



**Walton County Planning and Development Department
Board of Appeals Case Summary**

Case Number: V26-0138

Board of Appeals Meeting Date: June 16, 2026

Applicant:

Dean Thrasher
5089 Watson Fain Road
Loganville, Georgia 30052

Owners:

Barbara Jean Thrasher &
Dean Phillip Thrasher
5089 Watson Fain Road
Loganville, Georgia 30052

Property Information:

- **Address:** 5089 Watson Fain Road
- **Map Number:** C0350002
- **Site Area:** 4.79 acres
- **Current Zoning:** A1
- **Character Area:** Suburban
- **Future Land Use Map Designation:** Suburban
- **Watershed Protection Area:** Alcovy River

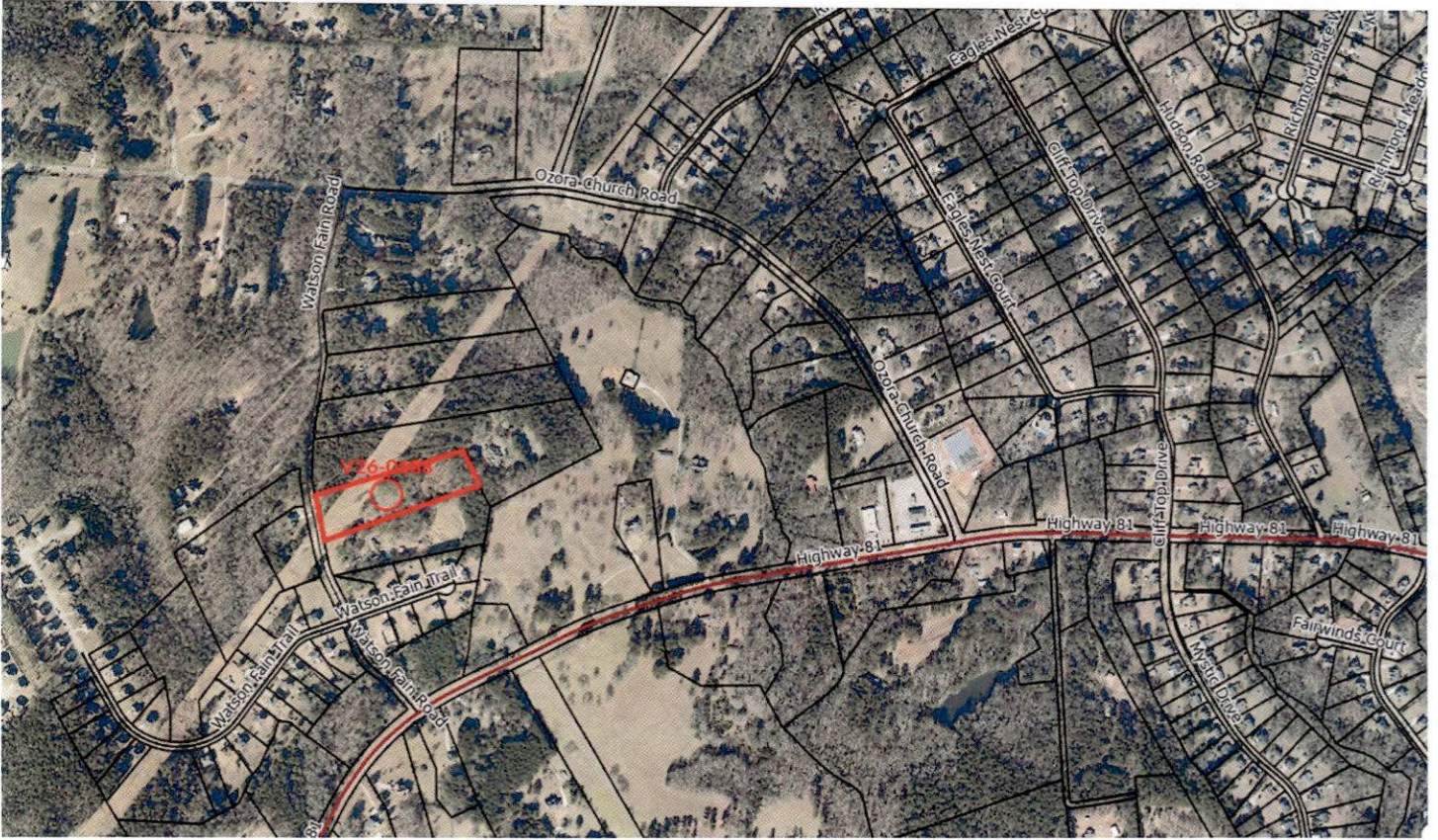
District Representation:

- **Commissioner (District 1):** Amarie Warren
- **Board of Appeals Member:** Jim Cleveland

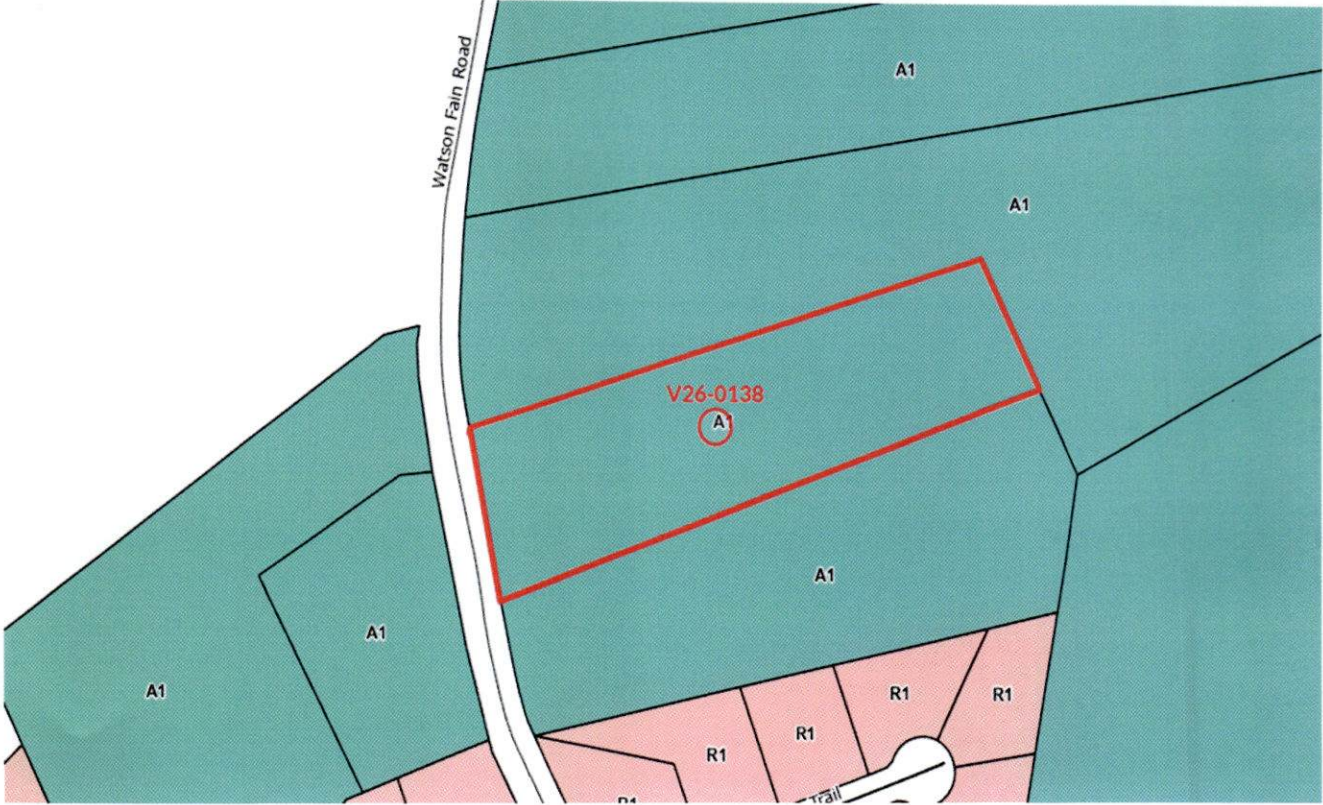
Request: Variance requesting reduction of the required roof pitch of 5:12, allow vinyl/aluminum siding and waive required garage on a Manufactured Home. (The Manufactured Home is where their son and his family intend to live.)

Existing Site Conditions: There is a house on the property and the surrounding properties are A1.

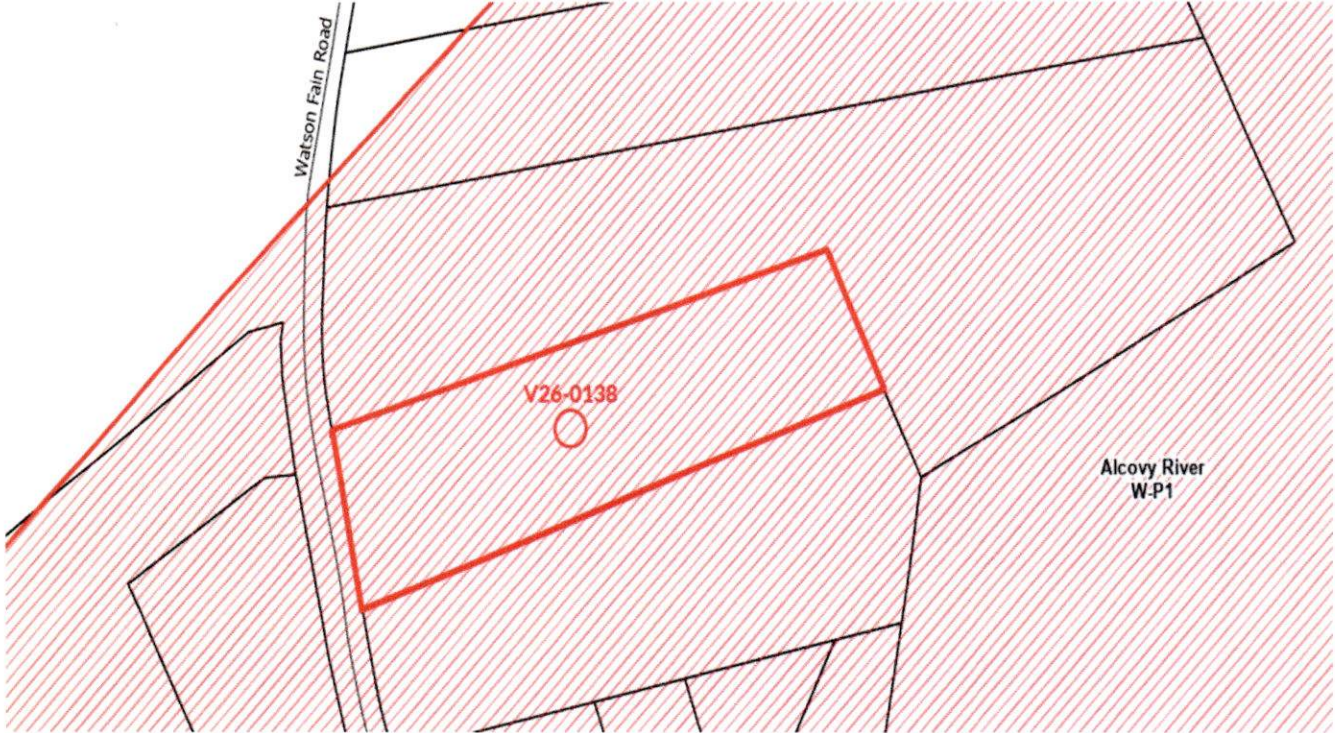
Property History: Mr. & Mrs. Thrasher came before the Board of Appeals on April 21, 2026 requesting a Variance to reduce lot with on 4.79 acres to create 2 buildable lots with Lot 1 being 2.00 acres with 200' lot width with an existing house and Lot 2 being 2.79 acres with lot width of 57' in lieu of the required 200'. The 2.79 acres will be for his son to build a house so he will be close by to help take care of them with their health issues. THIS VARIANCE WAS APPROVED.



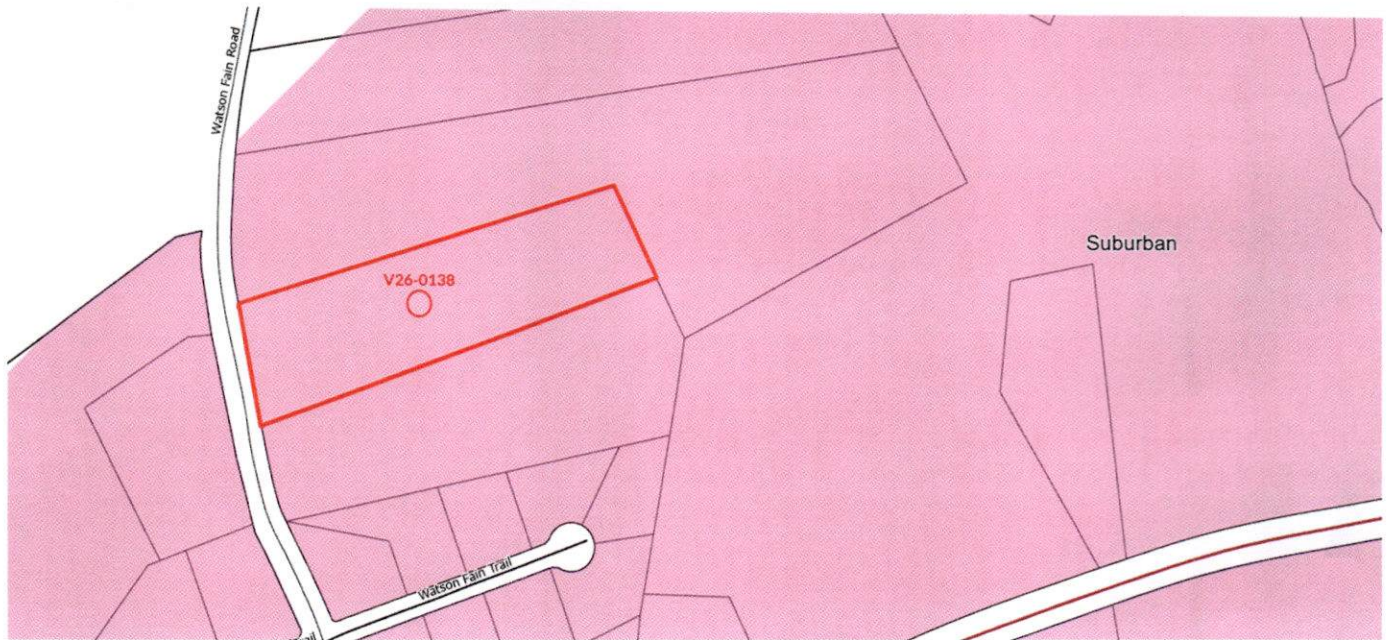
The surrounding properties are zoned A1.



The property is in the Alcovy River Watershed.



The Future Land Use Map for this property is Suburban.



Staff Comments:

Sec. 14-104. Appeals and variances.

- (a) *Procedure upon denial.* Upon denial of the application for a sign permit, the applicant shall be given written notice stating the reason(s) for the denial within 15 days of the decision to deny the permit. The aggrieved party may appeal any decision as provided in board of zoning appeals procedure.
- (b) *Variances.*
- (1) Variances may be granted from the provisions of this ordinance in compliance with powers of board of zoning appeals.
 - (2) Variance procedures shall apply both to signs which are nonconforming as of the effective date of this ordinance and to new signs erected thereafter.
- (Ord. of 8-6-2002, § 24)

Walton County Board of Appeals Application

Please Type or Print Legibly

Variance/Special Exception/Appeal # V26-0138

Board of Appeals Meeting Date 6-16-2026 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION			
Recorded Deed <input checked="" type="checkbox"/>	Survey Plat <input checked="" type="checkbox"/>	Site Plan <input checked="" type="checkbox"/>	Proof of Paid Property Taxes <input checked="" type="checkbox"/>
**Drawn by Design Professional			

Map/Parcel 0350002 Zoning District: A1 Commission District: 1 - Amarie Warren

Applicant Name/Address/Phone #	Property Owner Name/Address/Phone
<u>Dean Thrasher</u> <u>5089 Watson Fair Rd</u> <u>Loganville, GA 30052</u>	<u>Dean & Barbara Thrasher</u> <u>5089 Watson Fair Rd</u> <u>Loganville, GA 30052</u>
Type Request: <input checked="" type="checkbox"/> <u>VARIANCE</u> <input type="checkbox"/> <u>SPECIAL EXCEPTION</u> <input type="checkbox"/> <u>APEAL</u>	
Property Location <u>5089 Watson Fair Rd Loganville</u> Acreage <u>4.79</u>	
Describe Variance/Special Exception/Appeal: <u>Waive the hardie board siding, 5/12 pitch roof and 2 car stick built garage, causing extreme hardship. (Letter attached)</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review: <u>The cost of adding the hardie board siding, 5/12 pitch roof would add approx. 15 to 30 thousand dollars to the cost of the manufactured home causing extreme hardship to our family. The cost of the 2 car garage and the approx. 20-25 thousand.</u>	
Public Water: <input type="checkbox"/> Well: <input type="checkbox"/> Public Sewer: <input type="checkbox"/> Septic Tank: <input type="checkbox"/>	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>Dean Thrasher</u>	Date <u>05062026</u> Fee Paid: \$ <u>500.00</u>
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
I HEREBY WITHDRAW THE ABOVE APPLICATION _____ Date _____	

To: Walton County Board of Appeals Members

From: Dean Thrasher

Ref: Waiver Request

We are looking to put a manufactured home on part of our property for our Son. We have been visiting places who sell them. We have been told by the Planning and Zoning office the home must have hardieboard siding and a 5/12 pitch roof. In visiting the dealerships, they have told us to meet these requirements the selection of builders is limited. They have also advised us that the extra cost to do this is between 15 and 30 thousand dollars. The homes we have looked at all have vinyl siding and 3/12 pitch roofs. The home we live in has vinyl siding and a 3/12 pitch roof. There is also a requirement of a two car garage with the same siding and pitch requirements and must have a concrete floor. This will also be an approximate addition of 20 to 25 thousand dollars. This will create a hardship for our family. We are asking to have these requirements waived for us due to the extreme hardship it would cause.

We have provided pictures of our home exterior as well as ones of the homes we are interested in. We have also provided copies of the layout as well as the building specifications of the homes we are interested in.

Thank you for your time and consideration in this matter.

Dean and Barbara Thrasher

**Joshua
Adams**

Sales Processor

Clayton
homes

☎ o. (762) 315-7109 m. (706) 621-1730

✉ josh.adams@claytonhomes.com

🌐 claytonhomesathensga.com

📍 455-A US Hwy 29 North, Athens, GA 30601

**Comfort
Homes**
706. 549. 8860

Cindy Jones

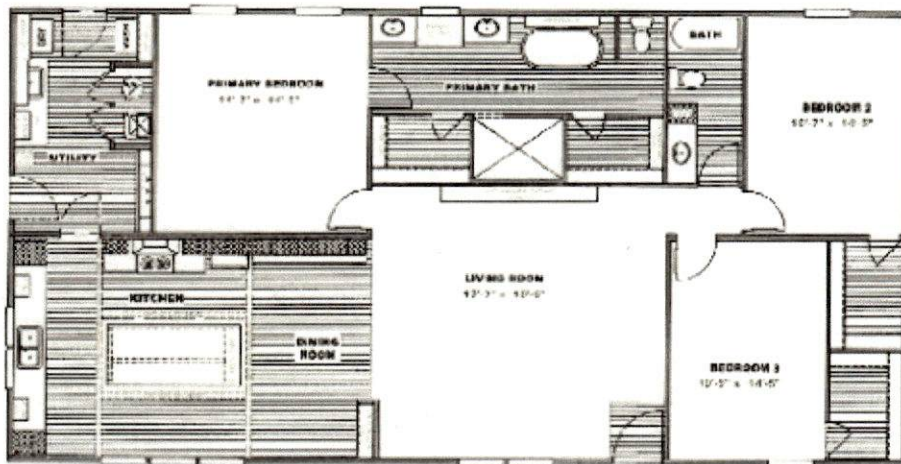
comforthomesathens.com cindyjonescomforhomes@gmail.com
9444 Hwy 29 Tel 706-549-8860
Athens, GA 30601 Fax 706-549-8870

Clayton
homes
OF ATHENS

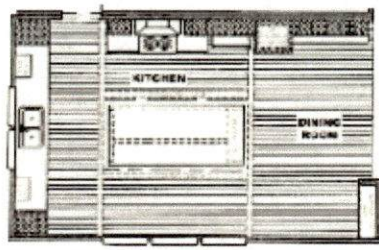
70th

• ANNIVERSARY •

Celebration



3 beds • 2 baths
1,800 sq. ft.
3260



Home for Royalty

SIR KIRBY



SIR CLAYTON

CLAYTON HOMES OF ATHENS-455A HWY 29 N, ATHENS GA. 30601
762.315.7109

26. INSULATION

Location	Thickness	Material, Type, and Method of Installation	Vapor Barrier
Roof	R-38 13.51"	Applegate blown in	
Ceiling			4-mill in ceiling board
Wall	R-13 Min	Knauf Batt Insulation	Faced
Floor	R-22 Min	Knauf Blanket Insulation	Unfaced

27. MISCELLANEOUS: (Describe any main dwelling materials, equipment, or construction items not shown elsewhere; or use to provide additional information where the space provided was inadequate. Always reference by item number to correspond to numbering used on this form.)

HARDWARE (make, material, and finish)

SPECIAL EQUIPMENT (State material or make, model and quantity. Include only equipment and appliances which are acceptable by local and Federal law. Do not include items which, by established custom, are supplied by occupant and removed when he vacates premises or chattels prohibited by law from becoming realty.)

PORCHES

TERRACES

GARAGES

WALKS AND DRIVEWAYS

Driveway width _____ base material _____ thickness _____ surfacing material _____ thickness _____
 Front walk width _____ material _____ thickness _____ Service walk width _____ material _____ thickness _____
 Steps material _____ treads _____ risers _____ Cheek walls _____

OTHER ONSITE IMPROVEMENTS

(Specify all exterior onsite improvements not described elsewhere, including items such as unusual grading, drainage structures, retaining walls, fence, railings, and accessory structures.)

LANDSCAPING, PLANTING, AND FINISH GRADING

Topsoil _____ thick front yard side yards rear yard to _____ feet behind main building
 Lawns (seeded, sodded, or sprigged) front yard _____ side yards _____ rear yard _____
 Planting as specified and shown on drawings as follows:
 _____ Shade trees deciduous _____ caliper _____ Evergreen trees _____ to _____ B & B
 _____ Low flowering trees deciduous _____ to _____ Evergreen shrubs _____ to _____ B & B
 _____ High-growing shrubs deciduous _____ to _____ Vines, 2-year _____
 _____ Medium-growing shrubs deciduous _____ to _____ Other _____
 _____ Low-growing shrubs deciduous _____ to _____

IDENTIFICATION – This exhibit shall be identified by the signature of the builder and/or the proposed purchaser if the latter is known at the time of application.

SIGNATURE OF BUILDER (Please sign in ink)	DATE (MM/DD/YYYY)
SIGNATURE OF PURCHASER (Please sign in ink)	DATE (MM/DD/YYYY)

23. HEATING

Hot water Steam Vapor One-pipe system Two-pipe system
Radiators Convectors Baseboard radiation Make and model
Radiant panel floor wall ceiling Panel coil material
Circulator Return pump Make and model capacity gpm.
Boiler make and model Output Btuh. net rating Btuh.
Additional Information

Warm air Gravity Forced Type of system
Duct material supply Aluminum return Grill / Vent insulation N/A thickness .37 Outside air intake
Furnace make and model Carrier 10KW / 12KW Input Varies Btuh. Output Varies Btuh.
Additional Information

Space heater floor furnace wall heater Input Btuh. Output Btuh. number units
Make and model
Additional Information

Controls make and types Ecobee
Additional Information
Programmable

Fuel Coal oil gas liq. pet. gas electric other storage capacity
Additional Information

Firing equipment furnished separately Gas burner, conversion type Stoker hopper feed bin feed
Oil burner pressure atomizing vaporizing
Make and model
Control
Additional Information

Electric heating system type Input watts @ volts output Btuh.
Additional Information

Ventilating equipment attic fan, make and model capacity cfm.
kitchen exhaust fan, make and model Broan F403004
Other heating, ventilating, or cooling equipment Broan Flex AE80B
Additional Information

24. ELECTRICAL WIRING

Service overhead underground Panel fuse box circuit-breaker make Siemens AMP's No. circuits
Wiring conduit armored cable nonmetallic cable knob and tube other
Special outlets range water heater other Dryer, GFCI, Outside Recept, and Heat Tape Recept
Doorbell Chimes Push-button locations
Additional Information

25. LIGHTING FIXTURES

Total number of fixtures 25 Total allowance for fixtures, typical installation, \$
Non typical installation Wire and Brace
Additional Information

20. STAIRS										
Stair	Treads		Risers		Stringers		Handrail		Balusters	
	Material	Thickness	Material	Thickness	Material	Size	Material	Size	Material	Size
Basement	N/A									
Main	N/A									
Attic	N/A									

Disappearing make and model number _____
 Additional Information _____

21. SPECIAL FLOORS AND WAINSCOT (Describe Carpet as listed in Certified Products Directory)

Floors	Location	Material, Color, Border, Sizes, Gauge, Etc.	Threshold Material	Wall Base Material	Underfloor Material
	Kitchen	N/A			
	Bath	N/A			
Wainscot	Location	Material, Color, Border, Cap, Sizes, Gauge, Etc.	Height	Height Over Tub	Height in Showers (From Floor)
	Bath	N/A			

Additional Information _____

22. PLUMBING

Fixture	Number	Location	Make	MFR's Fixture Identification No.	Size	Color
Sink			UFP			
Lavatory			LaSalle Bristol			
Water closet			Briggs			
Bathtub			Lippert			
Shower over tub			Lippert			
Stall shower			N/A			
Laundry trays			Kholor			
Fiberglass Tub/S			American Fiberglass			

Bathroom accessories Recessed material _____ number _____ Attached material _____ number _____
 Additional Information _____

Curtain rod Door Shower pan material _____ **(Show and describe individual system in complete detail in separate drawings and specifications according to requirements.)**
 Water supply public community system individual (private) system*
 Sewage disposal public community system individual (private) system*
 House drain (inside) cast iron tile other PVC _____ House sewer (outside) cast iron tile other PVC _____
 Water piping galvanized steel copper tubing other PEX _____ Sill cocks, number _____
 Domestic water heater type Electric make and model Rheem heating capacity 30 or 40 gph. 100° rise.
 Storage tank material metal / fiberglass capacity 40 / 50 gallons
 Gas service utility company liq. pet. gas other _____ Gas piping cooking house heating
 Footing drains connected to Storm sewer sanitary sewer dry well Sump pump make and model _____
 capacity _____ discharges into _____
 Additional Information _____

13. GUTTERS AND DOWNSPOUTS

Gutters material _____ gauge or weight _____ size _____ shape _____
 Downspouts material _____ gauge or weight _____ size _____ shape _____ number _____
 Downspouts connected to Storm sewer sanitary sewer dry well Splash blocks, material and size _____
 Additional information _____

14. LATH AND PLASTER

Lath walls ceilings material _____ weight or thickness _____ Plaster coats _____ finish _____
 Dry-wall walls ceilings material gypsum / prefinished thickness 5/16 min finish Prefinished or T&T
 Joint treatment _____

15. DECORATING (Paint, wallpaper, etc.)

Rooms	Wall Finish Material and Application	Ceiling Finish Material and Application
Kitchen	Vinyl / Paper covered gypsum	Stipple on 1/2" paper gypsum
Bath	Vinyl / Paper covered gypsum	Stipple on 1/2" paper gypsum
Other		

Additional Information _____

16. INTERIOR DOORS AND TRIM

Doors type 2 panel material Laminate Panel thickness 1 1/4"
 Door trim type Flat material MDF Base type _____ material _____ size _____
 Finish doors _____ trim _____
 Other trim (item, type and location) _____
 Additional information _____

17. WINDOWS

Windows type Horizontal slider make Clayton material Alum / Vinyl sash thickness _____
 Glass grade Argon filled Low E sash weights balances type _____ head flashing _____
 Trim type _____ material _____ Paint _____ number coats _____
 Weatherstripping type _____ material _____ Storm sash, number _____
 Screens full half type _____ number _____ screen cloth material _____
 Basement windows type _____ material _____ screens, number _____ Storm sash, number _____
 Special windows _____
 Additional information _____

18. ENTRANCES AND EXTERIOR DETAIL

Main entrance door material Fiberglass / Steel width 36" thickness 2" Frame material PVC thickness 6"
 Other entrance doors material Fiberglass width 34" thickness 1 1/2" Frame material PVC thickness 4"
 Head flashing _____ Weatherstripping type _____ saddles _____
 Screen doors thickness _____ number _____ screen cloth material _____ Storm doors thickness 1 1/4" number _____
 Combination storm and screen doors thickness _____ number _____ screen cloth material _____
 Shutters hinged fixed Railings _____ Attic louvers _____
 Exterior millwork grade and species _____ Paint _____ number coats _____
 Additional information _____

19. CABINETS AND INTERIOR DETAIL

Kitchen cabinets, wall units material MDF lineal feet of shelves _____ shelf width _____
 Base units material MDF counter top Formica laminate edging Formica laminate
 Back and end splash 2" or 4" formica on MDF Finish of cabinets _____ number coats _____
 Medicine cabinets make N/A model _____
 Other cabinets and built-in furniture N/A
 Additional information _____

5. EXTERIOR WALLS

Wood frame wood grade, and species #3 SPF Corner bracing Building paper or felt Felt
 Sheathing Thermoply or OSB thickness 1/4"-7/16" width 4 ft. solid spaced 4 ft. o.c. o.c. diagonal
 Siding Vinyl grade Economy type Horizontal size 3.7 m exposure 4.5" fastening staple 16" o.c.
 Shingles GAF grade Good type 3 tab size 36" exposure 5 5/8" fastening nails
 Stucco thickness _____ Lath _____ weight _____ lb.
 Masonry veneer _____ Sills _____ Lintels _____ Base flashing _____
 Masonry solid faced stuccoed total wall thickness _____ facing thickness _____ facing material _____
 Backup material _____ thickness _____ bonding _____
 Door sills PVC Window sills Vinyl Lintels _____ Base flashing _____
 Interior surfaces damp proofing, _____ coats of _____ furring _____
 Additional information _____
 Exterior painting material Exterior Latex number of coats 1
 Gable wall construction same as main walls other construction _____

6. FLOOR FRAMING

Joists wood, grade, and species #2 SYP or SPF#2 other 2x6 SPF #3 bridging _____ anchors _____
 Concrete slab basement floor first floor ground supported self-supporting mix _____ thickness _____
 reinforcing _____ insulation _____ membrane _____
 Fill under slab material _____ thickness _____
 Additional information _____

7. SUBFLOORING (Describe underflooring for special floors under item 21)

Material grade and species Exposure 1 size 19/32" type OSB
 Laid first floor second floor attic _____ sq. ft. diagonal right angles
 Additional information _____

8. FINISH FLOORING (Wood only. Describe other finish flooring under item 21)

Location	Rooms	Grade	Species	Thickness	Width	Bldg. Paper	Finish
First floor							
Second floor							
Attic floor		sq. ft.					

Additional information _____

9. PARTITION FRAMING

Studs wood, grade, and species #3 SPF size and spacing 2x3's at 24" o.c. Other _____
 Additional information for wind zone II or III interior shear walls: 2x3's at 16" o.c.

10. CEILING FRAMING

Joists wood, grade, and species _____ Other _____ Bridging _____
 Additional information _____

11. ROOF FRAMING

Rafters wood, grade and species Wood Perfect Roof trusses (see detail) grade and species #3 SPF
 Additional information Rafter joints connected with Eagle 20 ga. nail please

12. ROOFING

Sheathing wood, grade, and species 7/16" OSB 4x8 sheets solid spaced _____ o.c.
 Roofing Shingles grade Class C size 12x36 type Asphalt
 Underlay Asphalt paper weight or thickness 15 lb. size 24"/96" fastening _____
 Built-up roofing _____ number of piles _____ surfacing material _____
 Flashing material Metal drip edge gauge or weight 30 ga. gravel stops snow guards
 Additional information _____



Department of Veterans Affairs

DESCRIPTION OF MATERIALS

PRIVACY ACT NOTICE: VA will not disclose information collected on this form to any source other than what has been authorized under the Privacy Act of 1974 or Title 38, CFR 1.576 for routine uses (for example: Authorizing release of information to Congress when requested for statistical purposes) as identified in the VA system of records, 55VA26, Loan Guaranty Home, Condominium and Manufactured Home Loan Applicant Records, Specially Adapted Housing Applicant Records, and Vendee Loan Applicant Records - VA, 17VA26, Loan Guaranty Fee Personnel and Program Participant Records - VA, and published in the Federal Register. Your response is required to obtain or retain benefits.

RESPONDENT BURDEN: An agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless it displays a currently valid OMB control number. The OMB control number for this project is 2900-0788, and it expires May 31, 2027. Public reporting burden for this collection of information is estimated to average 30 minutes per respondent, per year, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding this burden estimate and any other aspect of this collection of information, including suggestions for reducing the burden, to VA Reports Clearance Officer at YACOPaperworkReduAct@va.gov. Please refer to OMB Control No. 2900-0788 in any correspondence. Do not send your completed VA Form 26-1852 to this email address.

PROPOSED CONSTRUCTION UNDER CONSTRUCTION CASE NO. _____

PROPERTY ADDRESS (Include City and State)

NAME AND ADDRESS OF LENDER OR SPONSOR

NAME AND ADDRESS OF CONTRACTOR OR BUILDER

INSTRUCTIONS

- For additional information on how this form is to be submitted, number of copies, etc., see the instructions in the VA Lender's Handbook.
- Describe all materials and equipment to be used, whether or not shown on the drawings, by marking an X in each appropriate check-box and entering the information called for each space. If space is inadequate, enter "See misc." and describe under item 27 or on an attached sheet. **The use of paint containing more than the percentage of lead by weight permitted by law is prohibited.**
- Work not specifically described or shown will not be considered unless required, then the minimum acceptable will be assumed. Work exceeding minimum requirements cannot be considered unless specifically described.
- Include no alternates, "or equal" phrases, or contradictory items. (Consideration of a request for acceptance of substitute materials or equipment is not thereby precluded.)
- Include signatures required at the end of this form.
- The construction shall be completed in compliance with the related drawings and specifications, as amended during processing. The specifications include this Description of Materials and the applicable Minimum Property Requirements.

1. EXCAVATION

Bearing soil, type _____

2. FOUNDATIONS

Footings concrete mix _____ strength psi _____ Reinforcing _____

Foundation wall material _____ Reinforcing _____

Interior foundation wall material _____ Party foundation wall _____

Columns material and sizes _____ Piers material and reinforcing _____

Girders material and sizes _____ Sills material _____

Basement entrance area-way _____ Window area ways _____

Waterproofing _____ Footing drains _____

Termite protection _____

Basement space ground cover _____ insulation _____ foundation vents _____

Special foundations _____

Additional information _____

3. CHIMNEYS

Material Metal Prefabricated (make and size) Superior

Flue lining material Metal Heater flue size 10 5/8" Fireplace flue size 8"

Vents (material and size) gas or oil heater PVC 2" water heater N/A

Additional information _____

4. FIREPLACES

Type solid fuel gas-burning circulator (make and size) _____ Ash dump and clean-out _____

Fireplace facing Stone lining Brick hearth Stone mantel Wood

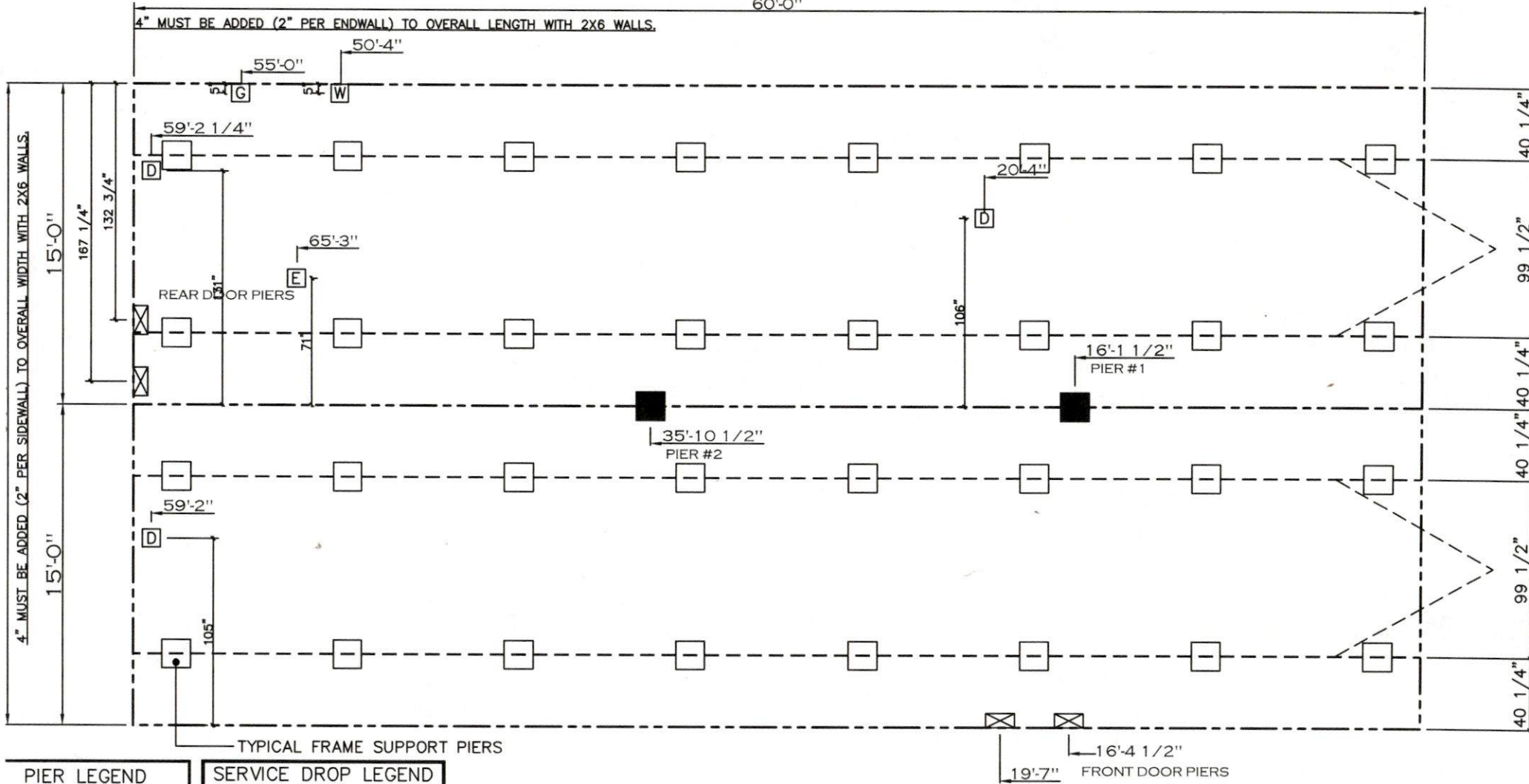
Additional information _____

GENERAL NOTES:

PIER LOADS SHOWN ARE TO BE USED TO SIZE THE FOOTINGS BELOW THE MARRIAGEWALL FOR COLUMN SUPPORT PIERS. REFER TO TABLES 6b AND 6c IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS FOR HOMES THAT DO NOT REQUIRE PERIMETER BLOCKING. REFER TO TABLES 7b AND 7c IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS THAT REQUIRE PERIMETER BLOCKING. REFER TO TABLES 10 AND 10a TO DETERMINE FOOTING SIZE FOR ALL PIERS.

- REFER TO TABLE 9 FOR PIER CONFIGURATION AND MAXIMUM ALLOWABLE HEIGHTS. CROSS REFERENCE THE PIER HEIGHT WITH THE MAXIMUM ALLOWABLE FLOOR HEIGHT LISTED IN THE FRAME TIEDOWN CHARTS (TABLE 18, 19, AND 20).
- FLOOR WIDTH SHOWN IS FOR STANDARD PRODUCT ONLY. CONTACT THE MFG PLANT FOR SPECIFICATIONS OF OPTIONS ORDERED.
- SERVICE DROP LOCATIONS IDENTIFIED ARE APPROXIMATE.
- THE MAXIMUM SPACING FOR FRAME SUPPORT PIERS FOR 8" I-BEAMS IS 8 FEET, 10" & 12" I-BEAMS ARE 10 FEET.

20 psf Roof Live Load		
Column Pier #	Distance from Hitch	Pier Load (lbs)
1	16.083	4863
2	35.917	4863

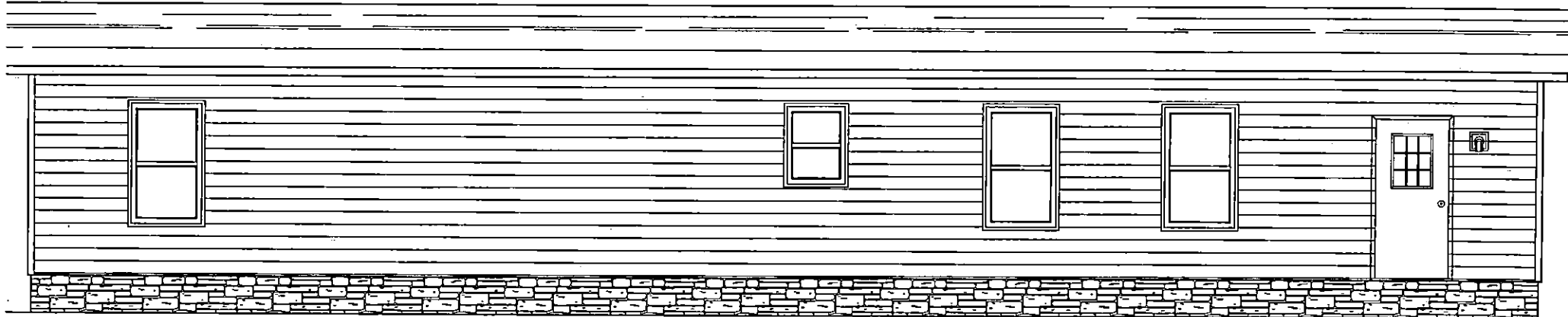


PIER LEGEND	
[Symbol]	= SUPPORT UNDER MATING OPENING
[Symbol]	= SUPPORT AT MATING COLUMN
[Symbol]	= SUPPORT UNDER MATING WALL
[Symbol]	= PIER PORCH/RECESSED ENTRY
[Symbol]	= PIER MAIN BEAM
[Symbol]	= PIER PERIMETER

SERVICE DROP LEGEND	
[E]	= ELECTRICAL DROP
[W]	= WATER INLET
[D]	= DWV PLUMBING DROP
[G]	= GAS INLET

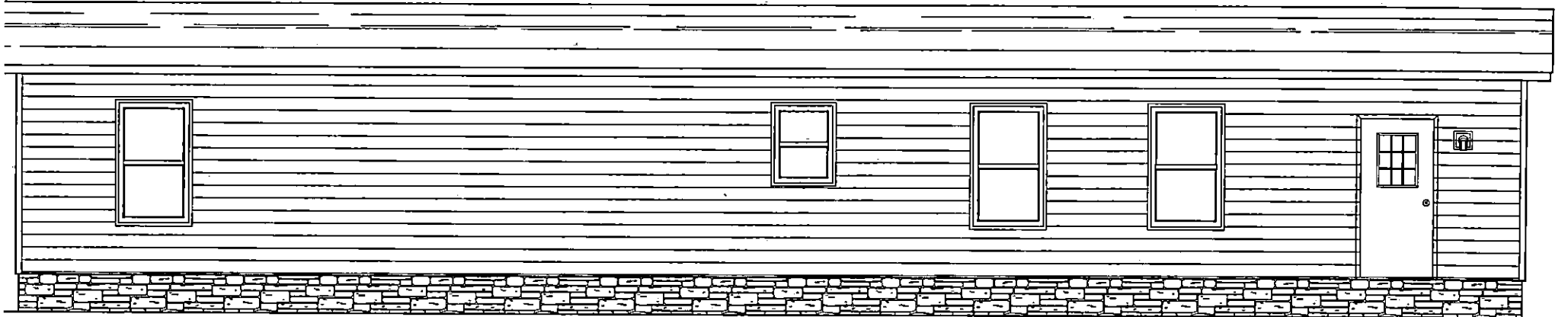
20 lb ROOF LOAD SIDEWALL OPENING PIER LOAD 28' BOX WIDTH	SIDEWALL OPENING (FT) REQUIRED PIER LOAD (LBS)					
	3	4	5	6	8	10
	1162	1315	1467	1620	1925	2230

*FOR 30 lb & 40 lb ROOF LOAD REFER TO TABLES 7b & 7c IN THE INSTALLATION MANUAL




REAR ELEVATION OPTIONAL DOOR

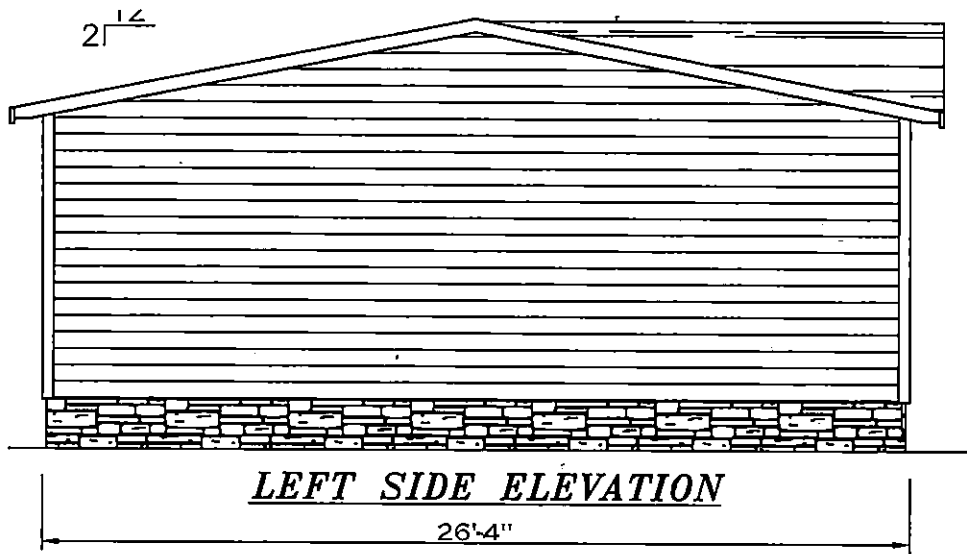
60'-0"



REAR ELEVATION OPTIONAL DOOR

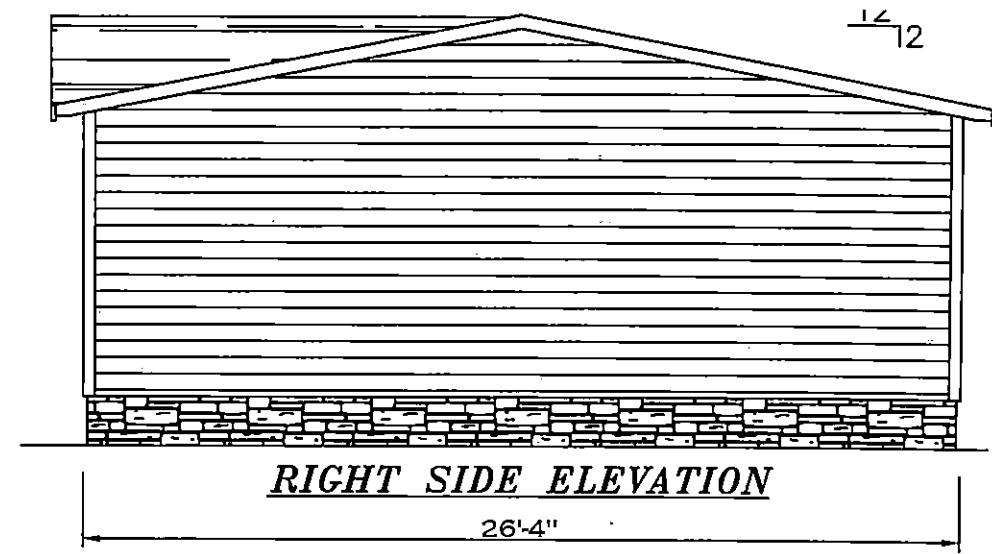
60'-0"

FRONT ELEVATION	 Clayton - 934 1420 Mountain Rd, Andersonville, TN 37705	HILBORN, WERNER, CARTER, AND ASSOCIATES, INC. 1627 SOUTH MYRTLE AVE.	DRAWING # 34M2??-FP MODEL # FSN32603A	MODEL: FUSION 3260 (32'X60') SERIES: FUSION	STD PLAN "CONDITIONED": 1,800 REV. BY:
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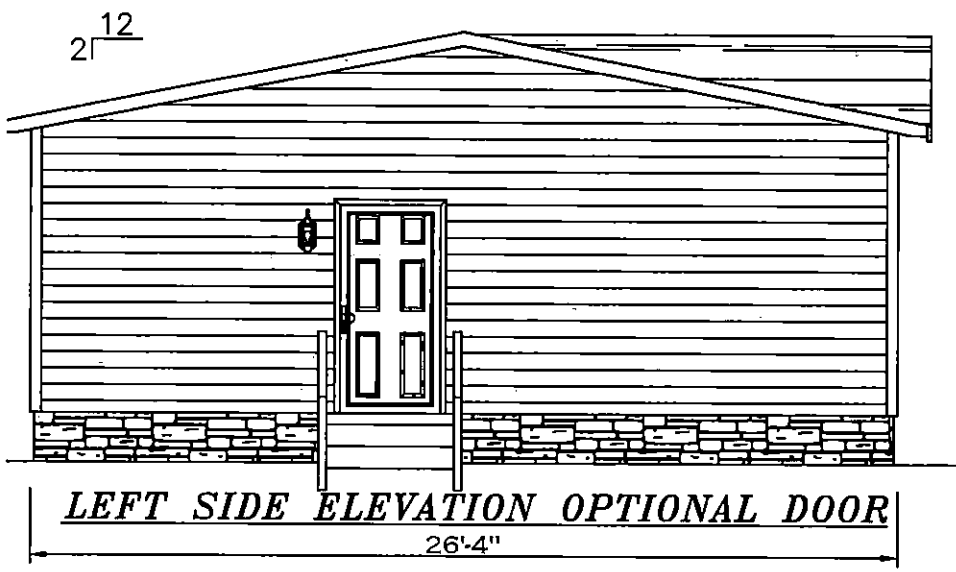
LEFT SIDE ELEVATION

26'-4"



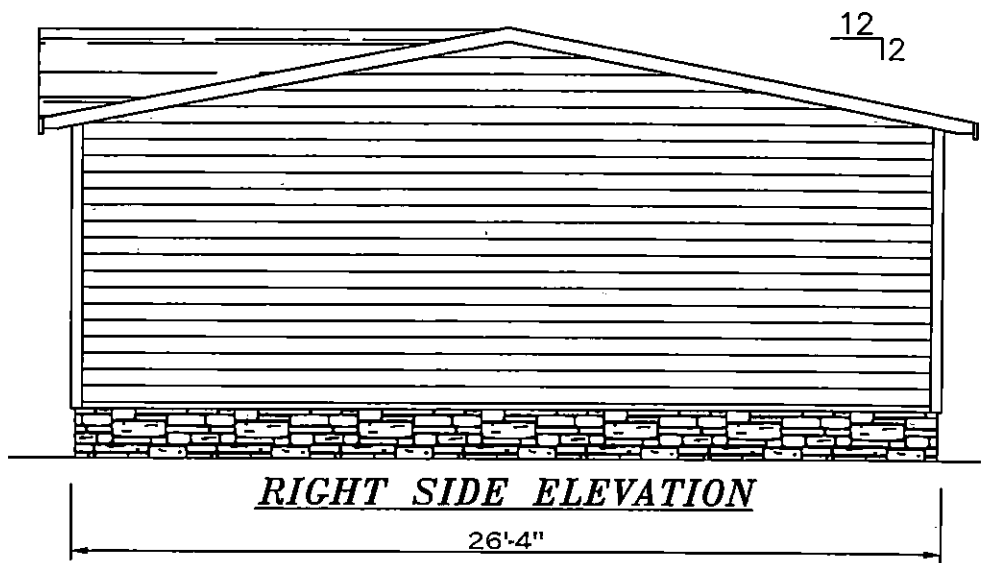
RIGHT SIDE ELEVATION

26'-4"




LEFT SIDE ELEVATION OPTIONAL DOOR

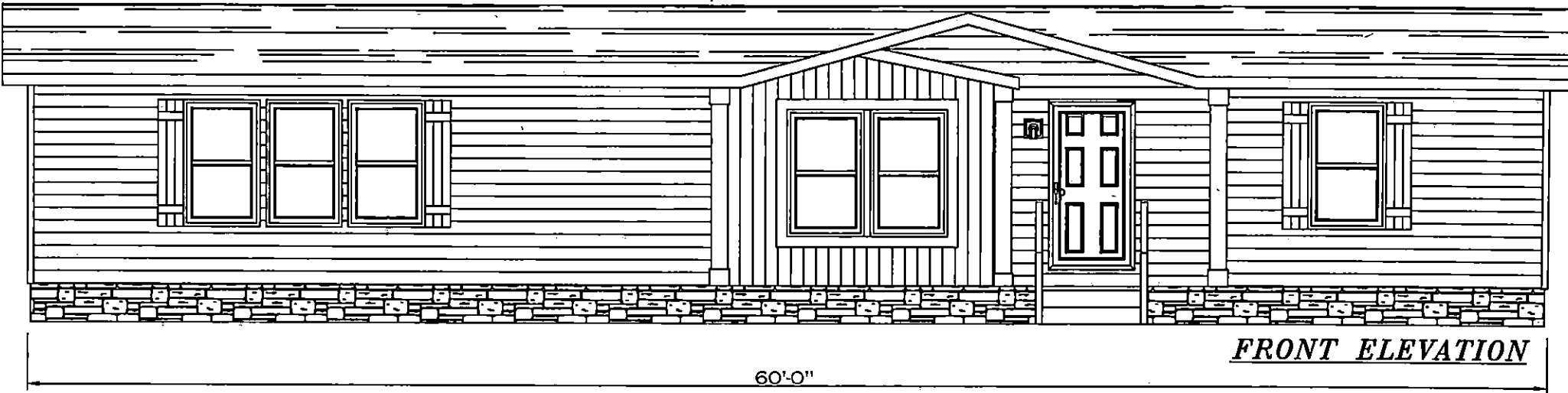
26'-4"



RIGHT SIDE ELEVATION

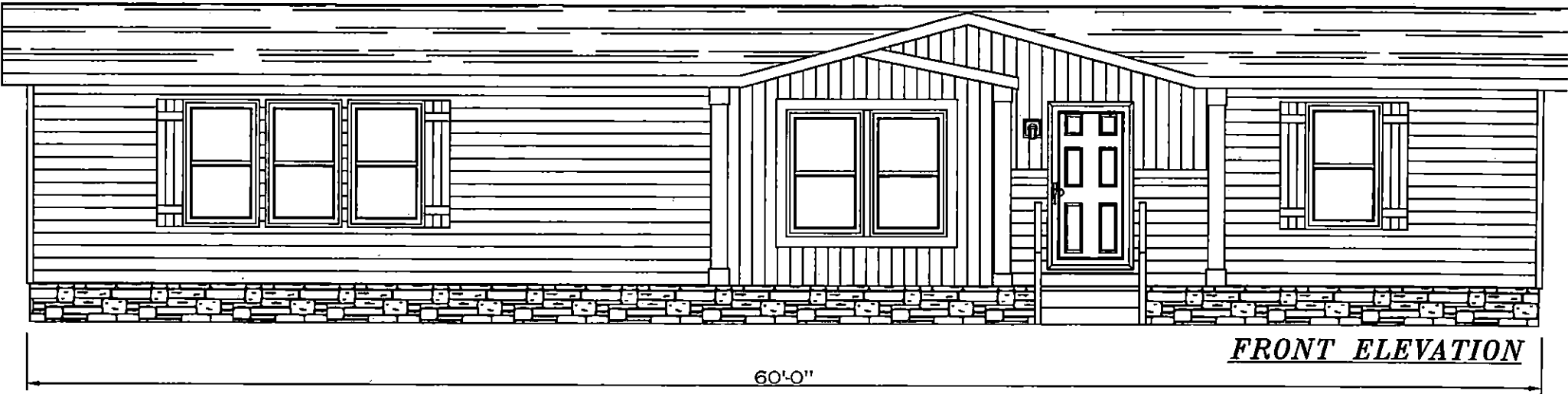
26'-4"

FRONT ELEVATION	 Clayton - 934 1420 Mountain Rd, Andersonville, TN 37705	HILBORN, WERNER, CARTER, AND ASSOCIATES, INC. 1827 SOUTH MYRTLE AVE.	DRAWING # 34M2??-FP MODEL # FSN32603A	MODEL: FUSION 3260 (32'X60') SERIES: FUSION	STD PLAN "CONDITIONED": 1,800 REV. BY:




FRONT ELEVATION

60'-0"

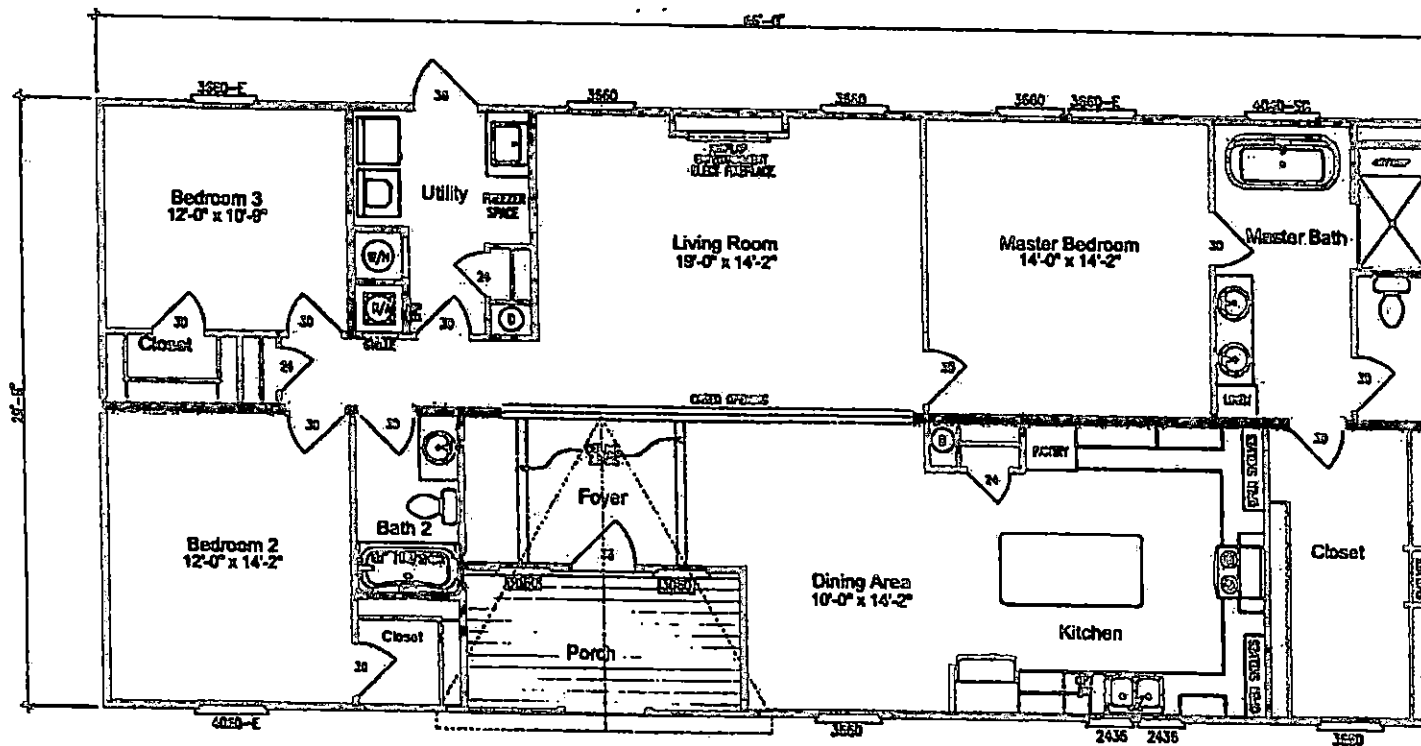


FRONT ELEVATION

60'-0"

<p>FRONT ELEVATION</p>	 Clayton - 934 1420 Mountain Rd, Andersonville, TN 37705	<p>HILBORN, WERNER, CARTER, AND ASSOCIATES, INC. 1627 SOUTH MYRTLE AVE.</p>	<p>DRAWING # 34M2??-FP MODEL # FSN32603A</p>	<p>MODEL: FUSION 3260 (32'x60') SERIES: FUSION</p>	<p>STD PLAN "CONDITIONED": 1,800 REV. BY:</p>
----------------------------	--	---	--	--	---

The Reese



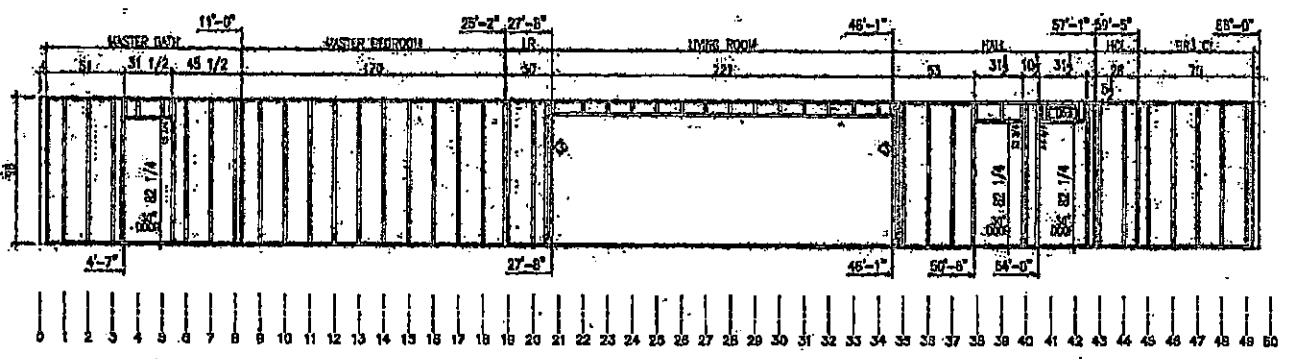
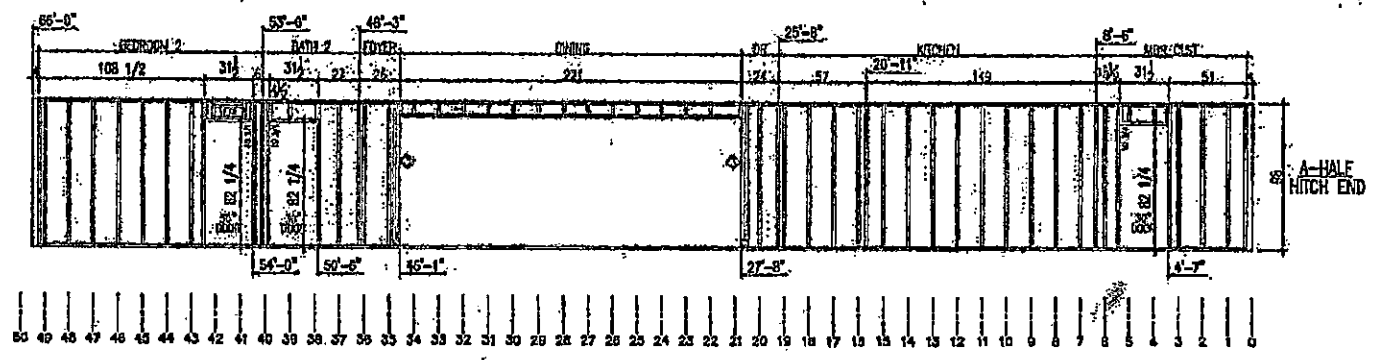
MODEL: 290LY32663? 3 BR~2 BA.
32'-0 X 66'-0 ~ 1958 SQ. FT.



DESIGNER	DAVIDSON
DATE	
DESIGNED FOR	
DATE	

SALES PLAN	
DESIGNED FOR	32'x66' 3BR~2BA
DATE	
DESIGNED BY	JERRY BENTON

PROJECT	LIFESTYLE	MODEL NO.
		DES290GA25-
DATE		MODEL NO.
		290LY32663?
PRICE	1-A1	SQ. FT. HEATED SQ. FT. X000
		TOTAL SQ. FT. X000

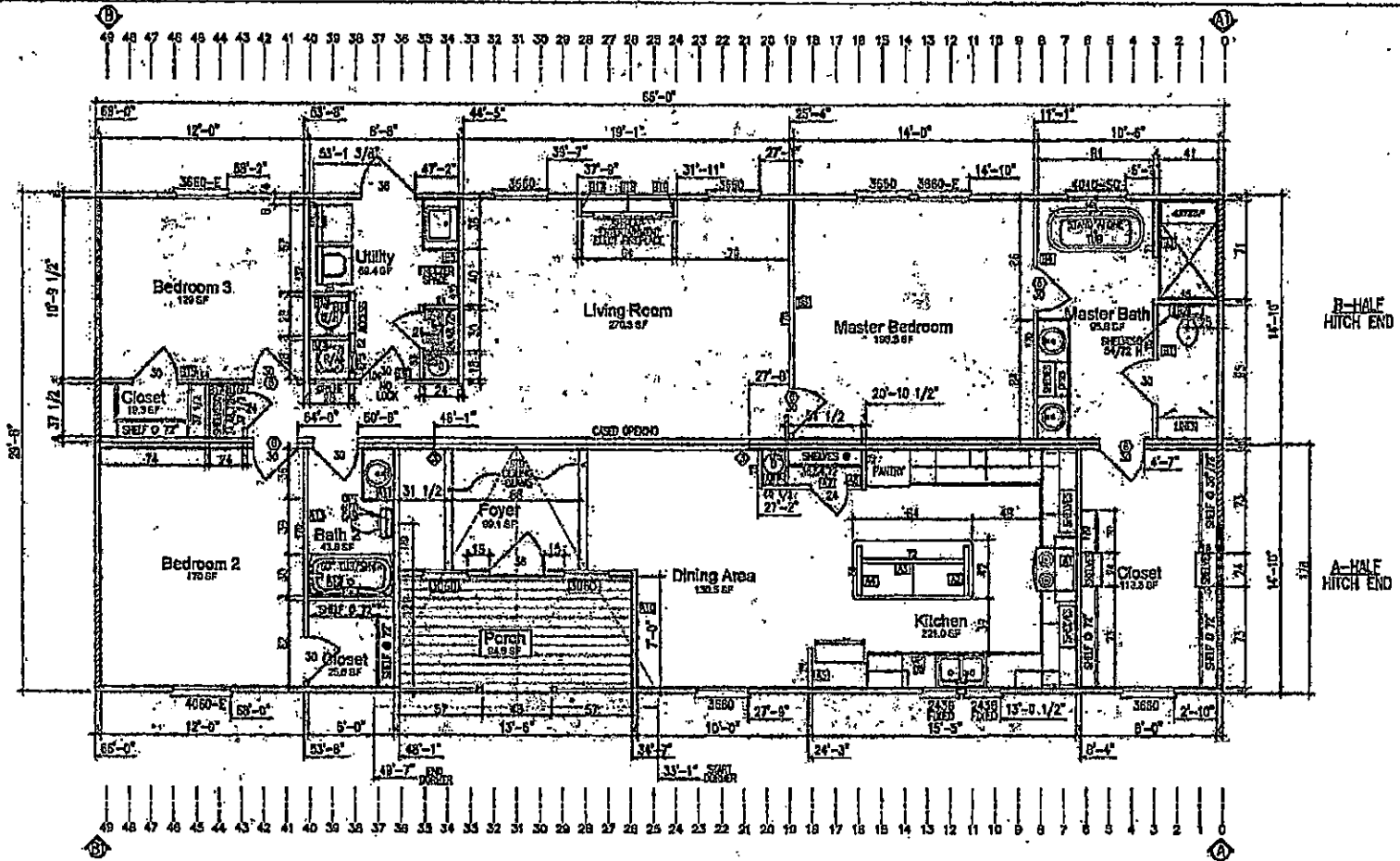


REVISIONS

DRAWING TITLE
MARRIAGE WALLS
 DRAWING FILE IDENTIFICATION
32'x66' 3BR~2BA

DRAWN BY
JERRY BENTON

PRODUCT	LIFESTYLE	SERIAL NO.	DES290GA25-
DATE	1/20/2025	MODEL NO.	290LY32663A
SHEET	1 of 14	SQ. FT. HEATED SQ. FT. XXXXX	TOTAL SQ. FT. 1958



9'6" CEILING HEIGHT
 TOTAL WINDOW AREA: 169.67 SQ. FT.

① - DENOTES SHEARWALL LOCATIONS WIND ZONE-1		② - DENOTES SHEARWALL LOCATIONS WIND ZONE-2		③ - DENOTES SHEARWALL LOCATIONS WIND ZONE-3		④ - DENOTES SHEARWALL LOCATIONS WIND ZONE-4		RETURN AIR REQUIREMENTS		RETURN AIR REQUIREMENTS	
WIND	DIR.	WIND	DIR.	WIND	DIR.	WIND	DIR.	1	2	3	4
1	120	1	120	1	120	1	120	1	2	1	1
2	120	2	120	2	120	2	120	2	2	2	2
3	120	3	120	3	120	3	120	3	3	3	3
4	120	4	120	4	120	4	120	4	4	4	4

① INDICATES THAT A 20' CFS RETURN AIR CELL IS REQUIRED
 ② INDICATES THAT A 4'x10' RETURN AIR CELL IS REQUIRED
 ③ INDICATES THAT DOOR(S) MUST BE OPENED 2 1/2"
 ④ INDICATES THAT ROOM(S) MUST BE UNDER 8' HIGH

⑤ DENOTES ONLY A 50'x75' RETURN AIR CELL IS REQUIRED IN ROOMS OR AREAS
 ⑥ INDICATES THAT A 10'x4' RETURN AIR CELL IS REQUIRED IN ROOMS OR AREAS
 ⑦ DENOTES 1/2" OF GOLDEN STICK



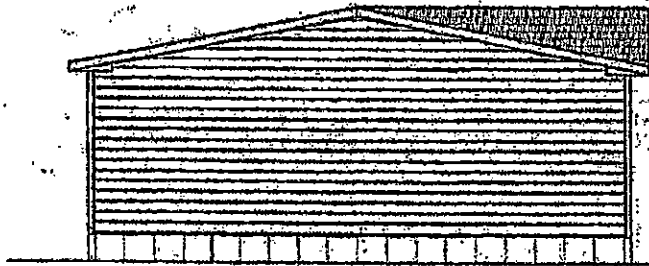
REVISIONS	DRAWN TITLE

MASTER PLAN 8ft

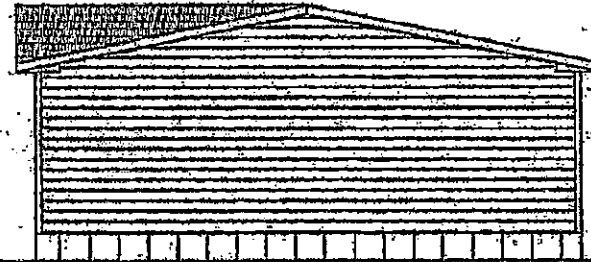
DRAWING FILE INFORMATION: 32'x66' 3BR~2BA

DRAWN BY: JERRY BENTON

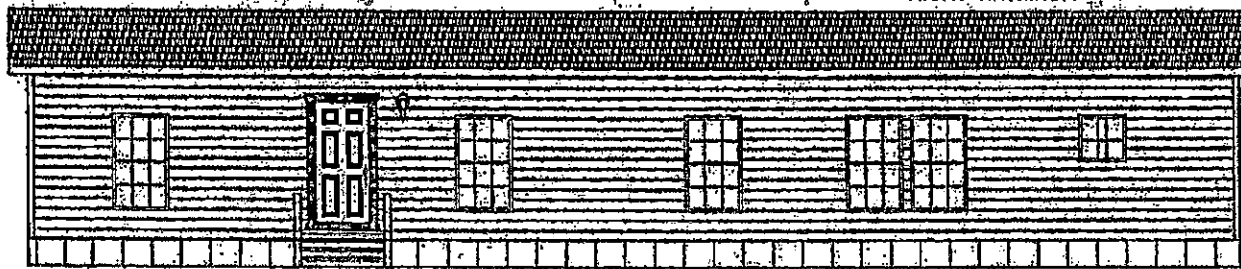
PRODUCT	LIFESTYLE	SERIAL NO.
		DES290GA25-
DATE		MODEL NO.
1/10/2025		290LY32663A
CHIT		36 7/8 HEATED SQ. FT. WOOD
1-A2		TOTAL SQ. FT. 1858



LEFT EXTERIOR



RIGHT EXTEIOR



REAR ELEVATION



FRONT ELEVATION



REVISIONS

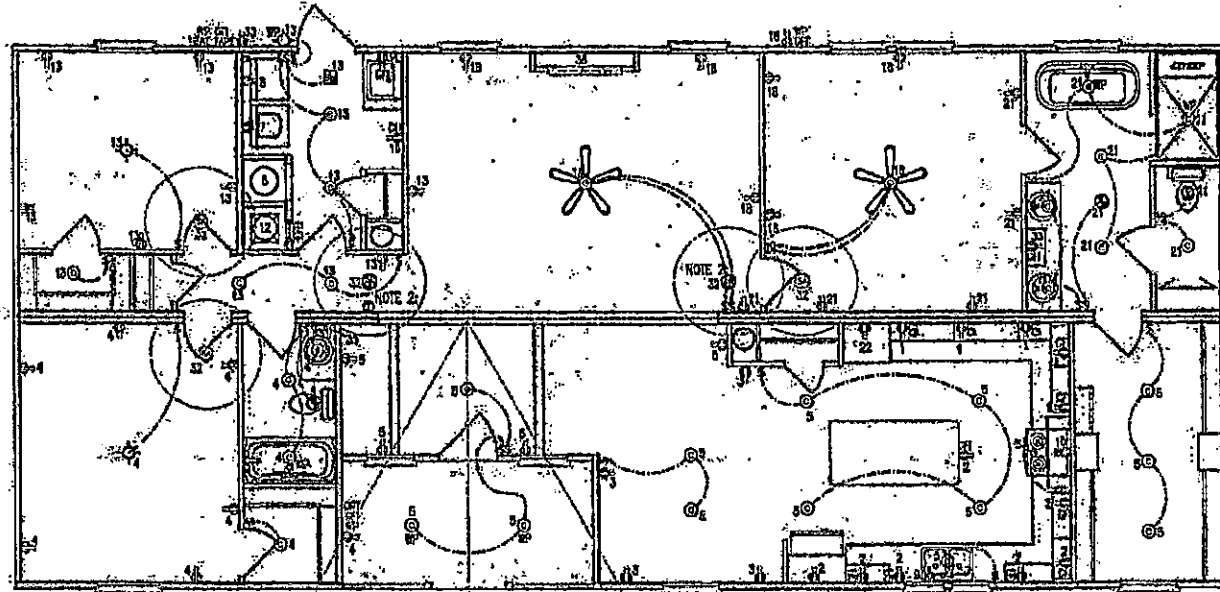
DRAWER
TITLE

EXTERIOR ELEVATIONS

DESIGNED FILE DESCRIPTION 32'x66' 3BR~2BA

DRAWN BY RYAN GOLDEN

PRODUCT	LIFESTYLE	MODEL NO.	DESIGN NO.
DATE	XX/XX/XXXX	29DL	Y32663A
SHEET	2-4	SQ. FT. HEATED SQ. FT. TOTAL SQ. FT.	
		1958	



NOTE:
LOOK-OUT BREAKER ON
CIRCUIT #

NOTE 1:
ADD CARBON MONOXIDE ALARM TO SMOKE ALARM IN
BEDROOM WHEN A GAS WATER HEATER OPENS INTO
THAT BEDROOM.

NOTE 2:
ADD SMOKE ALARM
AND SMOKE ALARM
ADD SMOKE ALARM WHEN GAS APPLIANCE, GAS
FIREPLACE OR WOOD BURNING
FIREPLACE IS INSTALLED.

ELECTRICAL SCHEDULE												LEGEND			
NO.	DESCRIPTION	AMPS	VOLTS	NO.	DESCRIPTION	AMPS	VOLTS	NO.	DESCRIPTION	AMPS	VOLTS	NO.	DESCRIPTION	AMPS	VOLTS
1	CIRCUIT BREAKER	20	120	1	20 AMP BRK	20	120	1	20 AMP BRK	20	120	1	20 AMP BRK	20	120
2	20 AMP BRK	20	120	2	20 AMP BRK	20	120	2	20 AMP BRK	20	120	2	20 AMP BRK	20	120
3	20 AMP BRK	20	120	3	20 AMP BRK	20	120	3	20 AMP BRK	20	120	3	20 AMP BRK	20	120
4	20 AMP BRK	20	120	4	20 AMP BRK	20	120	4	20 AMP BRK	20	120	4	20 AMP BRK	20	120
5	20 AMP BRK	20	120	5	20 AMP BRK	20	120	5	20 AMP BRK	20	120	5	20 AMP BRK	20	120
6	20 AMP BRK	20	120	6	20 AMP BRK	20	120	6	20 AMP BRK	20	120	6	20 AMP BRK	20	120
7	20 AMP BRK	20	120	7	20 AMP BRK	20	120	7	20 AMP BRK	20	120	7	20 AMP BRK	20	120
8	20 AMP BRK	20	120	8	20 AMP BRK	20	120	8	20 AMP BRK	20	120	8	20 AMP BRK	20	120
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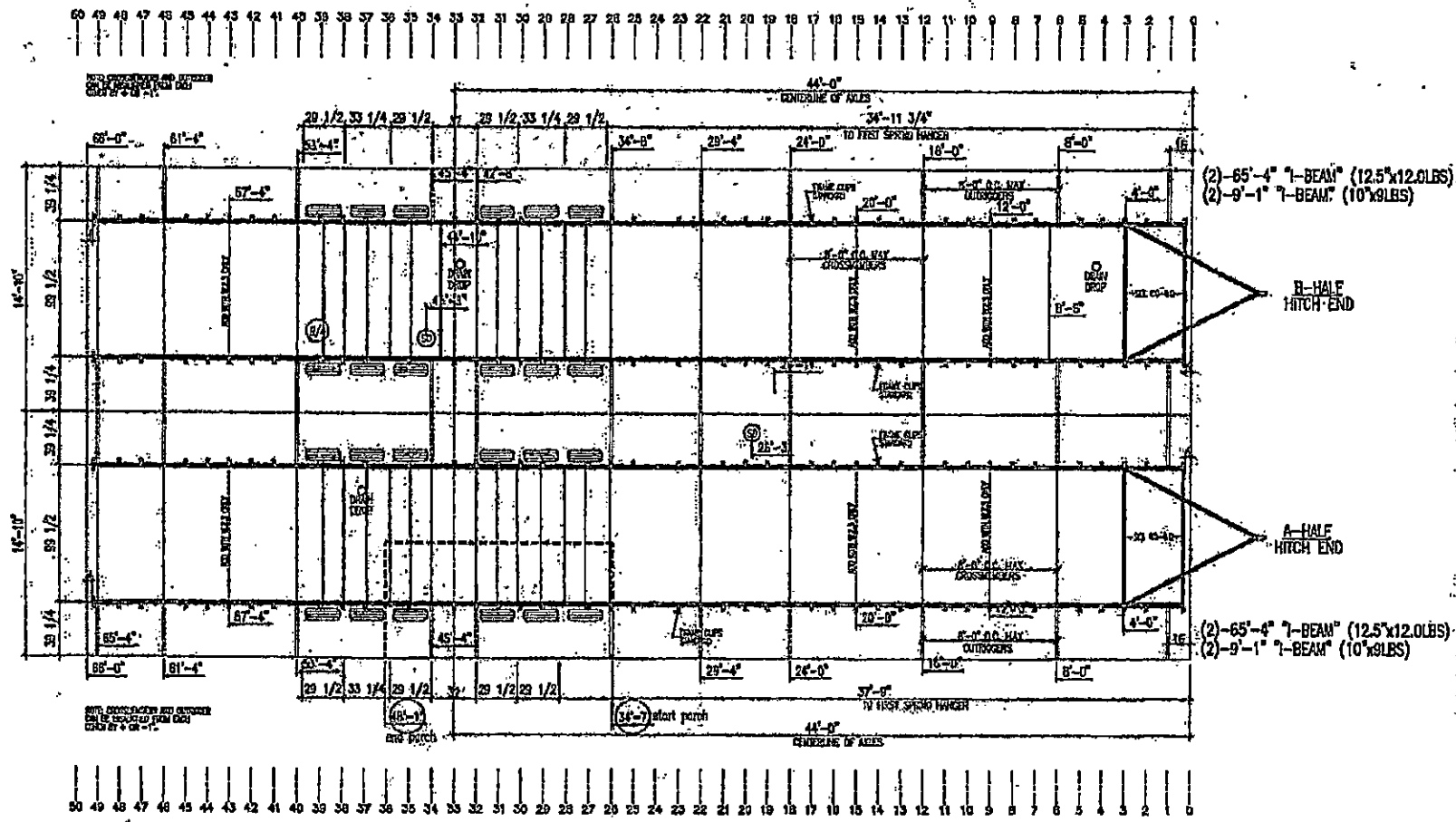
NO.	REVISIONS	DATE

ELECTRICAL PLAN

PROJECT: LIFESTYLE
 DATE: 1/15/2025
 DRAWN FOR INFORMATION: 32'x86' 3BR~2BA
 DRAWN BY: JERRY BENTON
 SHEET: 1-A16

PROJECT	DATE	SHEET
LIFESTYLE	1/15/2025	1-A16

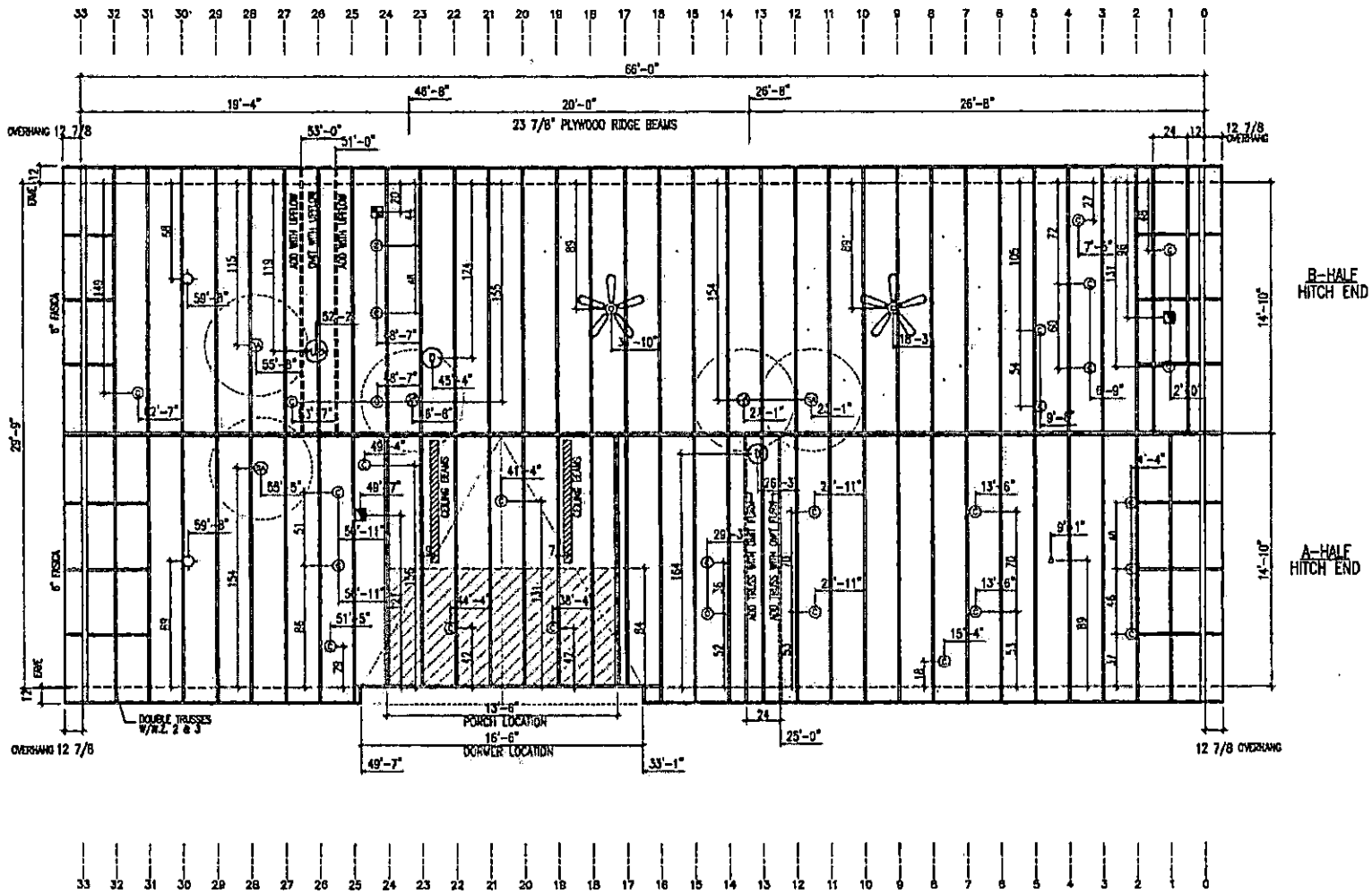
PROJECT NO.	PROJECT NO.	TOTAL SQ. FT.
DES290GA25-	290LY32663A	1855



REVISIONS

DRAWING TITLE CHASSIS PLAN	DRAWING FILE INFORMATION 32'x66' 3BR~2BA	DRAWN BY JERRY BENTON
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PRODUCT LIFESTYLE	SERIAL NO. DES290GA25-
DATE 1/17/2025	MODEL NO. 290LY32663A
SHEET 1-A4	SQ. FT. HEATED SQ. FT. 300LX TOTAL SQ. FT. 1968



REVISIONS

DRAWING TITLE

ROOF PLAN 24" O.C.

DRAWING FILE INFORMATION

32'x66' 3BR~2BA

DRAWN BY

JERRY BENTON

PRODUCT

LIFESTYLE

SERIAL NO.

DES290GA25-

DATE:

1/17/2025

MODEL NO.

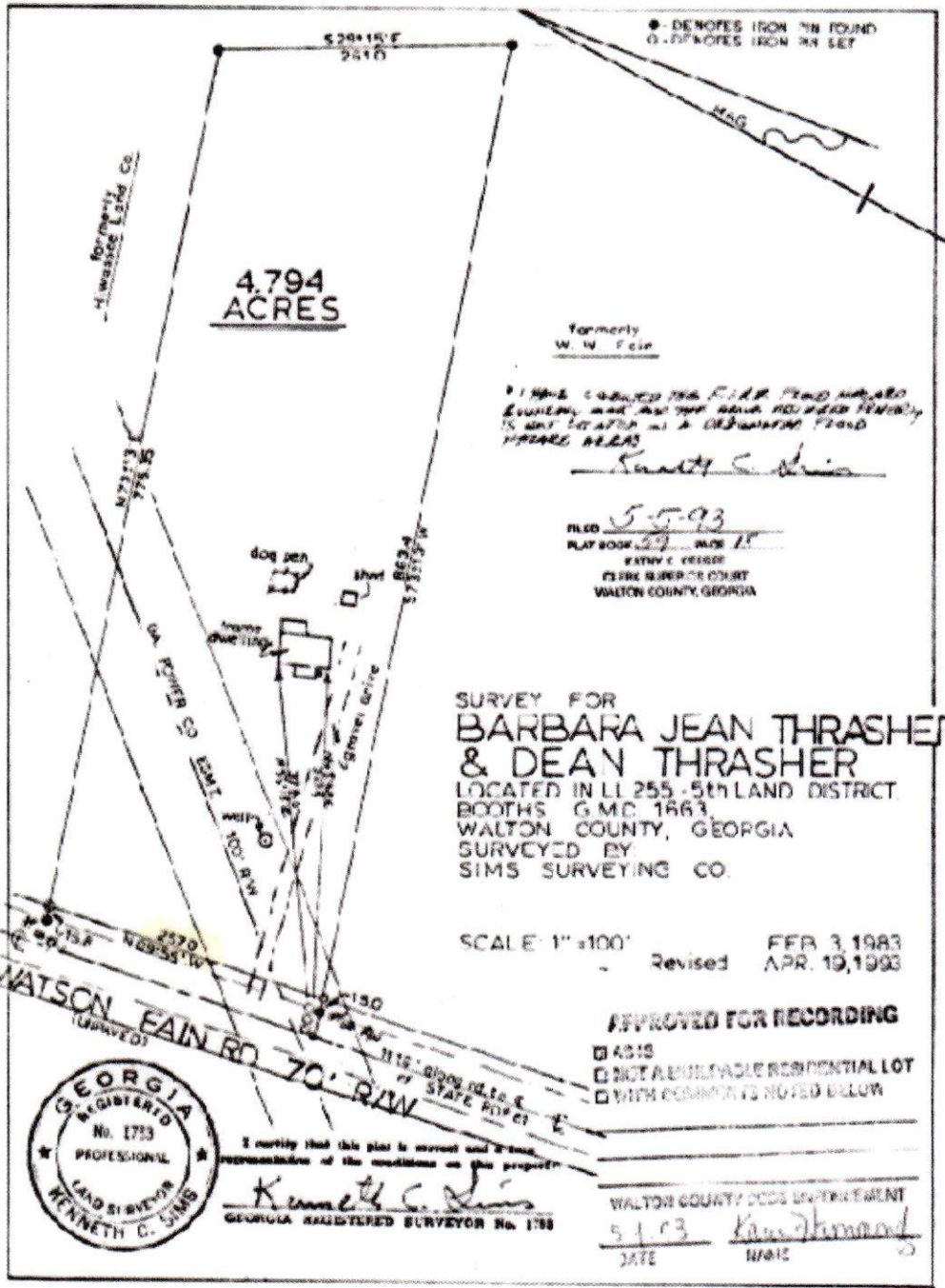
290LY32663A

SHEET

1-A15

SQ. FT. HEATED SQ. FT. XXXXX

TOTAL SQ. FT. 1958



• DENOTES IRON PIN FOUND
 ○ DENOTES IRON PIN SET

**4.794
 ACRES**

Formerly
 W. W. Foss

I HAVE LABELED THE F.I.P.P. FOUND NEARBY
 EVIDENCE AND THE ONE FOUND NEARBY
 IS NOT LOCATED IN A DESIGNATED FLOOD
 HAZARD AREA

Kenneth C. Sims

FILED 5-5-93
 PLAT BOOK 29 PAGE 11
 EXHIBIT RECORD
 CLERK'S OFFICE
 WALTON COUNTY, GEORGIA

SURVEY FOR
**BARBARA JEAN THRASHER
 & DEAN THRASHER**
 LOCATED IN LI 255 - 5th LAND DISTRICT
 BOOTH'S G.M.C. 1863
 WALTON COUNTY, GEORGIA
 SURVEYED BY
 SIMS SURVEYING CO.

SCALE: 1" = 100' FEB 3, 1983
 Revised APR. 19, 1993

APPROVED FOR RECORDING
 A-10
 NOT A BUILDABLE RESIDENTIAL LOT
 WITH COMMENTS NOTED BELOW

WALTON COUNTY DEEDS DEPARTMENT
5-1-93 *Kenneth C. Sims*
 DATE NAME



I certify that this plan is correct and a true
 representation of the conditions on the property.
Kenneth C. Sims
 GEORGIA REGISTERED SURVEYOR No. 1733

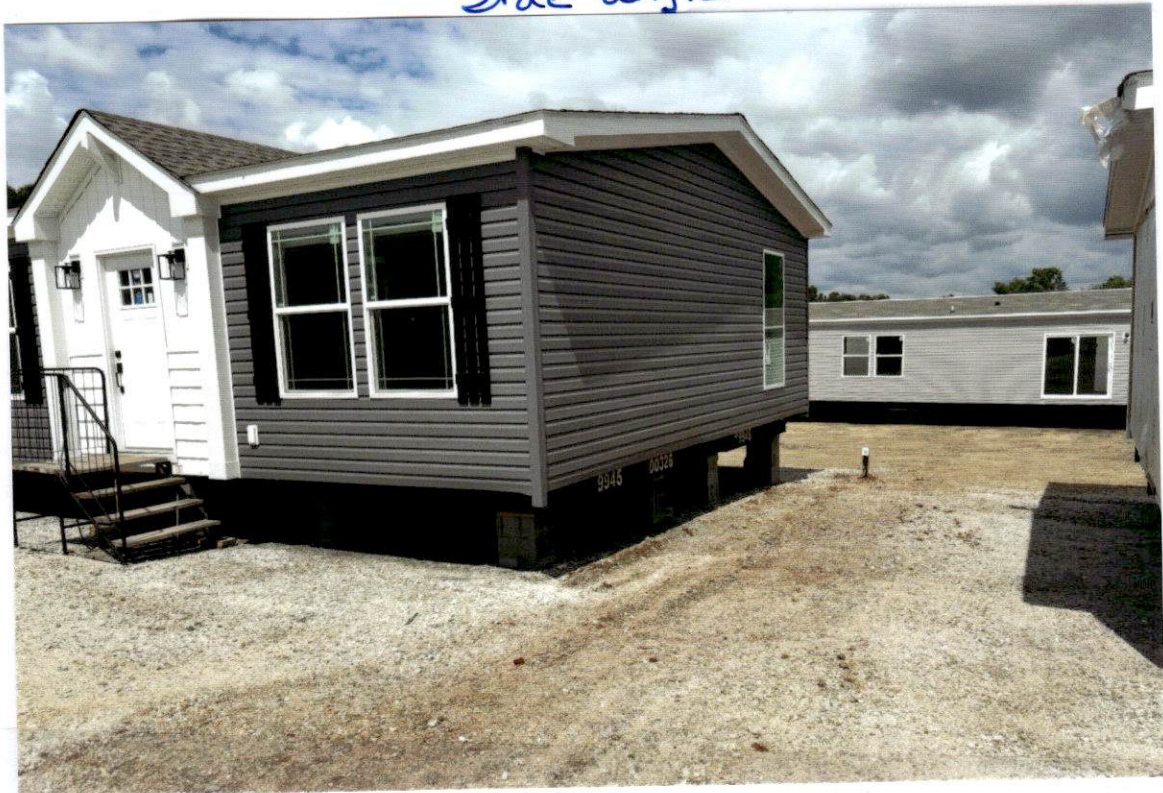
RECORDED: MAY - 5 1993 , 10
 KATHY K. KWESZ, CLERK

Manufactured Homes We Looked At for our son & his family.





Side angle

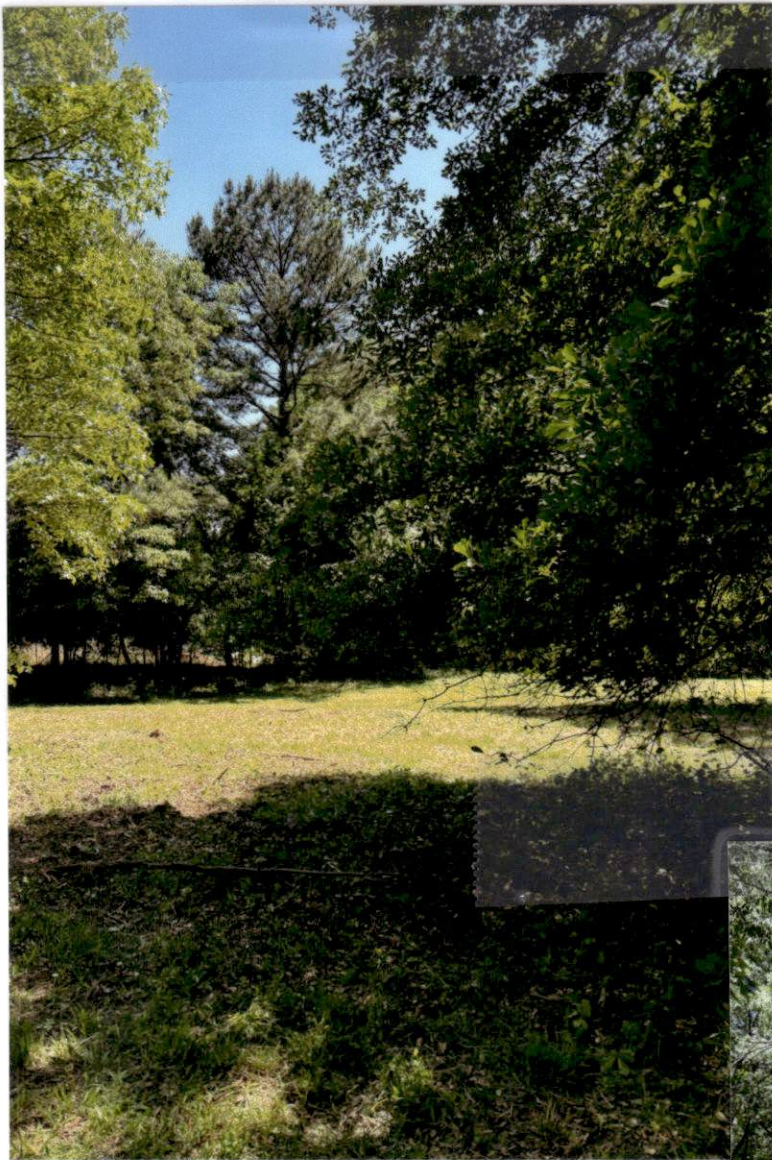




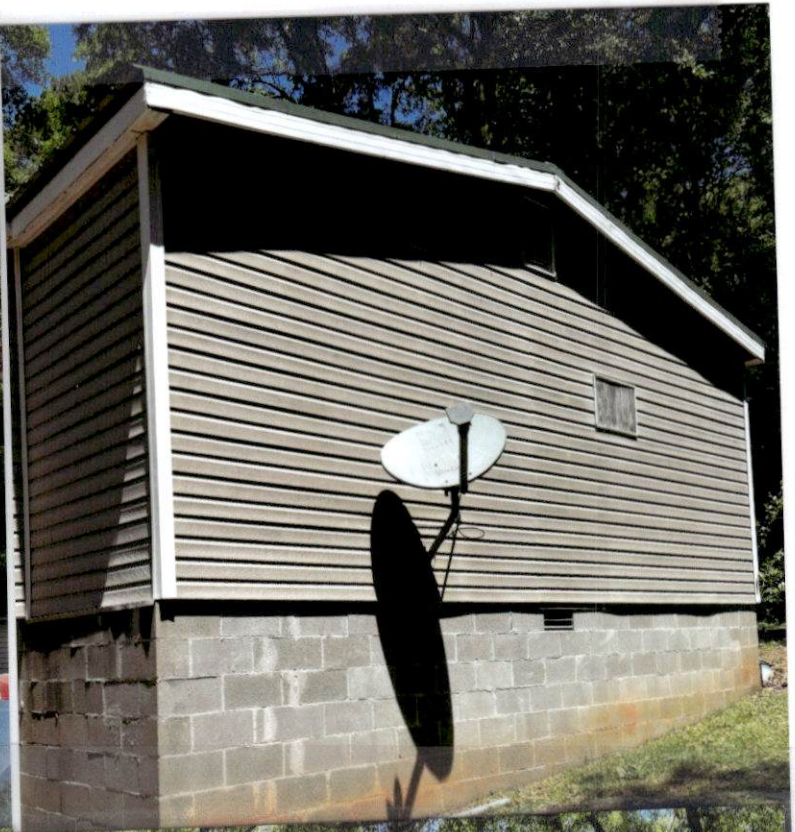
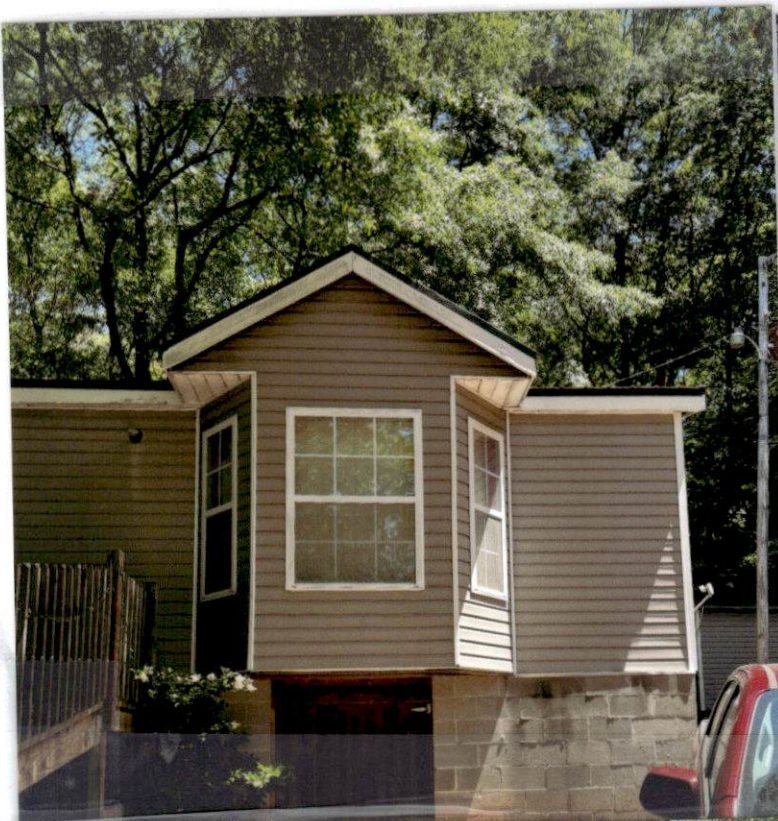
Picture of Siding



This is where
the new
Manufactured
Home will go.



This our Manufactured Home that is next door .





This is a few pictures of a manufactured home less than two (2) miles from our house on Shiloh Road Loganville.

Sent from Yahoo Mail for iPhone

