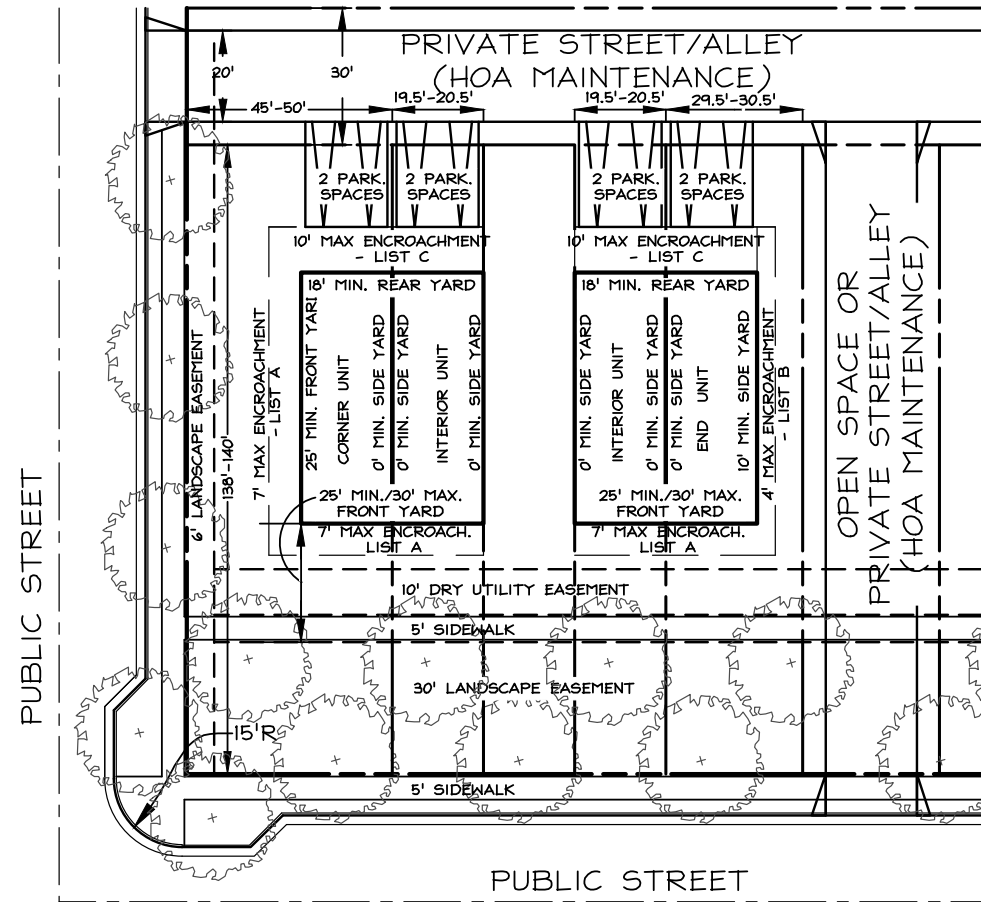
TOWNHOUSE LOT LAYOUT STANDARDS (REAR-LOAD, SINGLE-FAMILY ATTACHED)

NOT TO SCALE



AFFORDABLE TOWNHOUSE LOT LAYOUT STANDARDS (REAR-LOAD, SINGLE-FAMILY ATTACHED)

NOT TO SCALE



ARCHITECTURAL STANDARDS:

ACCESSORY STRUCTURES (EXCLUDES DETACHED GARAGES)

Accessory structures such as pavilions or sheds shall be of similar architectural design and color scheme as the primary structure.

GARAGES:

All attached garages shall be integrated into the architectural design of, and consist of the same quality of material and finish as, the principal structure. Attached garage foundation water tables must be of the same material as the main structure. Detached garages shall be of consistent architectural character as the principal structure.

BRICK DETAILING:

A minimum return of two-feet around corners is required on all brick facades unless there is an architectural element that precludes the two-foot return. Brick returns ending at architectural features (e.g., brick chimney) are encouraged.

BUILDING HEIGHT:

Building heights for single-family detached homes may range between 1 and 2.5 stories above the grade. Building heights



for single-family attached homes may range between 2 and 4 stories above grade. Building heights for detached garages may range from 1 to 2 stories, provided that no detached garage shall exceed the height of the main structure and provided further that no structure shall exceed the height permitted under the Lot Regulating Standards.

BUILDING MATERIALS

Building materials shall be restricted to those listed under Building Material Standards in Part IV, Section B of this Code of Development.



CHIMNEYS:

Chimneys (interior and exterior) shall be integrated with the building and have a material and color compatible with the building architecture – brick or stone is preferred. Exterior chimneys on the ground level (including vented flueless fireplaces) must be constructed to grade and may not appear to be suspended in the air, while those on upper levels must have a substantial base returning to the building facade. Metal roof top flues should extend no higher than the minimum required by the building code. Flues should be of such construction that external support braces are not required. Flues should be painted flat black, or the roof color.

CONSISTENT DESIGN:

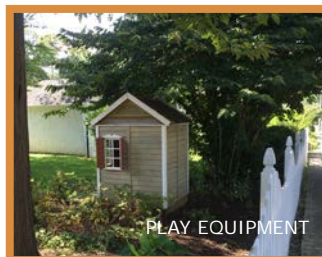
Each home shall be designed so that every face of the building is consistent with the selected architectural style, with similar siding materials or veneers utilized on every building face, and similar window size and placement, and door trim elements, on all building elevations. This does not preclude the use of different materials on a building projection or foundation, or a change of materials at a chimney or other projection, where historically such a change in materials might be found.

FOUNDATION:

Brick or stone water table is required on the front and sides of all residential structures constructed on corner lots and interior lots when the exposed basement wall masonry is greater than twelve inches (12”) in height. This water table requirement for sides of homes shall not be required if the water table is not visible from a public street when screened by landscaping.

GUTTERS AND DOWNSPOUTS:

Gutters and downspouts must be painted to match the color of the surface to which they are attached or painted the house trim color.



METAL FLASHING:

Exposed metal flashing, vents, pipes, etc. shall be painted to blend with the surface to which they are attached.

PROJECTING EAVES:

All homes shall have a roof overhang of no less than the typical dimension that is consistent with the architectural style of the main building mass, except where the building designer can demonstrate to the satisfaction of the ARC that the building adheres to a particular style that does not include eaves.

ROOFING:

Roof line and pitches shall be consistent with the architectural style of the building. The roof pitch on any major roof is required to be not less than 6:12. A variety of roof styles (such as hip, gable, and gambrel) are recommended. Intermixing of gable roof homes and hipped roof homes is encouraged to promote a visually exciting and animated streetscape. Flat or low pitch roof designs may be appropriate for porches and breezeways but are not permitted for the main building mass unless there is historic architectural evidence of the use of same with a certain architectural style.



SECURITY DEVICES:

Security devices must be installed without detracting from the design integrity of the building. Security signage should be placed proximate to the front door.

SKYLIGHTS:

Skylights must be well integrated into the overall building design, with a low profile and shall be flat or with a slight curve. Skylights shall be installed parallel with the roof ridge and edges, with frames painted to blend with the color of the roof. Skylights should be located only on the backside of the roof ridge. Skylights on the front elevation are strongly discouraged.

WINDOWS:

Bay windows on the first floor should have a substantial base or extend to the ground. The extension of the bay window from the wall of the house and the pitch of the roof of the bay window should achieve maximum dramatic effect as it relates to the house.

PATIOS, DECKS & BALCONIES:

Decks, patios, and balconies should generally be located in rear yards. Decks more than two feet above grade shall be finished with heavy trimmed latticework and plant materials to screen views to the underside. Decks, porches, and railings shall be painted, stained or left natural depending on the

architectural style, color combinations and detailing of the home as well as visibility from any public street.

CONSTRUCTION OPERATIONS

TEMPORARY FACILITIES:

Sales offices, construction offices/trailers, storage sheds, trailer yards and temporary rest rooms are permitted during construction only and only in conformance with any applicable zoning requirements. These facilities and related debris must be removed promptly when construction is substantially complete as determined by the ARC. Site planning, architectural and landscape guidelines for permanent structures shall apply to the location and design of temporary facilities as well.

TRASH AND CONSTRUCTION DEBRIS:

Builders and Contractors shall be responsible for maintaining a neat environment. Dumpsters and recycling containers shall be emptied frequently, and shall not be overflowing. Contractors shall also clean up/wash muddy streets on a regular basis.

PRESALES STRUCTURES AND MODEL HOME SALES CENTERS:

Temporary sales office(s)/trailer(s) shall be located so as to minimize traffic impacts. Site design, off street parking and accessibility shall be provided as required by the applicable governmental agencies having jurisdiction. All plans shall be submitted, reviewed, and approved by the ARC in the same manner as set forth in Section II above.

RIGHT OF ENTRY:

The Arrington Conservancy shall have the right to enter onto any of the Arrington property subject hereto, at reasonable times, for the purpose of inspecting the property and assuring conformance with this Code of Development.

DEVIATIONS FROM THE BUILDING AND LOT REQUIREMENTS:

The Zoning Administrator may approve deviations from the Lot and Building Requirements set forth in Part III of this Code of Development when such deviation does not impact neighborhood quality and visual diversity nor detract from the overall goal of creating a traditional, pedestrian oriented community.

A. PARKING AND LOADING REQUIREMENTS:

Parking and loading design will meet applicable jurisdictional standards.

B. SCREENING & ON-LOT LANDSCAPE REQUIREMENTS:

Landscape related requirements are set forth in Part IV, Section C of this Code of Development

EXAMPLES OF PIEDMONT VERNACULAR



NON-RESIDENTIAL DESIGN GUIDELINES (PRD ZONE)

INTRODUCTION

The Arrington community includes non-residential buildings such as a community center and other amenity structures as outlined in Part Two of the COD. In the event the Arrington community is developed under either Alternative A or Alternative B plan options, a commercial area in the southwestern portion of the community will be included. The commercial area will consist of two additional non-residential buildings - an eating establishment with a gross floor area no greater than 8,000 square feet and a hotel (inn) with a maximum of fifteen (15) sleeping rooms. Separately, and not included in REZN-22-017978, is the potential to complement these commercial uses with a winery and/or brewery constructed on the residual portion of PIN 6983-44-5875-000 which is currently zoned RA. These commercial uses will provide the residents of Arrington and their guests, as well as the local Warrenton community, with dining and lodging opportunities. Arrington residents will have the ability to access these services via a pedestrian trail connecting the residential areas to the commercial uses in addition to vehicular access on Vineyard View Drive. Throughout the commercial component of Arrington, landscaping, site planning, and architectural design will be implemented which creates a friendly and welcoming environment.

In order to maintain the character of Arrington’s residential community, the above referenced non-residential uses shall be developed with compatible architectural design and harmonious quality. These Non-Residential Design Guidelines will help guide the design and construction of these non-residential uses to maintain uniformity in architectural and utilize innovative site designs that contributes to the character of the entire Arrington community. Through well executed planning, architecture, and landscape design, these non-residential uses within Arrington are intended to complement the residential community.

The design of these non-residential uses within Arrington shall adhere to the following Guiding Principles:

- Buildings should contribute to the qualitative nature of the overall neighborhood and be of compatible scale and proportions in massing and details;
- Buildings should have an enduring quality and the architectural design, materials, and colors should be reflective of the Virginia Piedmont vernacular;
- Open spaces should be pedestrian friendly; and
- Parking areas should be de-emphasized as much as possible.

NON-RESIDENTIAL COMMUNITY ARCHITECT SELECTION PROCESS

These design guidelines are to be used as a general tool to guide the development of the above referenced non-residential uses within the Arrington community. All site plans for these non-residential uses within Arrington, as well as the architectural design and details for such non-residential buildings to be constructed within the Arrington community, shall be submitted, and approved by the Owner and the Non-Residential Community Architect before construction commences. Such approval does not relieve the applicant of the responsibility of obtaining all other necessary approvals and permits required by Town of Warrenton, Fauquier County, the Commonwealth of Virginia, and/or other governmental agencies having jurisdiction over the construction of each non-residential building. The Non-Residential Community Architect shall be licensed to practice architecture in the Commonwealth of Virginia, possess a minimum of ten years of experience working with Architectural Review Boards for historic districts and traditional neighborhood design developments, have completed previous projects that incorporate historical and/or agrarian community architectural styles found in Warrenton, Fauquier County and/or the Virginia Piedmont area, and not be affiliated with the Owner, or contracted by the Owner, for any architectural design services while serving as the Non-Residential Community

Architect. In the event the Non-Residential Community Architect is not the same person as the Architect selected by the Architectural Review Committee for residential homes and lots, then the Owner shall coordinate with the Zoning Administrator in the selection of the Non-Residential Community Architect to assure conformance with the above minimum requirements.

NON-RESIDENTIAL COMMUNITY ARCHITECT REVIEW AND COUNTY SUBMISSION PROCESS

Submission of building/zoning permits for the above referenced non-residential buildings shall follow the governing jurisdiction processes and the following:

- A review by the Non-Residential Community Architect for compliance with these Non-Residential Design Guidelines shall be completed prior to submittal for zoning review for Zoning/Building Permits;
- A copy of the Non-Residential Community Architect’s letter of approval accompanied by all materials reviewed shall be submitted with the building plans. Compliance with these design guidelines shall be required for issuance of a Zoning or Building Permit;
- Upon completion of construction and prior to issuance of an occupancy permit for each non-residential building, the Owner shall submit to the County a copy of a letter issued by the Non-Residential Community Architect which confirms that such building was constructed in substantial conformance with the approved application and architectural plans.

SITE PLANNING

ORIENTATION/SETBACKS:

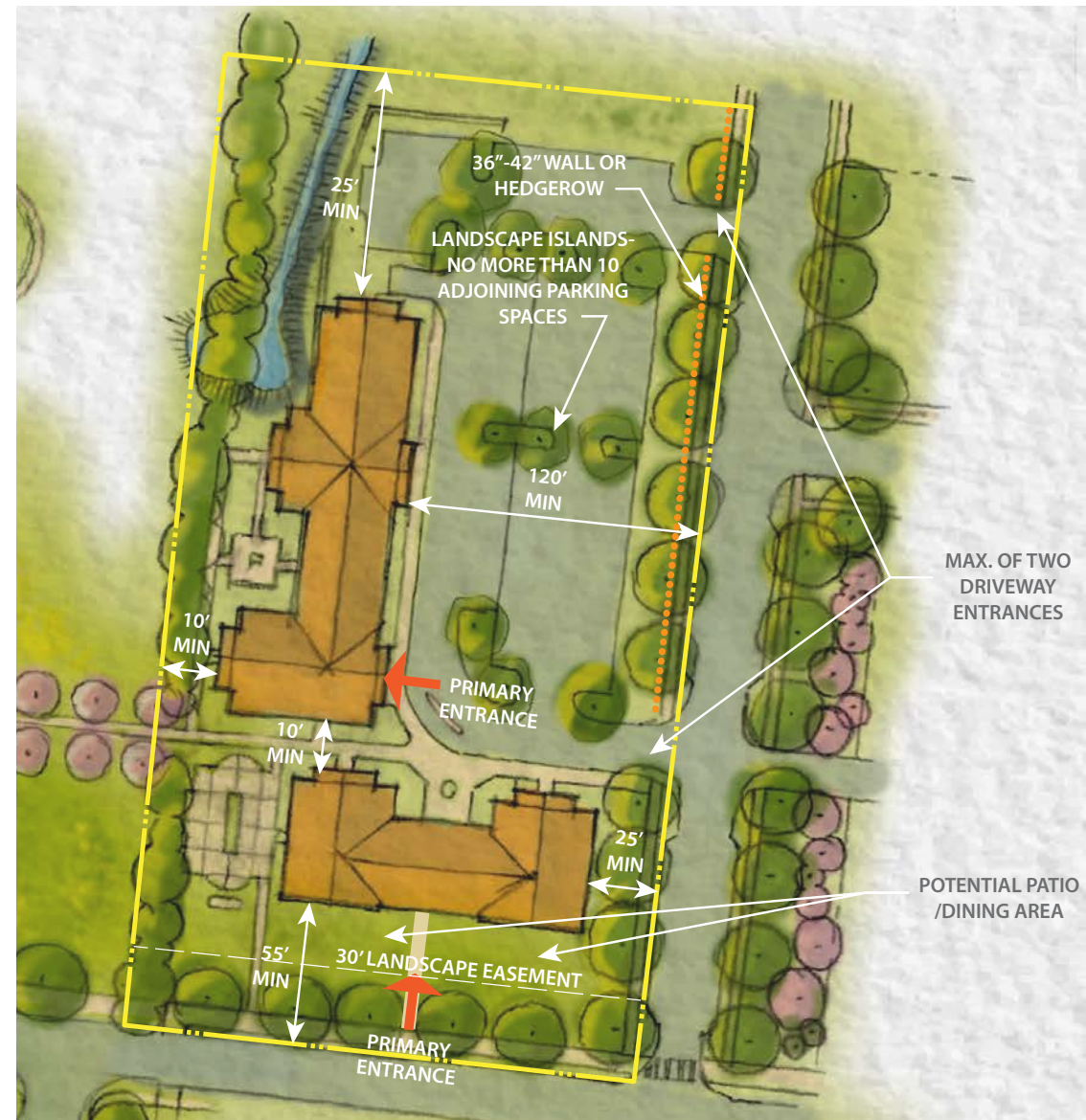
Non-Residential development within Arrington will continue the pedestrian-friendly character established in the

residential community. By reducing the impact of the automobile on the appearance of the non-residential development, appropriate site planning can de-emphasize the vehicle, creating a pleasant outdoor environment without ignoring the necessary needs of vehicular traffic. Buildings shall front, and be oriented for best visibility from, the surrounding streets. Windows and the primary entry shall face the adjoining street with the widest frontage. All other entries should face onto a street or a connecting internal walkway. The sides of buildings along street edges should be landscaped within the setback to soften the building's appearance to the street. The non-residential buildings with commercial uses shall adhere to the property line setbacks as well as the maximum floor area and building height requirements prescribed in the Lot Standards.

NON-RESIDENTIAL STREET FRONTAGES AND PARKING LOTS:

Parking areas for the commercial uses shall not front on, nor be visible from, Vineyard View Drive. Such parking shall be accessed from Rolling Meadows Lane via a maximum of two driveway connections. Parking areas adjacent to Rolling Meadows Lane shall be designed to minimize the dominant feeling of the automobile along the street and be screened from direct view from such roadway through installation of a continuous (except for driveway entrances) hedgerow maintained with a minimum height of 36 inches or construction of a stone wall with a minimum height of 36 inches. Any walls along public streets should not exceed 42-inch in height. The streetscape shall also include street trees planted at a density equal to one tree for each 40 linear feet of lot width. Parking areas serving non-residential uses shall not include more than ten contiguous parking spaces. Each group of ten or less contiguous parking spaces shall be separated from another grouping by a landscaped island no less than nine feet in width.

An illustrative of the commercial buildings area is shown on the right for purposes of clarity of site requirements and property line setbacks.



SIDEWALKS:

Sidewalks shall be installed to provide pedestrian access from parking areas to all building entries and access to open space areas and courtyards. Sidewalks should be a minimum of 6 feet wide along all pedestrian pathways.

OUTDOOR STORAGE AND LOADING AREAS:

Outdoor storage and loading areas are to be located behind or to the side of buildings, siding onto secondary access and not primary streets. These areas should not be visible from adjoining public streets and should not conflict with pedestrian walkways.

REFUSE CONTAINERS, UTILITY AND MECHANICAL EQUIPMENT:

Refuse containers and building utility and mechanical equipment should be easily accessed by service vehicles but screened from view of public streets, parking lots, and connecting walkways through roof forms, walls, and/or landscaping. Screening details should incorporate elements that are compatible with the architectural style of the building. Proper landscaping, including trellises, also may help to screen these elements. Equipment and enclosures shall not be located near pedestrian walkways.

SITE ACCESSORIES:

Site accessories, such as bike racks, trash cans, planters, and benches, should use materials and have an architectural character consistent with the selected building architectural style.

COURTYARDS AND GREENS:

Courtyards and greens are encouraged as part of the site design for the commercial uses to emphasize a pedestrian-

friendly environment. These outdoor places may include water features, landscaping, and other elements to create a comfortable place to sit.

LANDSCAPING:

Landscaping helps to soften the feel of the buildings and parking lots while enhancing the visual quality of the site. The following landscaping techniques may be used:

- Provide special landscaping treatment at the primary building entries;
- Provide shade/canopy trees within parking lot areas;
- Use plants to define outdoor spaces such as edges, outdoor courtyards and greens, or pedestrian walkways between parking and building entrances; and/or
- Choose plantings that will provide a continuity of form across the entire project site.

LIGHTING:

Light pole height and fixture design shall be consistent with those prescribed for the residential community. Buildings and landscaping can be illuminated indirectly to create a strong positive image. Along pedestrian walks, lighting should provide appropriate illumination at a human scale without glare. Lighting within larger parking lots should provide safe visibility. Service area lighting should be positioned to not be seen from the public streets or adjoining residential homes.

BUILDING DESIGN

ARCHITECTURAL STYLE OF COMMERCIAL BUILDINGS:

A consistent architectural style should be used for the adjoining eating establishment and hotel (inn) to create a sense of continuity between the two commercial uses. Re-

lated elements, such as trellises, planters, light standards, windows, doors, etc. should also adopt detailing that is compatible with the selected architectural style. The commercial buildings shall be of a historical and/or agrarian community architectural style found in Warrenton, Fauquier County and/or the Virginia Piedmont area.

BUILDING MASSING:

With larger buildings, appropriate massing becomes more important to maintain the human-scale of the development and create a visually pleasing environment. Facades that are visible from adjacent streets or walkways should display even greater visual interest by using architectural elements that break up the massing.

ENTRY DESIGN:

Building entries should be prominent and easily identified. Various elements can be used to enhance the entry features including massing variation, materials and color change, and/or change in roof form.

BUILDING WALL TREATMENT:

All walls should include fenestrations in keeping with the selected architectural vernacular. Further, no wall should exceed thirty feet (30') in uninterrupted length without including one of the following:

- Change in texture;
- Change in material;
- Change in plane;
- Addition of a floor-to-ceiling box or bay window or exterior chimney;
- Exterior Application of Lattice; and/or
- Planting of a tree (4' minimum diameter) or equivalent landscape element.

EXTERIOR MATERIALS:

Recommended materials include stucco, exterior plaster, brick, cement siding, or stone. Selected materials and detailing should be consistent with the selected architectural vernacular and have an enduring appearance. All sides of each building will be substantially similar in architectural design, exterior finish, and detailing to any other side of such building, unless otherwise approved by the Non-Residential Community Architect and Zoning Administrator.

ROOF FORMS/MATERIALS/COLORS:

Hipped and gable roofs are encouraged. Roof pitches should be compatible with the architectural style of the building. Flat roofs, if utilized, should vary in height and be accompanied by cornice, trim, or other accent features. Hipped and gable roof materials that are generally acceptable include metal standing seam, architectural grade asphalt shingles, and slate or slate-like materials. The color of the roof materials should be consistent with the selected architecture style.

ARCHITECTURAL STYLES

This Code of Development requires that the elevations of every house be designed to be consistent with one or more historical architectural styles found in Warrenton, Fauquier County, or the broader Virginia Piedmont in order to create a sense of place for Arrington with a scale and character that is sympathetic to the regional context.

The range of architectural styles allowed includes: Federal, Colonial Revival, Bungalow and American Foursquare. Other historical styles documented to be found repeatedly in the Town of Warrenton, Fauquier County or the greater Piedmont may also be included at the discretion of the Zoning Administrator taking into account the advice of the Community Architect. Contemporary housing design will only be allowed on a limited basis, with no more than one such house allowed on any block and only then if it is determined by the jurisdiction that the design complements rather than conflicts with surrounding buildings and does not undermine the broader principle of creating a community with a character reflective of a traditional Piedmont neighborhood. Examples of acceptable contemporary variation are included at the end of this Appendix A.

Elevations will generally adhere to the key defining features or styles identified to include massing, height, roof-line, windows, doors, porches and trim details. These principles are grounded in historic precedent. Contemporary interpretations of building elements, such as windows, shall be allowed provided the overall form and massing are consistent with the chosen style, and the house retains an overall architectural character derived from that style.

At the time of application for a building and/or zoning permit, the Community Architect shall review the proposed elevations and accompanying details as required sufficient to determine compliance with the Code of Development, including compliance with the stylistic and materials standards and variations set forth in this Appendix and in Appendix B. The community Architect review of the proposed elevations of each house shall be required prior to issuance of a zoning permit for said house by the Zoning Administrator.

DISCLOSURE:

The following sketches, details, dimensions and photographs are for illustrative purposes only and are not intended to be exact representations of the elevation required for each house. Alternative designs and details are permitted, provided they adhere to the general characteristics for the particular architectural style or styles identified for each house, and are approved by the Zoning Administrator, taking into account the advice of the Community Architect.

FEDERAL STYLE:

Federal architecture is formal and balanced in design, with classically inspired detailing. Federal Style buildings generally are relatively plain and rectangular, oriented with side-gables, with their ridge lines parallel to the street. Windows aligned horizontally and vertically, are double-hung, with multi-pane sashes. In Federal Style buildings, cornices typically have a modest projection, and the principal ornamentation of the façade is lavished on the door surround, which often features pilasters, full classical entablature, and transom window. Federal houses were most typically built in brick in this area, although some frame examples can also be found.

KEY DEFINING FEATURES OF THE FEDERAL HOME:

- Formal symmetry, with three and five bay facades most common.
- Gable roof-line, with center or end chimneys.
- Central entrance on five-bay facades, but off center on three-bay facades.
- Modillion entrances with rectangular transoms or elliptical fanlight above doors; with or without sidelights.
- Double hung windows, usually with 6 to 9 panels per sash, narrow muntins; windows never paired.
- Modest cornice detailing.

GENERAL STANDARDS:

MASSING: Rectangular or block form oriented with the long side facing the street. Façade is symmetrical, with three and five bays most common. Chimney placement is usually at either end of the main block of the house. Shifting the chimneys out from the center towards the end walls permitted greater flexibility for interior room configurations. In some high-style houses it is not unusual to see a pair of chimneys at either end of the house.

ROOF:

Typically a low pitched side gabled or shallow hipped roof. Dormers not typical, but sometimes found, particularly in larger formal homes. Sometimes parapet walls on gable end.

Gable Roof

Classical
Cornice

Typically Brick
(But may vary)

Symmetrical
Façade

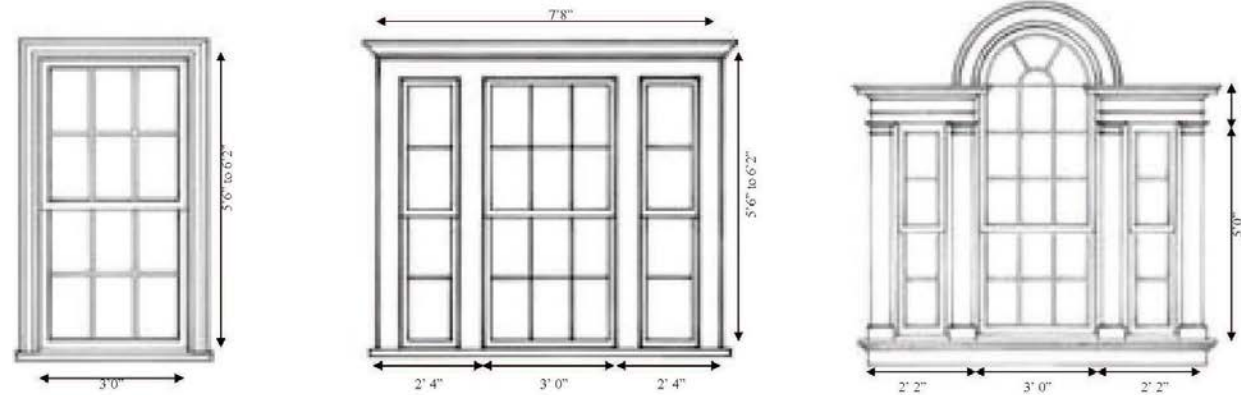
Lintels Above
Windows

Small Classical
Portico



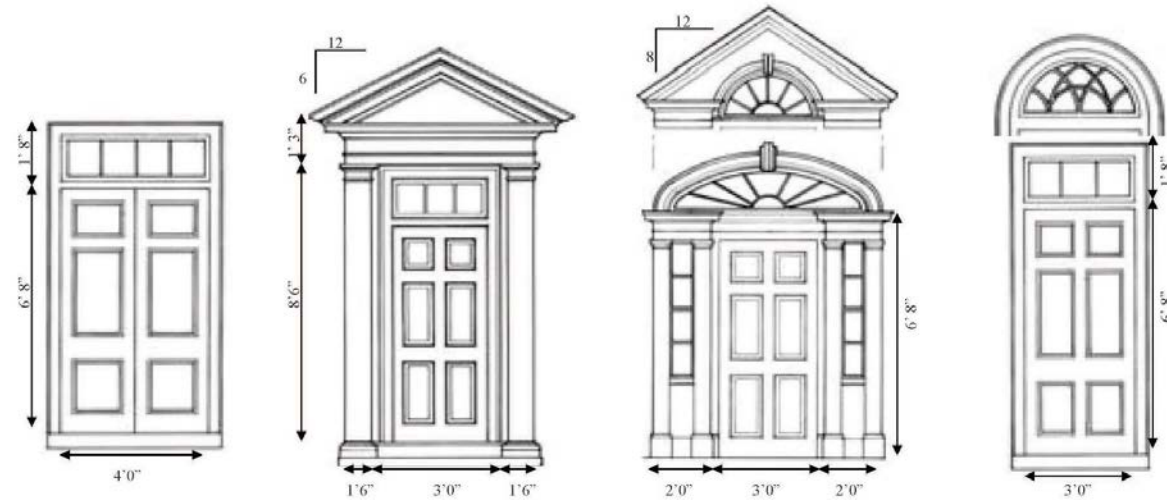
WINDOWS:

Windows, aligned vertically and horizontally, are double-hung, and were originally glazed with six-over-six panes. Many windows are simply flush with the wall without any decorative lintel, or when present, lintels are simple, usually constructed with a keystone or a segmental arch. Flatjack arch design elements, including swags, garlands, urns and geometric patterns. Double-hung windows have six panes per sash. In three story houses, window openings may get smaller as they go up the façade. For example, the first floor windows might be large paned six-over-six sashes and the top floor might be a three-over-three sash. This stylistic treatment was used to enhance the perception of a building's height. Several types of ornamental window forms were used as decorative elements in Federal houses including semi-circular windows; Palladian windows; and three-sectioned windows. The windows were originally all shuttered with solid shutters on the first floor and louvers on upper stories. Shutters should be sized and mounted to appear functional.



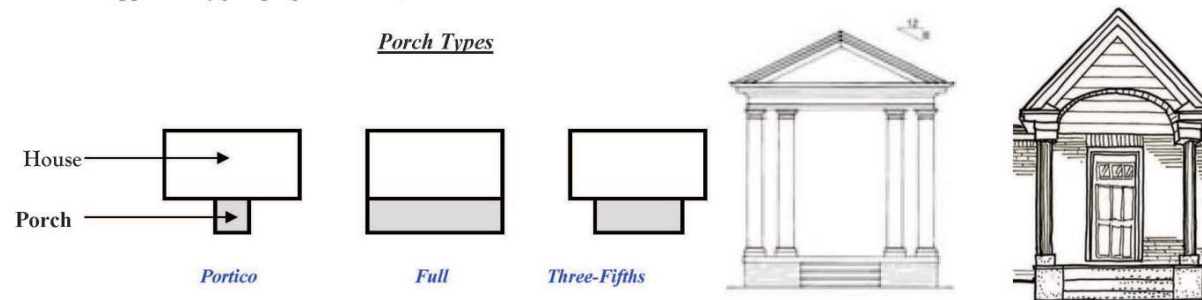
DOORS:

Doors are typically multi-paneled. The front door is usually centered on the primary façade with a semi-circular or elliptical fanlight window above it, or flanked by sidelights that typically have lead tracery.



PORCHES:

Federal homes rarely have full porches. The door is often accentuated with simple pilasters and a broken triangular pediment. In some houses, the entry pediment is carried forward to create an entrance portico. The portico may be rectangular or elliptical and is often supported by groupings of slender, Doric columns.

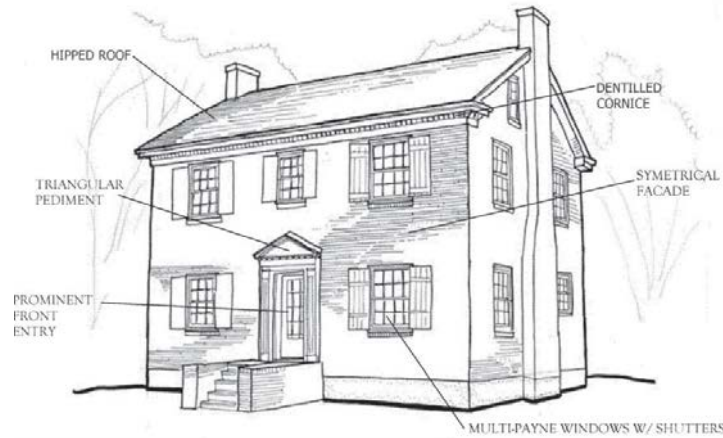


COLONIAL REVIVAL STYLE:

The Colonial Revival style encompasses a number of architectural traditions, such as English, Dutch, and Spanish colonial influences that were combined during the late nineteenth and early twentieth centuries to create buildings that celebrated Colonial America. Thus Cape Code cottages, gambrel roofed houses, large formal Georgians, Federal townhouses, columned southern mansions, in a wide variety of one, two and two and a half story houses can fall under the Colonial Revival heading, so long as entrances, cornices and windows are outfitted with classical details.

KEY DEFINING FEATURES OF THE COLONIAL REVIVAL HOME:

- Small to large scaled, simple massing.
- Symmetrical façade with orderly relationship between windows, doors and building mass.
- Classical details on doors, windows, rooflines and corners.
- Prominent front entry; door with decorative pediment supported by pilasters or portico supported by classical columns.
- Multi-pane windows.
- Steep side gable 7:12 or 12:12 main roof pitch



COLONIAL REVIVAL

GENERAL STANDARDS:

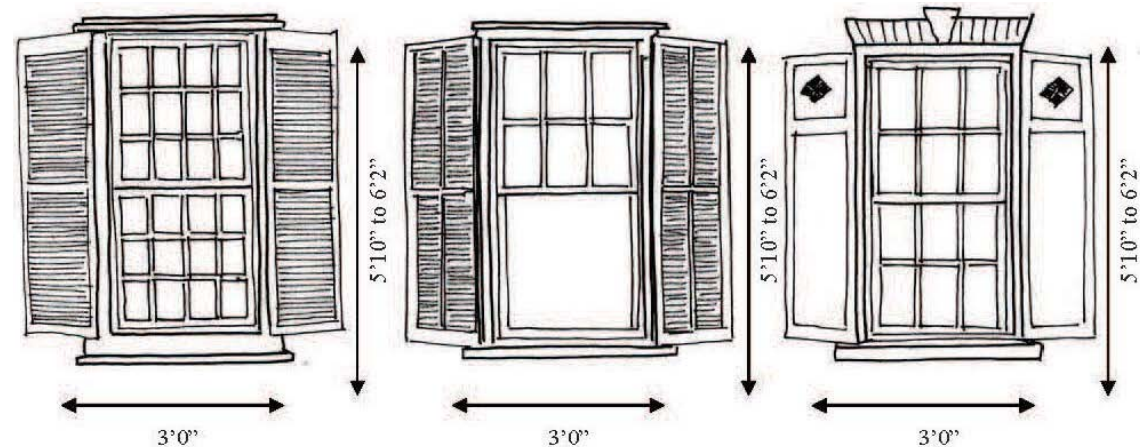
MASSING: The Colonial Revival house is rectangular in form and one to 2.5 stories in height with a side-gabled roof. The façade will feature either three or five bays with a centered door and symmetrically balanced windows. Chimneys are often located at the gable end of the houses. Projections to Colonial Revival houses should be designed as secondary elements that respect the overall massing and scale of the main body of the house. A projection should never be larger or wider than the main mass of the residence.

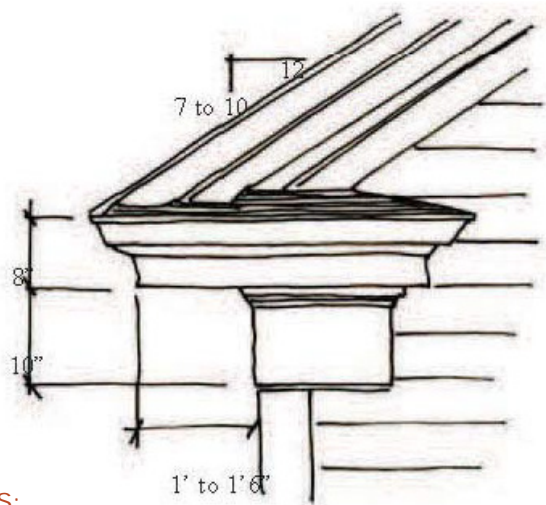
WINDOWS:

Colonial Revival windows are symmetrically placed, and frequently occur in pairs. Double-hung windows feature six-over-six, eight-over-eight, nine-over-nine, or twelve-over-twelve window sashes. Multipane upper sashes may also occur over a single-light lower sash. The muntins on Colonial Revival windows are typically a thicker (7/8" wide) traditional profile. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the window while dwellings with siding have 6 inch fl at trim. Some brick homes will feature a jack arch over windows instead of a soldier course. Shutters are typically louvered or paneled, and should be sized and mounted to appear functional.



COLONIAL REVIVAL COTTAGE



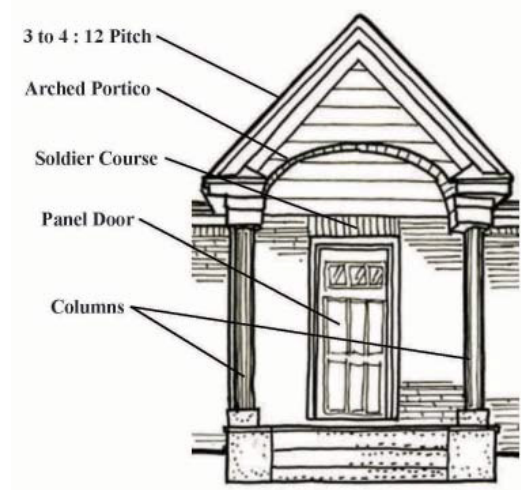
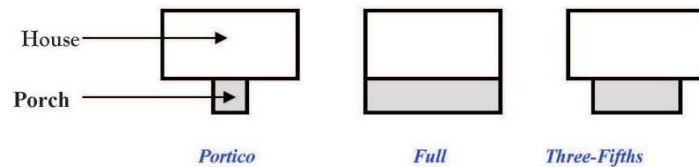


EAVES:

The Colonial Revival typically has an 18 inch boxed eave. Dentilled, modillioned, or bracketed cornices and other classical details are commonly found on roof eaves and gable ends.

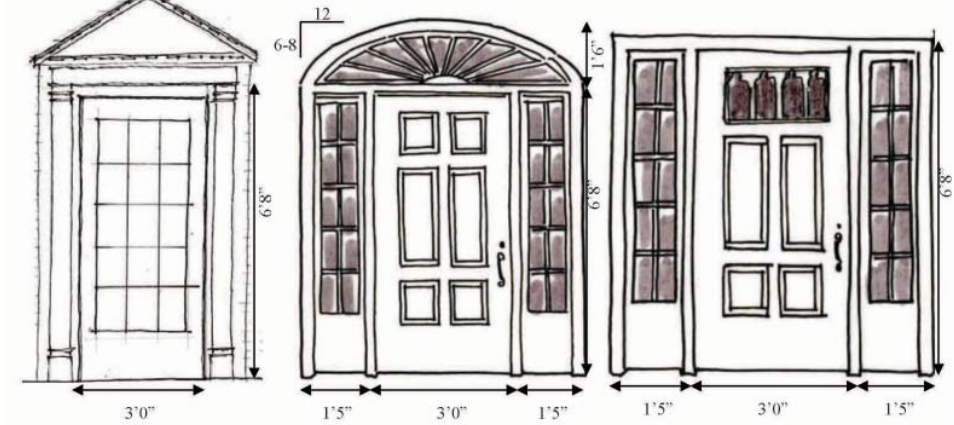
PORCHES:

The Colonial Revival includes entry porticos, full width front porches and wrap around porches in key areas. Porticos consist of classical columns (10 to 12 inches wide and 9 to 10 feet tall), either smooth or fluted that supported an arch or an entablature over the front entry. Porticos can also be flattened against the house with a broken, segmental or triangular pediment or entablature supported by pilasters (flattened columns). If a railing is included, it is typically wrought iron or wooden square baluster spaced no more than 4 inches on center.



DOORS:

Triangular, segmental and broken pediments over pilasters as well as fanlight and sidelights often flank a six-panel door, which is centered on the façade. When a pediment and pilasters are not used, brick dwellings have a 2 inch brickmold and a soldier course at the head of the door while dwellings with siding have 6 inch straight trim.

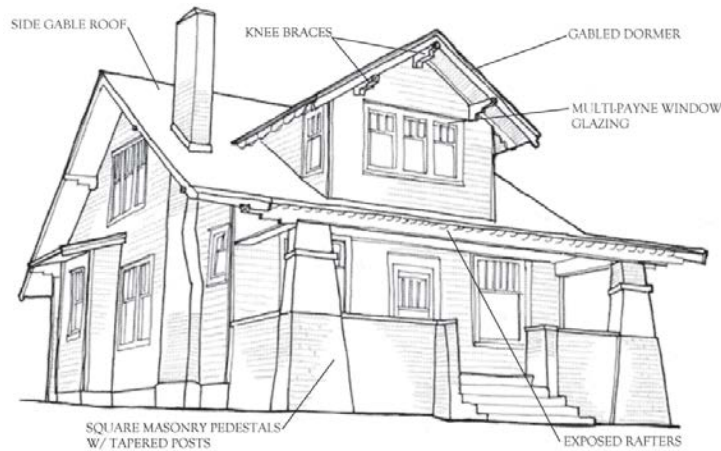


BUNGALOW STYLE:

One of the chief principles of Bungalow design was the importance of light and openness. The harmony between dwelling and nature takes the form of wide open porches, wood structural members and generous windows. The Bungalow's roots in the Arts and Crafts movement accounts for the prevalence of windows as character defining features; as a result, Bungalows may feature an assortment of glass and casement windows, as well as double-hung windows.

KEY DEFINING FEATURES OF THE BUNGALOW HOME:

- One-and-a-half story; simple horizontal lines.
- Low pitched projecting roof rafters and triangular knee braces and a gabled or shed dormer.
- Prominent low, broad front porch supported by square masonry pedestals with straight or tapered wood posts; occasionally solid brick or stucco supports are found.
- Multi-paned windows and door glazing in a variety of geometric shapes.



GENERAL STANDARDS:

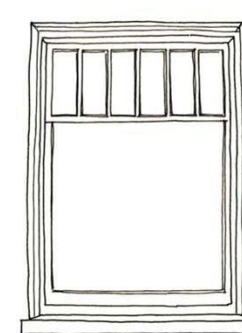
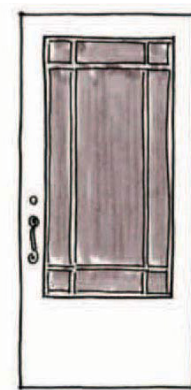
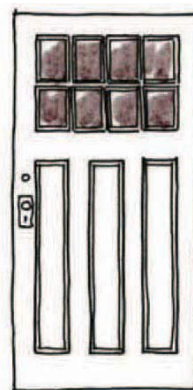
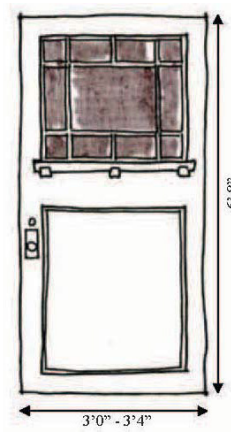
MASSING: A bungalow is a one or one-and-one-half story home, square or rectangular in plan with a gabled roof and prominent front porch. Projections to the main mass can be sensitively located to the rear of the building or as smaller side wings, and are typically a single story in height. Projections should never be larger or wider than the main mass of the house.

DOORS:

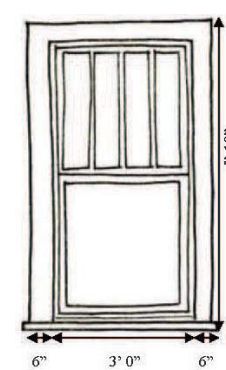
Bungalows feature a variety of doors that reflect both the Craftsman and Prairie styles. In most cases, wood panel doors with upper glazing are flanked by sidelights and a transom. Glazing is always divided by thick wood muntins into geographic motifs. Brick dwellings typically have a 2 inch brick mold and a soldier course at the head of the door while dwellings with siding have 6 inch straight trim.

WINDOWS:

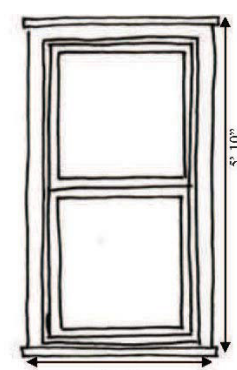
A variety of multi-light double hung and casement windows occur on bungalows, with three-over-one, four-over-one and five-over-one double hung windows are the most common window configurations. Sometimes casement windows that feature small panes divided into various patterns are used. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the window while dwellings with siding have 6 inch straight trim. Shutters were not used on the Bungalow.



Feature Window



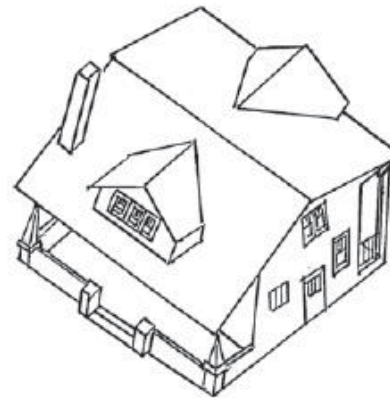
Four Over One



One Over One

ROOF:

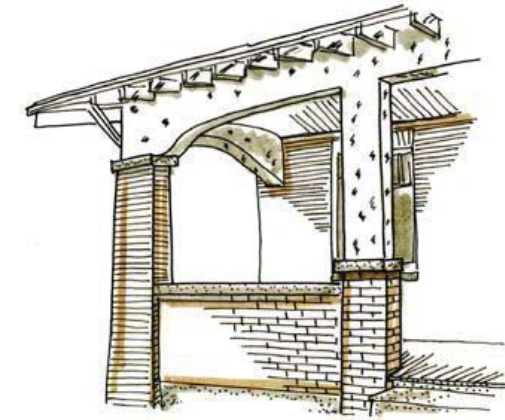
The Bungalow has a side or front gabled roof, with wide eaves. The pitch of the main roof typically ranges from 6:12 to 8:12 and dominates the bungalows horizontal silhouette. A large single dormer with a gabled or shed roof typically is located on the main roof. An exterior end chimney usually projects through the eaves. The porch roof is slightly shallower with a 3:12 to 5:12 pitch. This shape sometimes varies with two intersecting low-pitched front gables or a hipped or pyramidal roof. Projections should have lowpitched roofs that are subordinate to the primary roof line.



Side Gabled Roof with Gabled Dormer

PORCHES:

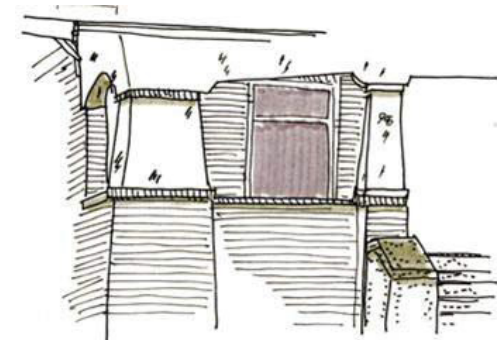
Bungalows typically have full-width front porches supported by a variety of porch supports that are unique to the Craftsman tradition. It is common to find massive brick pedestals with thick tapered wood columns; occasionally the columns will be paired on top of the pier. These piers and columns can also be constructed of brick, stone, concrete or a combination of materials, including stucco. Brick knee-walls capped with concrete coping usually span between the piers. Other variations will feature wood railings with 2 inch square balusters closely spaced together or a panel of shingles. Bungalow porches are typically accessed by concrete steps that match the foundation that sometimes feature flanking brick and concrete sidewalks.



Brick Pier and Stucco Post and Porch Entablature with Knee Wall Capped with Concrete



Brick Pier with Concrete Capping and panel railing



Brick Pedestal and Stucco Post with Brick Knee Wall

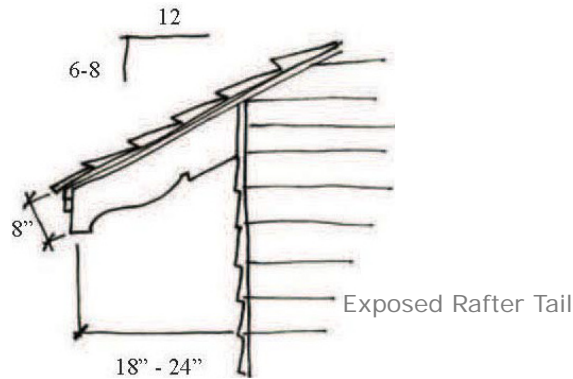


EXISTING WARRENTON HOME

Exposed Rafter Tails and Knee Braces

EAVES:

Triangular knee braces and deep overhanging eaves with exposed beam and rafter tails are Bungalow hallmarks. The predominate type of eave in the Bungalow style is the open eave with exposed rafters tails; eaves are almost never boxed or enclosed.

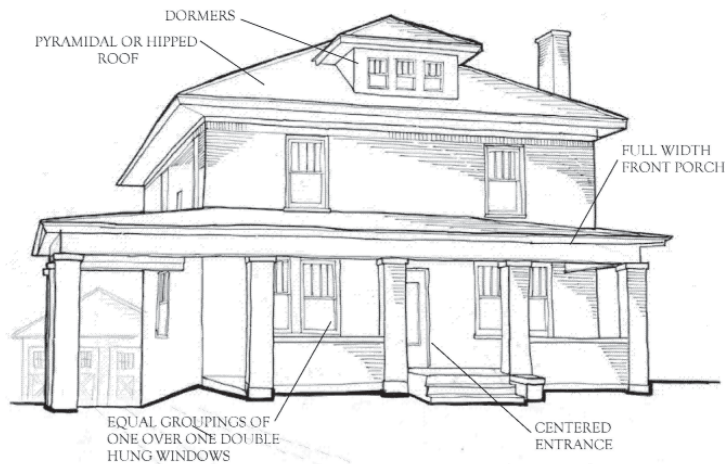


AMERICAN FOURSQUARE STYLE:

The American Four-Square began appearing on American streets around the turn of the twentieth century. This new style promised affordable, utilitarian housing for middle-class families trying to gain the most from a modest lot. Simplistic and practical, American Foursquares are a common housing type in Warrenton and Fauquier County.

KEY DEFINING FEATURES OF THE FOURSQUARE HOME:

- Cubical-shaped, two-story house, square in plan and elevation.
- Hipped or pyramidal hipped roof with hipped, gabled or pedimented dormers on one or more sides of main roof.
- Deep, full-width or wrap-around porch, one story in height, with significant structural components.
- Centered front entrance with equal groupings of windows on either side of both stories or off-centered entrance with symmetrical upper story windows.
- Craft sman or Colonial Revival influence present on doors, windows, porches and eaves.



GENERAL STANDARDS:

MASSING: The American Foursquare is characterized by its simple box-like form and low-hipped roof, rather than its style. The standard American Foursquare truly is square in form often measuring 28' x 28'; 29' x 29' or 30' x 30'. The American Foursquare is always two-stories tall. A window and door composition on the front façade typically consists of two windows (sometimes paired) and a centered or off-centered door on the first floor, two windows (sometimes paired) on the second floor and a centered dormer in the roof. The American Foursquare typically has an exterior end chimney projecting through the eaves. Projections to the basic square mass should be designed as secondary elements or wings that are compatible with the overall massing and scale of the main square mass. A projection should never be larger or wider than the main mass. The most appropriate location for extending the main mass is to the rear of the property to minimize visibility from the street.



ROOF:

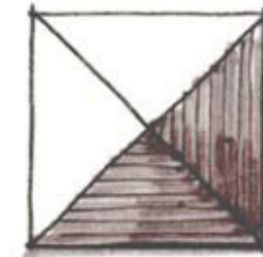
The American Foursquare roof is either hipped or pyramidal hipped with a hipped, gabled or pedimented dormer on one more sides with a pitch ranging from 6:12 to 8:12. The roof is typically accented with a wide eave.



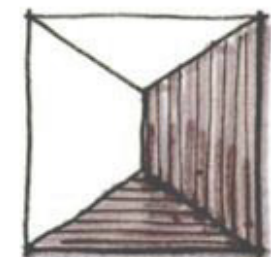
Gable Dormer



Hipped Dormer



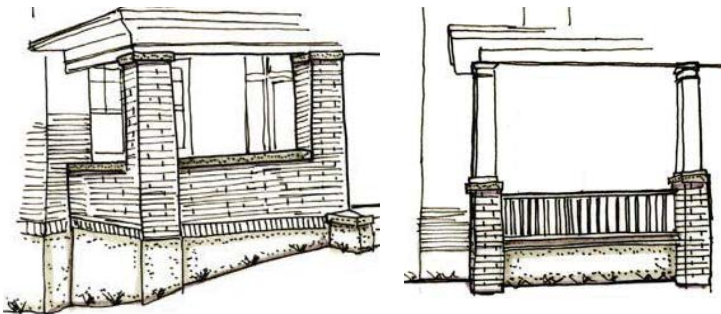
Pyrimidal Roof



Hipped Roof

PORCHES:

A full-length, one story front porch is a widespread element of the American Foursquare. The porch often extends to one side as either a wrap around porch or as a porte-cochere for parking vehicles. American Foursquare porches are typically accessed by concrete steps that match the foundation with flanking square brick posts. Because most American Foursquares are brick, most porch supports are 12 inch square brick posts of full height. Brick knee-walls capped with concrete coping usually span between the brick posts. Brick knee-walls capped with concrete coping usually span between the brick posts. Other variations will feature a brick pier with tapered wood posts (10 to 12 inches wide) and wood railings with 2 inch square balusters.



Brick Piers with Knee Wall Capped with Concrete Coping

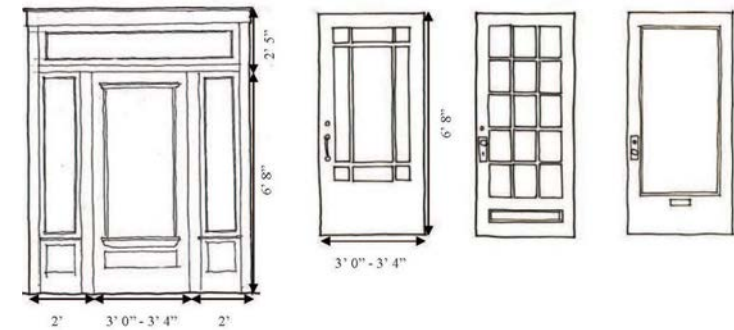
Tapered Post on Brick Pedestal with Wood Railings



Brick Piers with Wood Railings

DOORS:

The American Foursquare door is similar to other front doors of the 1920s with rectangular shaped glass and raised wood panels. Sidelights and a transom often accent the front door while allowing more light into the living area. The design of the sidelights and transom will often match that of the door. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the door while dwellings with siding have 6 inch straight trim.



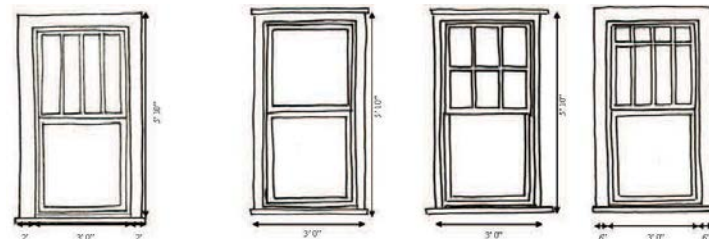
WINDOWS:

Paired, double-hung wood windows with four-over-one sashes typify the American Foursquare. Other common window sash types include a one-over-one or a six-over-one double-hung window. Sometimes decorative six or eight-over-one windows were used. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the window while dwellings with siding have 6 inch square trim. Shutters were rarely used on the American Foursquare. Window placement reflects the American Foursquare floor plan. For example, sets of double or triple windows, and in some instances a bay window, on a side elevation will denote the first floor living room/dining room or a second floor master bedroom. A small window between floors will light the staircase, while a small second floor window located between larger windows indicates a bathroom or closet.

STYLISTIC INFLUENCES:

The modest American foursquare design lent itself to changing architectural tastes effortlessly and inexpensively. Typical influences include the Colonial Revival or Craftsman styles as follows.

- Colonial Revival: Pedimented gable over a porch entry; Classical columns; Cornice with dentils or modillions; Dormer with a Palladian-style window.
- Craftsman: Low-pitched roof; Tapered posts.; Wide eaves with exposed rafter tails or knee braces; Large gabled or shed dormers with exposed rafter tails and braces.



CONTEMPORARY VARIATIONS IN STYLE:

These representative architect–designed homes exemplify innovative energy-efficient designs sensitive to both the natural and built context. In Arrington the builder may elect to build 10% of new styles derived from both local architectural cues and energy efficiency and low impact development principals that determine massing, roofing, solar orientation, wind-power, materials, and building placement on the lot.

PHIL–MARAHAM ARCHITECTS “created a house with as little environmental impact as possible while maintaining a high level of design and detail.” The building takes cues from the local rural context expressed in the simple forms of barns and farmhouses. The building maximizes energy efficiency by its orientation and simple massing. It is an insulated passive solar house with an open plan that allows southern daylight to enter all living spaces.



BURR AND MACCULLUM’S design derives its inspiration from the nearby Shaker community in New England. This layout resembles the New England farmhouse layout with outbuildings all close to the main house, but this house is an altogether new arrangement of those forms and the types of window openings typically found on the original farmhouses.



CHRISTINA BROWN, architect, completes work that represents a contemporary interpretation of local vernacular design. This building reflects an interest (and respect) for its context and place, but it also stands as a example of a building in its own place and time. The windows are energy efficient single pane or double panes. The building includes roof overhangs and the strategic placement of windows to maximize solar energy.



KAPLAN THOMPSON ARCHITECTS uses traditional, simple forms with thoughtfully placed windows and overhangs to take advantage of the views and to create a livable, open and modest plan. The home is constructed with double-thick walls, triple glazed windows, solar tubes on the roof and a well-insulated, radiant slab, including innovative detailing throughout.



BURR AND MACCULLUM pre-fabricated design derives its inspiration from a mill complex. This design represents how exciting new cost-effective forms and styles can be fostered with a broad interpretation of compatibility and of what defines historical precedent.



Permission to use these photos in a pattern book insert from these architectural firms was granted to Fauquier County Planning Staff in May and June 2011.

BUILDING MATERIALS STANDARDS:

BUILDING WALLS:

Building walls shall be limited to the following materials:

- Wood siding, including Board and Batten (and cedar shingles, where architecturally appropriate for style).
- Fiber cement siding (such as Hardie-Plank).
- Stucco (two or three coat over metal lathe on wood or masonry backing). The use of exterior polystyrene sheet board is not allowed. Stucco homes must have the stucco return back to window casing (brickmold is acceptable) unless substantial trim is applied as deemed appropriate by the Zoning Administrator. The window must appear inset into the thickened wall and not flush or proud of the stucco unless in a bay condition.
- Brick
- Natural or cultured stone. Concrete masonry units shall not be considered acceptable for exposed applications.
- Vinyl siding, limited to Premium Grade. Premium Grade is defined as beaded vinyl siding with no less than a 6.5" exposed lap and a nominal wall thickness of 0.004".

RETAINING WALLS:

Retaining walls shall have an exterior veneer limited to the following materials:

- Natural Stone or Brick
- Segmental retaining wall systems may be acceptable provided that they are designed and constructed to appear natural.

ROOFS:

- Primary roof masses shall be architectural grade asphalt shingles, slate, wood, cedar and faux slate materials, metal roofs, including standing seam. Secondary roof masses may be clad in galvanized steel, copper, anodized or ESP aluminum.
- Oversized hip and valley caps are prohibited.
- Gutters, down spouts, rain chains, when used, shall be made of galvanized steel, copper and anodized or ESP aluminum. Down spouts shall be placed at the corner of

the building least visible from nearby streets or integrated into the façade.

- No through roof penetrations for mechanical or electrical devices may be visible from the street, unless painted to match roof color.

WINDOWS:

- Wood, aluminum clad wood, or vinyl. True divided light or simulated divided light (SDL) sash with muntin profile as appropriate for particular architectural style.
- Window sills shall have a minimum 2" sill horn.
- Window sills in masonry construction shall project a minimum of 1 inch from the face of the building.
- Shutters, when used, must be sized to match the openings. Shutter designs shall be in accordance with specific architectural style of the home as shown on the architectural drawings.

DOORS:

- Painted or stained wood, fiberglass or steel with raised panel profiles.
- Transoms and sidelights shall have true divided lights or simulated divided lights with authentic muntins and mullions.
- Garage doors shall be wood, fiberglass or aluminum and shall be painted or stained. Garage doors on front or side loaded garages shall be a maximum of 10' in width. Rear loaded garages may have larger doors.

PORCHES, DECKS, AND BALCONIES:

- Porch railings shall be made of wood or composite materials; while porch floors may be wood, composite wood, or masonry; and posts and columns may be wood, composite wood, masonry, or fiberglass.
- Porches may not be less than 6 feet in depth.
- Glass or screened enclosures are not permitted on street facades. Porch ceilings may be enclosed with painted or stained wood or composite wood.
- Exposed joists shall be painted or stained.
- Stoops shall be made of wood, brick, stone, or concrete.

TRIM:

- Exterior architectural trim shall be suitable for retaining a painted finish or be prefinished.
- Stone or cast stone trim details may be used.
- Metal elements shall be natural colored galvanized steel, anodized or ESP aluminum, marine-grade aluminum, copper, cast iron, or wrought iron.
- All corner trim shall be a minimum width of 3 inches.

CHIMNEYS:

- Natural Stone or Brick

FENCES AND GARDEN WALLS:

- Fence material may be wood or painted wood
- Wall material may be natural stone or brick

DRIVEWAY, APRONS AND PARKING PADS

- Driveways and parking pads are to be concrete, asphalt, or brick
- Aprons to be concrete

COLORS:

- Building wall shall be one color per material used.
- Paints for masonry applications shall have a fl at finish.
- All exterior wood siding shall be painted or stained. Trim (balcony and porch posts, rails, window trim, raft er tails etc.) shall be painted to compliment the main color of the building. An accent color, for items such as the front door, balusters, trim, and shutters, may be used. Garden walls and fences shall be in a range of colors approved for their respective material and similar to the main house.

DEVIATIONS FROM BUILDING MATERIAL STANDARDS:

The Zoning Administrator may approve deviations from these building materials standards. This applies in select locations where uniformity is not necessary or visible to adjacent properties. Deviations may be made in a manner that does not detract from the goal of traditional design and architecture.

GENERAL LANDSCAPE STANDARDS:

As with Site Planning and Architecture, overall Landscape Design is an integral part of the image and character of the community. It is important that the community possess a well-landscaped appearance and high quality environment.

TREE PRESERVATION:

The preservation of existing trees is important and shall be a fundamental part of any Landscape Plan. The purpose is the preservation of structurally sound, healthy and functional trees and forested areas. Site development shall occur in a manner that limits the extent of land disturbance to the minimum area needed to construct the proposed use. Tree preservation standards shall also minimize the retention of high-risk tree conditions that have the potential to cause personal injury or property damage. The intent of Arrington is to preserve all trees not necessary for construction of infrastructure associated with the development. Clear cutting of trees in the open space is prohibited and shall be limited to those areas needed for construction of stormwater management facilities and trails and other amenities shown on this plan.

LIMITS OF CLEARING AND TREE PROTECTION:

Particular care shall be devoted to preservation of trees and hedgerows that are found throughout the property. Grading and parking of equipment or vehicles, stockpiling of materials, or deposition of sediment, topsoil or fill, or dumping of any materials or liquids/chemical is prohibited within the drip line of trees designated to be saved on the ARC approved final construction plans. All existing trees to be saved, individually or in groups, shall be included in a tree conservation easement and protected during construction by fencing (minimum height of four feet above grade) placed at the outer perimeter of the spread of branches (drip line). The Tree Conservation Easement shall include a provision preventing the removal of any tree within the easement area which are greater than six inches (6") in diameter without the specific permission of the applicable governmental agency, except as necessary to accommodate forest management techniques performed by, or recommended by, a professional forester or certified arborist

that are necessary to protect or enhance the viability of the canopy. Such management techniques may include, without limitation, pruning, and the removal of vines, invasive species, trees uprooted or damaged by extreme weather conditions, and trees or limbs that are diseased, insect-infested, dead, or considered a hazard to life or property. The Tree Conservation Easement prohibiting tree removal shall not be amended without written approval from the Town of Warrenton, Fauquier County, and/or other governmental agencies having jurisdiction over same. Each subdivision plat for Arrington as well as the Arrington Conservancy documents shall contain a note stating that the removal of trees within the Tree Conservation Area is prohibited except in accordance with the aforesaid provisions.

STREET TREE & STREET LIGHT REQUIREMENTS:

Street trees must be planted along both sides of all proposed public streets within the community at an interval of 1 tree per 40 feet of cumulative lot frontage. Street trees will be planted within Street Tree Planting Easements located adjacent to and outside of the public right-of-way along street frontages with adjacent lots (see Typical Lot Details). Variations in spacing shall be permitted when necessary to accommodate other improvements such as utility lines, intersection sight distance, fire hydrants, driveways, etc. as long as the total number of required trees are installed along each street. All street trees shall be deciduous with a minimum of 2.5" to 3.5" caliper and shall be the same species along both sides of each street. Species may change at each intersection.

Street lights shall be of a decorative acorn design (or such other decorative design as may be requested by the Developer and approved by the ARC).



YARD PLANTINGS:

A variety of landscaping is required for all individual lots, between the front of the house and the sidewalk. The character of this landscaping shall vary, depending on the space available, but must predominantly be comprised of flowering shrubs and annual and perennial planter beds. Landscaping should consist of a limited variety of trees, shrubs, and groundcovers to create an attractive, well-designed, cohesive landscape. Shrubs and ground covers should be planted in masses of a single species or cultivars in sufficient numbers to create beds or drifts of plants. Shade trees and ornamental trees will also be provided at select locations where space allows.

The species of trees, shrubs, grasses and other vegetative cover shall be representative of indigenous species of existing plant communities in the Town of Warrenton, Fauquier County and the Virginia Piedmont. All landscape materials shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen with the following minimum size or height standards as of the installation date:

Deciduous Street and Canopy Trees	2.5" caliper
Ornamental and Understory Trees	6' height
Coniferous Trees	6' height
Evergreen and Deciduous Shrubs	18" spread or height

FENCES & WALLS:

Proper fencing can have a unifying effect upon a neighborhood. Fencing on a lot may not be located closer to any street than the rear of the front facade of the house located on such lot. Fences must be constructed of natural wood, 3 or 4 rail split, wrought iron, composite material (of simulated wood appearance). Fences made of wood must be constructed with the 'finished' side facing out, and properly maintained. Wood privacy fences must have horizontal (level, non-sloping) tops that step to accommodate any change in slope. The design of the fence installation may include brick, stone, or stucco piers at corners and significant changes in direction. The bottom of installed fences may either step with or be parallel to the ground in case of steep slopes. The bottom of the boards must be 4" from the ground to allow for drainage. The height of all fencing must be a minimum of 48 inches but not greater than 72 inches. Chain link fences will not be approved under any circumstances. Wrought iron/aluminum fencing around pools must be black and properly maintained.

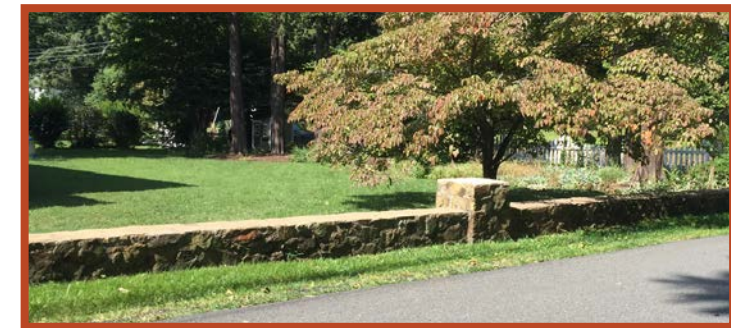
Garden walls not exceeding 2 feet in height (unless otherwise approved by the ARC) may be incorporated into front yard landscape designs. Garden walls shall have an exterior veneer of natural stone or brick. Segmental wall systems may be acceptable provided that they are designed and constructed to appear natural.



STREET TREE



WOOD FENCE



STONE COLUMN & WALL

RECOMMENDED TREE SPECIES

RECOMMENDED STREET TREES

- *Acer rubrum* – Red Maple
- *Fraxinus pennsylvanica* – Green Ash
- *Fraxinus americana* – White Ash
- *Platanus acerifolia* – London Plane Tree
- *Quercus phellos* – Willow Oak
- *Ulmus parvifolia* – Lacebark Elm
- *Zelkova serrata* – Zelkova

RECOMMENDED CANOPY TREES

- *Acer saccharum* – Sugar Maple
- *Liquidambar styraciflua* – Sweetgum
- *Liriodendron tulipifera* – Tulip Poplar
- *Nyssa sylvatica* – Black Gum
- *Platanus occidentalis* – Sycamore
- *Quercus palustris* – Pin Oak

RECOMMENDED ORNAMENTAL/FLOWERING TREES

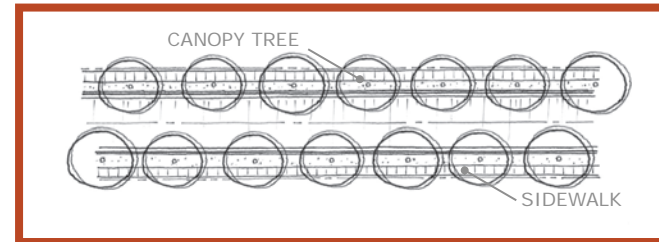
- *Aesculus parvifolia* – Bottlebrush Buckeye
- *Amelanchier canadensis* – Serviceberry
- *Betula nigra* – River Birch
- *Cercis canadensis* – Eastern Redbud
- *Cornus florida* – Flowering Dogwood
- *Chionanthus virginicus* – White Fringetree

RECOMMENDED EVERGREEN TREES

- *Cedrus deodora* – Deodar Cedar
- *Ilex opaca* – American Holly
- *Juniperus virginiana* – Eastern Red Cedar
- *Magnolia grandiflora* – Southern Magnolia
- *Magnolia virginiana* – Sweet Bay Magnolia
- *Pinus virginiana* – Virginia Pine
- *Thuja occidentalis* – Eastern Arborvitae

DEVIATIONS FROM GENERAL LANDSCAPE REQUIREMENTS:

The Zoning Administrator may approve deviations from the Landscape Requirements and Plant List set forth in this section upon a finding that deviations do not change the overall character, quality and purpose of the landscaping but rather enhance these elements. Deviations from these elements should be outlined in the Code of Development Site Plan.



STREET TREE PLANTING DIAGRAM

- Single canopy species (per street)
- Formal canopy spacing at 40 feet on center

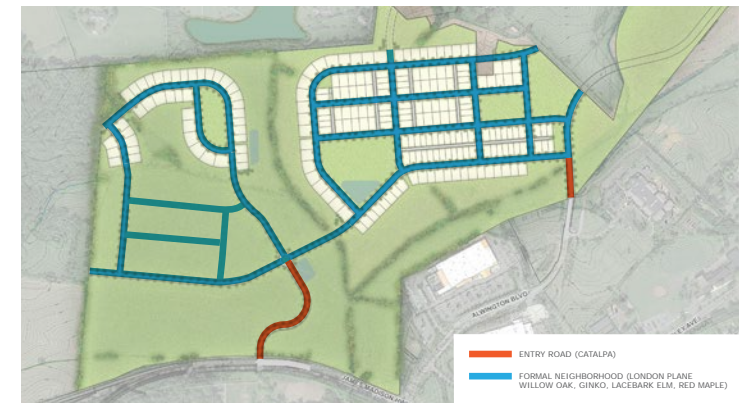
Note: See street tree requirements in Part II for additional planting requirements and design flexibility.



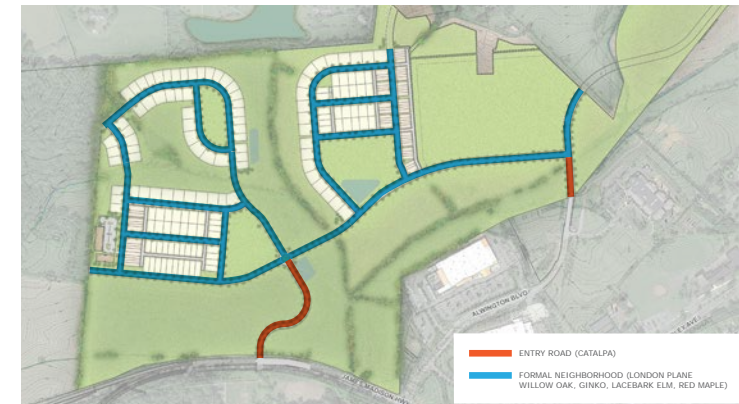
EASTERN REDBUD



CATALPA



(BASE ZONING) STREET TREE PROGRAM



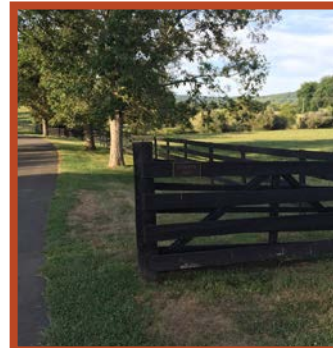
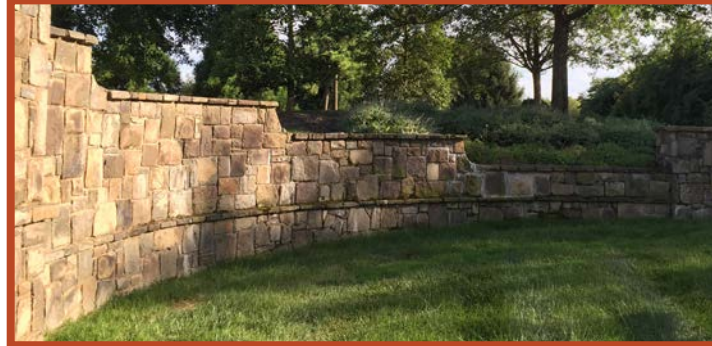
(ALTERNATIVE A) STREET TREE PROGRAM



(ALTERNATIVE B) STREET TREE PROGRAM

SIGNAGE

A Comprehensive Sign Plan will be submitted for review and approval by the applicable government authority prior to issuance of the first residential building permit. Review and approval of a Comprehensive Sign Plan will ensure that signage within the portion of Arrington zoned PRD incorporates a unified design theme, and will outline permitted sign types, materials, and corresponding dimensional standards.



Arrington

CODE OF DEVELOPMENT

REZN-22-017978

