

**Walton County  
The Grove**

**Change Proposal #18 -  
RFI 024 Building C & L Revised  
CMU CJ Locations**

**General Contractor:**

**Reeves Young  
45 Peachtree Industrial Boulevard N.W.  
Sugar Hill, GA 30518  
770-271-1159**



February 18, 2025

Walton County, GA  
The Grove, a Walton County Parks &  
Recreation Facility

Attn: John Ward, County Manager  
Jeff Prine, Capital Project Manager –  
Ascension Program Management

**Change Proposal #18 - RFI #24 Building L and C Revised CMU CJ Locations Rev1**

The below change proposal is for revisions made within RFI #24 to Building C & L CMU control joint locations per the Structural Engineer. Control joint locations were previously cut per the Architectural drawings but were later deemed incorrect per the Structural Engineer. The below contains the additional cost impact to re-cut the revised CJ locations and apply joint sealant.

**REV 1:**

Per Lose instruction from structural engineer, previous additional quantity of CJ's added were reduced to 15. The joints highlighted in the document below represent the required joints by structural that were necessary to be added at building L. Acceptance of change proposal confirms the locations shown.

Description	Qty	Unit	Unit Price	Total
Masonry – CMU Control Joint (Labor & Equipment)	29	EA	\$75.00	\$2,175.00
Waterproofer – Control Joint Sealant (Material & Labor)	1	LS	\$1,800.00	\$1,800.00
<b>Total Subcontractor Cost</b>	<b>1</b>	<b>LS</b>		<b>\$3,975.00</b>
Payment & Performance Bond	0.597	%	\$23.73	\$23.73
General Liability Insurance	0.811%	%	\$32.24	\$32.24
Builders Risk Insurance	0.174%	%	\$6.92	\$6.92
RY Overhead and Profit	10	%	\$397.50	\$397.50
<b>TOTAL</b>				<b>\$4,435.38</b>

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at [iarnold@reevesyoung.com](mailto:iarnold@reevesyoung.com)

Sincerely,

Reeves Young, LLC

Isaiah Arnold




Project Manager

45 Peachtree Industrial Blvd, Suite 200  
Sugar Hill, GA 30518

770.271.1159  
reevesyoung.com

## Approval

Lose Design (Architect of Record)	Signature: 	Date: <u>2/20/2025</u>
Ascension PM (Capital Project Manager)	Signature: <b>Thomas J. Prine</b>	Date: <b>02.20.2025</b>
Walton County	Signature: _____	Date: _____
Reeves Young	Signature: _____	Date: _____



December 5, 2024

Walton County, GA  
The Grove, a Walton County Parks &  
Recreation Facility

Attn: John Ward, County Manager  
Jeff Prine, Capital Project Manager –  
Ascension Program Management

**Change Proposal #18 - RFI #24 Building L and C Revised CMU CJ Locations**

The below change proposal is for revisions made within RFI #24 to Building C & L CMU control joint locations per the Structural Engineer. Control joint locations were previously cut per the Architectural drawings but were later deemed incorrect per the Structural Engineer. The below contains the additional cost impact to re-cut the revised CJ locations and apply joint sealant.

Description	Qty	Unit	Unit Price	Total
Masonry – CMU Control Joint (Labor & Equipment)	1	LS	\$12,672.00	\$12,672.00
Waterproofer – Control Joint Sealant (Material & Labor)	1	LS	\$1,800.00	\$1,800.00
<b>Total Subcontractor Cost</b>	1	LS		<b>\$14,472.00</b>
Payment & Performance Bond	0.597	%	\$86.40	\$86.40
General Liability Insurance	0.811%	%	\$117.37	\$117.37
Builders Risk Insurance	0.174%	%	\$25.18	\$25.18
RY Overhead and Profit	10	%	\$1447.20	\$1447.20
<b>TOTAL</b>				<b>\$16,148.15</b>

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at [iarnold@reevesyoung.com](mailto:iarnold@reevesyoung.com)

Sincerely,  
Reeves Young, LLC

Isaiah Arnold

**Project Manager**

45 Peachtree Industrial Blvd, Suite 200  
Sugar Hill, GA 30518

770.271.1159  
reevesyoung.com

**Approval**

Lose Design (Architect of Record)      Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Ascension PM (Capital Project Manager)      Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Walton County      Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Reeves Young      Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**CHANGE ORDER REQUEST**

**TO: REEVES YOUNG**

**FROM: MONTALVO COMPANY, INC.**  
 1546 LAKE KOINONIA DR.  
 WOODSTOCK, GA 30189

PHONE: 404-664-6266

FAX: 770-517-1157

**PROJECT: THE GROVE - WALTON CO.**  
 1089 HWY 81  
 LOGANVILLE, GA 30052

TICKET # 4

DATE: 11/19/2024

**DESCRIPTION: LABOR TO ADD 60 EXTRA CMU CONTROL JOINTS IN BUILDINGS C & L**

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE		TOTALS
60.00	EA	CMU CONTROL JOINT - LABOR & EQUIPMENT	\$ 192.00	EA	\$ 11,520.00
			\$ -	-	\$ -
1.00	LS	10% SUB-CONTRACTOR FEE	\$ 1,152.00	LS	\$ 1,152.00
<b>TOTAL AMOUNT =</b>					<b>\$ 12,672.00</b>

CO  
 TICKET 4

PRESENTED BY:

ACCEPTED BY:

\_\_\_\_\_  
 CHUCK RUTHERFOORD  
 MONTALVO COMPANY, INC.

\_\_\_\_\_



**CHANGE PROPOSAL**  
**Walton County Park – The Grove**  
**Loganville, GA**  
**Architect: Lose Design**  
**Plan Date: 05/17/2024**

**November 19, 2024**

Reeves Young  
 45 Peachtree Industrial Blvd. NW  
 Sugar Hill, GA 30518

**Attn: Isaiah Arnold** [iarnold@reevesyoung.com](mailto:iarnold@reevesyoung.com)  
 Re: RFI-24 Revised CMU Layouts

Ph: 470-725-0022

After review of the above stated project, Metro Waterproofing will supply all labor, equipment, and materials to perform the following:

***Building C (Softball Concession)***

**Section 079200 – Joint Sealants**

Furnish and install backer rod and joint sealants in the following locations:

- |   |           |
|---|-----------|
| 1. Interior vertical CMU wall joints. (+125 LF) | \$ 625.00 |
|---|-----------|

***Building L (Community Center)***

**Section 079200 – Joint Sealants**


Furnish and install backer rod and joint sealants in the following locations:

- |   |             |
|---|-------------|
| 1. Interior vertical CMU wall joints. (+232 LF) | \$ 1,175.00 |
|---|-------------|

**Contract Add: \$ 1,800.00**

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written authorization and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents, or delays beyond our control. Owner is to carry fire, tornado, and other necessary insurance. Our workmen are fully covered by Workmen’s Compensation Insurance.

**METRO WATERPROOFING, INC.**

  
 \_\_\_\_\_  
 Matthew Jewett  
 Project Manager

\_\_\_\_\_  
**Acceptance of Proposal**  
**Date:**

24104 - Walton County The Grove (24104-)

1089 Highway 81  
Loganville, GA 30052

024 - Building "L" - CMU Walls Vertical Control Joint Locations

<b>Subject</b>		<b>Status</b>
Building "L" - CMU Walls Vertical Control Joint Locations		Closed ●
<b>Discipline</b>	<b>Importance</b>	<b>Location</b>
Structural	High	Building L - Community Center
<b>Created On</b>	<b>Due Date</b>	<b>Date Resolved</b>
7/26/2024	8/2/2024	10/25/2024
<b>Author</b>		<b>Resolved By</b>
Jose Valerio Reeves Young, LLC		Barbara Canuto Lose Design

**QUESTION** Jose Valerio on 7/26/2024 12:27 PM

Design Professional,

Please clarify the location of vertical control joints in the CMU interior and exterior walls for building "L." The drawing S0.02L under masonry notes directs to the Architectural sheets for these locations, but none are indicated.

Please advise, thank you.

**COMMENT** Barbara Canuto on 7/29/2024 01:47 PM

Jose,

Please see attached indication CMU vertical joint locations for Building L on the floor plan.

Let me know if you have any questions.

Thanks,  
Barbara



File

010\_WALNUT-GRO\  
Barbara Canuto



024 - Building "L" - CMU Walls Vertical Control Joint Locations

**COMMENT** Isaiah Arnold on 10/10/2024 03:21 PM

Design Professional,

Section 2 of WJPA report dated 10.07.24 states that the masonry control joints do not meet the contract documents for building L. Subsection b states that RFI 024 response dealt with brick veneer. As discussed in OAC #15 10.09.24, Lose previous response provided an updated A2.01L with these joints laid out that were deemed incorrect by the structural engineer.

Please provide direction as to how to proceed.

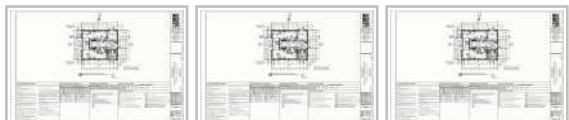
Thank you,

**ADDED LINKS** Jose Valerio on 11/6/2024 05:02 PM



Drawing A2.01C Jose Valerio  
Drawing A2.01C Jose Valerio  
Drawing A2.01C Jose Valerio

**ADDED LINKS** Jose Valerio on 11/6/2024 05:06 PM



Drawing A2.01E Jose Valerio  
Drawing A2.01E Jose Valerio  
Drawing A2.01E Jose Valerio

**ADDED LINKS** Jose Valerio on 11/6/2024 05:07 PM



Drawing A2.01F Jose Valerio  
Drawing A2.01F Jose Valerio  
Drawing A2.01F Jose Valerio

**ADDED LINKS** Jose Valerio on 11/6/2024 05:12 PM



Drawing A2.01G Jose Valerio

**ADDED LINKS** Jose Valerio on 11/6/2024 05:13 PM



Drawing A2.01L Jose Valerio  
Drawing A2.01L Jose Valerio  
Drawing A2.01L Jose Valerio

024 - Building "L" - CMU Walls Vertical Control Joint Locations

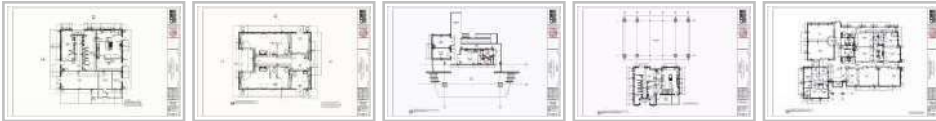
**ANSWER** Barbara Canuto on 10/25/2024 10:39 AM

Isaiah,

Attached are the Vertical CMU Control Joints Floor Plans for all applicable buildings. The locations were coordinated with WJPA, and we've minimized changes as much as possible for both the Softball and Community Center buildings.

Please let me know if you have any questions.

Thank you,  
Barbara



File

File

File

File

File

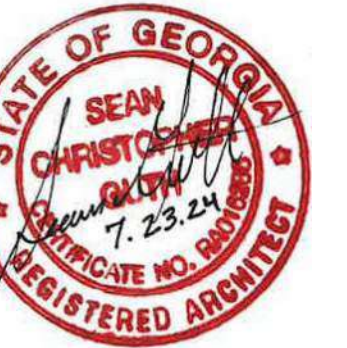
010\_WALNUT-GRO\ Barbara Canuto 010\_WALNUT-GRO\ Barbara Canuto 010\_WALNUT-GRO\ Barbara Canuto 010\_WALNUT-GRO\ Barbara Canuto 010\_WALNUT-GRO\ Barbara Canuto

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## ASSIGNMENTS

Aaron St Pierre (Lose Design) **Due On 10/17/2024**

Macon Chapman (Lose Design) **Due On 10/17/2024**



GEORGIA

**THE GROVE**  
**BUILDING "C" - SOFTBALL BUILDING**  
1089 HWY 81, LOGANVILLE, GA 30052  
PREPARED FOR:  
WALTON COUNTY

LOGANVILLE

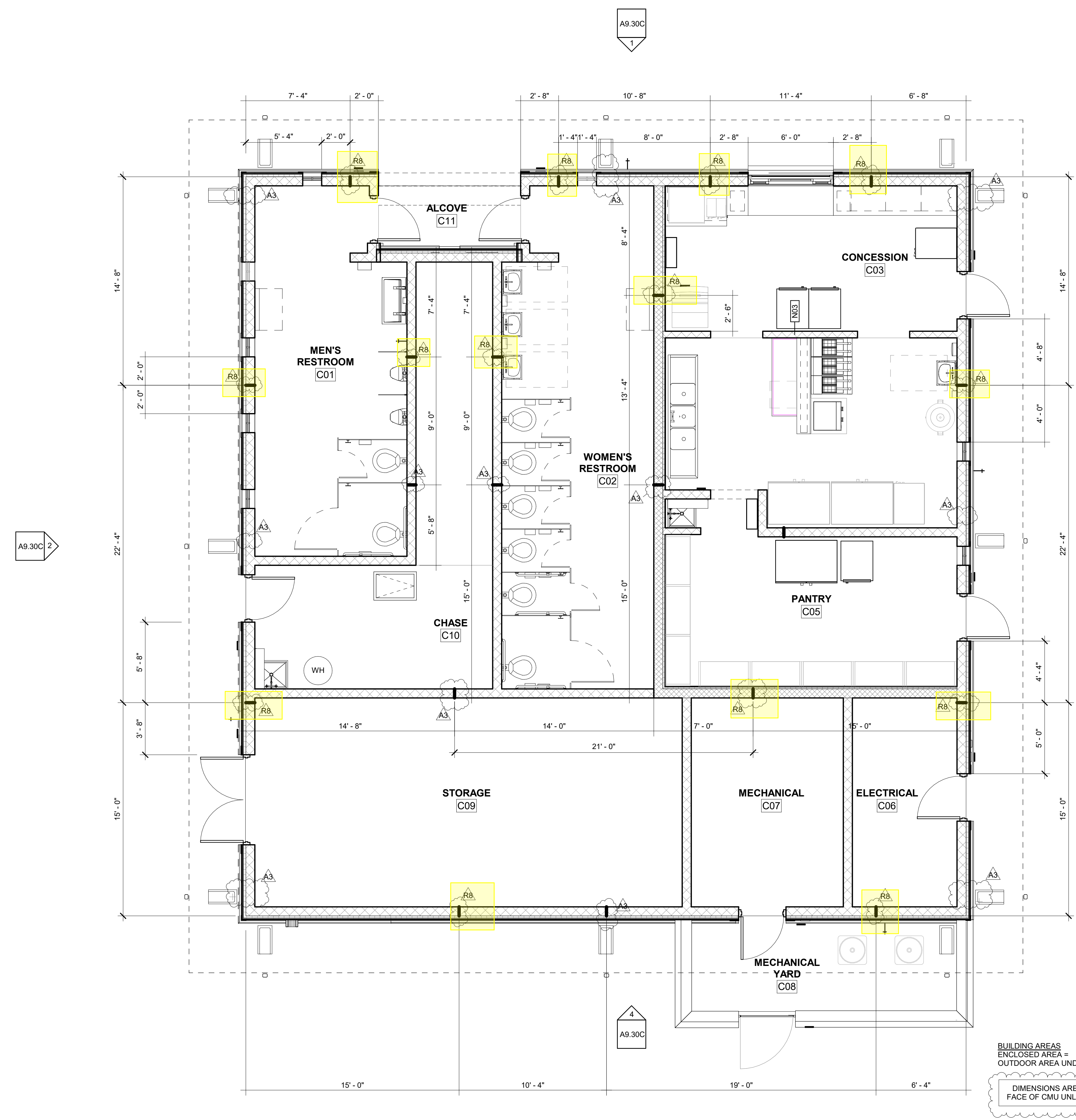
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
R8	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE  
**SOFTBALL BUILDING**  
**VERTICAL CMU**  
**CONTROL JOINTS**  
**FLOOR PLAN**

PROJECT NO.	DATE
22010	10/15/2024
DRAWN BY	SCALE
STAFF	1/4" = 1'-0"
CHECKED BY	
CF	
SHEET NO.	

**EXHIBIT 3**



BUILDING AREAS  
ENCLOSED AREA = 2,722 SF GROSS  
OUTDOOR AREA UNDER ROOF = 160 SF

DIMENSIONS ARE MEASURED FROM THE FACE OF CMU UNLESS NOTED OTHERWISE.

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GEORGIA

**THE GROVE**  
**BUILDING "E" - RESTROOM BUILDING**  
1089 HWY 81, LOGANVILLE, GA 30052

PREPARED FOR:  
WALTON COUNTY

LOGANVILLE

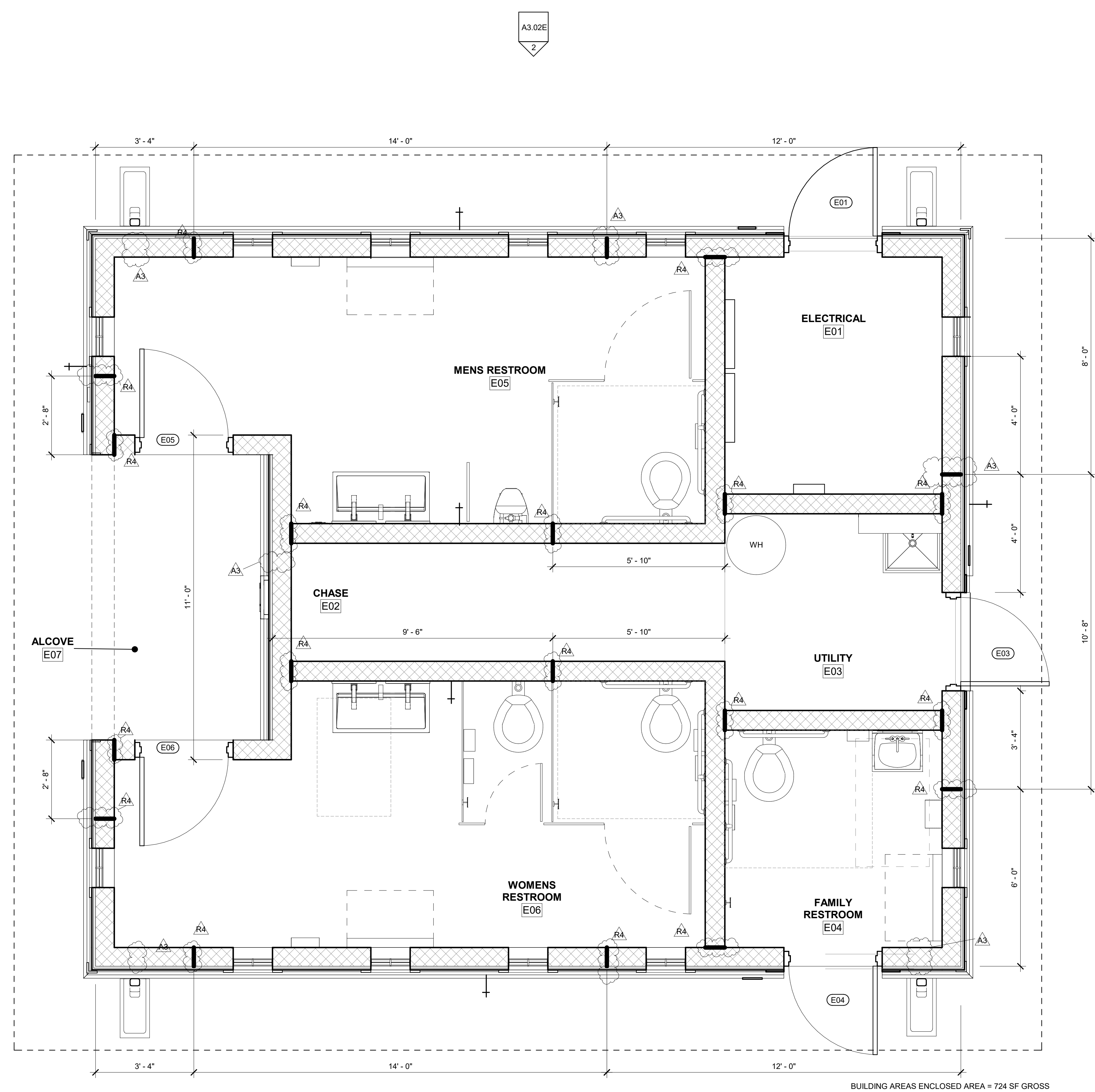
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/17/2023	Addendum 3
R4	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE  
**RESTROOM BUILDING  
VERTICAL CMU  
CONTROL JOINTS  
FLOOR PLAN**

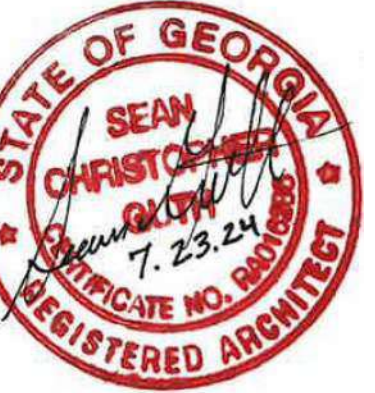
PROJECT NO. <b>22010</b>	DATE <b>10/15/2024</b>
DRAWN BY <b>STAFF</b>	SCALE <b>1/2" = 1'-0"</b>
CHECKED BY <b>CF</b>	
SHEET NO.	

**EXHIBIT 3**



**1** RESTROOM BUILDING VERTICAL CMU CONTROL JOINTS FLOOR PLAN  
EXHIBIT 3 1/2" = 1'-0"

DIMENSIONS ARE MEASURED FROM THE FACE OF CMU UNLESS NOTED OTHERWISE.



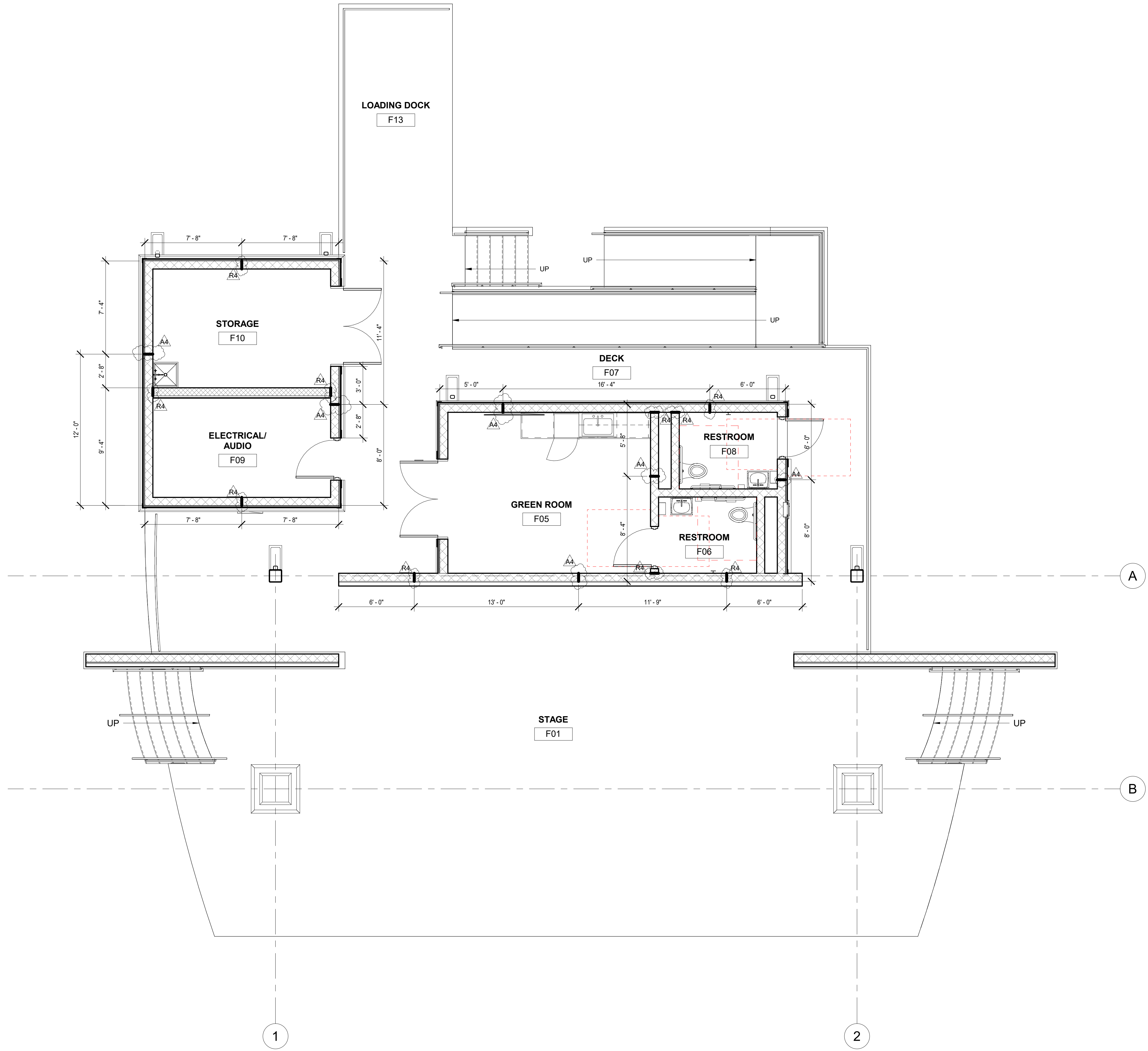
GEORGIA

**THE GROVE**  
**BUILDING "F" - AMPHITHEATER**

1089 HWY 81, LOGANVILLE, GA 30052

PREPARED FOR:  
WALTON COUNTY

LOGANVILLE



**1**  
EXHIBIT 3  
**AMPHITHEATER VERTICAL CMU CONTROL JOINTS FLOOR PLAN**  
1/4" = 1'-0"

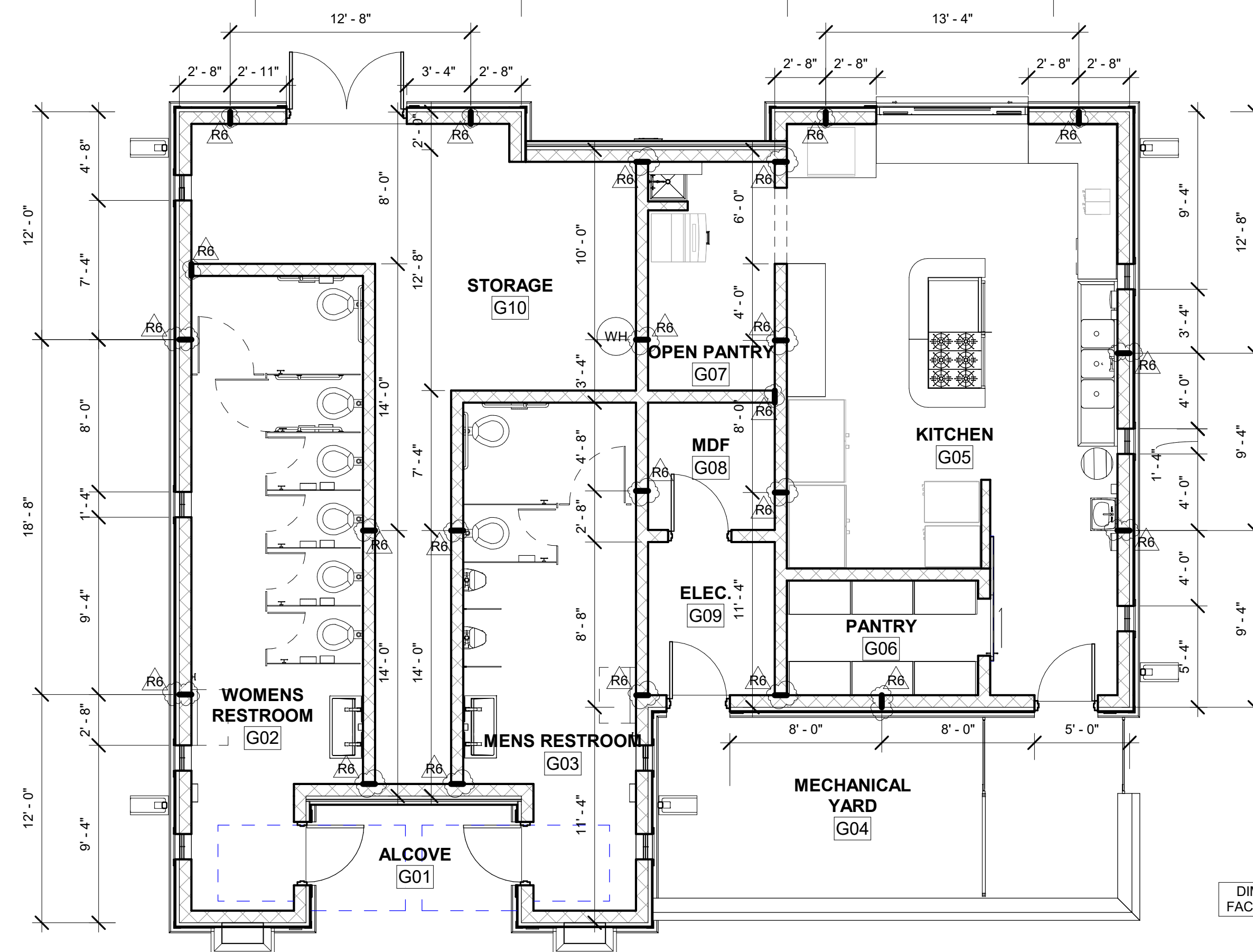
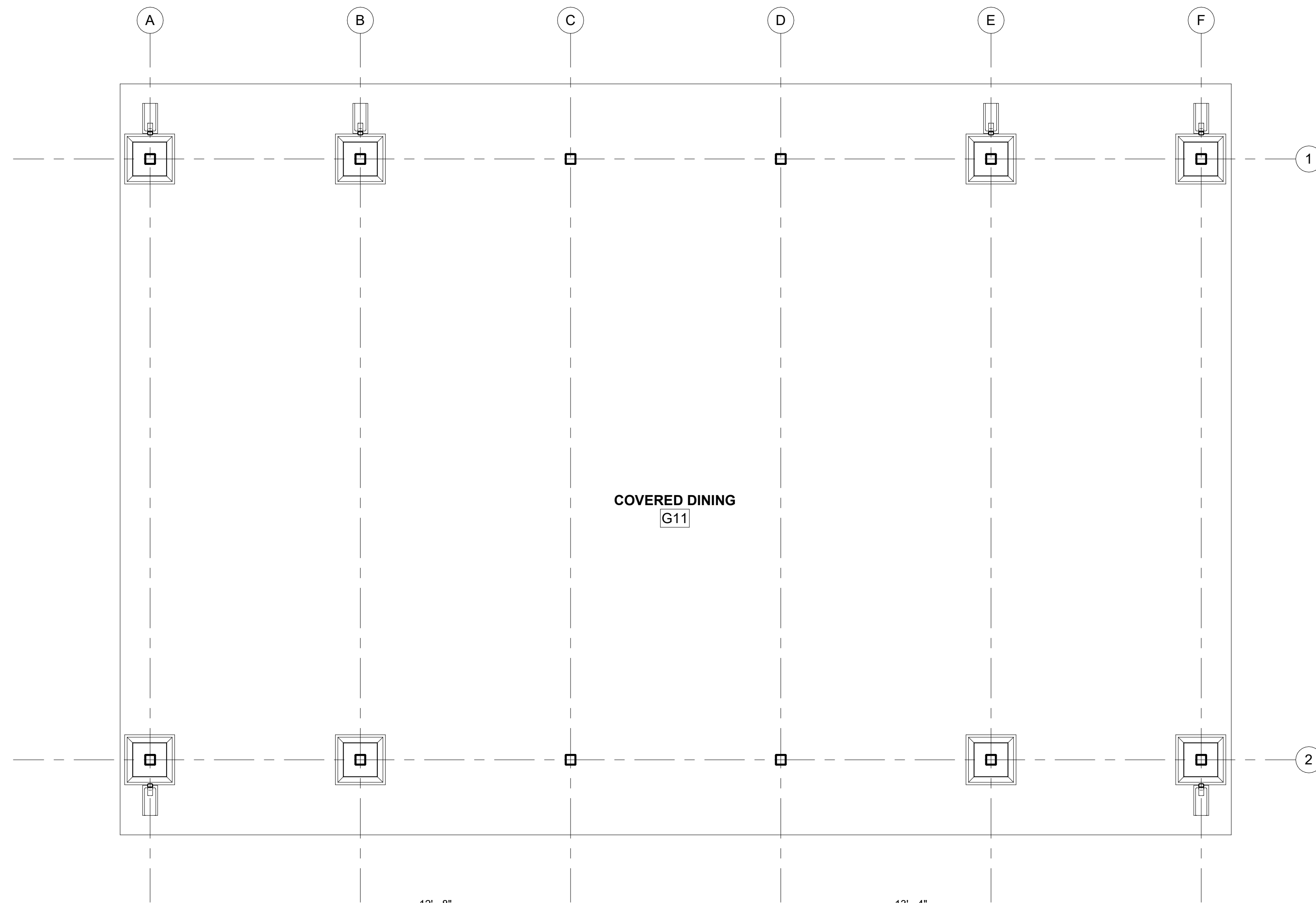
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A4	04/28/2023	Addendum 4
R4	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE  
**AMPHITHEATER VERTICAL CMU CONTROL JOINTS FLOOR PLAN**

PROJECT NO. 22010	DATE 10/15/2024
DRAWN BY STAFF	SCALE
CHECKED BY CF	1/4" = 1'-0"
SHEET NO.	

EXHIBIT 3



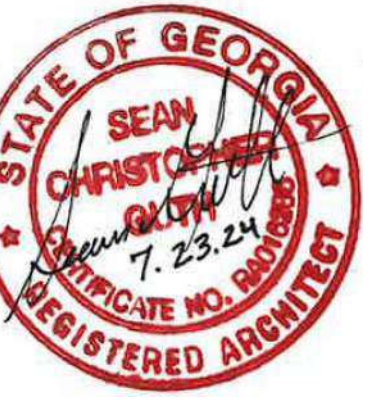
1  
EXHIBIT 3

LARGE PAVILION BUILDING VERTICAL CMU CONTROL JOINTS FLOOR PLAN

3/16" = 1'-0"

**LOSE DESIGN**  
SPACES FOR LIFE.

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LOGANVILLE  
GEORGIA

THE GROVE  
BUILDING "G" - LARGE PAVILION  
1089 HWY 81, LOGANVILLE, GA 30052  
PREPARED FOR:  
WALTON COUNTY

SUBMITTALS / REVISIONS

NO	DATE	DESCRIPTION
R6	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE

LARGE PAVILION BUILDING VERTICAL CMU CONTROL JOINTS FLOOR PLAN

PROJECT NO. 22010	DATE 10/15/2024
DRAWN BY STAFF	SCALE
CHECKED BY GF	3/16" = 1'-0"
SHEET NO.	

EXHIBIT 3

### PARTITION TYPES

M=MASONRY G=GYP. BD.

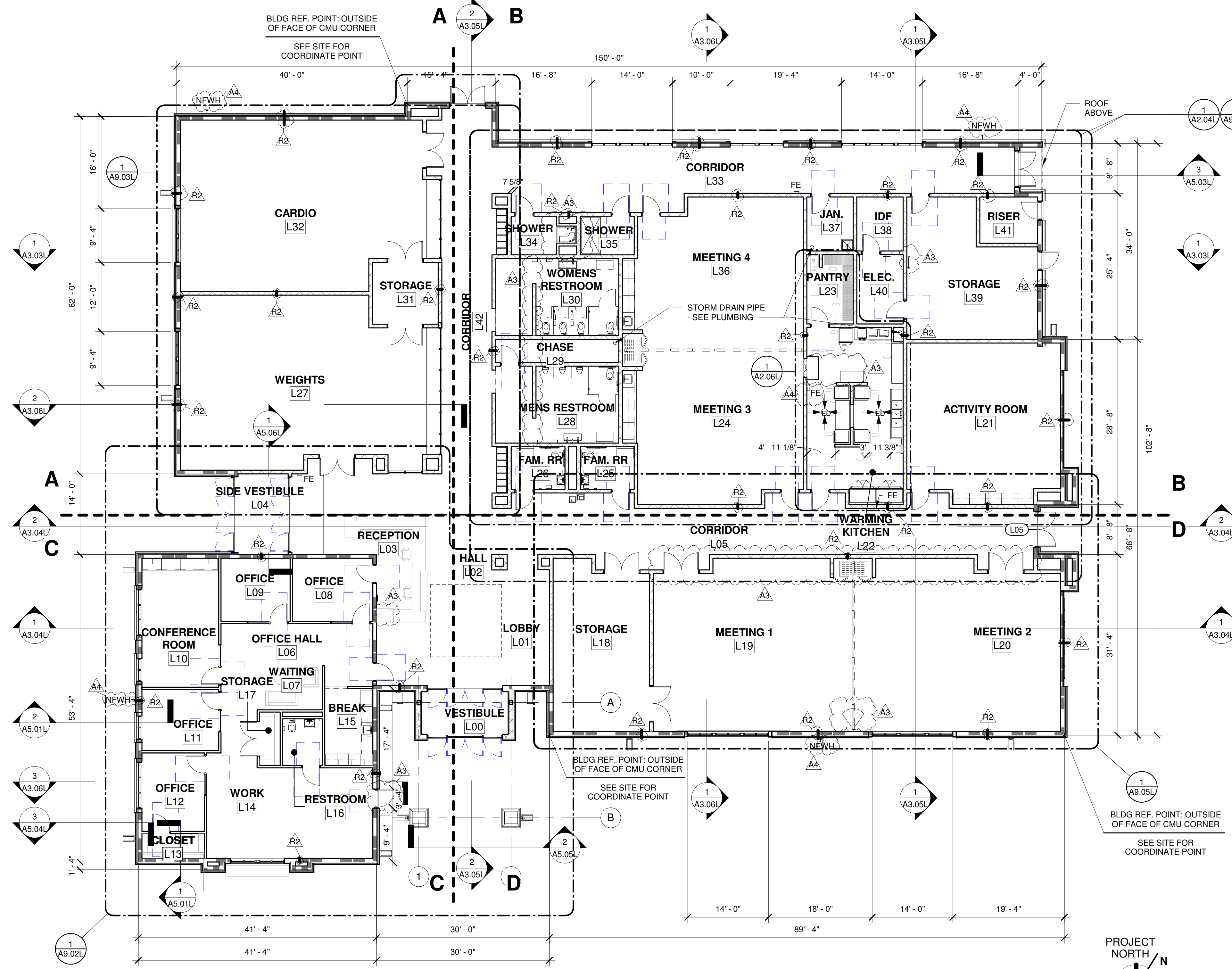
TYPE	SYMBOL	ASSEMBLY	WALL THICKNESS	WALL HEIGHT	FIRE RATING	REMARKS
MA	[Symbol]	4" CMU	3-5/8"	MIN. 6" ABOVE CLG.	NONE	BRACE AS REQUIRED
MB	[Symbol]	8" CMU	7-5/8"	MIN. 6" ABOVE CLG.	NONE	
MC	[Symbol]	8" CMU	7-5/8"	TO STRUCT.	NONE	
MD	[Symbol]	8" CMU	7-5/8"	MIN. 6" ABOVE CLG.	NONE	
ME	[Symbol]	8" CMU	7-5/8"	TO STRUCT.	NONE	
MF	[Symbol]	8" CMU	7-5/8"	TO STRUCT.	2 HR	FIRE BARRIERS AS INDICATED ARE TO EXTEND UP TO ROOF DECK.
GA	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-7/8"	MIN. 6" ABOVE CLG.	NONE	BRACE AS REQUIRED
GB	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-7/8"	TO STRUCT.	NONE	FILL W/ 3" SOUND BATTS - 51 STC
GC	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-1/4"	MIN. 6" ABOVE CLG.	NONE	GYP. ON SIDE FACING ROOM
GD	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. ONE SIDE	4-7/8"	TO STRUCT.	NONE	FILL W/ 3" SOUND BATTS - 51 STC
GE	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-7/8"	TO STRUCT.	NONE	5/8" GYP. BD. ONE SIDE & CEMENT BOARD ONE SIDE (FACING SHOWER), FILL W/ 3" SOUND BATTS
TA	[Symbol]	3-5/8" STUDS & 2-1/2" STUDS W/ 5/8" GYP. BOTH SIDES	VARIES	TO STRUCT.	NONE	
TB	[Symbol]	PLUMBING CHASE WALL: 2-1/2" MTL STUDS W/ TILE BACKER BD. @ WET WALL SIDES & MTL CROSS BRACING AS NEEDED	VARIES	MIN. 6" ABOVE CLG.	NONE	
M/G	[Symbol]	8" CMU W/ 3/5" STUDS ABOVE	7-5/8"	TO STRUCT.	NONE	MD W/ GD ABOVE EXTENDED TO STRUCTURE BRACE AS REQUIRED

### GENERAL PARTITION NOTES:

- SEE INTERIOR FINISHES LEGEND FOR ADDITIONAL FINISH INFORMATION. ALL EXPOSED PARTITION FACES SHALL BE PAINTED UNLESS OTHERWISE NOTED.
- SEE STRUCTURAL FOR DETAILS OR REQUIREMENTS OF PARTITION BRACING. PROVIDE AS REQUIRED BY STRUCTURAL AND AS REQUIRED BY COLD FORMED FRAMING DESIGN OR MINIMUM REQUIREMENTS. PROVIDE PARTITION BRACING WHERE REQUIRED BY STRUCTURAL.
- SEE STRUCTURAL FOR DESIGN OF ALL LOAD BEARING PARTITIONS. CONTRACTOR SHALL MEET ALL STRUCTURAL REQUIREMENTS OR DETAILS REGARDLESS OF CONFLICTING INFORMATION IN THIS PARTITION LEGEND OR OTHER ARCHITECTURAL DOCUMENTS.
- PARTITIONS "TO STRUCT" SHALL EXTEND TIGHT UP TO BOTTOM OF ROOF TRUSSES OR BOTTOM OF METAL DECK UNLESS OTHERWISE NOTED OR DETAILED.
- "MIN 6" ABOVE CLG" SHALL EXTEND ABOVE HIGHEST CEILING ON EITHER SIDE OF PARTITION. PARTITIONS WITH NO CEILING IN EITHER SIDE SHALL MATCH THE HEIGHT OF THE HIGHEST PERPENDICULAR PARTITION CONNECTED TO IT.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTS ANY CONFLICTS BETWEEN PARTITION LEGEND AND OTHER DOCUMENTS SUCH AS FIRE RATING, HEIGHT, OR CONSTRUCTION. PROVIDE MOST RESTRICTIVE DESIGN UNLESS INSTRUCTED OTHERWISE.
- USE CEMENT BACKER BOARD OF EQUAL THICKNESS OF G.W.B. WHERE TILE FINISH IS SPECIFIED IN FINISH LEGEND OR SHOWN IN INTERIOR ELEVATIONS AS NEEDED.
- PREPARE FACE OF CMU PARTITIONS TO RECEIVE WALL TILE INSTALLATION TO MAKE SURE IT IS FREE OF STRUCTURAL CRACKS, CLEAN, AND PLUMB. PROVIDE SKIM COAT AND GROUT AS SPECIFIED FOR INTERIOR WALL TILE INSTALLATION.
- PROVIDE SCHLUTER TRIM AT BOTTOM OF ALL WALL TILE INSTALLATIONS.
- ALL EXPOSED CMU CORNERS TO BE ROUNDED.

### PLAN GENERAL NOTES

- SEE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- ALL WET FLOORS TO SLOPE AT 1/8" PER FOOT, UNO, COORDINATE W/ PLUMBING & STRUCTURAL.
- SEE SIGNAGE SCHEDULE FOR SIGNAGE.
- COORDINATE ALL ARCHITECTURAL WOODWORK AND OFCI. ITEMS W/ OWNER.
- SEAL ALL PENETRATIONS OF CONDUIT, MECHANICAL DUCT WORK, PIPING, IN ALL SUBSTRATES, INTERIOR AND EXTERIOR WALLS, CEILINGS FLOORS
- ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL.
- PROVIDE MASONRY CONTROL JOINTS AS REQUIRED. COORDINATE ANY EXPANSION/CONTROL/CONSTRUCTION JOINTS. VERIFY W/ ARCH. AND STRUCT. FOR ANY DISCREPANCIES THAT OCCUR DURING THE CONSTRUCTION PHASE.
- SEALANT AT EXPANSION JOINT TO MATCH ADJACENT WALL COLOR.
- ALL NEW MASONRY JOINTS TO BE CONCAVED TOOLED.
- ALL EXPOSED STEEL TO BE SHOP PRIMED AND FIELD PAINTED.
- INSTALL NECESSARY BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE.
- PROVIDE HOSE-BIBBS WITH LOCKABLE BOX, PROVIDE FREEZE-PROOF TYPE FOR EXTERIOR LOCATIONS. SEE PLUMBING.
- CAULK ALL DOOR & WINDOW FRAMES AT THE JOINT BETWEEN THE FRAME & THE ADJACENT SUBSTRATE.
- CAULK ALL JOINTS BETWEEN FIXED ARCHITECTURAL WOODWORK, PLUMBING FIXTURES, & BACKSPLASH TO WALL TRANSITION JOINT.
- COORDINATE BUILDING SITE ORIENTATION/LAYOUT WITH CIVIL.
- FOR CONCRETE PAVING SEE SITE/CIVIL
- SEE SITE DRAWINGS FOR ALL EXT. SLAB JOINT DETAILS.
- SEE STRUCTURAL FOR ALL FOOTING & SLAB REQUIREMENTS. COORDINATE LOCATION OF ALL UNDERGROUND PIPES WITH STRUCTURAL PRIOR TO FOOTING INSTALLATION.
- PROVIDE AND INSTALL KNOXBOX AT BUILDING ENTRANCE AS REQUIRED PER LOCAL CODE OFFICIAL DIRECTIONS AND REQUIREMENTS. MODEL OF KNOXBOX TO BE APPROVED BY LOCAL CODE OFFICIALS. KNOXBOX TO BE MODEL 3200 - 10 KEY CAPACITY - COLOR BLACK. VERIFY INSTALLATION LOCATION W/ ARCH. RECESSED MOUNTED ON BUILDING.
- SEE A0.02L FOR RESTROOM ACCESSORIES, GRAB BAR SIZES, & PLUMBING FIXTURES LEGEND. SEE PLUMBING FOR FIXTURE SPEC.



1 COMMUNITY CENTER FLOOR PLAN  
A2.01L 3/32" = 1'-0"

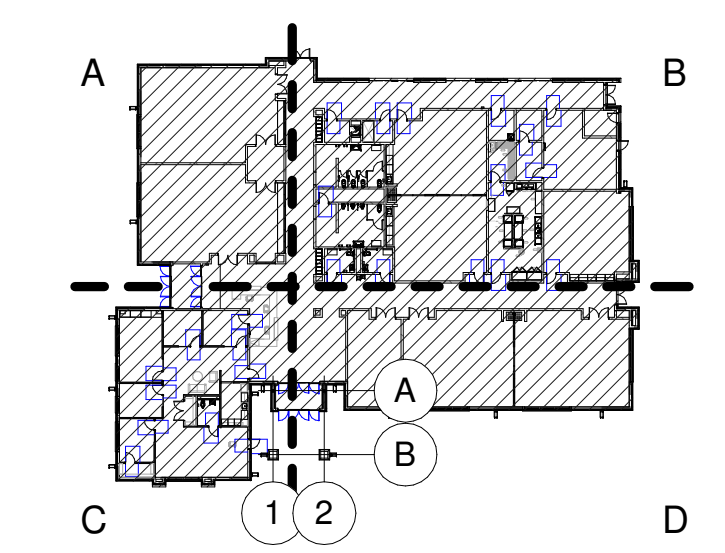
### SIGNAGE SCHEDULE

SIGN NUMBER	DOOR NUMBER	ROOM NUMBER	ROOM NAME	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
L00A	L00A	L00A	VESTIBULE			1,2,3,5,7,10
L03	L03	L03	RECEPTION			1,2,3,5,10
L04A	L04A	L04A	SIDE VESTIBULE			1,2,3,5,7,10
L04B	L04B	L04B	SIDE VESTIBULE			1,2,3,5,7,10
L05	L05	L05	CORRIDOR			
L07	L07	L07	WORK			
L08	L08	L08	OFFICE			1,2,3,5,10
L09	L09	L09	OFFICE			1,2,3,5,10
L10	L10	L10	CONFERENCE ROOM			1,2,3,5,10
L11	L11	L11	OFFICE			1,2,3,5,10
L12	L12	L12	OFFICE			1,2,3,4,5,10
L14	L14	L14	MEETING 1			
L15	L15	L15	MEETING 2			
L16	L16	L16	RESTROOM	RESTROOM		1,2,3,5,10
L17	L17	L17	STORAGE	STORAGE		1,2,3,5,10
L18	L18	L18	HALL			
L18A	L18A	L18A	STORAGE	STORAGE		1,2,3,5,10
L18B	L18B	L18B	STORAGE	STORAGE		1,2,3,5,10
L21	L21	L21	ACTIVITY ROOM	GAME ROOM		1,2,3,5,10
L22	L22	L22	WARMING KITCHEN	WARMING KITCHEN		1,2,3,5,8,10
L23	L23	L23	PANTRY	PANTRY		1,2,3,5,10
L24	L24	L24	MEETING 3	CLASSROOM		1,2,3,5,10
L25	L25	L25	FAM. RR	FAMILY RESTROOM		1,2,3,5,10
L26	L26	L26	FAM. RR	FAMILY RESTROOM		1,2,3,4,5,10

SIGN NUMBER	DOOR NUMBER	ROOM NUMBER	ROOM NAME	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
L27	L27	L27	WEIGHTS	WEIGHTS		1,2,3,5,8,10
L29	L29	L29	CHASE	CHASE		1,2,3,5,10
L31A	L31A	L31B	STORAGE	STORAGE		1,2,3,5,10
L31B	L31B	L31B	STORAGE	STORAGE		1,2,3,5,10
L32	L32	L32	CARDIO	CARDIO		1,2,3,5,8,10
L34	L34	L34	SHOWER	SHOWER		1,2,3,4,5,9,10
L35	L35	L35	SHOWER	SHOWER		1,2,3,4,5,9,10
L36	L36	L36	MEETING 4	CLASSROOM		1,2,3,5,10
L37	L37	L37	JAN.	JANITOR		1,2,3,5,10
L38	L38	L38	IDF	MDF		1,2,3,5,10
L39A	L39A	L39B	STORAGE	MECHANICAL		1,2,3,5,10
L39B	L39B	L39B	STORAGE	MECHANICAL		1,2,3,5,10
L40	L40	L40	ELEC.	ELECTRICAL		1,2,3,5,10
L41	L41	L41	RISER	RISER		1,2,3,5,10

- NOTES:
- PROVIDE SOLID BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE
  - INSTALL SIGNAGE AT WALL BESIDE DOOR AT LATCH SIDE FOR SINGLE DOOR, INSTALL SIGNAGE AT SECONDARY DOOR LEAF FOR DOUBLE DOOR.
  - SIGNAGE MUST COMPLY WITH ALL ADA REGULATIONS INCLUDING BUT NOT LIMITED TO:
    - HEIGHT ABOVE FINISH FLOOR (SEE DOOR SCHEDULE SHEET)
    - CHARACTERS
    - PICTOGRAMS
    - BRAILLE
    - FINISH
  - PROVIDE UNIVERSAL PICTOGRAM FIGURES FOR RESTROOM
    - MAN FIGURE AT MEN'S RESTROOMS
    - WOMAN FIGURE AT WOMEN'S RESTROOMS
    - MAN AND WOMAN FIGURE AT FAMILY / UNISEX RESTROOMS
    - WHEELCHAIR / HANDICAP FIGURE AT ALL RESTROOMS
    - SHOWER SYMBOL AT ALL RESTROOMS WITH SHOWER
  - PROVIDE ALL MANUFACTURER DRAWINGS FOR APPROVAL PRIOR TO INSTALL.

### KEY PLAN OVERALL



**LOSE DESIGN**  
SPACES FOR LIFE.

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GEORGIA

THE GROVE BUILDING "L" -  
COMMUNITY CENTER  
1089 HWY 81, LOGANVILLE, GA 30052  
PREPARED FOR:  
WALTON COUNTY

LOGANVILLE

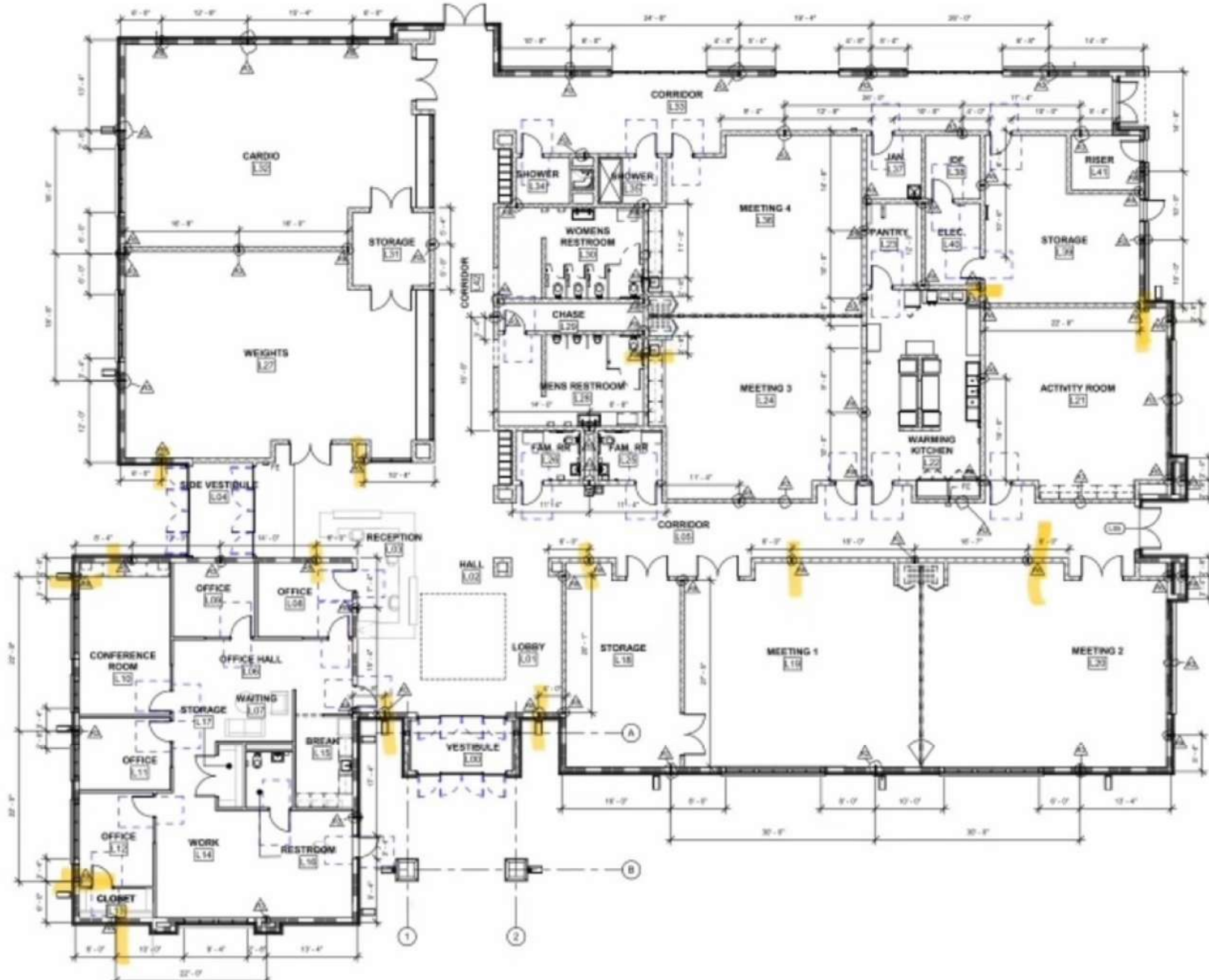
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4
R7	07/29/2024	CMU VERTICAL JOINT LOCATIONS

### CONSTRUCTION DOCUMENTS

SHEET TITLE  
**COMMUNITY CENTER OVERALL FLOOR PLAN**

PROJECT NO.	DATE
22010	06/12/2024
DRAWN BY	SCALE
STAFF	As indicated
CHECKED BY	SCALE
NR	
SHEET NO.	

A2.01L

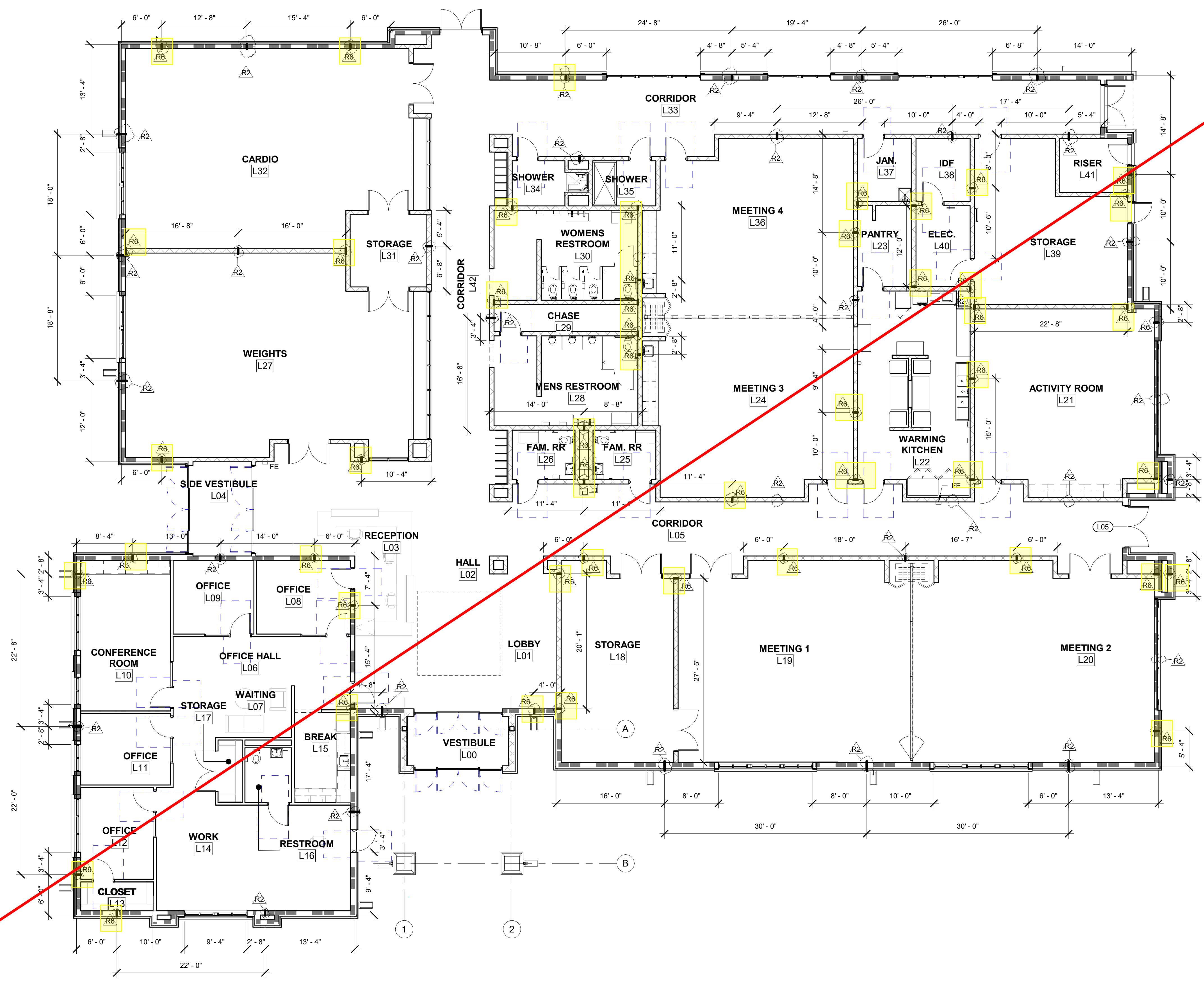
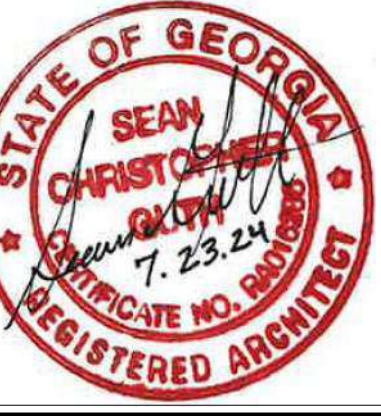


COMMUNITY CENTER VERTICAL CMU  
CONTROL JOINTS FLOOR PLAN

1/17



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**1** COMMUNITY CENTER VERTICAL CMU CONTROL JOINTS FLOOR PLAN  
EXHIBIT 3 1/8" = 1'-0"

DIMENSIONS ARE MEASURED FROM THE FACE OF CMU UNLESS NOTED OTHERWISE.

GEORGIA

**THE GROVE BUILDING "L" -**  
COMMUNITY CENTER  
1089 HWY 81, LOGANVILLE, GA 30052  
PREPARED FOR:  
WALTON COUNTY

LOGANVILLE

SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
R2	07/29/2024	CMU VERTICAL JOINT LOCATIONS
R6	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE  
**COMMUNITY CENTER VERTICAL CMU CONTROL JOINTS FLOOR PLAN**

PROJECT NO. <b>22010</b>	DATE <b>10/15/2024</b>
DRAWN BY <b>STAFF</b>	SCALE <b>1/8" = 1'-0"</b>
CHECKED BY <b>CF</b>	SHEET NO.

**EXHIBIT 3**