WALLER COUNTY

J. Ross McCall, P.E.
County Engineer

MEMORANDUM

To: Honorable Commissioners' Court

Item: Final Plat Approval- Woodhaven Estates Section 5

Date: September 17, 2025

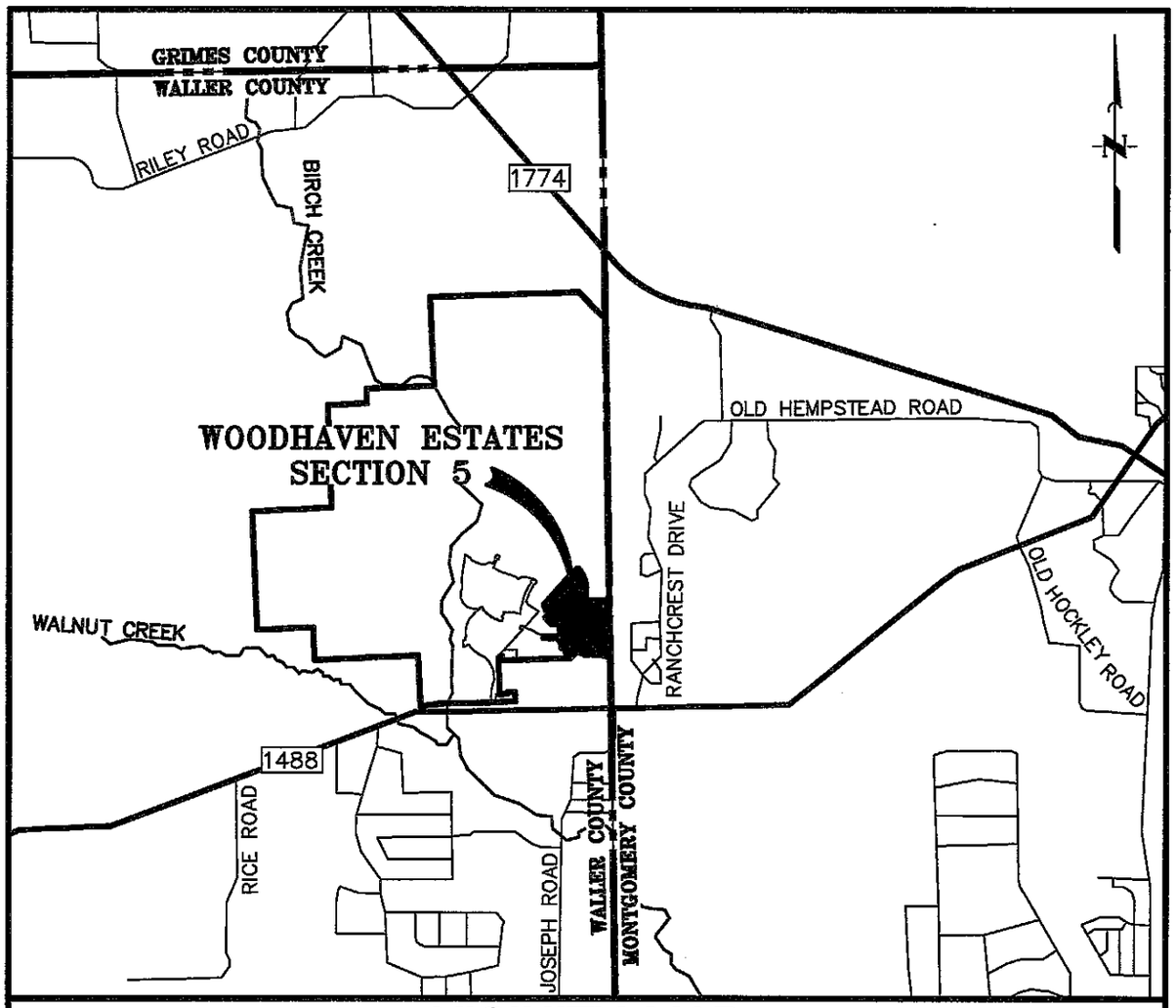
Background

Final Plat of Woodhaven Estates Section 5 which consists of 99.22 acres will include 234 Lots, 5 Blocks and 9 Reserves in Precinct 2.

Staff Recommendation

Approve Plat and accept Construction Bond

775 Business 290 East, Hempstead, Texas 77445 Ph: 979-826-7670 Fax: 979-826-7673



VICINITY MAP
N.T.S.
KEY MAP 210 U&V

FINAL PLAT OF
WOODHAVEN ESTATES
SECTION 5

A SUBDIVISION OF 99.22 ACRES OF LAND
OUT OF THE
WILLIAM HILLHOUSE SURVEY, A-136
WALLER COUNTY, TEXAS

234 LOTS 9 RESERVES 5 BLOCKS

AUGUST 2025

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 • 979.731.8000 RVILLARREAL@quiddity.com
SCALE NTS			
SHEET 1A OF 1			

STATE OF TEXAS §

COUNTY OF WALLER §

A **METES AND BOUNDS** description of a certain 99.22 acre tract out of the William Hillhouse Survey, Abstract No. 136, in Waller County, Texas, being a portion of a called 722.09 acre tract conveyed by Special Warranty Deed to DRP TX 1, LLC recorded in File No. 2404338 of the Official Public Records of Waller County (OPRWC), said 99.22 acre tract being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, South Central Zone (4204);

COMMENCING at a found 5/8-inch iron rod, marking the most southerly southeast corner of said 722.09 acre tract, and being in the north right-of-way line of FM 1488 as shown on TxDOT Map, Project No. S1452 (4) (100-foot wide right-of-way);

THENCE North 67°50'48" East, 4025.88 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the southeast corner of said 722.09 acre tract, the northeast corner of Lot 8, Block 6 of the Final Plat of Remington Forest Subdivision, Section One recorded in Volume 681, Page 814 of the Deed Records of Waller County (DRWC) and in the west line of Lot 8, Block 1 of the Final Plat of Ranch Crest Subdivision, Section One recorded in Cabinet P, Sheet 16 of the Map Records of Montgomery County (MRMC), being the southeast corner and the **POINT OF BEGINNING** of the herein described subject tract;

THENCE along common lines of said 722.09 acre tract and north lines of said Remington Forest Subdivision, the following nine (9) courses and distances:

1. North 70°35'34" West, 175.96 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
2. North 79°38'05" West, 315.28 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
3. South 76°43'44" West, 89.70 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
4. North 81°01'04" West, 110.31 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
5. South 79°48'29" West, 153.54 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
6. North 67°11'43" West, 323.68 feet to a found 5/8-inch iron rod;
7. South 43°52'56" West, 323.85 feet to a found 5/8-inch iron rod;
8. North 46°10'15" West, 73.63 feet to a previously set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
9. South 43°49'45" West, 5.50 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the southwest corner of the herein described subject tract, being in a northwest line of Remington Forest East Road (70-foot wide right-of-way) of said Remington Forest Subdivision, Section One;

THENCE over and across said 722.09 acre tract, the following thirty-eight (38) courses and distances:

1. North 46°10'15" West, 78.88 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a tangent curve to the right;
2. Along said tangent curve to the right having a radius of 100.00 feet, an arc length of 44.87 feet, a delta angle of 25°42'29", and a chord bearing of North 33°19'00" West, 44.49 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
3. North 20°27'46" West, 61.60 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a non-tangent curve to the left;
4. Along said non-tangent curve to the left having a radius of 50.00 feet, an arc length of 63.47 feet, a delta angle of 72°44'06", and a chord bearing of North 24°24'48" West, 59.30 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
5. North 29°13'09" East, 20.00 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
6. North 05°53'38" West, 106.37 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
7. North 52°38'52" West, 13.70 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
8. South 80°35'55" West, 63.18 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
9. South 65°36'25" West, 55.20 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
10. North 04°47'58" West, 125.08 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
11. North 10°17'52" West, 92.40 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
12. North 42°13'11" West, 105.96 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
13. North 11°45'42" West, 59.54 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
14. South 78°14'18" West, 101.07 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a tangent curve to the right;
15. Along said tangent curve to the right having a radius of 880.00 feet, an arc length of 403.44 feet, a delta angle of 26°16'03", and a chord bearing of North 88°37'41" West, 399.92 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
16. North 14°30'21" East, 60.00 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a non-tangent curve to the left;
17. Along said non-tangent curve to the left having a radius of 820.00 feet, an arc length of 375.93 feet, a delta angle of 26°16'03", and a chord bearing of South 88°37'41" East, 372.65 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
18. North 78°14'18" East, 136.11 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a tangent curve to the right;
19. Along said tangent curve to the right having a radius of 1030.00 feet, an arc length of 65.93 feet, a delta angle of 03°40'02", and a chord bearing of North 80°04'19" East, 65.91 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
20. North 12°11'28" West, 388.84 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
21. South 89°45'30" West, 234.76 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");

22. North 40°51'58" West, 299.79 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
23. North 48°25'24" East, 104.14 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
24. North 20°12'11" West, 388.44 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
25. North 40°00'13" East, 7.05 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
26. North 41°42'32" East, 1393.90 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
27. North 59°16'28" East, 36.83 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
28. North 43°08'58" East, 260.84 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a non-tangent curve to the right;
29. Along said non-tangent curve to the right having a radius of 630.00 feet, an arc length of 45.43 feet, a delta angle of 04°07'54", and a chord bearing of South 48°40'19" East, 45.42 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a reverse curve to the left;
30. Along said reverse curve to the left having a radius of 25.00 feet, an arc length of 36.06 feet, a delta angle of 82°38'35", and a chord bearing of South 87°55'39" East, 33.01 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a reverse curve to the right;
31. Along said reverse curve to the right having a radius of 325.00 feet, an arc length of 6.75 feet, a delta angle of 01°11'24", and a chord bearing of North 51°20'45" East, 6.75 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
32. South 38°03'32" East, 50.00 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a non-tangent curve to the left;
33. Along said non-tangent curve to the left having a radius of 25.00 feet, an arc length of 39.17 feet, a delta angle of 89°46'29", and a chord bearing of South 07°03'13" West, 35.29 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a reverse curve to the right;
34. Along said reverse curve to the right having a radius of 630.00 feet, an arc length of 131.96 feet, a delta angle of 12°00'03", and a chord bearing of South 31°50'00" East, 131.72 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a compound curve to the right;
35. Along said compound curve to the right having a radius of 1230.00 feet, an arc length of 646.63 feet, a delta angle of 30°07'16", and a chord bearing of South 10°46'20" East, 639.21 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
36. South 04°17'18" West, 111.31 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking the beginning of a tangent curve to the left;
37. Along said tangent curve to the left having a radius of 1170.00 feet, an arc length of 136.18 feet, a delta angle of 06°40'09", and a chord bearing of South 00°57'14" West, 136.11 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng");
38. North 89°09'52" East, 798.72 feet to a set 5/8-inch iron rod (with cap stamped "Quiddity Eng"), marking an east exterior corner of the herein described subject tract, being in an east line of said 722.09 acre tract and in the west line of Lot 13, Block 1 of the Final Plat of Ranch Crest Subdivision, Section Two recorded in Cabinet T, Sheet 188 MRMC;

THENCE South 00°52'19" East, along the common line of said 722.09 acre tract, said Ranch Crest Subdivision, Section Two and aforementioned Ranch Crest Subdivision, Section One, 1973.36 feet to the POINT OF BEGINNING, CONTAINING 99.22 acres of land in Waller County, Texas filed in the offices of Quiddity in College Station, Texas.

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE NTS			
SHEET 1B2 OF 1			

General Notes:

1. One–foot reserve (1' Reserve) dedicated to the public in fee as a buffer separation between the side of end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re–subdivided in a recorded subdivision plat, the one–foot reserve shall thereupon become vested in the public for street right–of–way purposes and the fee title shall thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.
2. According to Map No. 48473C0100E of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Waller County, dated February 18, 2009, the subject tract is situated within Unshaded Zone "X", defined as areas determined to be outside the 0.2% annual chance (500–year) floodplain.

   This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man–made or natural causes. This flood statement shall not create liability on the part of the surveyor.

   The location of the flood zone lines shown hereon were determined by scaling from said FIRM map. The actual location as determined by elevation contours may differ. Quiddity assumes no liability as to the accuracy of the location of the flood zone limits.
3. Structures built on lots in the designated floodplain shall be elevated to two (2) feet or more above the 500–year floodplain elevation, in the 100–year floodplain. Within the 500–year, these structures must be elevated to one (1) foot above the 500–year floodplain elevation. No development permits will be issued in a Flood Hazard Area below the base flood elevation (B.F.E.). Contact the County Engineer's Office for specific information.
4. No structure in this subdivision shall be occupied until connected to a public sewer system or to an onsite wastewater system has been approved and permitted by Waller County Environmental Department.
5. No structure in this subdivision shall be occupied until connected to an individual water supply or a state–approved community water system.
6. Right–of–way easements for widening streets or improving drainage shall be maintained by the landowner until all street or drainage improvements are actually constructed on the property. The county has the right at any time to take possession of any street widening easement for construction, improvement or maintenance.
7. The building of all streets, bridges or culverts is the responsibility of the owners in accordance with the plans prescribed by the Commissioners Court. The Commissioners Court assumes no obligation to build or maintain any of the streets shown on the plat or constructing any of the bridges or drainage improvements. Upon completion of all obligations by the developer and written approval from the Commissioners Court, the County will assume full responsibility for maintenance of the public streets. The county will assume no responsibility for the drainage ways or easements in the subdivision, other than those draining or protecting the streets. The county assumes no responsibility for the accuracy of representations by other parties on the plat. Flood plain data, in particular, may change depending on subsequent development. The owners of land covered by this plat must install at their own expense all traffic control devices and signage that may be required before the streets in the subdivision have finally been accepted for maintenance by the county. The property subdivided herein is further restricted in its use as specified under the terms and conditions of restrictions filed separately. A copy of said restrictions will be furnished by aforesaid DRP TX 1, LLC, a Delaware Limited Liability Company, to the purchaser of each and every lot in the subdivision prior to culmination of each sale include certification that the subdivider has complied with the requirements of section 232.032 and that:
   (a)the water quality and connections to the lots meet, or will meet, the minimum state standards;
   (b)sewer connections to the lots or septic tanks meet, or will meet, the minimum requirements of state standards;
   (c)electrical connections provided to the lot meet, or will meet, the minimum state standards; and
   (d)gas connections, if available, provided to the lot meet, or will meet, the minimum state standards.
8. TBM 50: Being a 3–inch aluminum disc set in a concrete monument marked "TBM–50 ELEV 255.97", Located on the north side of FM 1488, being 41.0 feet southwest of the southeast corner of Restricted Reserve "A–2" & "A–3" of the Partial Replat of Remington Forest, recorded in Volume 920, Page 202 of the Official Public Records of Waller County, conveyed to DRP TX 1, LLC, recorded in File No. 2404350 of Official Public Records of Waller County, also being 8.5 feet north of the edge of pavement of FM 1488.
9. Coordinates and bearings shown hereon are surface as based on the Texas State Plane Coordinate System (NAD83) South Central Zone (4204) with a surface adjustment factor of 1.0000353312 scaled from control point No. 1 having coordinates (X: 2966995.566, Y: 13991667.506).
10. All lots shall have a 10' back of lot building line measured from the lot line unless otherwise noted on the plat.

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.5600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE NTS			
SHEET 1C OF 1			

LEGEND

AC . . . . . "Acres"
AE . . . . . "Aeriel Easement"
BL . . . . . "Building Line"
C.C.F. . . . . "County Clerk's File"
D.R.W.C.T. . . . . "Deed Records, Waller County, Texas"
ESMT . . . . . "Easement"
GBL. . . . . "Garage Building Line"
M.C.M.R. . . . . "Montgomery County Map Records"
No. . . . . "Number"
O.P.R.W.C.T. . . . "Official Public Records, Waller County, Texas"
ROW . . . . . "Right-of-Way"
STM SE . . . . . "Storm Sewer Easement"
SSE . . . . . "Sanitary Sewer Easement"
Sq. Ft. . . . . "Square Feet"
TEMP . . . . . "Temporary"
UE . . . . . "Utility Easement"
VOL.__, PG.__ . . . "Volume and Page"
WLE . . . . . "Waterline Easement"
1 . . . . . "Block Number"
● . . . . . "Set 3/4-inch Iron Rod (with cap stamped "Quiddity Eng. Property Corner") as Per Certification"
. . . . . "Street Name Break"

RESTRICTED RESERVE A
Restricted to Open Space, Landscape, Incidental Utility Purposes Only
0.38 AC
16,574 Sq. Ft.

RESTRICTED RESERVE B
Restricted to Open Space, Landscape, Incidental Utility Purposes Only
0.08 AC
3,385 Sq. Ft.

RESTRICTED RESERVE C
Restricted to Drainage, Detention, and Incidental Utility Purposes Only
33.02 AC
1,438,560 Sq. Ft.

RESTRICTED RESERVE D
Restricted to Open Space, Landscape, Incidental Utility Purposes Only
0.06 AC
2,566 Sq. Ft.

RESTRICTED RESERVE E
Restricted to Open Space, Landscape, Incidental Utility Purposes Only
0.52 AC
22,528 Sq. Ft.

RESTRICTED RESERVE F
Restricted to Open Space, Landscape, Incidental Utility Purposes Only
1.01 AC
43,877 Sq. Ft.

RESTRICTED RESERVE G
Restricted to Open Space, Landscape, Incidental Utility Purposes Only
0.40 AC
17,512 Sq. Ft.

RESTRICTED RESERVE H
Restricted to Open Space Landscape, Drainage and Incidental Utility Purposes Only
12.47 AC
543,344 Sq. Ft.

RESTRICTED RESERVE I
Restricted to Open Space Landscape, and Incidental Utility Purposes Only
0.96 AC
41,906 Sq. Ft.

RESERVE TOTAL
48.90 AC
2,131,556 Sq. Ft.

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE NTS			
SHEET 1D OF 1			

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S38°03'32"E	50.00'
L2	S04°17'18"W	111.31'
L3	N70°35'34"W	175.96'
L4	S76°43'44"W	89.70'
L5	N81°01'04"W	110.31'
L6	S79°48'29"W	153.54'
L7	N46°10'15"W	73.63'
L8	S43°49'45"W	5.50'
L9	N46°10'15"W	78.88'
L10	N20°27'46"W	61.60'
L11	N29°13'09"E	20.00'
L12	N05°53'38"W	106.37'
L13	N52°38'52"W	13.70'
L14	S80°35'55"W	63.18'
L15	S65°36'25"W	55.20'
L16	N04°47'58"W	125.08'
L17	N10°17'52"W	92.40'
L18	N42°13'11"W	105.96'
L19	N11°45'42"W	59.54'
L20	S78°14'18"W	101.07'
L21	N14°30'21"E	60.00'
L22	N78°14'18"E	136.11'
L23	N48°25'24"E	104.14'
L24	N40°00'13"E	7.05'
L25	N59°16'28"E	36.83'
L26	N43°08'58"E	260.84'
L27	S47°43'45"W	34.68'
L28	S04°17'18"W	111.31'
L29	S03°48'27"E	349.67'
L30	S86°11'44"W	126.59'
L31	S78°14'18"W	136.11'
L32	S76°23'21"W	209.06'
L33	S88°15'22"E	76.82'
L34	S01°44'38"W	5.00'
L35	N76°43'06"E	105.08'
L36	N81°27'44"E	191.69'
L37	S03°22'07"W	5.00'
L38	S03°33'24"W	128.20'
L39	S41°50'45"E	5.06'
L40	N84°15'47"E	305.03'
L41	S07°15'12"W	5.00'
L42	N05°44'13"W	293.22'
L43	N51°34'35"W	6.70'
L44	S83°53'09"E	10.00'

LINE TABLE		
LINE	BEARING	DISTANCE
L45	S03°48'27"E	187.37'
L46	S31°26'51"E	195.77'
L47	S03°48'27"E	133.01'
L48	N41°42'48"E	5.15'
L49	N87°14'03"E	236.88'
L50	N59°02'24"W	333.57'
L51	S12°58'34"W	5.00'
L52	N28°48'13"E	343.21'
L53	S72°06'21"W	3.65'
L54	N13°49'12"E	5.00'
L55	S78°42'51"E	5.68'
L56	N82°56'55"W	25.38'
L57	N37°56'55"W	5.00'
L58	S07°03'05"W	194.56'
L59	N55°08'25"E	7.00'
L60	S61°11'47"E	116.45'
L61	S19°05'19"E	14.84'
L62	S63°10'33"E	37.05'
L63	N12°53'53"E	32.64'
L64	N28°48'13"E	100.24'
L65	S53°59'10"E	20.00'
L66	N01°56'22"W	118.33'
L67	S43°33'17"W	14.02'
L68	S76°40'24"E	81.77'
L69	N25°15'05"E	136.50'
L70	N25°15'05"E	133.24'
L71	S26°41'01"E	50.83'
L72	N09°35'50"W	117.98'
L73	N11°22'11"E	35.25'
L74	N73°15'59"W	195.01'
L75	N27°01'01"W	13.83'
L76	S82°23'56"W	20.00'
L77	N46°35'03"W	25.52'
L78	N06°33'32"W	20.00'
L79	S55°08'41"E	48.17'
L80	S74°53'39"E	70.24'
L81	S65°22'27"E	44.54'
L82	S55°14'37"E	76.02'
L83	N88°57'32"E	50.16'
L84	S14°12'52"E	101.79'
L85	N52°19'09"E	14.21'
L86	S19°17'01"E	14.32'
L87	N24°58'30"E	41.02'
L88	N61°31'34"E	95.08'

DATE: AUGUST 2025

SCALE NTS

SHEET 1E OF 1

FINAL PLAT OF
WOODHAVEN
ESTATES
SECTION 5

OWNER
DRP TX 1, LLC
a Delaware limited liability company
520 Madison Ave, 21st Floor
New York, NY 10022
936.999.6600
HBibb@glenmontdevelopment.com

QUIDDITY
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23290 & 10046100
1862 Rock Prairie Rd, Suite 200 College Station, TX 77845 979.731.8000
RVILLARREAL@quiddity.com

LINE TABLE		
LINE	BEARING	DISTANCE
L89	N84°11'41"E	58.65'
L90	N44°37'39"E	127.85'
L91	N44°37'39"E	128.84'
L92	S78°34'54"W	14.57'
L93	N58°11'57"W	114.77'
L94	S41°34'09"E	53.38'
L95	S58°08'20"E	84.78'
L96	S71°16'31"E	85.13'
L97	S79°13'07"E	56.95'
L98	N78°45'09"E	114.40'
L99	S54°37'22"E	13.74'
L100	N02°34'14"W	95.79'
L101	N26°23'05"E	112.08'
L102	N89°22'22"E	209.67'
L103	N87°21'44"E	88.75'
L104	N85°27'40"E	135.03'
L105	N82°37'15"E	55.02'
L106	N05°58'26"E	93.55'
L107	N21°14'03"E	89.44'
L108	N68°09'31"E	13.66'
L109	N64°55'01"W	117.71'
L110	N03°48'27"W	130.21'
L111	N03°02'15"W	57.45'
L112	N02°35'20"E	56.87'
L113	N09°02'42"E	56.87'
L114	N15°30'05"E	56.87'
L115	N21°57'27"E	56.87'
L116	N28°24'49"E	56.87'
L117	N34°52'11"E	56.87'
L118	N41°19'33"E	56.87'
L119	S53°42'04"W	62.99'
L120	N56°54'32"W	121.58'
L121	N08°19'11"W	13.23'
L122	N56°44'12"E	67.75'
L123	S16°56'29"E	55.86'
L124	S15°56'05"W	14.72'
L125	S66°05'21"E	25.00'
L126	S49°30'17"E	13.83'
L127	S84°14'24"W	57.43'
L128	S50°12'59"W	60.36'
L129	S40°13'48"W	51.71'
L130	S22°07'14"W	52.02'
L131	S07°32'33"W	52.02'
L132	S06°25'29"E	54.35'

LINE TABLE		
LINE	BEARING	DISTANCE
L133	S04°41'27"E	120.38'
L134	N36°28'54"W	13.44'
L135	N78°41'43"W	73.20'
L136	N37°29'01"W	15.05'
L137	N71°28'31"E	66.78'
L138	N85°50'30"E	49.35'
L139	N88°00'06"E	84.16'
L140	N80°43'32"E	69.75'
L141	S68°19'50"E	26.07'
L142	S19°20'35"E	20.00'
L143	S65°45'45"E	165.27'
L144	N86°47'17"E	88.60'
L145	N84°26'53"E	146.18'
L146	N85°44'11"E	123.76'
L147	N83°12'26"E	156.77'
L148	N87°54'56"E	96.13'
L149	S81°52'15"E	27.62'
L150	S66°56'47"E	74.69'
L151	S81°42'37"E	90.63'
L152	N85°41'02"E	44.76'
L153	N84°18'06"E	44.76'
L154	N82°01'02"E	134.61'
L155	N76°08'08"E	99.87'
L156	S86°27'32"E	20.00'
L157	S08°05'22"E	22.06'
L158	S59°16'28"W	36.61'
L159	S36°45'53"E	85.66'
L160	N26°38'55"E	13.57'
L161	S73°56'03"W	117.69'
L162	S44°32'11"E	21.63'
L163	S45°31'14"W	25.00'
L164	S44°32'11"E	10.08'
L165	S51°30'53"E	14.15'
L166	S51°30'53"E	17.53'
L167	S67°39'12"E	6.77'
L168	S84°32'41"E	3.50'
L169	S13°16'54"E	58.96'

DATE: AUGUST 2025

SCALE NTS

SHEET 1F OF 1

FINAL PLAT OF
WOODHAVEN
ESTATES
SECTION 5

OWNER
DRP TX 1, LLC
a Delaware limited liability company
520 Madison Ave, 21st Floor
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QUIDDITY
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CURVE TABLE						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	630.00'	4°07'54"	45.43'	S48°40'19"E	45.42'	22.72'
C2	25.00'	82°38'35"	36.06'	S87°55'39"E	33.01'	21.98'
C3	325.00'	1°11'24"	6.75'	N51°20'45"E	6.75'	3.38'
C4	25.00'	89°46'29"	39.17'	S07°03'13"W	35.29'	24.90'
C5	630.00'	12°00'03"	131.96'	S31°50'00"E	131.72'	66.22'
C6	1230.00'	30°07'16"	646.63'	S10°46'20"E	639.21'	330.97'
C7	1170.00'	6°40'09"	136.18'	S00°57'14"W	136.11'	68.17'
C8	100.00'	25°42'29"	44.87'	N33°19'00"W	44.49'	22.82'
C9	50.00'	72°44'06"	63.47'	N24°24'48"W	59.30'	36.82'
C10	880.00'	26°16'03"	403.44'	N88°37'41"W	399.92'	205.33'
C11	820.00'	26°16'03"	375.93'	S88°37'41"E	372.65'	191.33'
C12	1030.00'	3°40'02"	65.93'	N80°04'19"E	65.91'	32.97'
C13	300.00'	4°12'43"	22.05'	S49°50'06"W	22.05'	11.03'
C14	600.00'	25°05'58"	262.84'	N38°22'57"W	260.75'	133.56'
C15	1200.00'	30°07'16"	630.86'	N10°46'20"W	623.62'	322.90'
C16	1200.00'	8°05'45"	169.56'	S00°14'26"W	169.42'	84.92'
C17	850.00'	51°26'13"	763.08'	N21°54'40"E	737.71'	409.41'
C18	600.00'	38°33'58"	403.86'	N66°54'45"E	396.28'	209.92'
C19	1000.00'	7°57'26"	138.88'	S82°13'01"W	138.77'	69.55'
C20	850.00'	26°16'03"	389.69'	S88°37'41"E	386.28'	198.33'
C21	1000.00'	30°57'45"	540.40'	N11°55'29"W	533.85'	276.97'
C22	100.00'	79°18'18"	138.41'	S32°57'54"W	127.63'	82.88'
C23	350.00'	15°01'32"	91.79'	N84°13'52"E	91.52'	46.16'
C24	2000.00'	11°54'23"	415.61'	N87°24'56"E	414.87'	208.56'
C25	50.00'	88°28'02"	77.20'	N47°47'25"E	69.76'	48.68'
C26	1200.00'	7°45'39"	162.54'	S88°08'36"W	162.42'	81.40'
C27	1000.00'	12°59'26"	226.73'	S89°14'31"E	226.24'	113.85'
C28	2400.00'	6°06'37"	255.95'	S84°10'45"W	255.83'	128.10'
C29	50.00'	84°09'32"	73.44'	S39°02'40"W	67.02'	45.15'
C30	900.00'	9°08'57"	143.72'	N01°32'22"E	143.56'	72.01'
C31	350.00'	51°28'29"	314.44'	N21°55'48"E	303.97'	168.72'
C32	50.00'	79°06'53"	69.04'	S08°06'36"W	63.69'	41.30'
C33	50.00'	96°22'46"	84.11'	S79°38'14"E	74.54'	55.90'
C34	500.00'	6°52'37"	60.01'	N48°44'05"E	59.98'	30.04'
C35	650.00'	49°06'13"	557.06'	N20°44'40"E	540.17'	296.93'
C36	50.00'	88°57'30"	77.63'	N48°17'12"W	70.06'	49.10'
C37	900.00'	17°59'03"	282.49'	S68°01'55"E	281.34'	142.42'
C38	50.00'	91°28'07"	79.82'	N16°55'51"W	71.61'	51.30'

DATE: AUGUST 2025

SCALE NTS

SHEET 1G OF 1

FINAL PLAT OF
WOODHAVEN
ESTATES
SECTION 5

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CURVE TABLE						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C39	500.00'	13°30'54"	117.94'	N69°25'21"W	117.67'	59.25'
C40	1100.00'	28°03'35"	538.71'	N42°50'00"E	533.34'	274.87'
C41	50.00'	98°25'12"	85.89'	S07°39'11"W	75.71'	57.95'
C42	450.00'	41°23'31"	325.09'	S62°15'10"E	318.07'	170.00'
C43	50.00'	90°00'00"	78.54'	N52°03'05"E	70.71'	50.00'
C44	50.00'	81°43'17"	71.32'	N33°48'34"W	65.42'	43.25'
C45	350.00'	29°19'32"	179.14'	S60°00'26"E	177.19'	91.58'
C46	25.00'	92°18'05"	40.27'	N30°14'19"E	36.06'	26.02'
C47	25.00'	86°59'51"	37.96'	S60°06'43"E	34.42'	23.72'
C48	50.00'	97°26'27"	85.03'	N74°43'20"W	75.15'	56.95'
C49	25.00'	72°31'54"	31.65'	N48°22'10"E	29.58'	18.34'
C50	25.00'	53°07'48"	23.18'	S61°41'28"E	22.36'	12.50'
C51	50.00'	275°57'49"	240.82'	S06°53'32"W	66.94'	45.05'
C52	25.00'	42°50'00"	18.69'	S70°19'38"W	18.26'	9.81'
C53	25.00'	83°36'37"	36.48'	N61°28'36"W	33.33'	22.36'
C54	25.00'	89°10'13"	38.91'	N36°52'38"E	35.10'	24.64'
C55	25.00'	54°00'24"	23.56'	S61°22'16"E	22.70'	12.74'
C56	50.00'	275°49'27"	240.70'	S07°43'13"W	67.03'	45.16'
C57	25.00'	42°06'58"	18.38'	S70°51'58"W	17.97'	9.63'
C58	25.00'	96°52'38"	42.27'	N50°05'57"W	37.41'	28.20'
C59	25.00'	54°55'08"	23.96'	S58°49'25"E	23.06'	12.99'
C60	50.00'	275°39'51"	240.56'	S10°48'13"W	67.13'	45.29'
C61	25.00'	41°25'24"	18.07'	S73°40'59"W	17.68'	9.45'
C62	25.00'	90°00'00"	39.27'	N50°44'13"W	35.36'	25.00'
C63	25.00'	88°47'33"	38.74'	N38°39'33"E	34.98'	24.48'
C64	25.00'	24°34'43"	10.72'	S86°32'33"E	10.64'	5.45'
C65	50.00'	134°30'58"	117.39'	S38°29'19"W	92.23'	119.28'
C66	25.00'	25°59'50"	11.34'	N15°46'15"W	11.25'	5.77'
C67	25.00'	59°52'59"	26.13'	N31°52'32"E	24.96'	14.40'
C68	50.00'	273°59'52"	239.11'	S75°10'55"E	68.20'	46.63'
C69	25.00'	35°29'26"	15.49'	S14°26'08"E	15.24'	8.00'
C70	25.00'	90°15'15"	39.38'	N48°56'05"W	35.43'	25.11'
C71	25.00'	28°57'18"	12.63'	N19°53'28"W	12.50'	6.45'
C72	50.00'	151°02'42"	131.81'	S80°56'10"E	96.82'	193.65'
C73	25.00'	28°57'18"	12.63'	S38°01'08"W	12.50'	6.45'
C74	25.00'	88°05'17"	38.44'	S76°54'57"W	34.76'	24.18'
C75	25.00'	91°26'10"	39.90'	N13°19'19"W	35.80'	25.63'
C76	25.00'	95°46'51"	41.79'	N73°04'11"E	37.09'	27.66'

DATE: AUGUST 2025

SCALE NTS

SHEET 1H OF 1

FINAL PLAT OF
WOODHAVEN
ESTATES
SECTION 5

OWNER
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CURVE TABLE						
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C77	25.00'	83°42'50"	36.53'	S17°10'59"E	33.36'	22.40'
C78	25.00'	24°57'05"	10.89'	S08°40'05"W	10.80'	5.53'
C79	50.00'	138°51'39"	121.18'	N48°17'12"W	93.62'	133.24'
C80	25.00'	24°57'05"	10.89'	N74°45'31"E	10.80'	5.53'
C81	25.00'	88°52'07"	38.78'	S50°10'17"E	35.00'	24.51'
C82	25.00'	90°00'00"	39.27'	S39°15'47"W	35.36'	25.00'
C83	25.00'	25°43'41"	11.23'	N75°10'43"W	11.13'	5.71'
C84	50.00'	139°04'49"	121.37'	N48°08'43"E	93.69'	134.02'
C85	25.00'	24°57'05"	10.89'	S08°55'09"E	10.80'	5.53'
C86	25.00'	86°59'51"	37.96'	S32°53'26"W	34.42'	23.72'
C87	25.00'	93°12'19"	40.67'	N57°00'29"W	36.33'	26.44'
C88	25.00'	91°02'30"	39.72'	S41°42'48"W	35.68'	25.46'
C89	25.00'	88°44'18"	38.72'	S76°35'27"W	34.96'	24.46'
C90	25.00'	93°10'33"	40.66'	N14°36'20"W	36.32'	26.43'
C91	25.00'	35°44'41"	15.60'	N74°31'37"E	15.34'	8.06'
C92	50.00'	162°20'16"	141.67'	S11°13'50"W	98.81'	321.83'
C93	25.00'	33°23'20"	14.57'	N53°14'38"W	14.36'	7.50'
C94	25.00'	35°26'01"	15.46'	N65°13'55"W	15.22'	7.99'
C95	50.00'	160°52'02"	140.38'	N52°03'05"E	98.61'	296.67'
C96	25.00'	35°26'01"	15.46'	S10°39'56"E	15.22'	7.99'
C97	25.00'	24°57'05"	10.89'	S19°31'37"W	10.80'	5.53'
C98	50.00'	133°19'29"	116.35'	N34°39'35"W	91.82'	115.89'
C99	25.00'	27°49'10"	12.14'	S87°24'44"E	12.02'	6.19'
C100	25.00'	96°13'26"	41.99'	S06°30'51"E	37.22'	27.87'
C101	25.00'	81°17'58"	35.47'	S72°05'26"W	32.57'	21.47'
C102	25.00'	41°16'22"	18.01'	N53°13'08"W	17.62'	9.41'
C103	50.00'	275°37'33"	240.53'	N09°36'16"E	67.16'	45.32'
C104	25.00'	55°07'36"	24.05'	N79°21'18"E	23.14'	13.05'
C105	25.00'	96°51'45"	42.26'	S19°37'40"E	37.41'	28.19'
C106	25.00'	32°34'00"	14.21'	S45°05'13"W	14.02'	7.30'
C107	50.00'	158°25'04"	138.25'	N17°50'19"W	98.23'	262.33'
C108	25.00'	33°54'22"	14.79'	S80°05'40"E	14.58'	7.62'
C109	25.00'	40°06'23"	17.50'	S50°31'32"E	17.14'	9.13'
C110	50.00'	275°16'50"	240.23'	S11°53'15"W	67.38'	45.59'
C111	25.00'	56°51'41"	24.81'	S82°40'41"W	23.80'	13.53'
C112	25.00'	89°53'40"	39.22'	N73°45'03"E	35.32'	24.95'
C113	25.00'	84°55'26"	37.06'	S16°34'41"E	33.76'	22.88'
C114	25.00'	80°56'39"	35.32'	S87°05'50"W	32.45'	21.33'

DATE: AUGUST 2025

SCALE NTS

SHEET 11 OF 1

FINAL PLAT OF
WOODHAVEN
ESTATES
SECTION 5

OWNER
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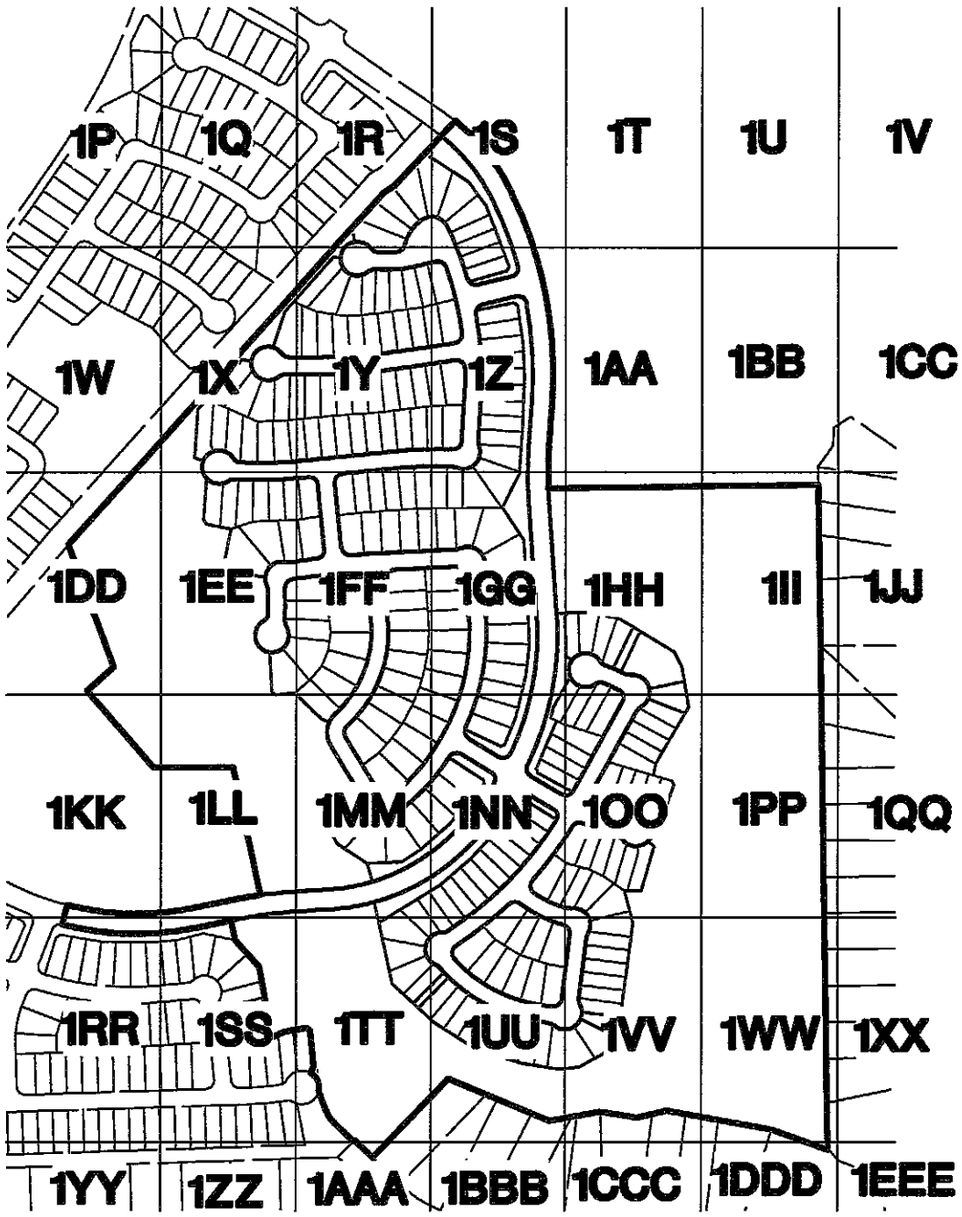
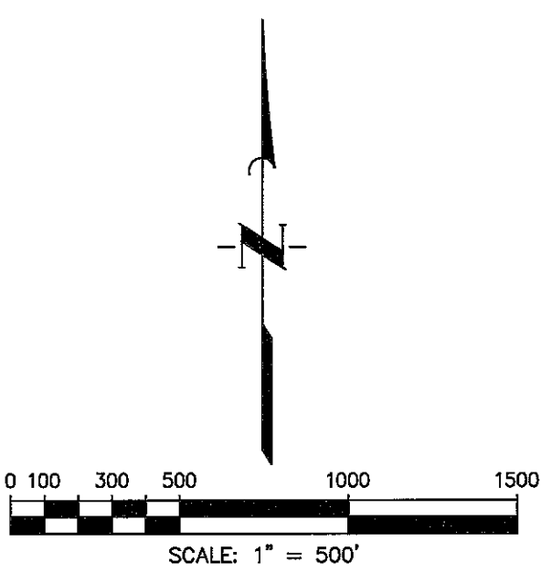




DATE: AUGUST 2025 SCALE NTS SHEET 1J OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 • 979.731.8000 RVILLARREAL@quiddity.com

STATE OF TEXAS §

COUNTY OF WALLER §

We, DRP TX 1, LLC, a Delaware limited liability company, by DW General Partner, LLC, its Manager, acting by and through Houdin Honarvar, Authorized Signatory, owner of the 99.22 acre tract subdivided, in this plat of Woodhaven Estates Section 5, make subdivision of the property on behalf of the corporation, according to the lines, lots, building lines, streets, alleys, parks and easements as shown and dedicated to the public, the streets, all alleys, parks and easements shown, and waive all claims for damages occasioned by the establishment of grades as approved for the streets or drainage easements to conform to the grades, and bind ourselves, our heirs successors and assigns to warrant and defend the title to the land so dedicated.

There is hereby granted to San Bernard Electric Cooperative, Inc. whose address is P.O. Box 1208, Bellville, Texas 77418, and to its successors, assigns and lessees, an unobstructed Utility Easement for electric, communication, and other utilities as may become available, consisting of all necessary or desirable equipment across, along, upon, over, above, and under lands within the boundaries of the subdivisions as described below.

1. There is a fifteen feet (15') unobstructed utility easement along all property lines adjacent to all existing publicly dedicated roads bordering the subdivision and public roads within the subdivision dedicated by this plat.

2. Where noted on the plat, there is twenty feet (20') wide unobstructed utility easement for guy, being ten feet (10') on each side of the centerline of the guy and protruding five feet (5') past the point of where the anchor enters the earth.

3. San Bernard Electric Cooperative, Inc. is granted the right to build and maintain utilities on, across, along, upon, over, above and under all publicly dedicated road right-of-ways in this subdivision, in order to provided electric and other services to lots as it becomes necessary.

4. San Bernard Electric Cooperative, Inc. shall have the right to remove, cut down, and chemically treat with herbicides, all trees, shrubbery and vegetation within said easement and the right to remove, cut, and trim from time to time all dead, weak, leaning, or dangerous trees adjacent to and outside of said easement that are tall enough to strike the conductor and/or equipment in falling. San Bernard Electric Cooperative, Inc. will not be responsible for removing debris from vegetation growing outside their easements when cutting down week and leaning trees and brush outside the easement.

5. San Bernard Electric Cooperative, Inc. shall have the right to use and keep all of said easement area granted hereby free and clear of any and all obstructions, except fences that do not exceed eight feet (8') in height and do not interfere with the operation and replacement of San Bernard Electric Cooperative's facilities. San Bernard Electric Cooperative, Inc. shall have the right of ingress and egress to and from said right-of-way for the purpose of reclearing vegetation, constructing, reconstructing, rephasing, respanning, operating, inspecting, repairing, maintaining, replacing, adding, and removing said conductors, poles and equipment. Access for construction, maintenance, inspection and surveying of facilities may be done with, but not limited to vehicles, ATV, aerial drone, pedestrian, and other methods.

6. The Grantor, his successors, assigns, agents or licensees shall not have the right to cause or permit any obstacles except fences not to exceed eight feet (8') in height to be placed or constructed within said easements area without the express written consent of the Cooperative. Fences shall not be placed or constructed in any way that would prevent San Bernard Electric Cooperative, Inc. from exercising any rights and privileges expressed herein.

7. All above descriptions are further described and locations indicated on plat drawing.

FURTHER, Owners do hereby certify that we are the owners of all property immediately adjacent to the boundaries of the above and foregoing subdivision of Woodhaven Estates Section 5 where building setback lines or public utility easements are to be established outside the boundaries of the above and foregoing subdivision and do hereby make and establish all building setback lines and dedicate to the use of the public, all public utility easements shown in said adjacent acreage.

FURTHER, all of the property subdivided in the above and foregoing plat shall be restricted in its use, which restrictions shall run with the title to the property and shall be enforceable at the option of Waller County, by Waller County, or any citizen thereof, by injunction as follows:

1. That drainage of septic tanks into roads, streets, alleys or public ditches, streams, ect., either directly or indirectly is strictly prohibited.
2. All stock animals, horses and fowl, shall be fenced in and not allowed to run at large in the subdivision.
3. Drainage structures under private drives shall have a new drainage opening area of sufficient size to permit the free flow of water without backwater and shall be a minimum of one and three quarters (1-3/4) square feet (15" diameter pipe) reinforced concrete pipe, unless specified by the County Road Administrator or County Engineer. Culverts and bridges must be used for all driveway and/or walks, although dip-style driveways are encouraged where appropriate.
4. Property owners will obtain Development Permits/Permit Exemptions from the County Floodplain Administrator for all development.
5. There are no underground pipelines within the confines of the subdivision except as shown on the plat.
6. There shall be no sanitary sewer systems or any water well constructed within 50 feet of any lot line that does not adjoin with a public road.

IN TESTIMONY WHEREOF, the DRP TX 1, LLC, a Delaware limited liability company, by DW General Partner, LLC, its Manager, has caused these presents to be signed by Houdin Honarvar, Authorized Signatory thereunto authorize, this 2nd day of September, 2025.

DRP TX 1, LLC,
a Delaware limited liablity company

By: DW General Partner, LLC
its Manager

By: Houdin Honarvar
Houdin Honarvar
Authorized Signatory

DATE: DECEMBER 2024 SCALE NTS SHEET 1K OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com

STATE OF NEW YORK §

COUNTY OF NY §

BEFORE ME, the undersigned authority, on this day personally appeared Houdin Honarvar, Authorized Signer, of DW General Partner, LLC, Manager of DRP TX 1, LLC, a Delaware Limited Liability Company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 2nd day of Sept, 2025

Josephine G. Cimino

Notary Public in and for the State of New York.

Josephine G. Cimino

Print Name

My commission expires: 7-5-2028

JOSEPHINE G CIMINO
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01CI0026551
Qualified in Nassau County
My Commission Expires 7-5-2028

Certificate of Surveyor

This is to certify that I, Christopher E. Curtis, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all block corners, lot corners and permanent referenced monuments have been set, that permanent control points will be set at completion of construction and that this plat correctly represents that survey made by me.

No Portion of this subdivision lies within the boundaries of any municipality's corporate city limits, or area of extra territorial jurisdiction.

No Portion of this subdivision lies within the boundaries of the 1% annual chance (100 year) floodplain as delineated on Waller County Community No. 480640, Map No. 48473C0100E, Panel 0100, suffix "E" dated February 18, 2009.

No Portion of this subdivision lies within the boundary of the 0.2% annual chance (500 year) floodplain as delineated on Waller County Community No. 480640, Map No. 48473C0100E, Panel 0100, suffix "E" dated February 18, 2009.

STATE OF TEXAS
REGISTERED
CHRISTOPHER E. CURTIS
6111
PROFESSIONAL
LAND SURVEYOR

8/26/25

Christopher E. Curtis
Registered Professional Land Surveyor
Texas Registration No. 6111

I, J. Ross McCall, County Engineer of Waller County, Certify that the Plat of this subdivision complies with all existing rules and regulations of Waller County.
No construction or other development within this subdivision may begin until all Waller County permit requirements have been met.

Date

J. Ross McCall, PE
County Engineer

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER/DEVELOPER: 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Road, Suite 200• College Station, TX• 77845 713.777.5337 Cjamnik@quiddity.com
SCALE NTS			
SHEET 1L OF 1			

STATE OF TEXAS §

COUNTY OF WALLER §

I, Debbie Hollan, County Clerk in and for Waller County, Texas do hereby certify that the foregoing instrument with its certificate of authentication was filed for recordation in my office on _____, 20__, at _____ o'clock ___M in File No. _____ of the Plat Records of said County. Witness my hand and seal of office, at Hempstead, Texas, the day and date last above written.

_____
Debbie Hollan
Waller County, Texas

By:_____
Deputy

CERTIFICATE OF COMMISSIONERS COURT

APPROVED by the Commissioners' Court of Waller County, Texas, this _____ day of _____, 20__.

_____
Carbett "Trey" J. Duhon III
County Judge

_____
John A. Amsler
Commissioner, Precinct 1

_____
Walter E. Smith, P.E., RPLS
Commissioner, Precinct 2

_____
Kendric D. Jones
Commissioner, Precinct 3

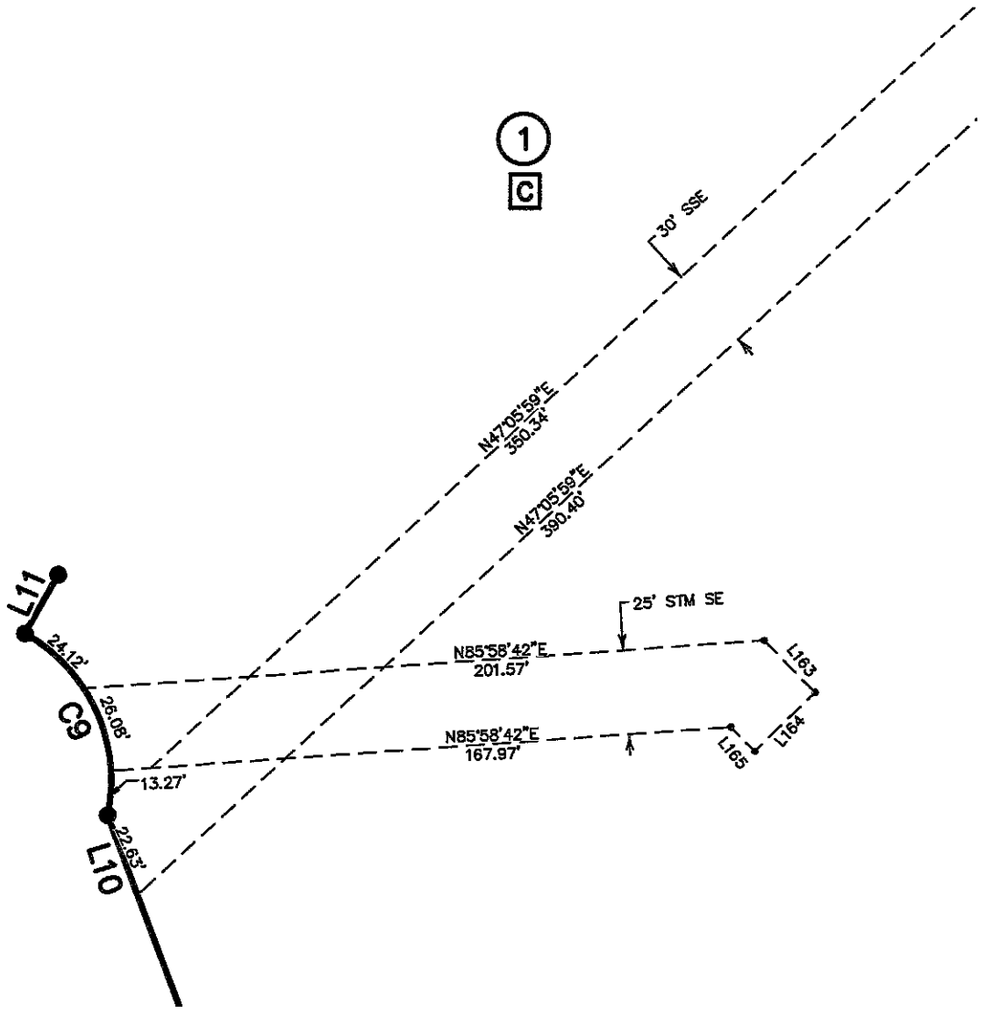
_____
Justin Beckendorff
Commissioner, Precinct 4

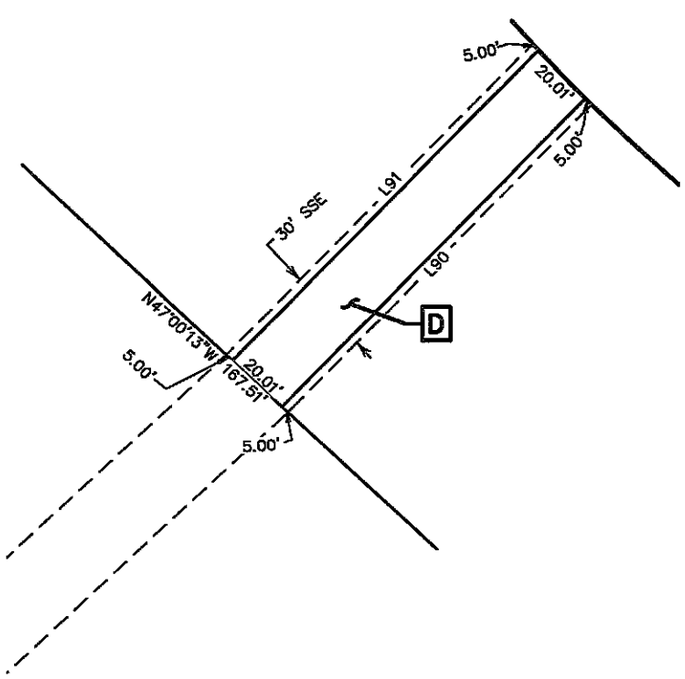
NOTE: Acceptance of the above plat by the Commissioners Court does not signify Waller County acceptance of the dedicated roads for integration into the County Road System. The developer is required to comply with Sections 5 and 6 of the current Waller County Subdivision and Development Regulations, in this regard.

DATE: DECEMBER 2024	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com
SCALE NTS			
SHEET 1M OF 1			

INSET DETAIL A

SCALE: 1"=20'

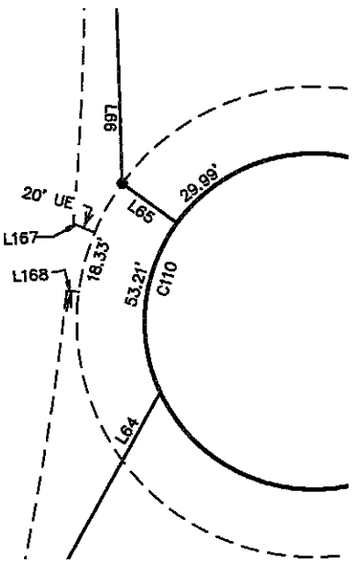




DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 • 979.731.8000 RVILLARREAL@quiddity.com
SCALE NTS			
SHEET 1N OF 1			

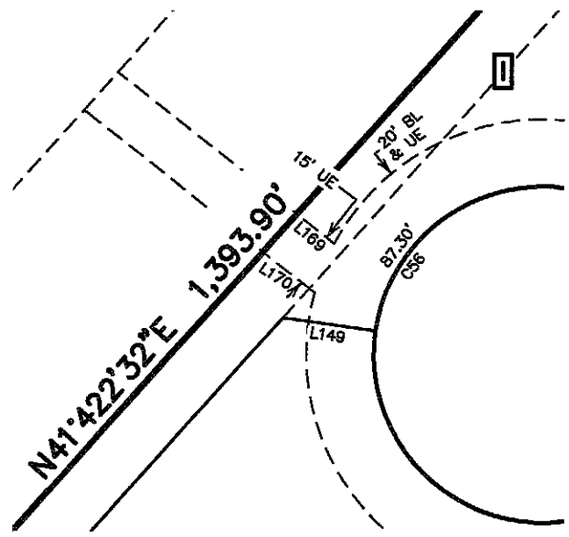
INSET DETAIL B

SCALE: 1"=20'



INSET DETAIL C

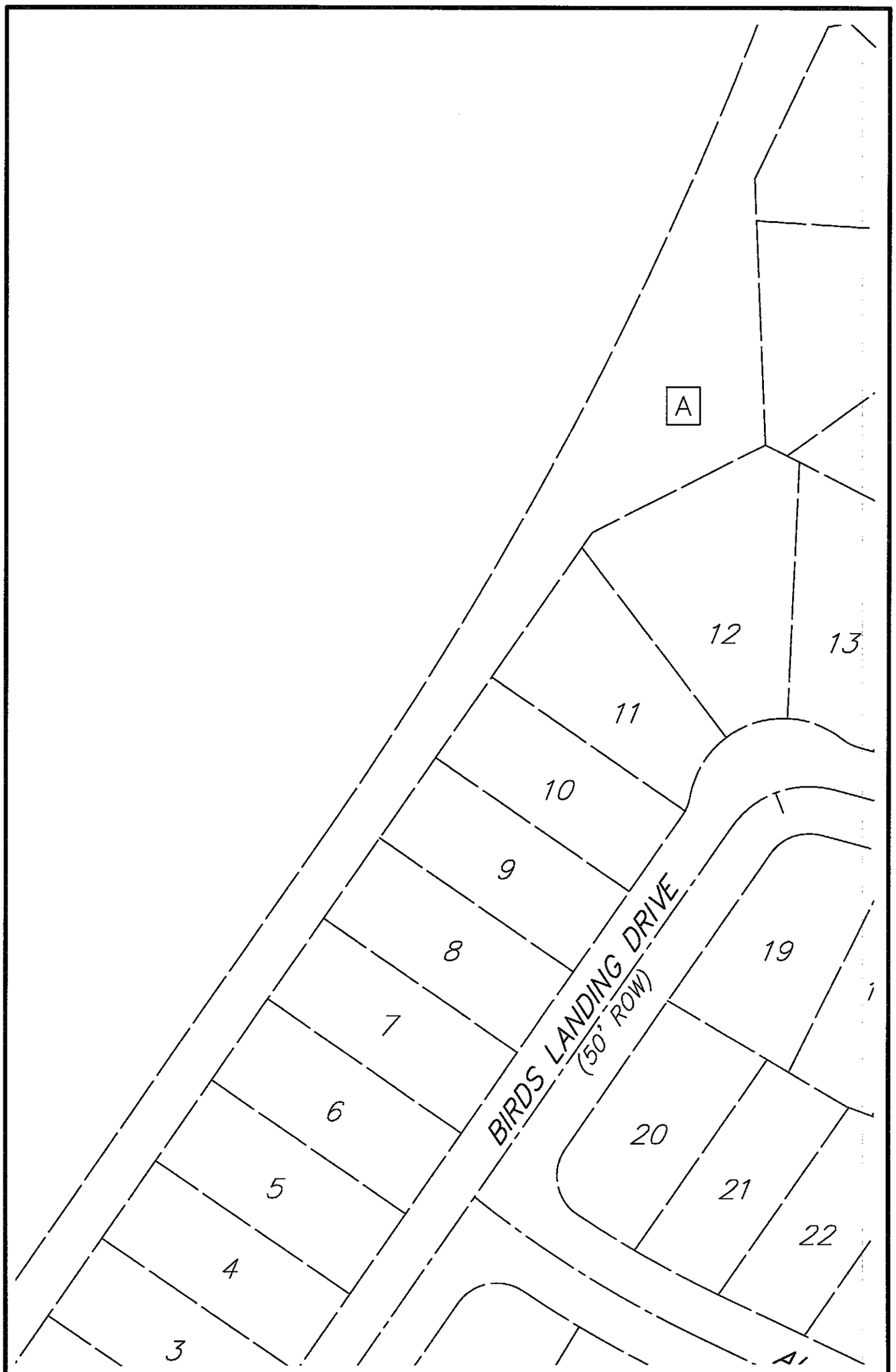
SCALE: 1"=20'



INSET DETAIL A

SCALE: 1"=20'

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 • 979.731.8000 RVILLARREAL@quiddity.com
SCALE NTS			
SHEET 10 OF 1			



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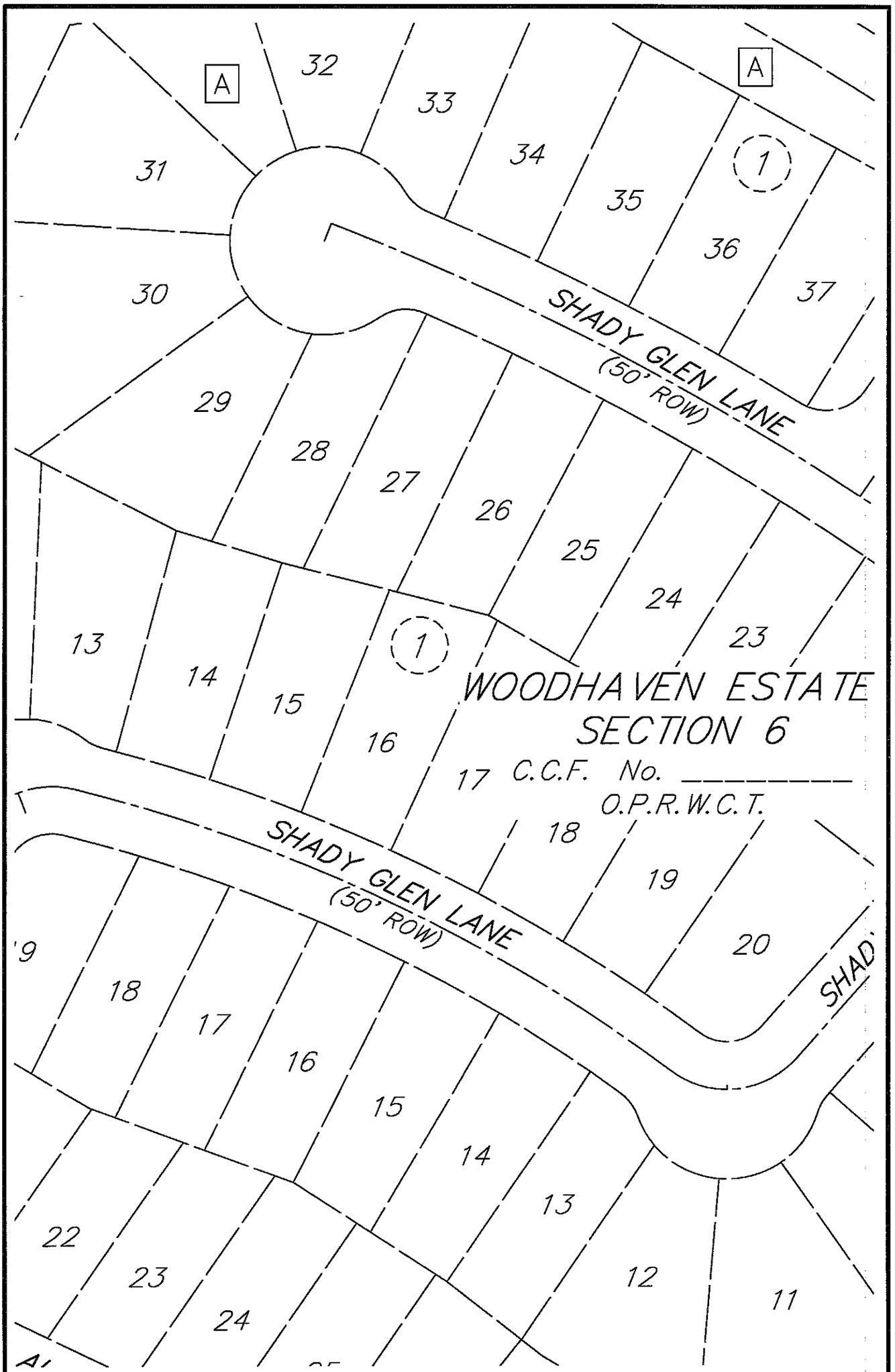
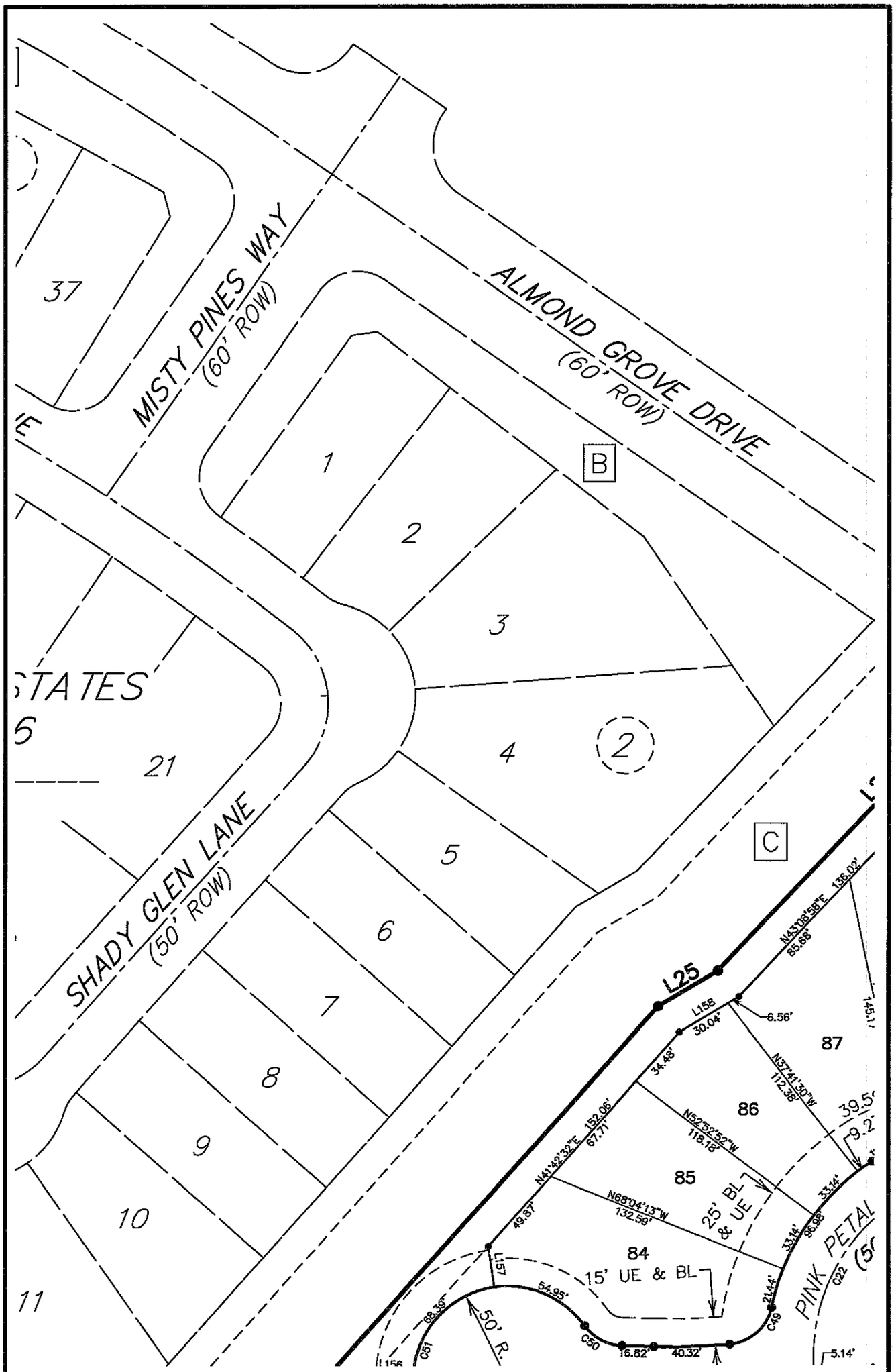
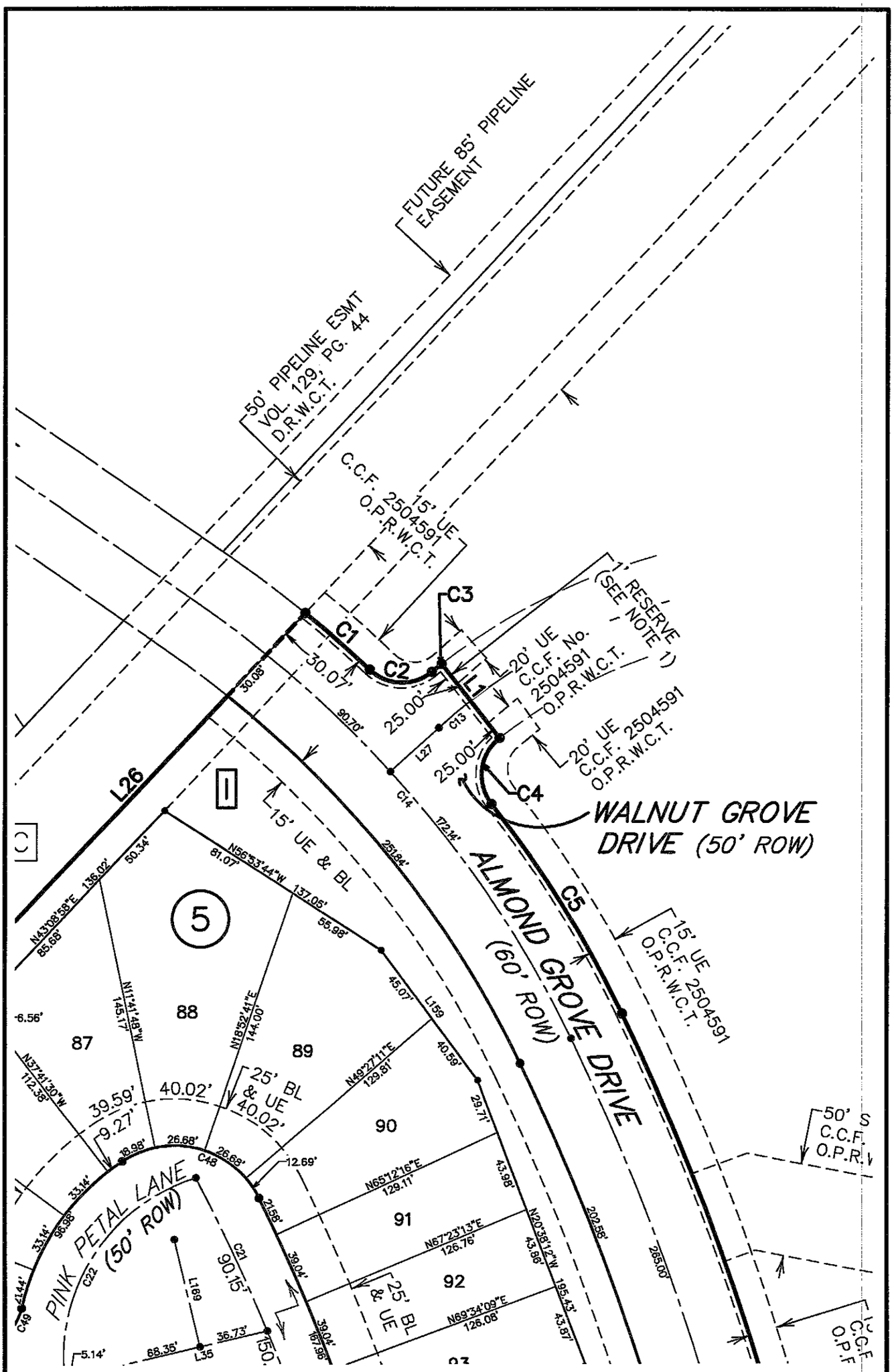
SCALE 1"=60'			
SHEET 1P OF 1			



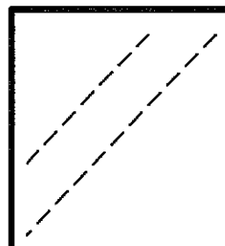
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1Q OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1R OF 1			



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=80'			
SHEET 1S OF 1			



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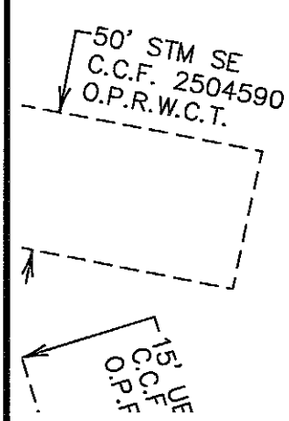
ɔW)



CALLED 772.09 AC
DRP TX 1, LLC,
SPECIAL WARRANTY DEED
C.C.F. No. 2404338
O.P.R.W.C.T.

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1T OF 1			

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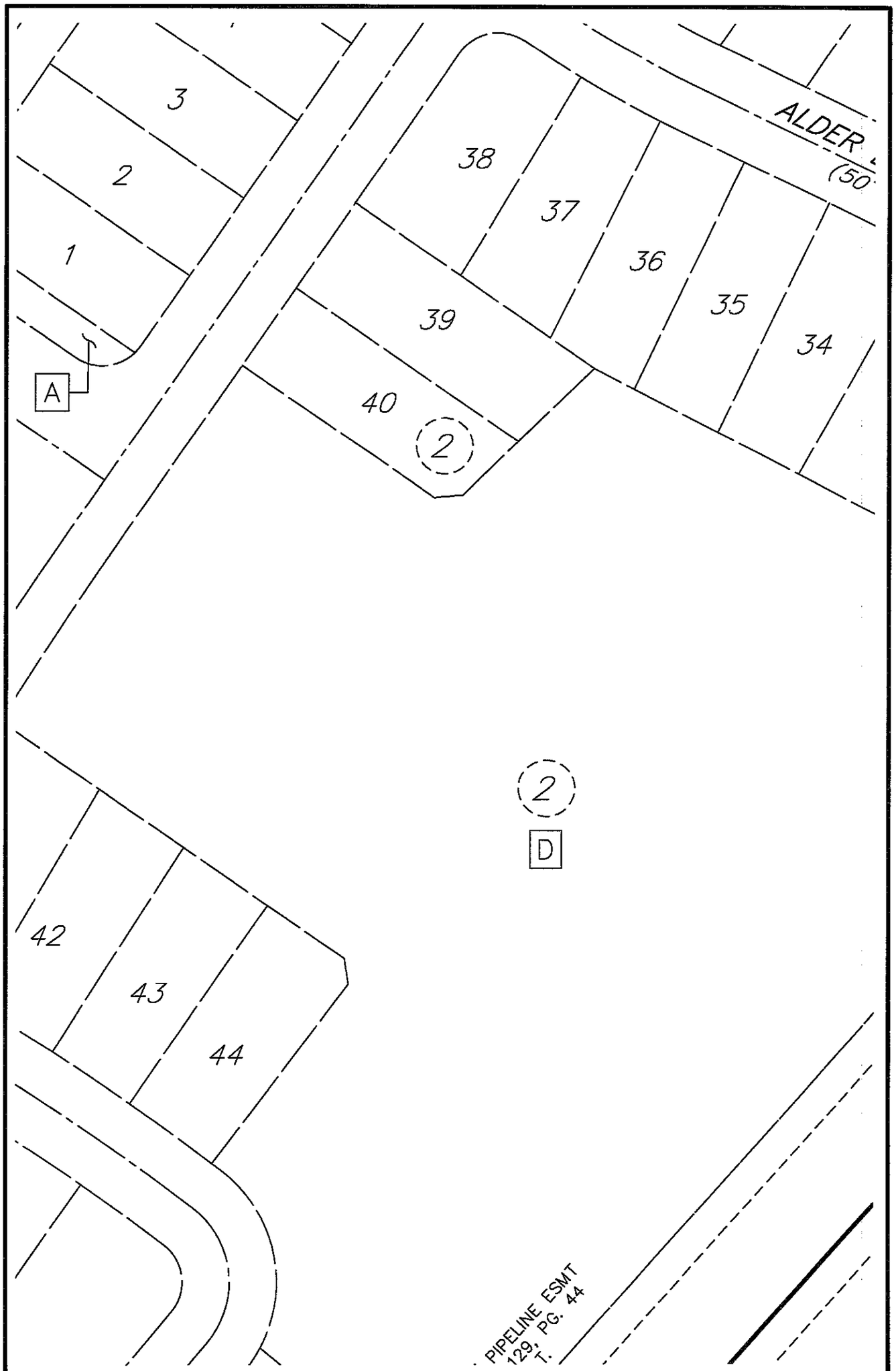
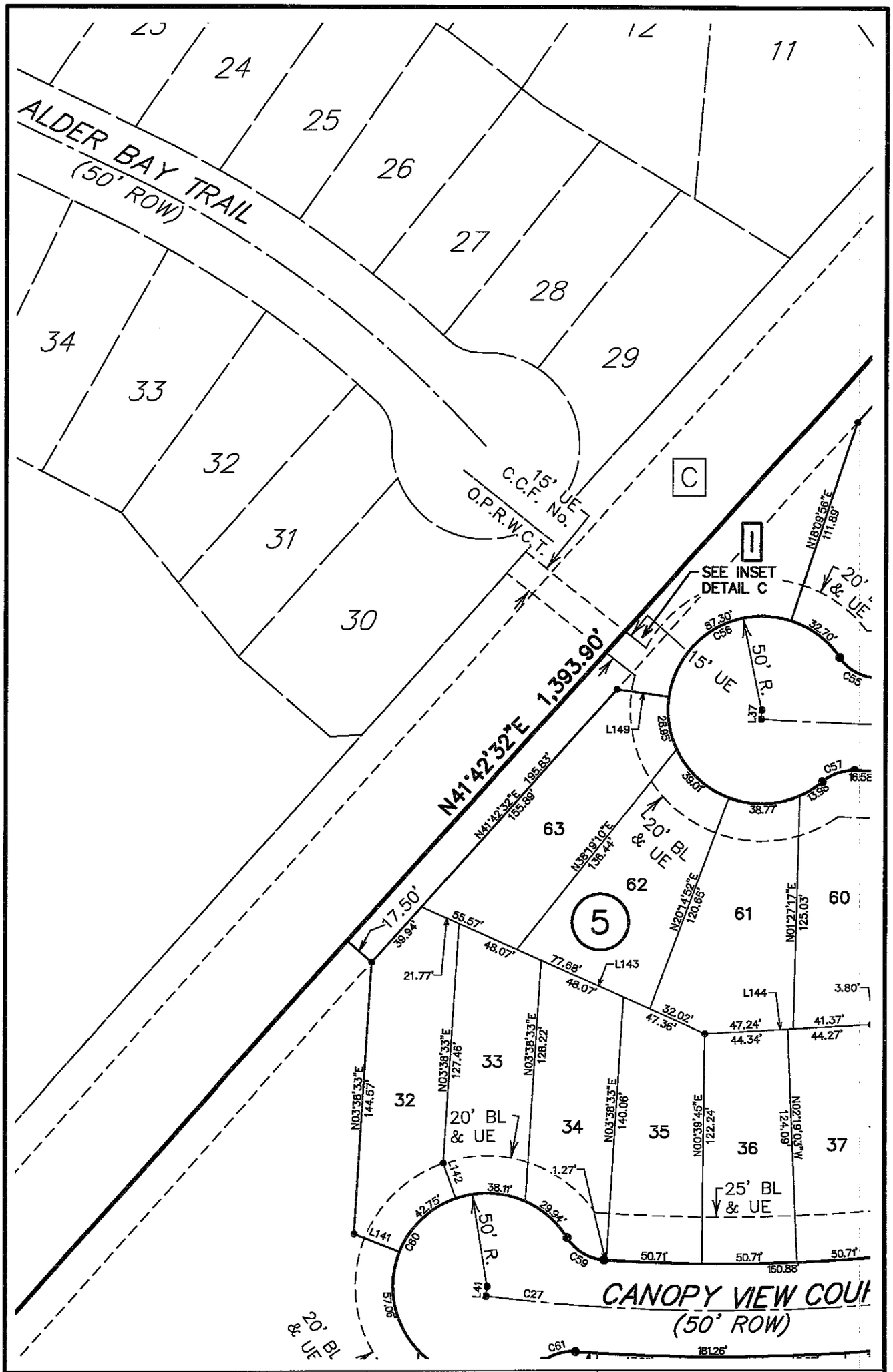
DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBlbb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1U OF 1			

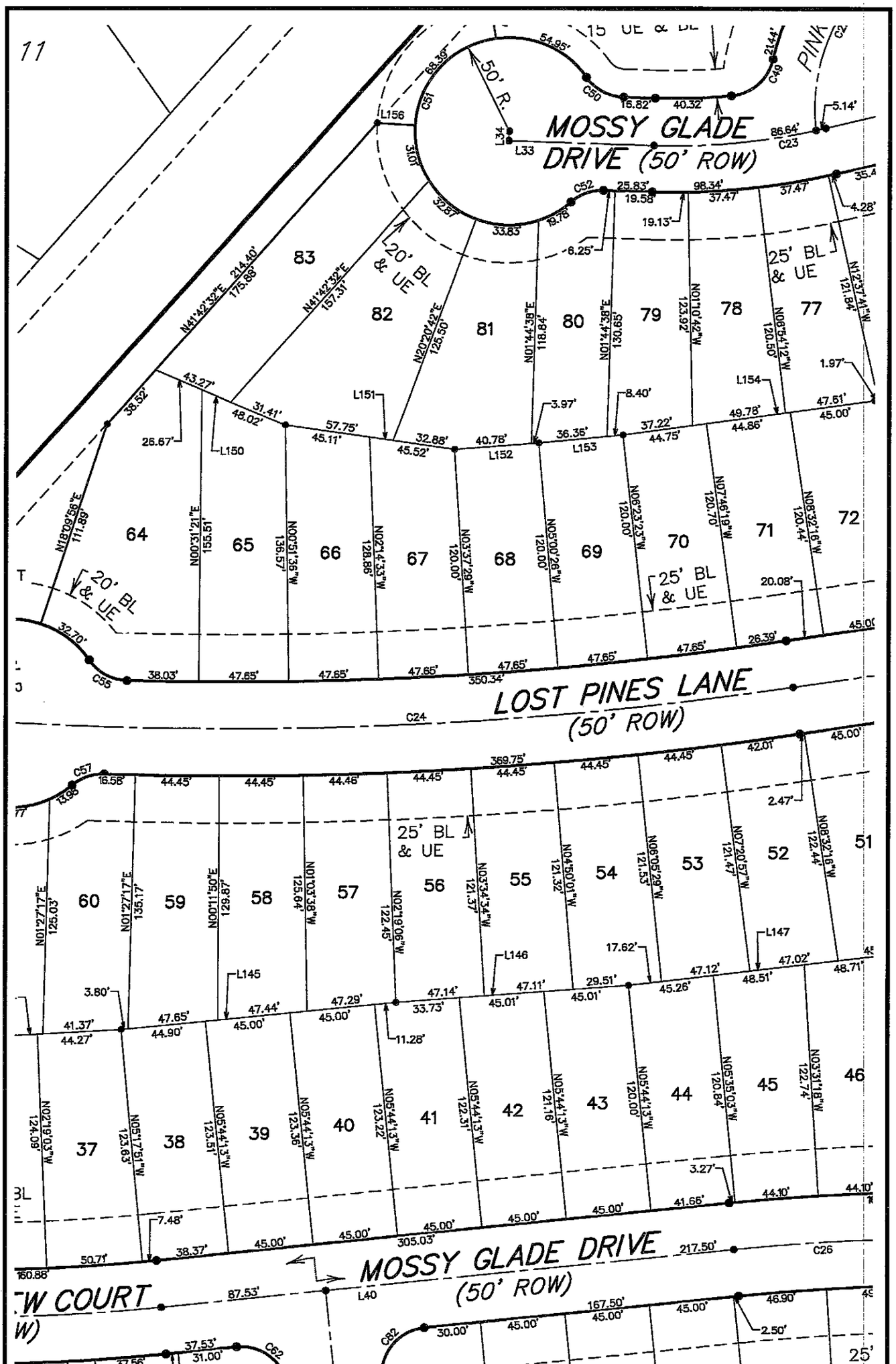
DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1V OF 1			



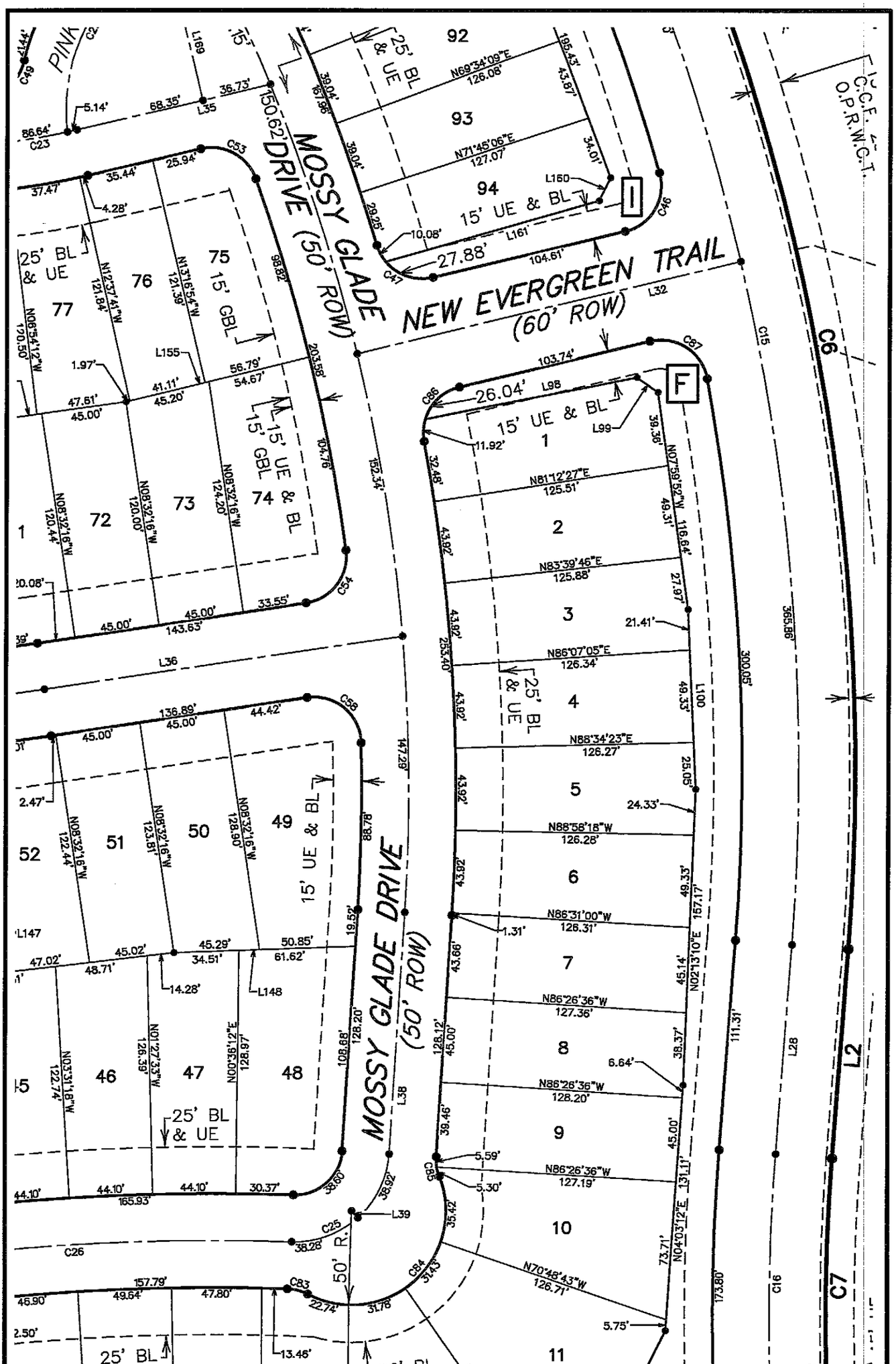
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1W OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



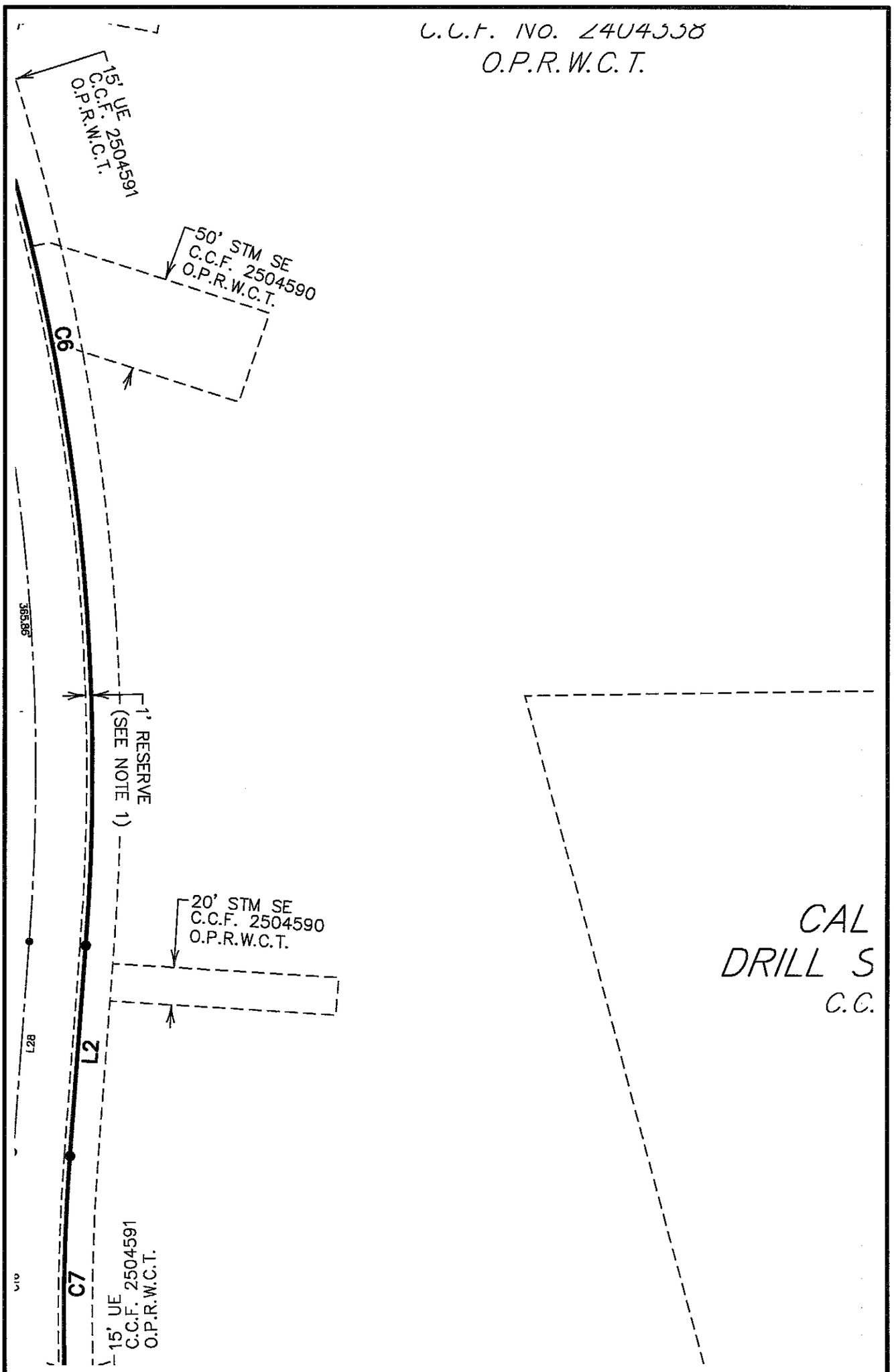
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1X OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



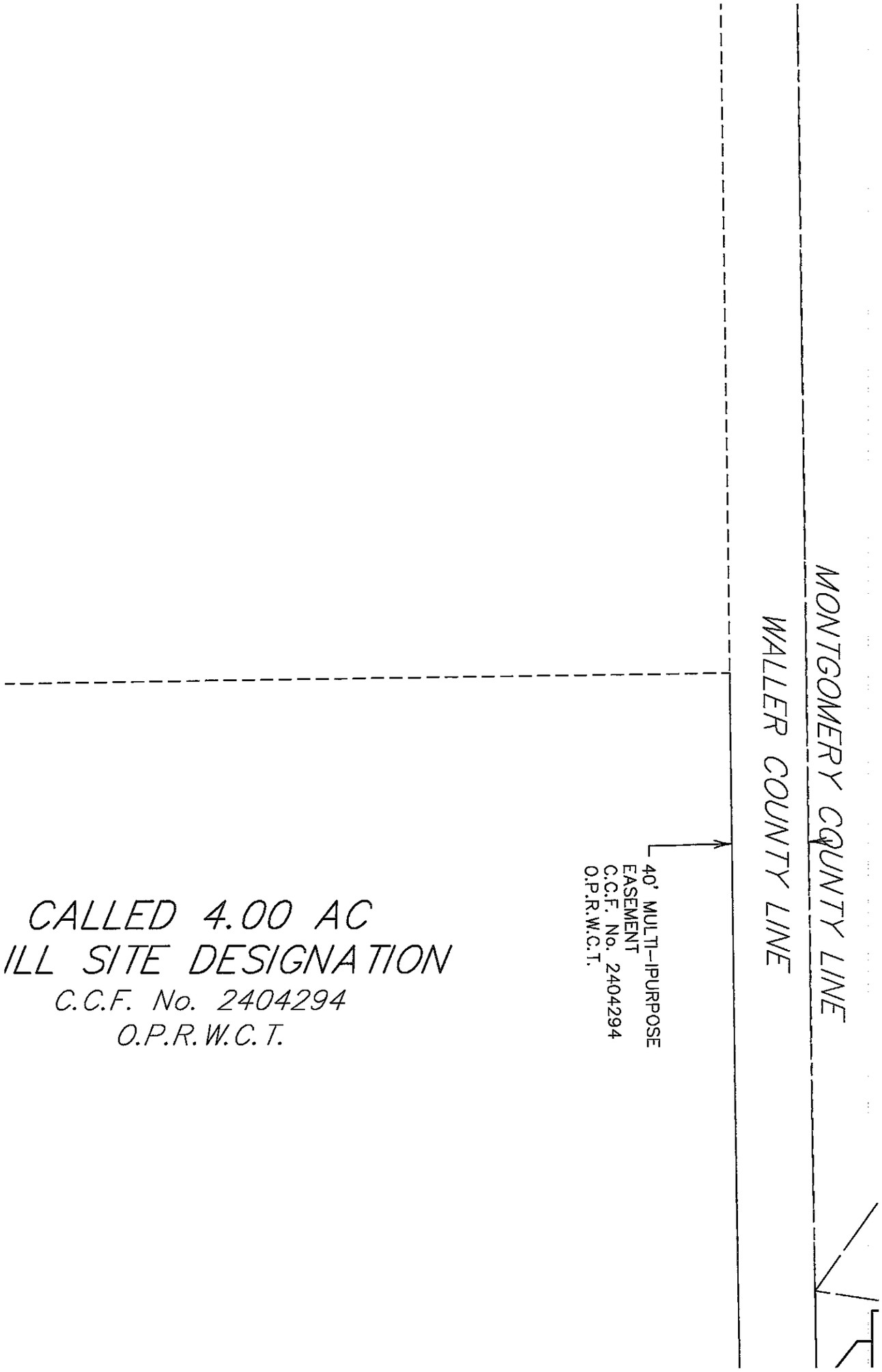
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1Y OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



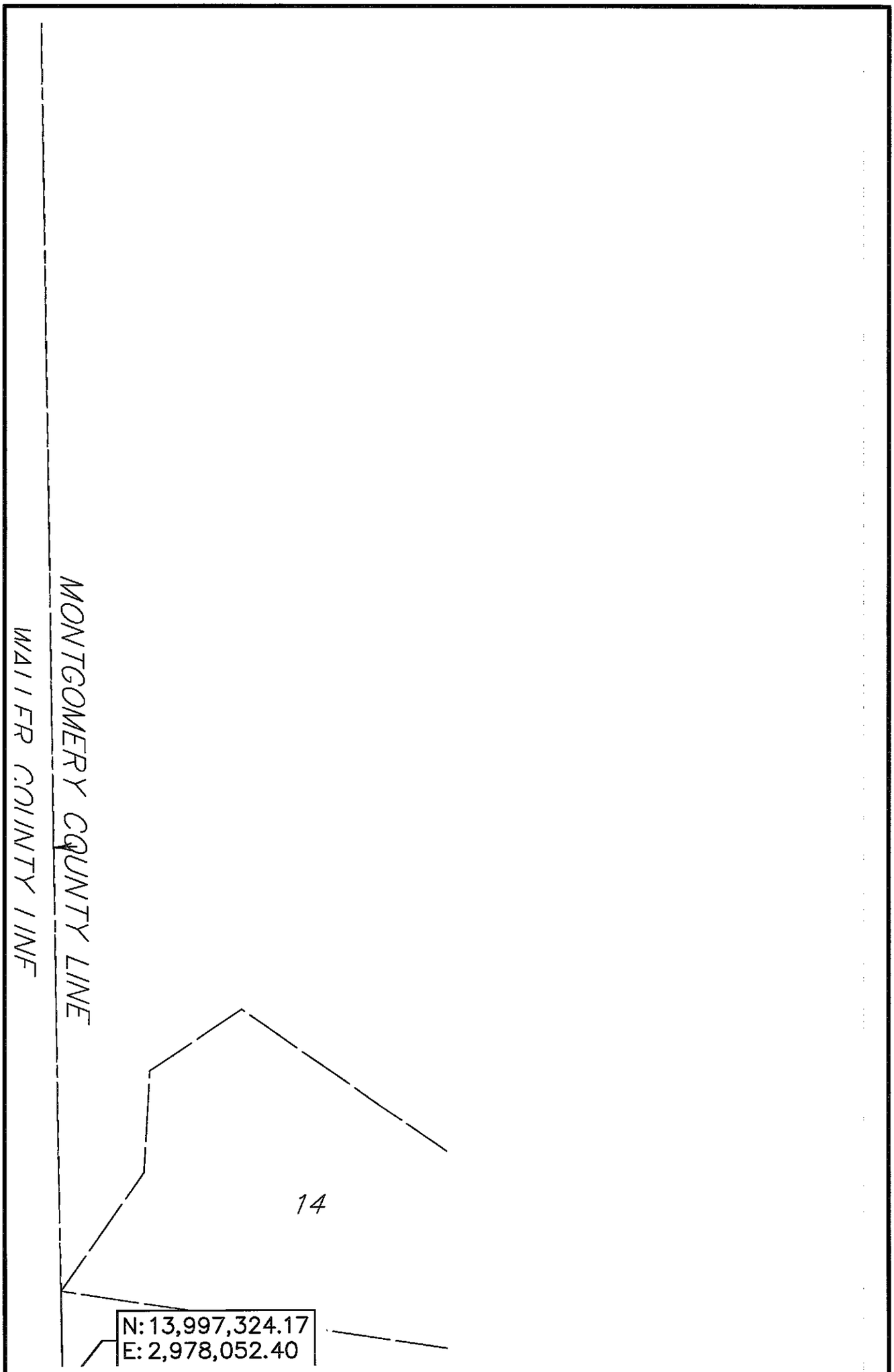
DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1Z OF 1			



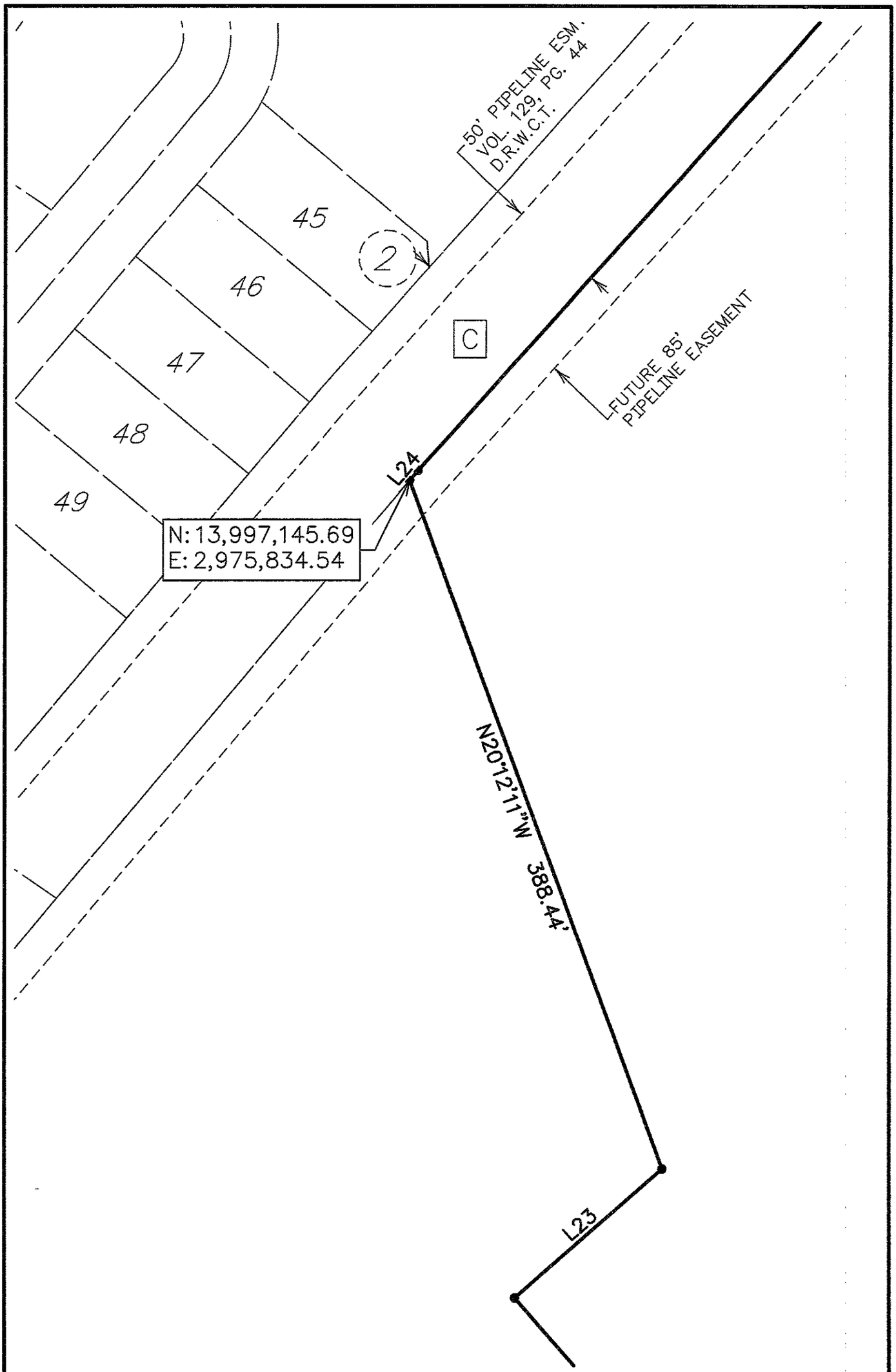
DATE: DECEMBER 2024 SCALE 1"=60' SHEET 1AA OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



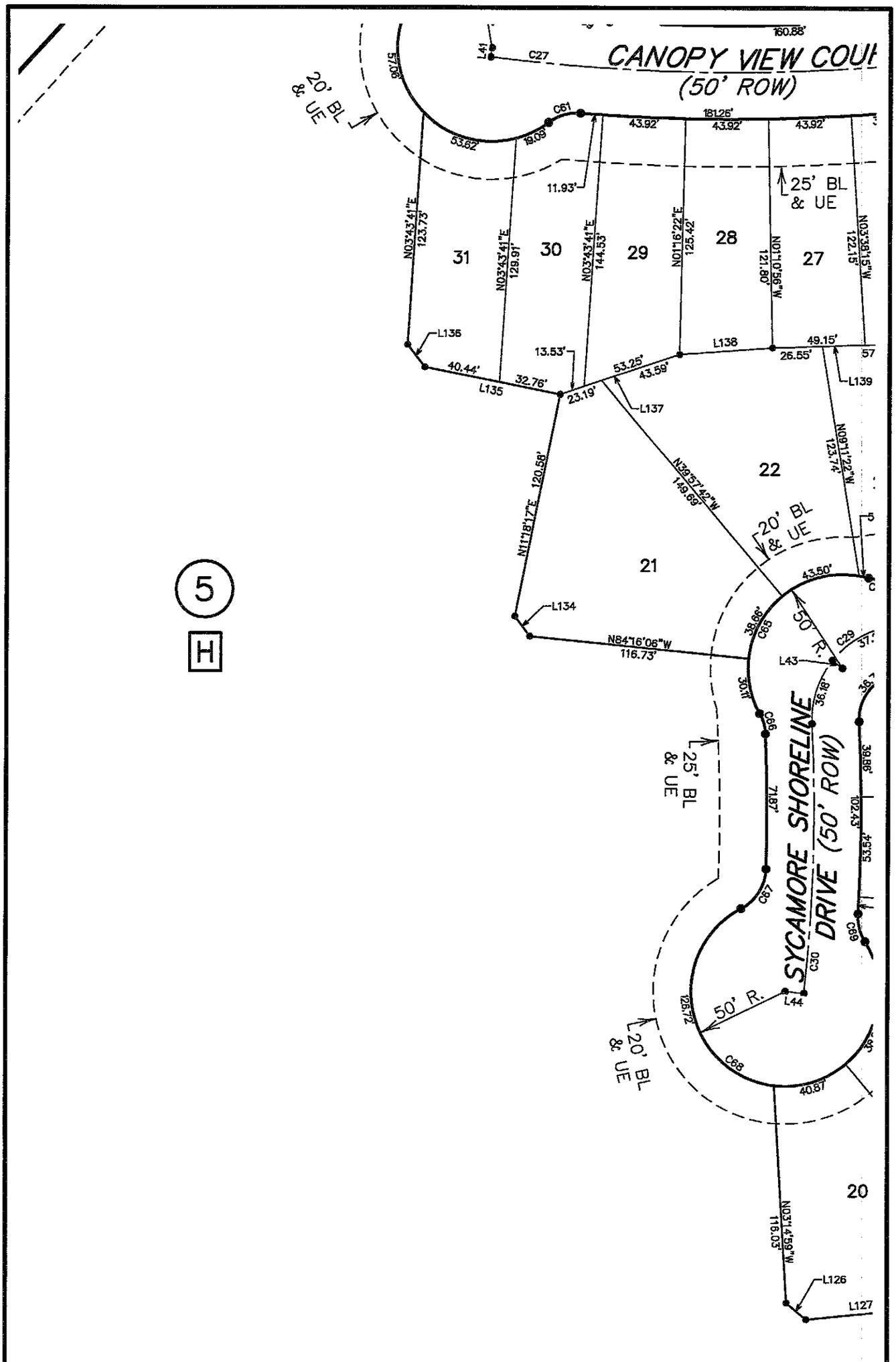
DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.8600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1BB OF 1			



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1CC OF 1			



DATE: AUGUST 2025 SCALE 1"=60' SHEET 1DD OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER **DRP TX 1, LLC** a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



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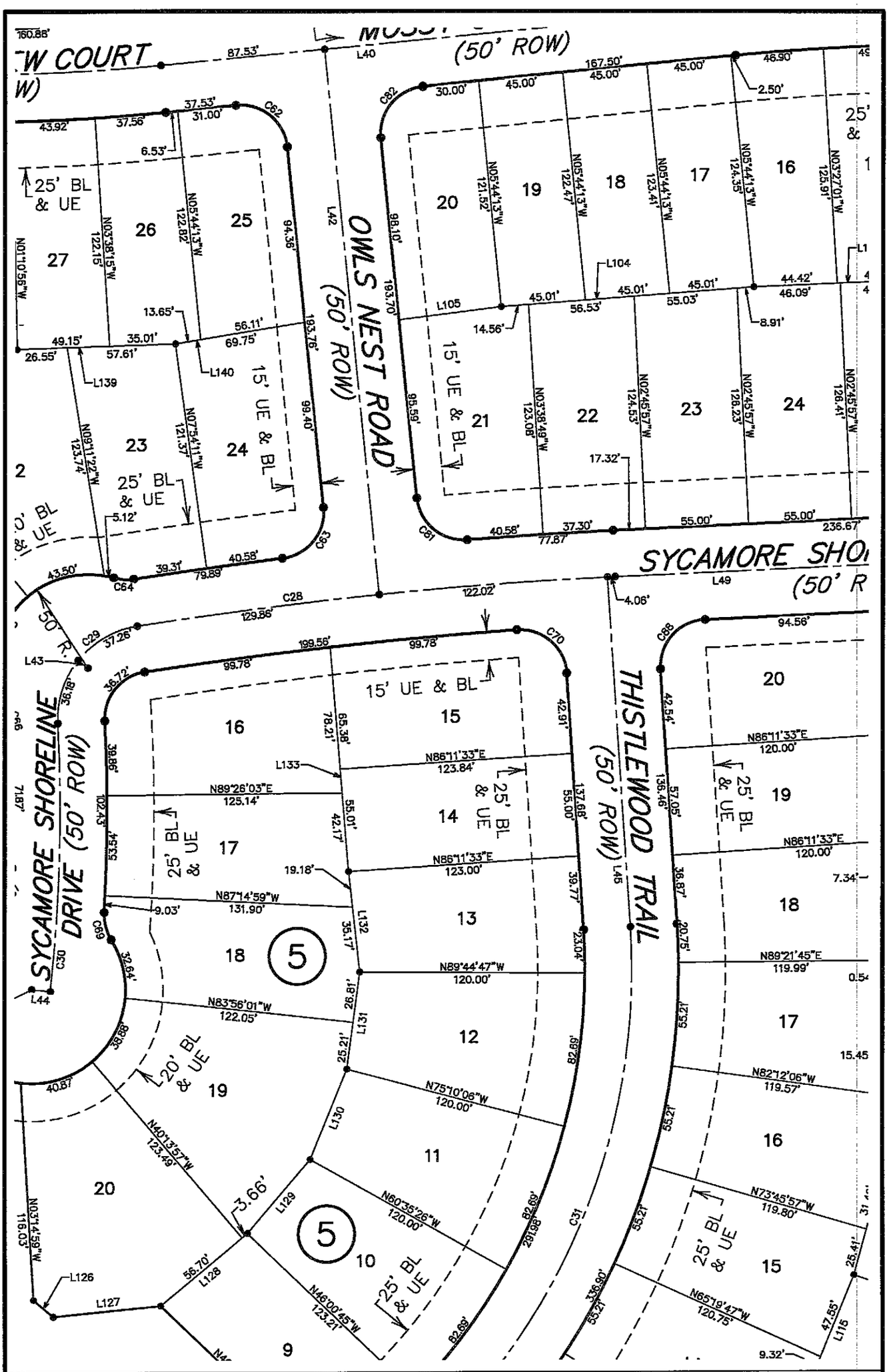
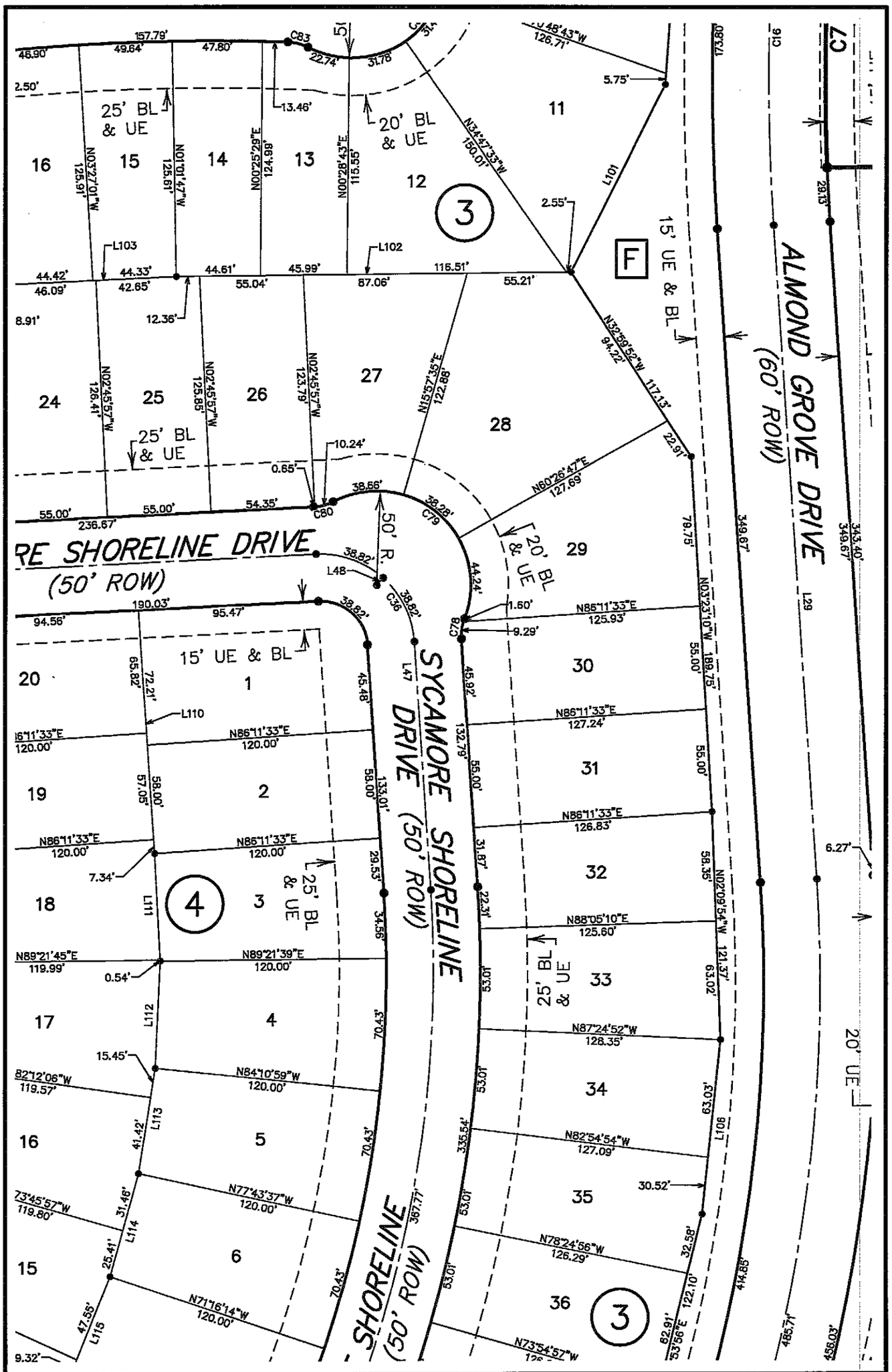
DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1EE OF 1			



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=80'			
SHEET 1FF OF 1			



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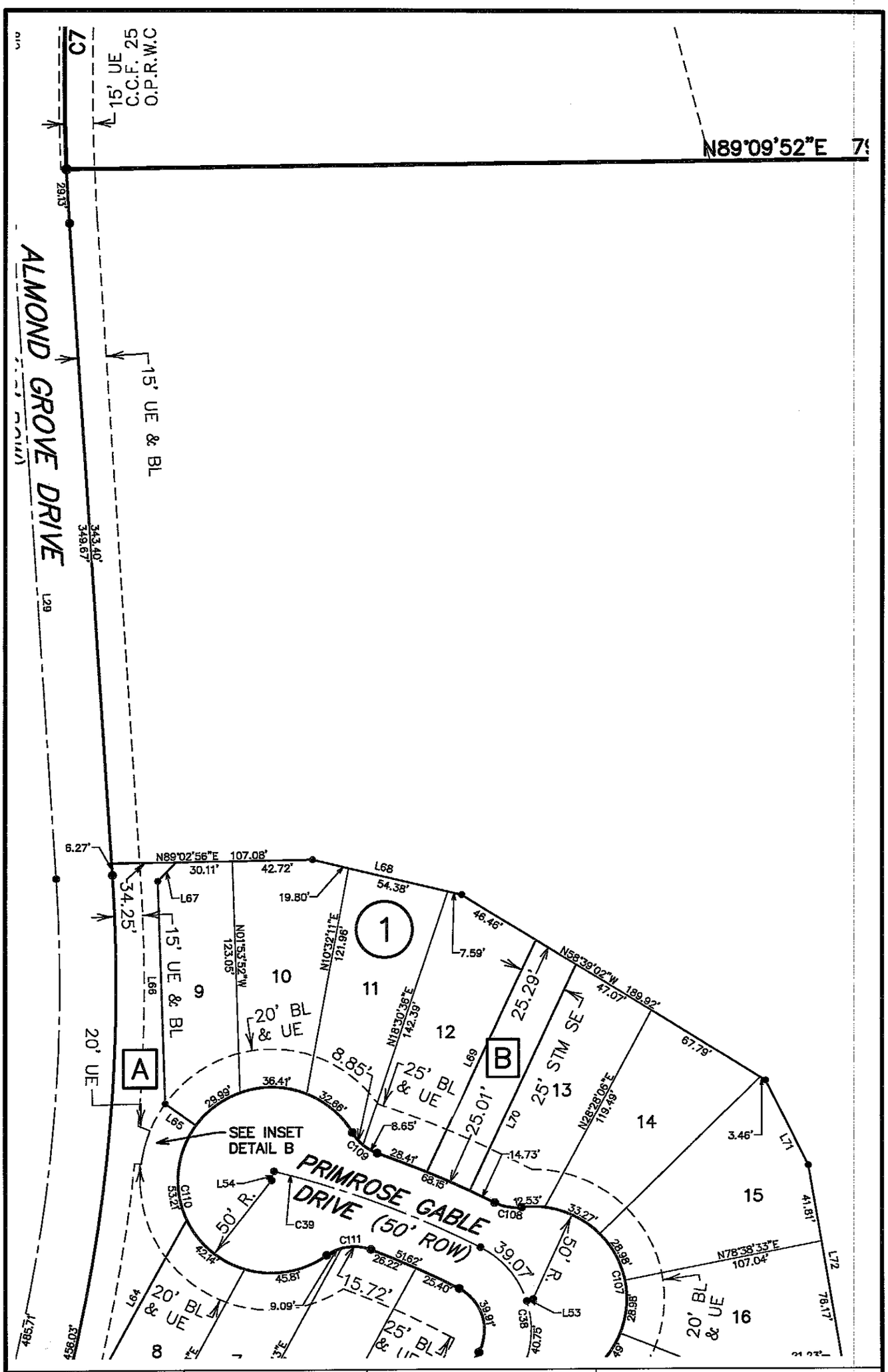
SCALE 1"=60'			
SHEET 1GG OF 1			



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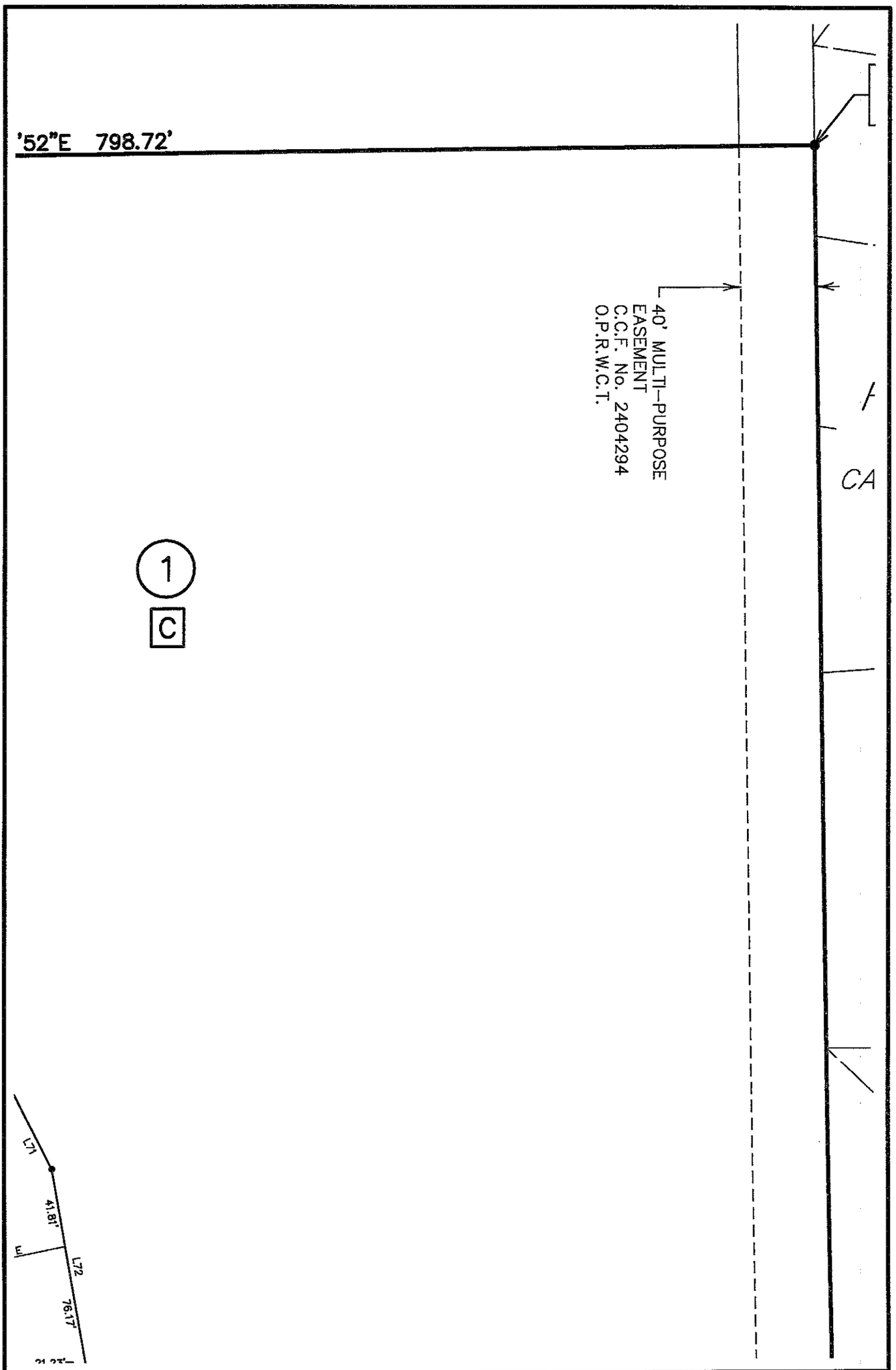
SCALE 1"=80'			
SHEET 1HH OF 1			



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
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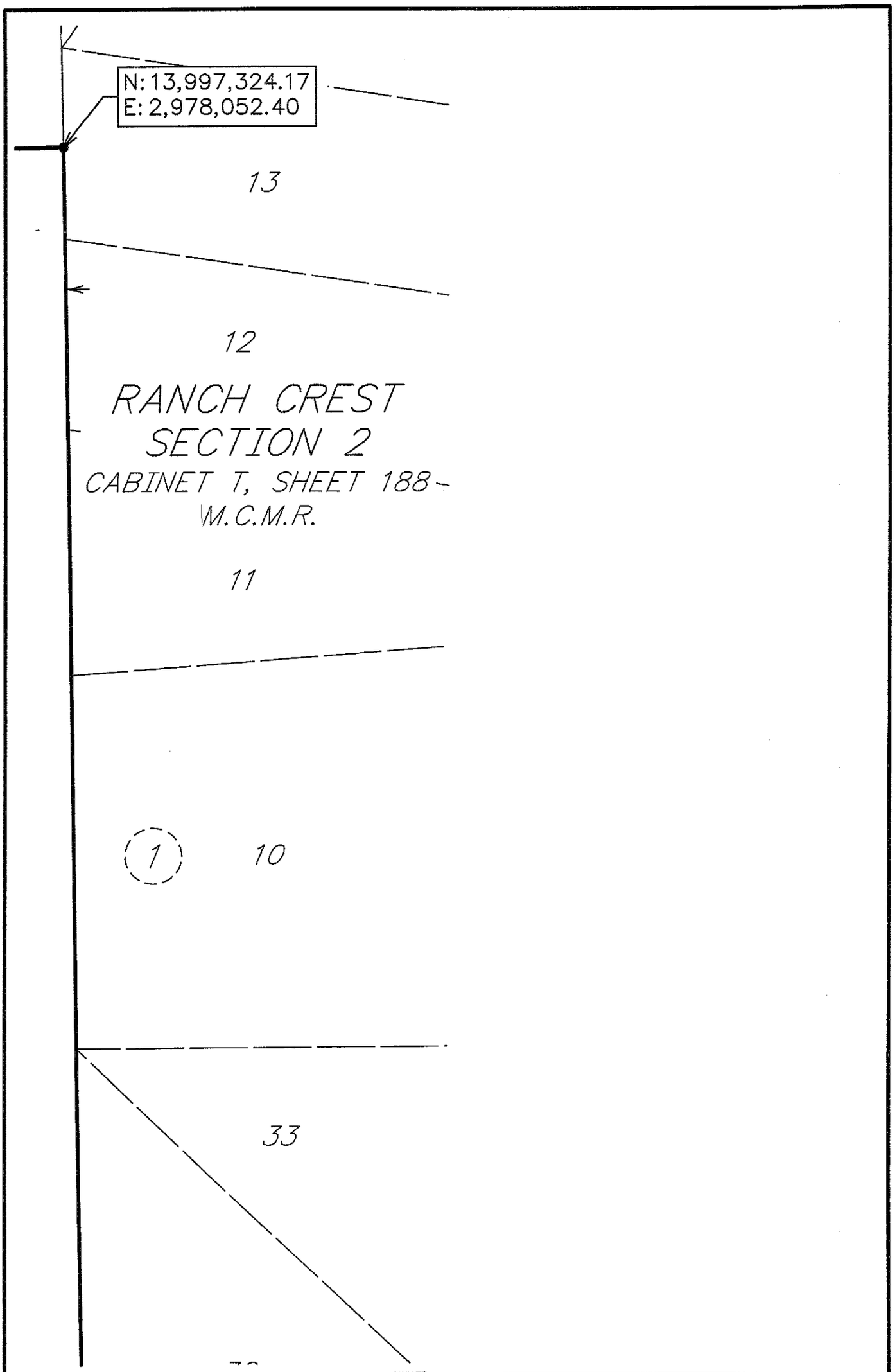

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.781.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
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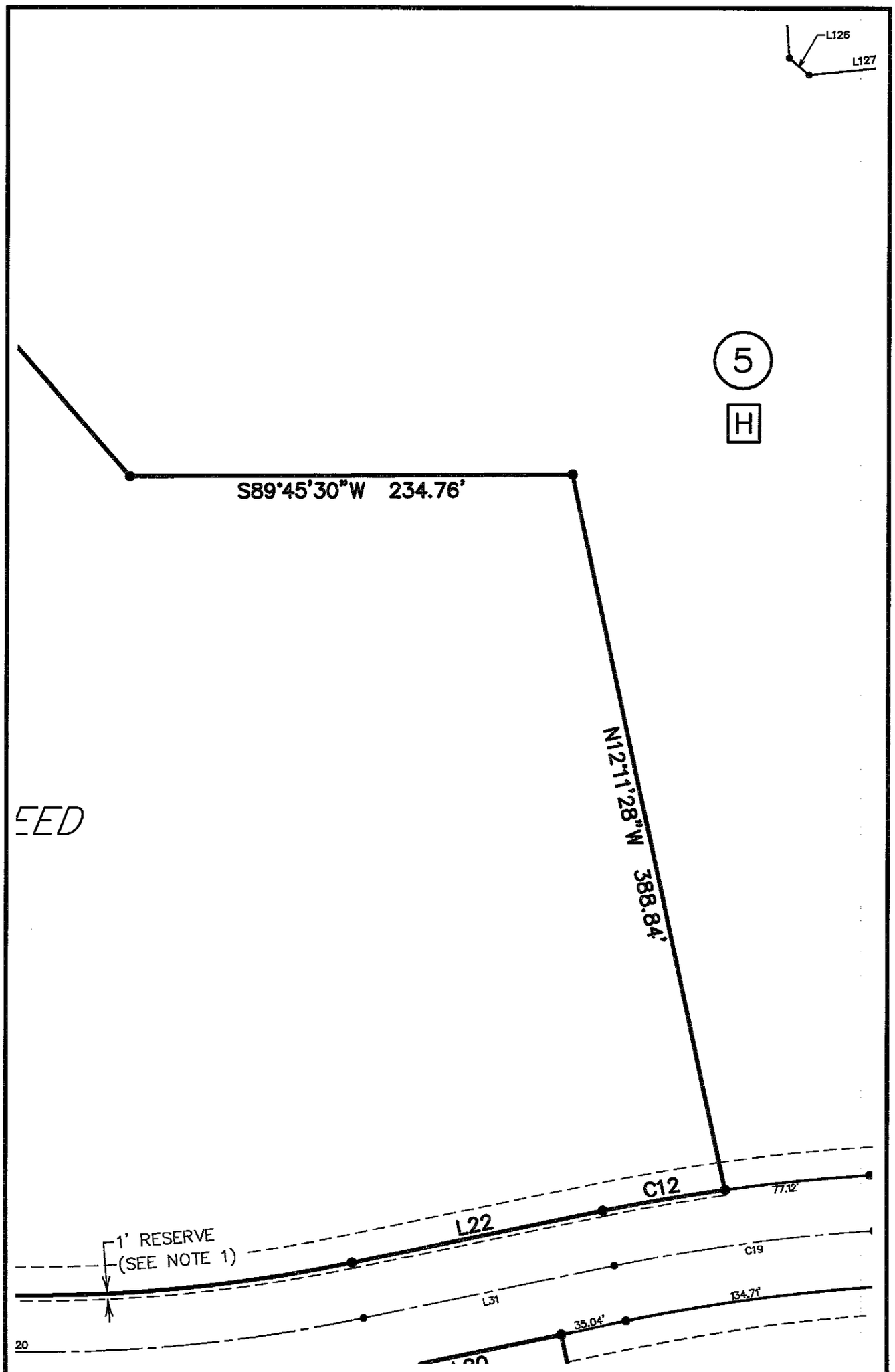
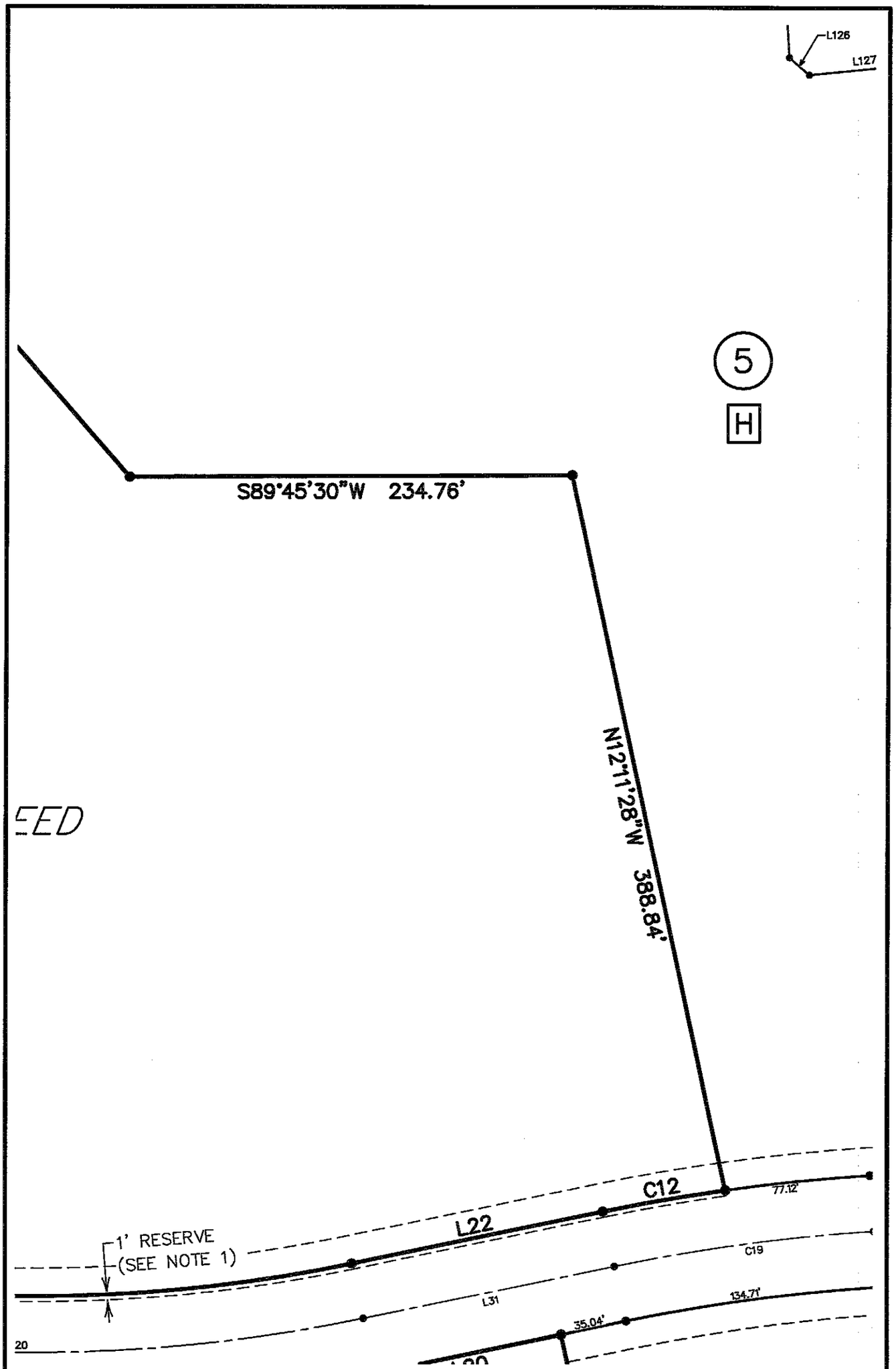
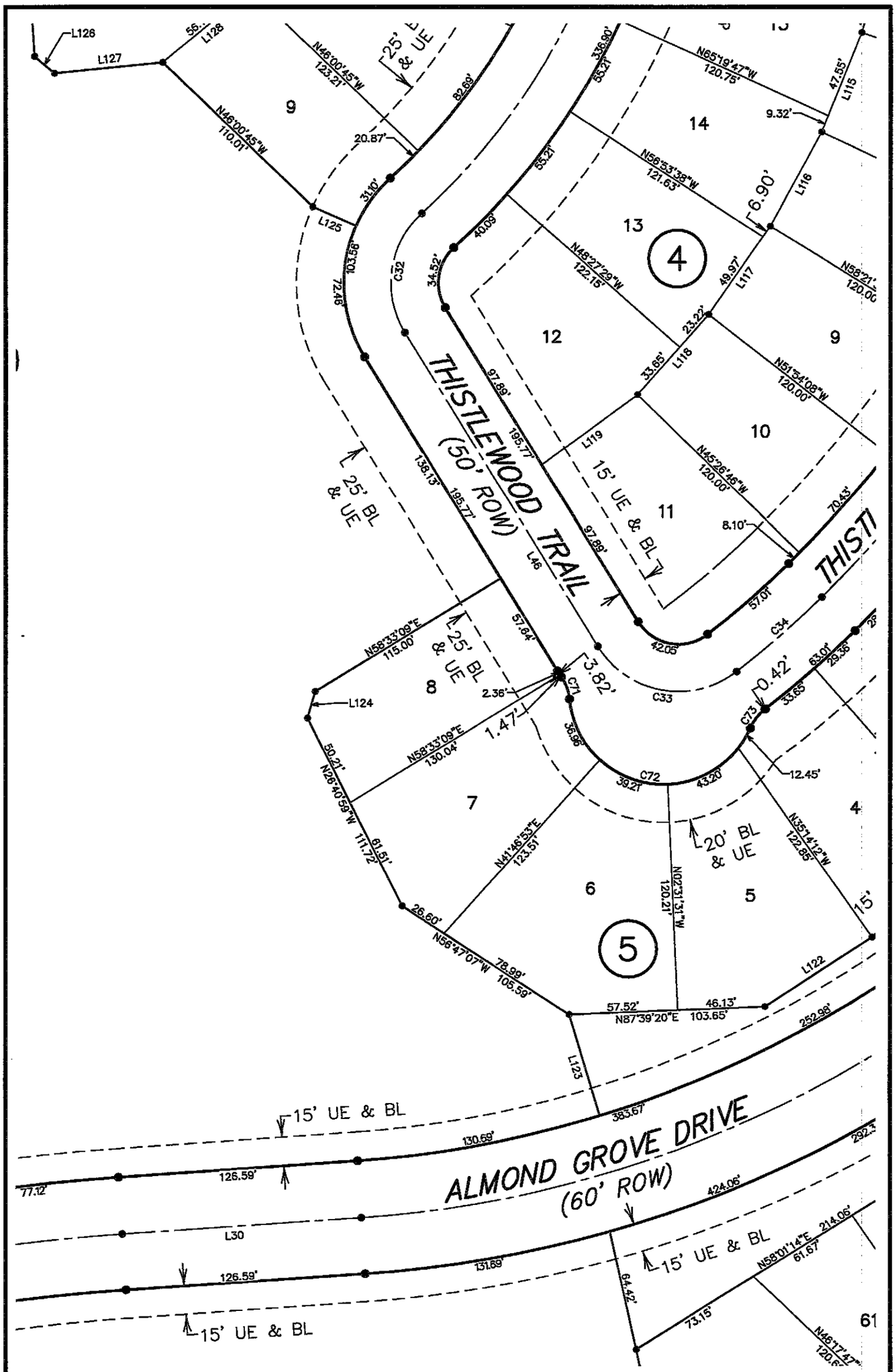


DATE: AUGUST 2025 SCALE 1"=60' SHEET 1KK OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



DATE: AUGUST 2025 SCALE 1"=60' SHEET 1LL OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
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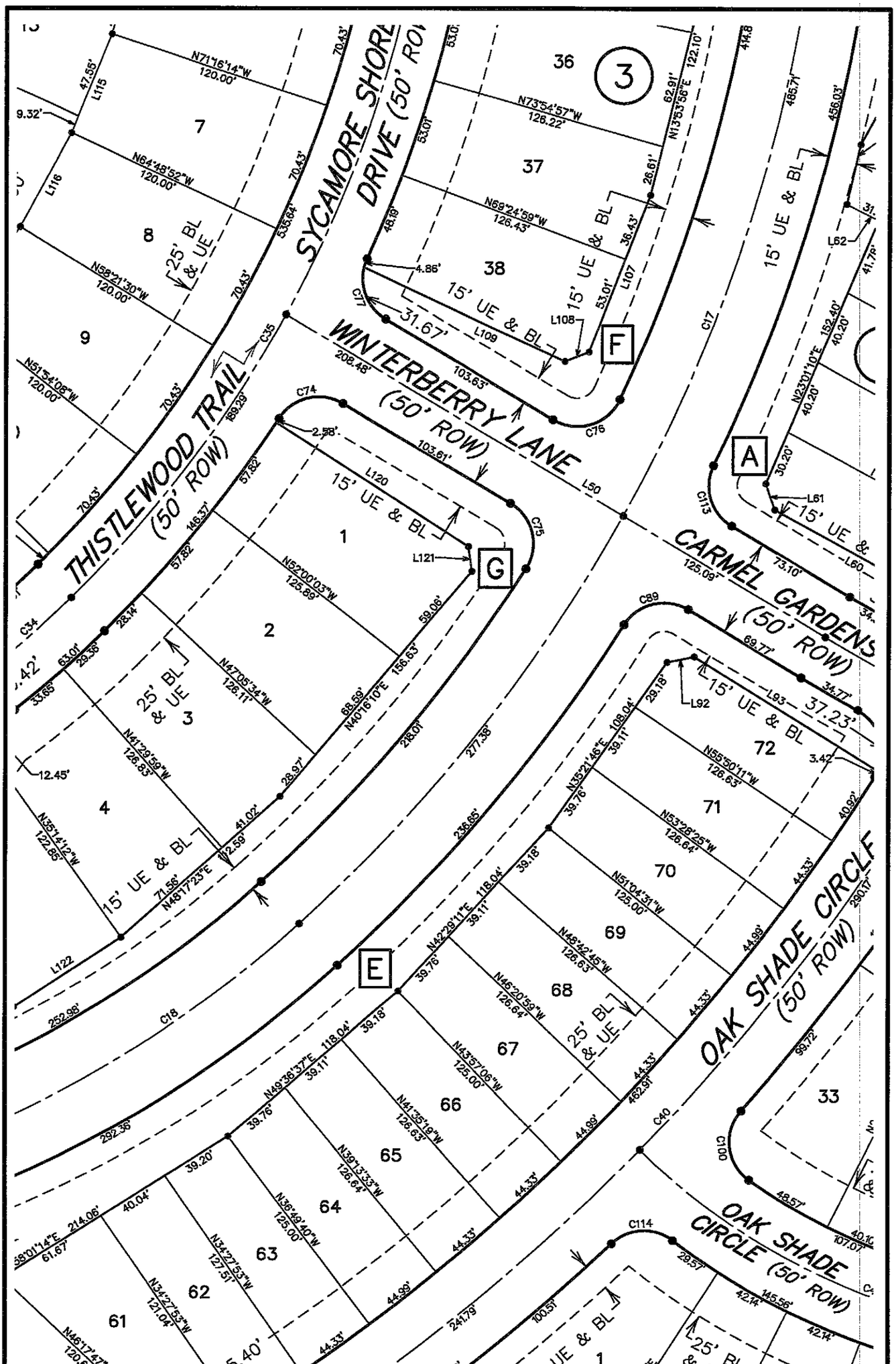
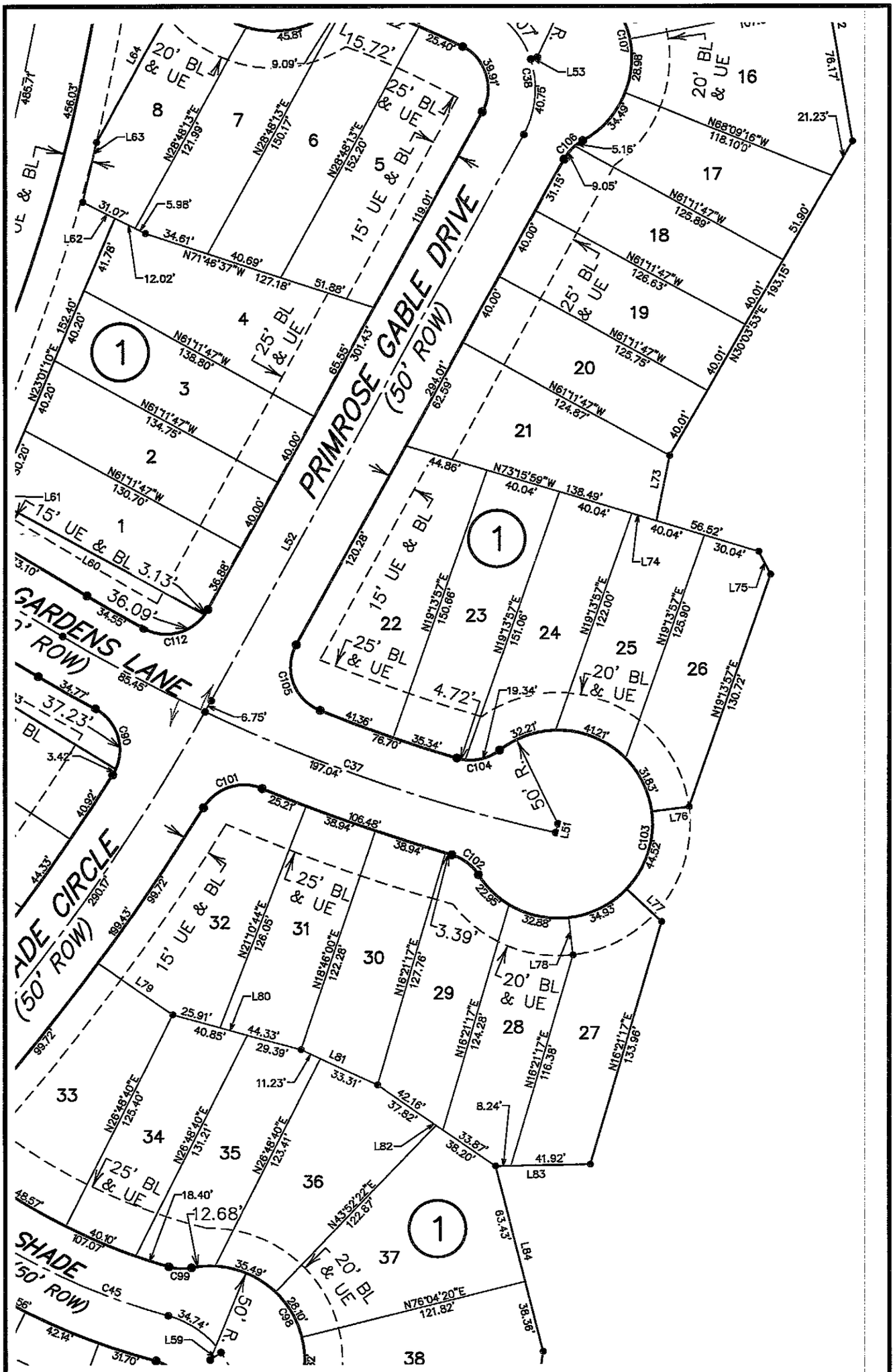
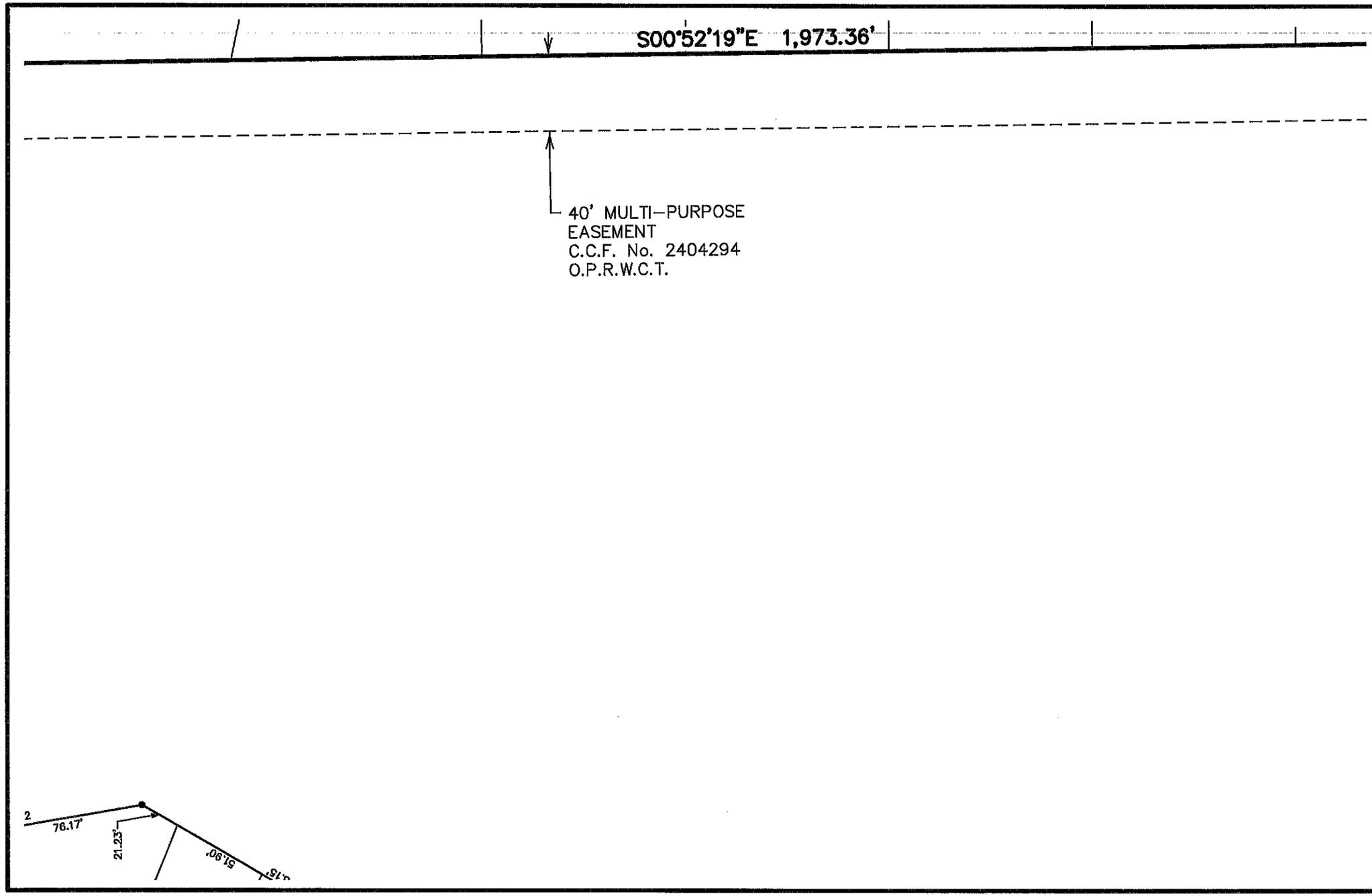


DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1NN OF 1			



DATE: AUGUST 2025 SCALE 1"=60' SHEET 100 OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



QUIDDITY
Quiddity Engineering, LLC
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23290 & 10046100
1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000
RVILLARREAL@quiddity.com

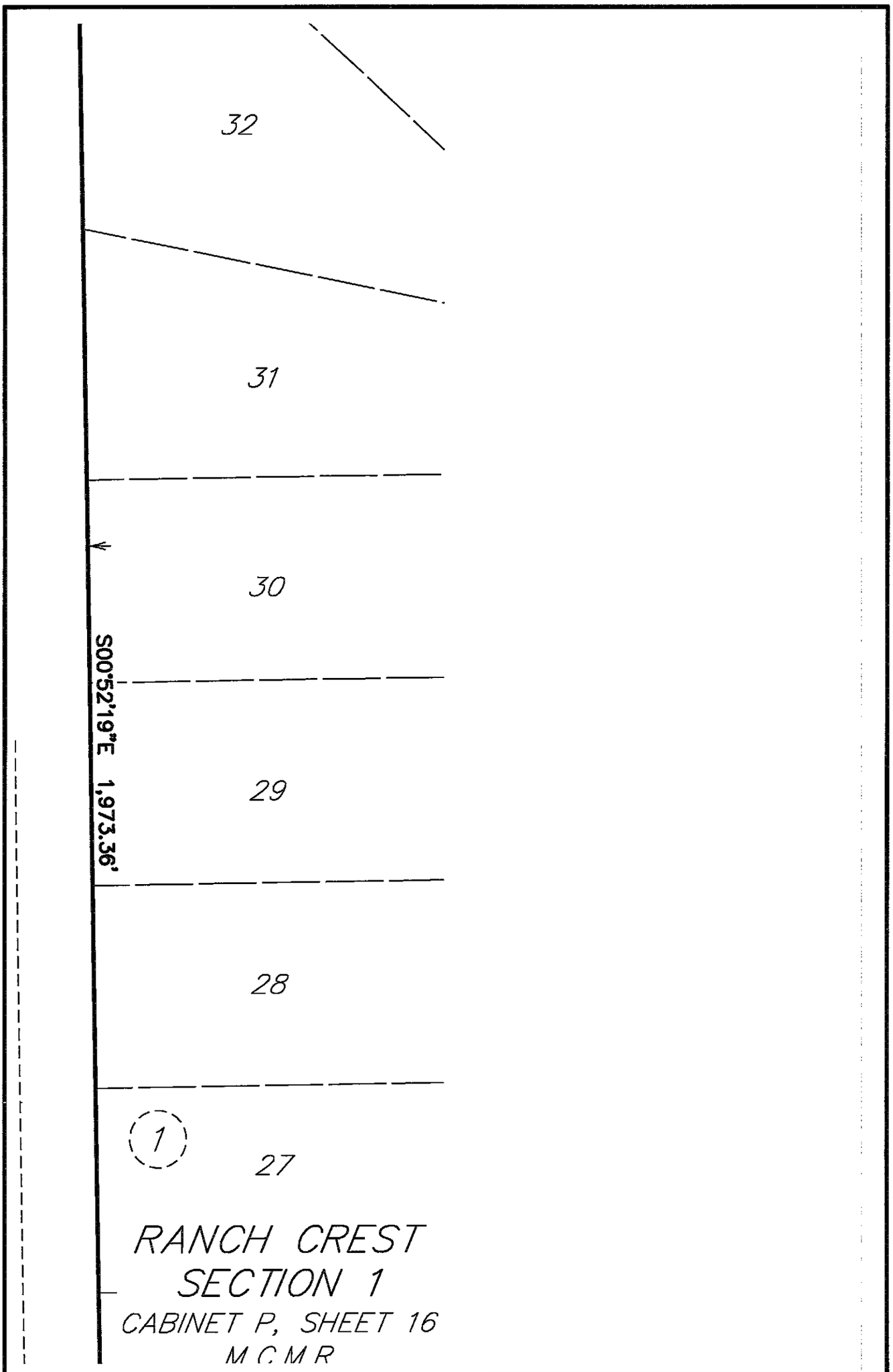
OWNER
DRP TX 1, LLC
a Delaware limited liability company
520 Madison Ave, 21st Floor
New York, NY 10022
936.999.6600
HBibb@glenmontdevelopment.com

FINAL PLAT OF
WOODHAVEN
ESTATES
SECTION 5

DATE: AUGUST 2025

SCALE 1"=80'

SHEET 1PP OF 1



DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
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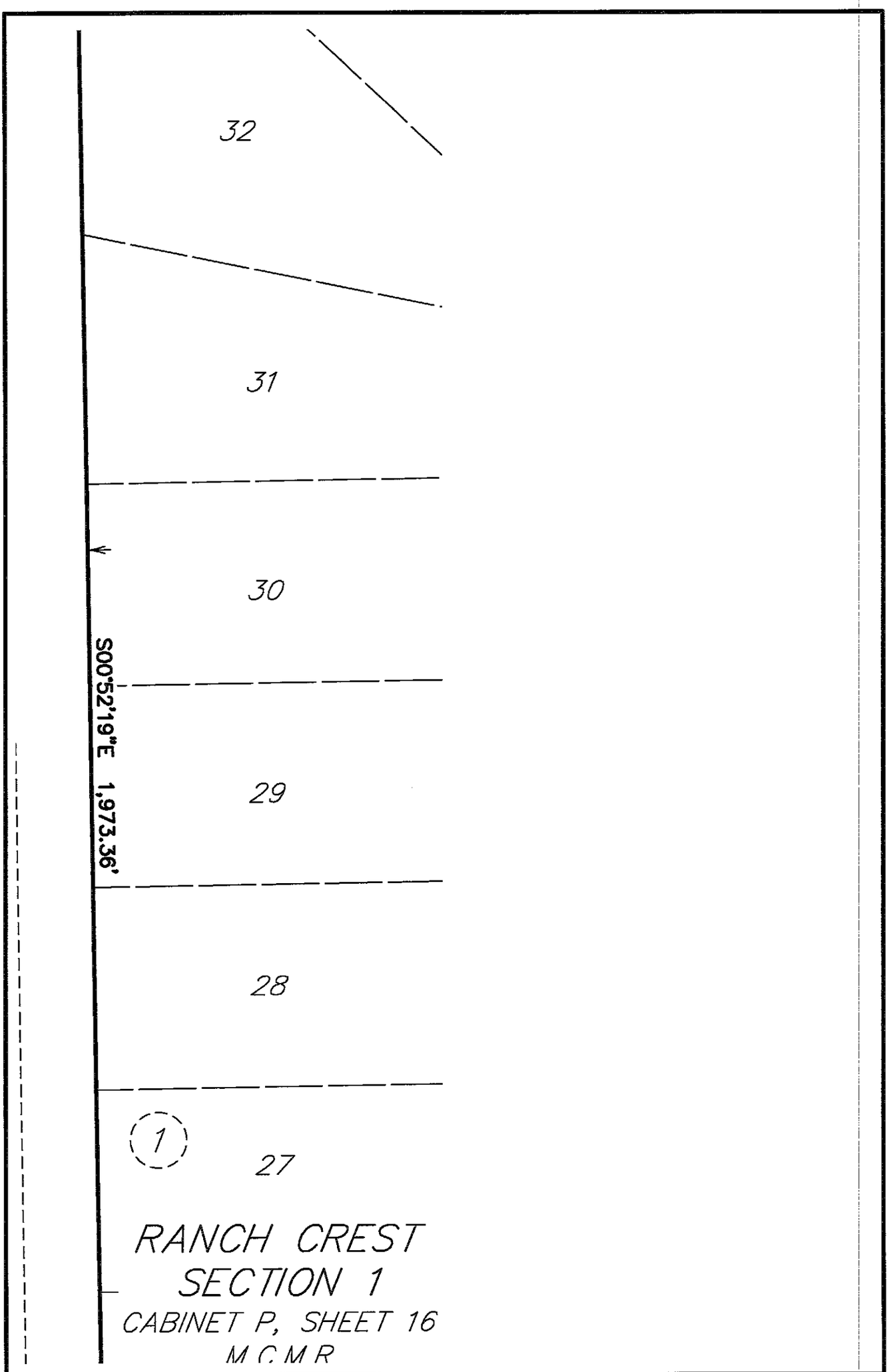

DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
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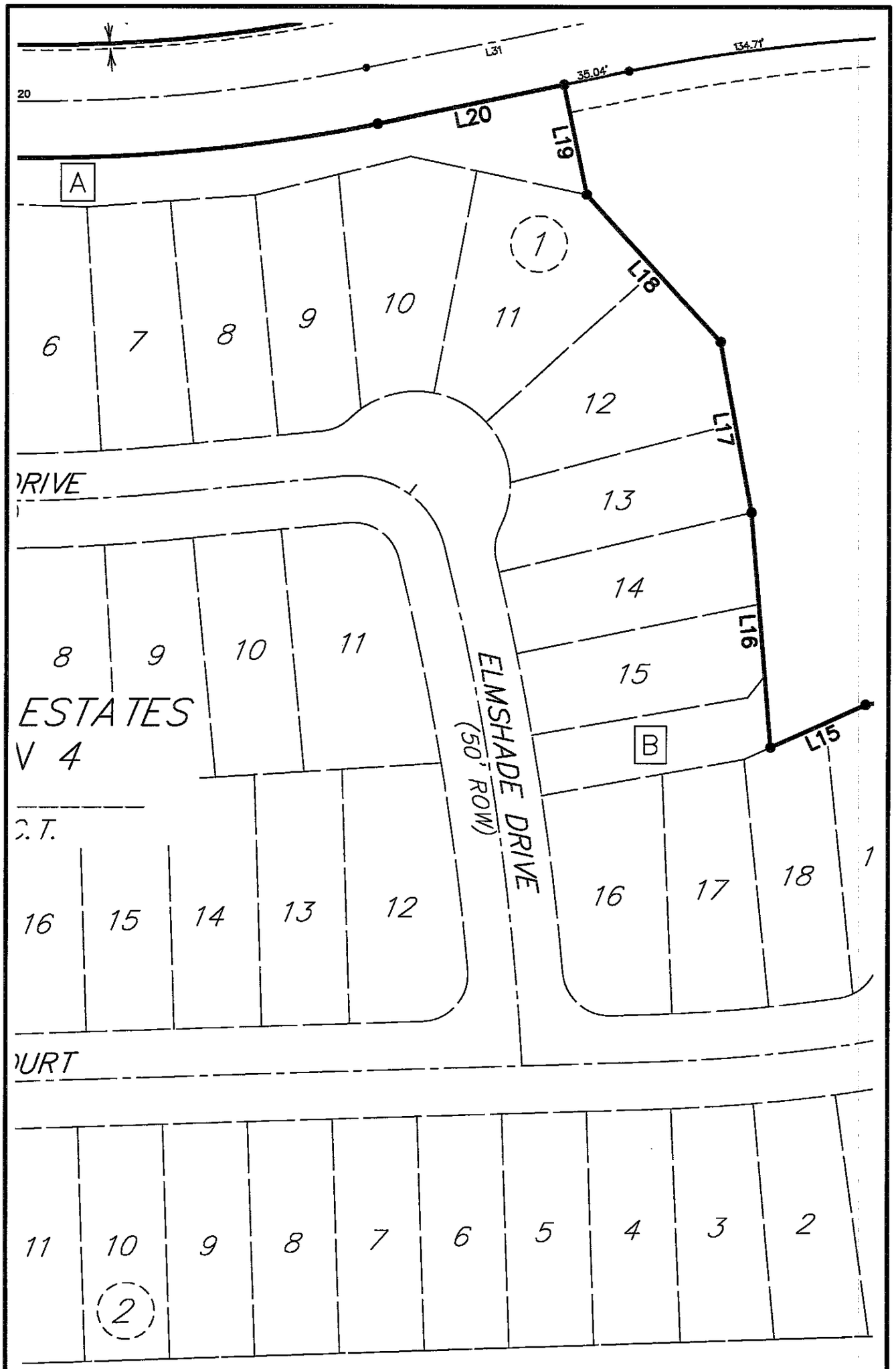
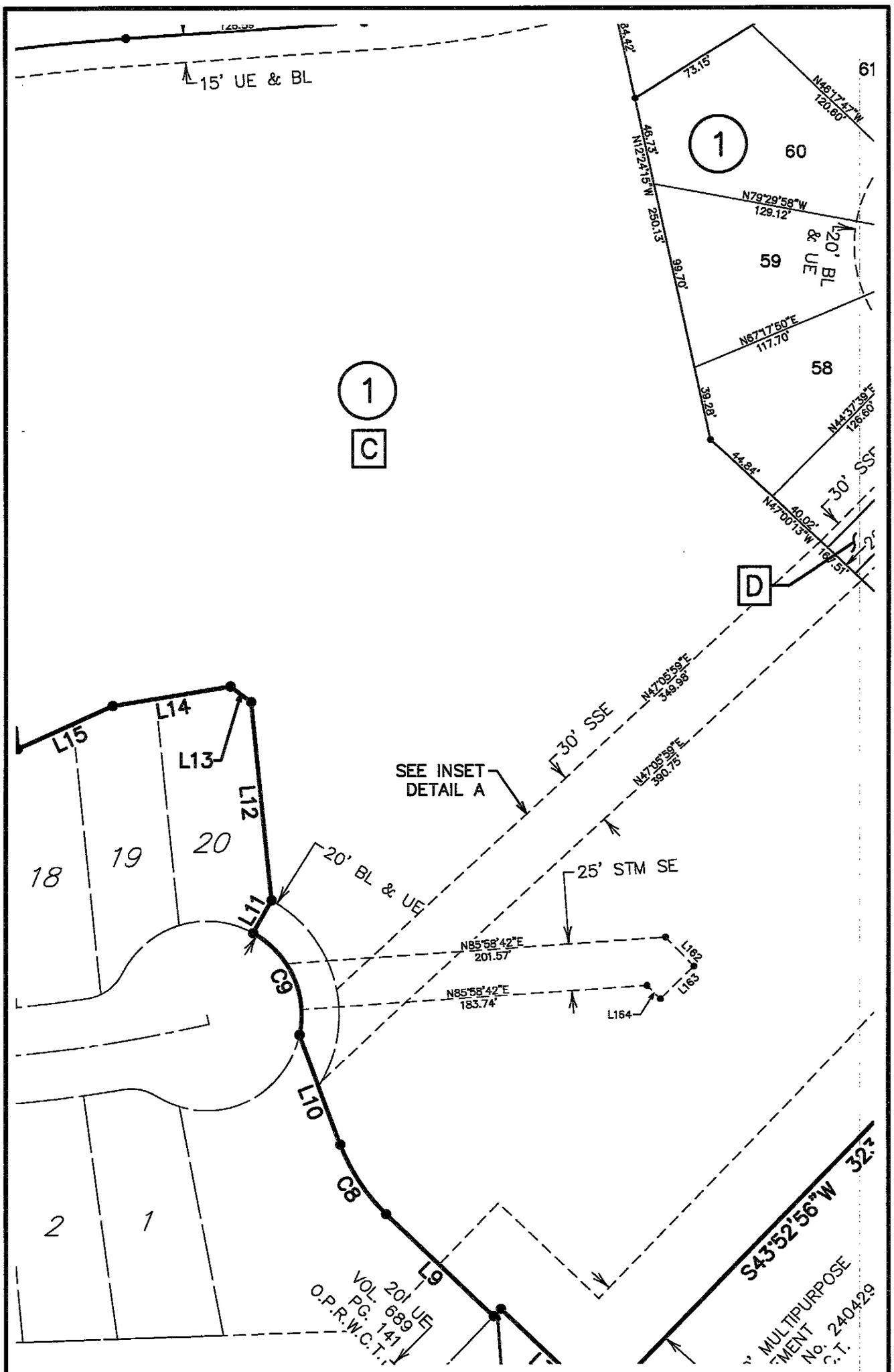
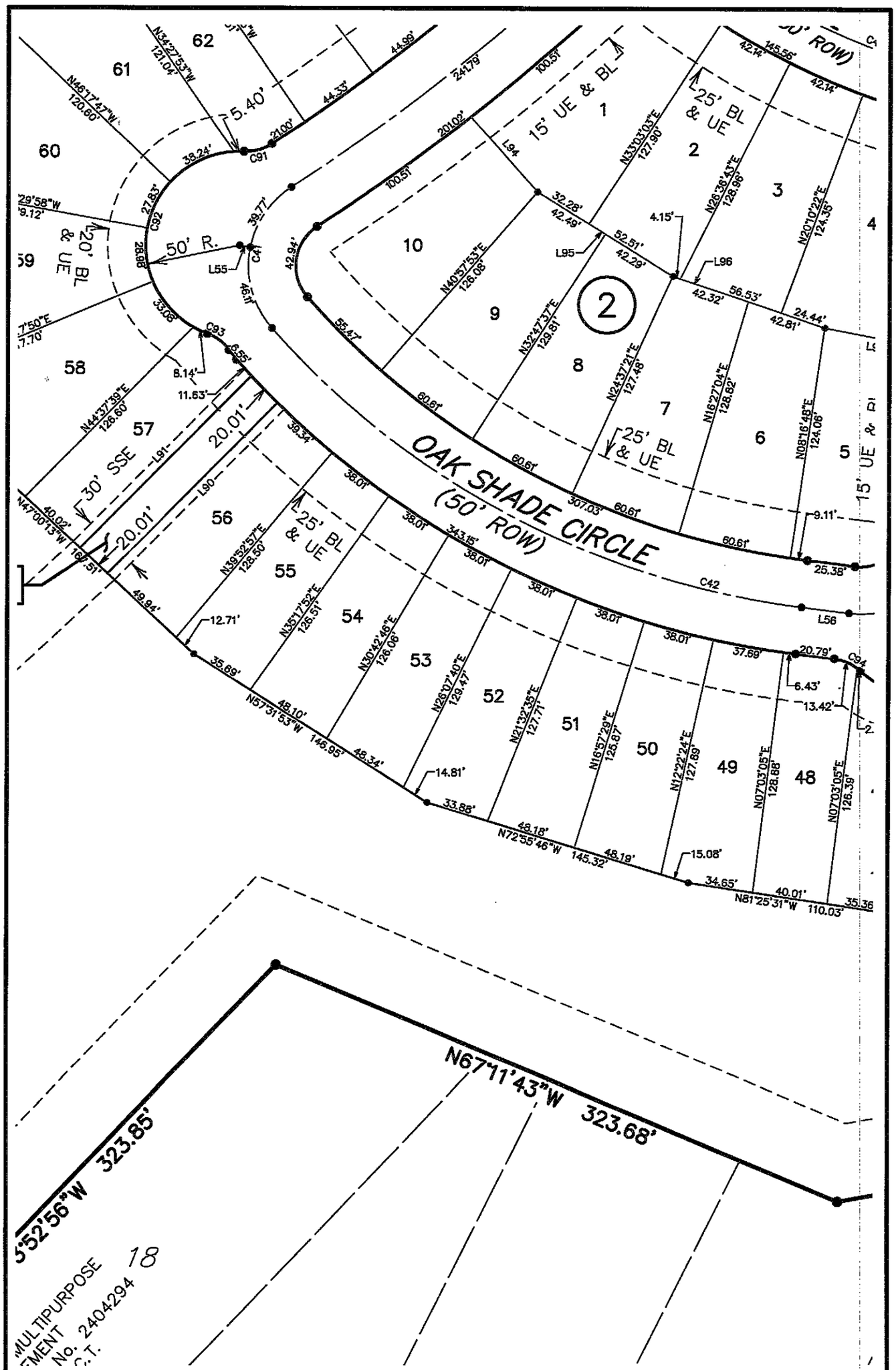


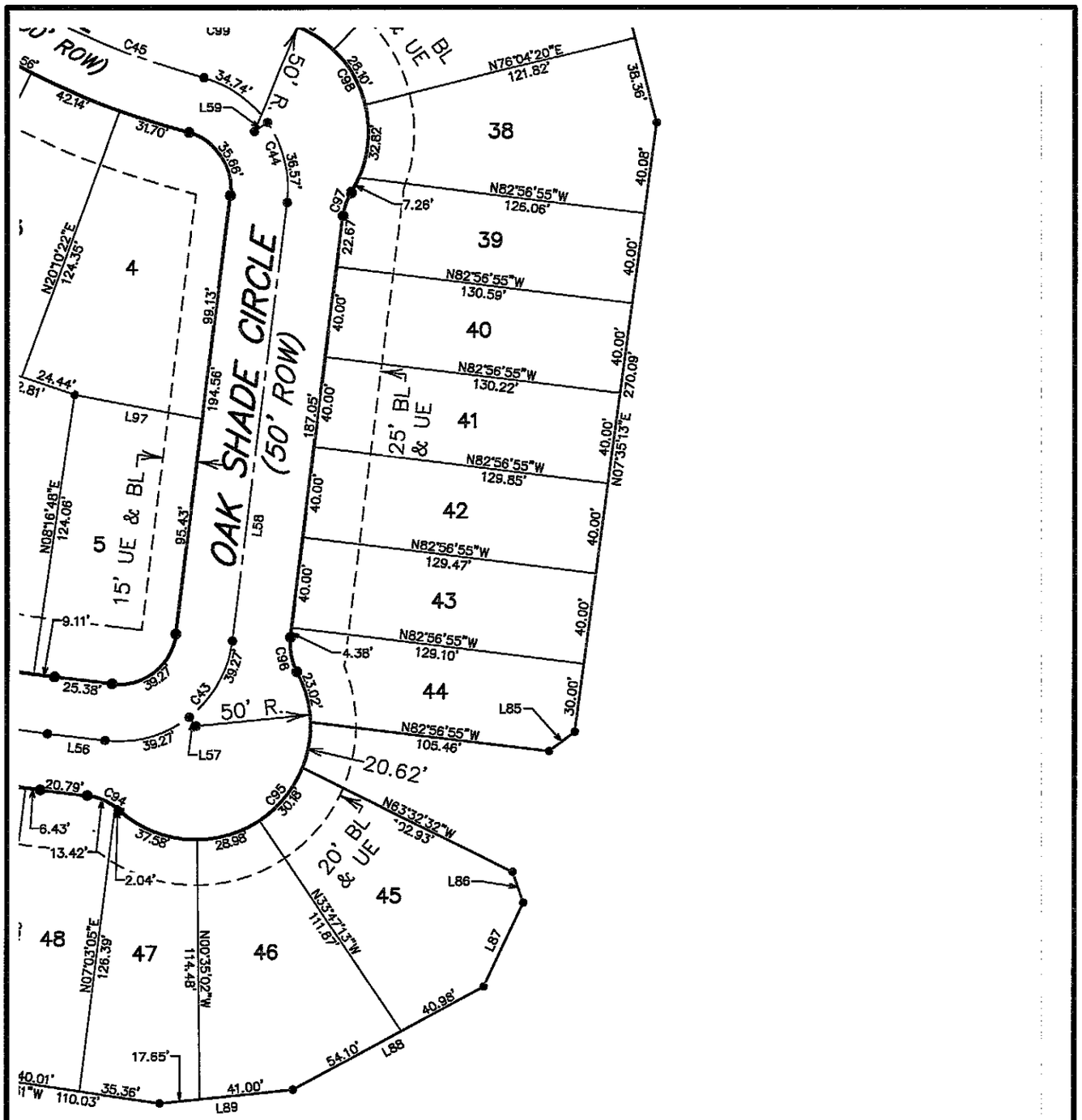
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1SS OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	OWNER DRP TX 1, LLC a Delaware limited liability company 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUID Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23250 & 10046100 1852 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



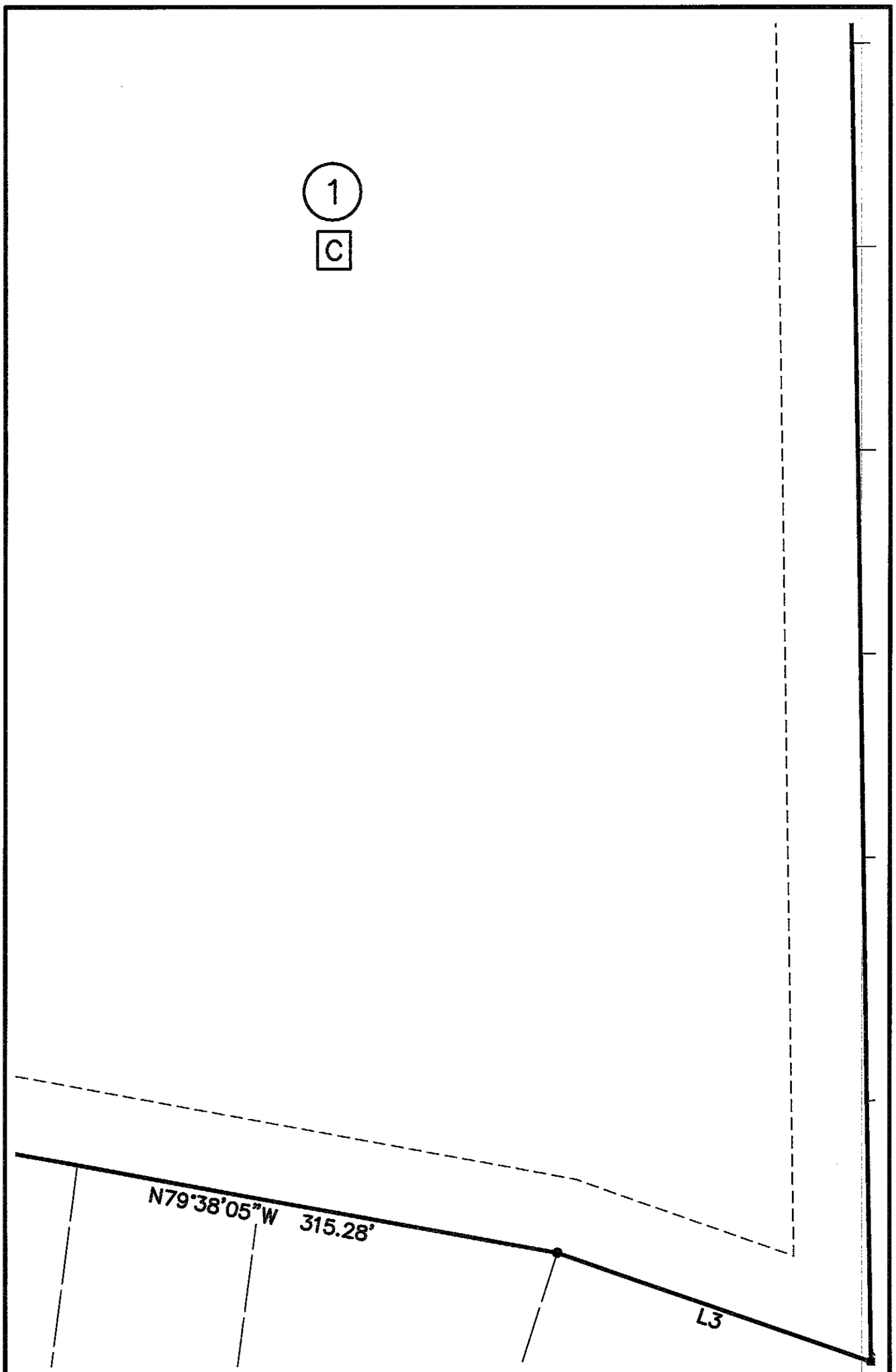
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1TT OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUID Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



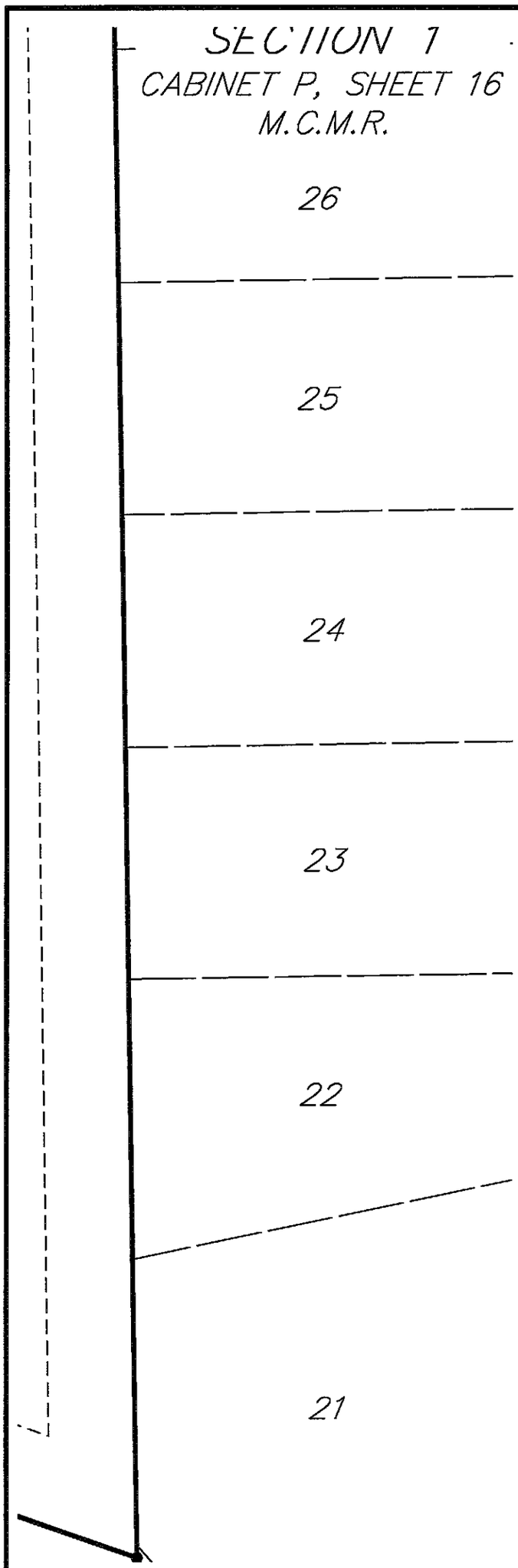
DATE: AUGUST 2025	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUID Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com
SCALE 1"=60'			
SHEET 1UU OF 1			



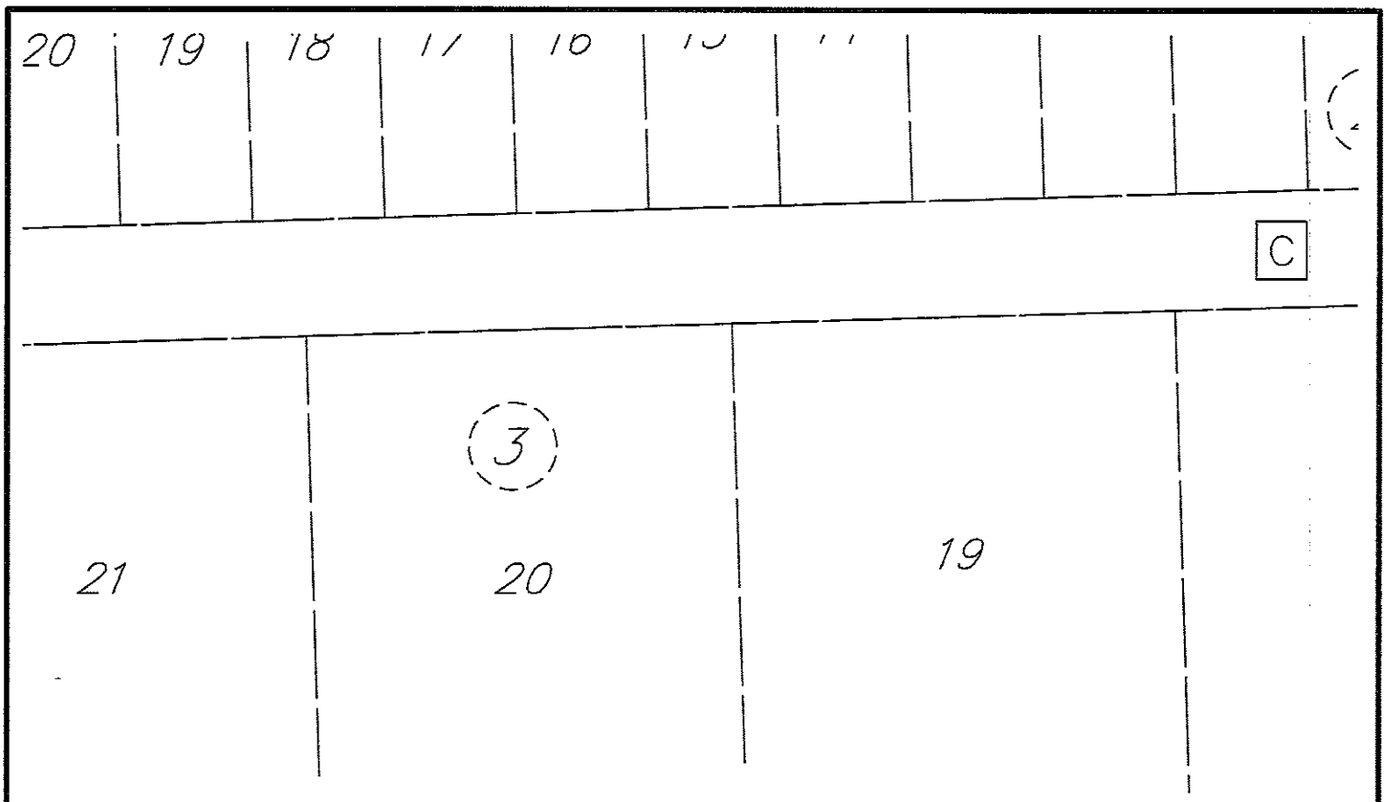
DATE: AUGUST 2025 SCALE 1"=60' SHEET 1W OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.6600 HBibb@glenmontdevelopment.com	QUID Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



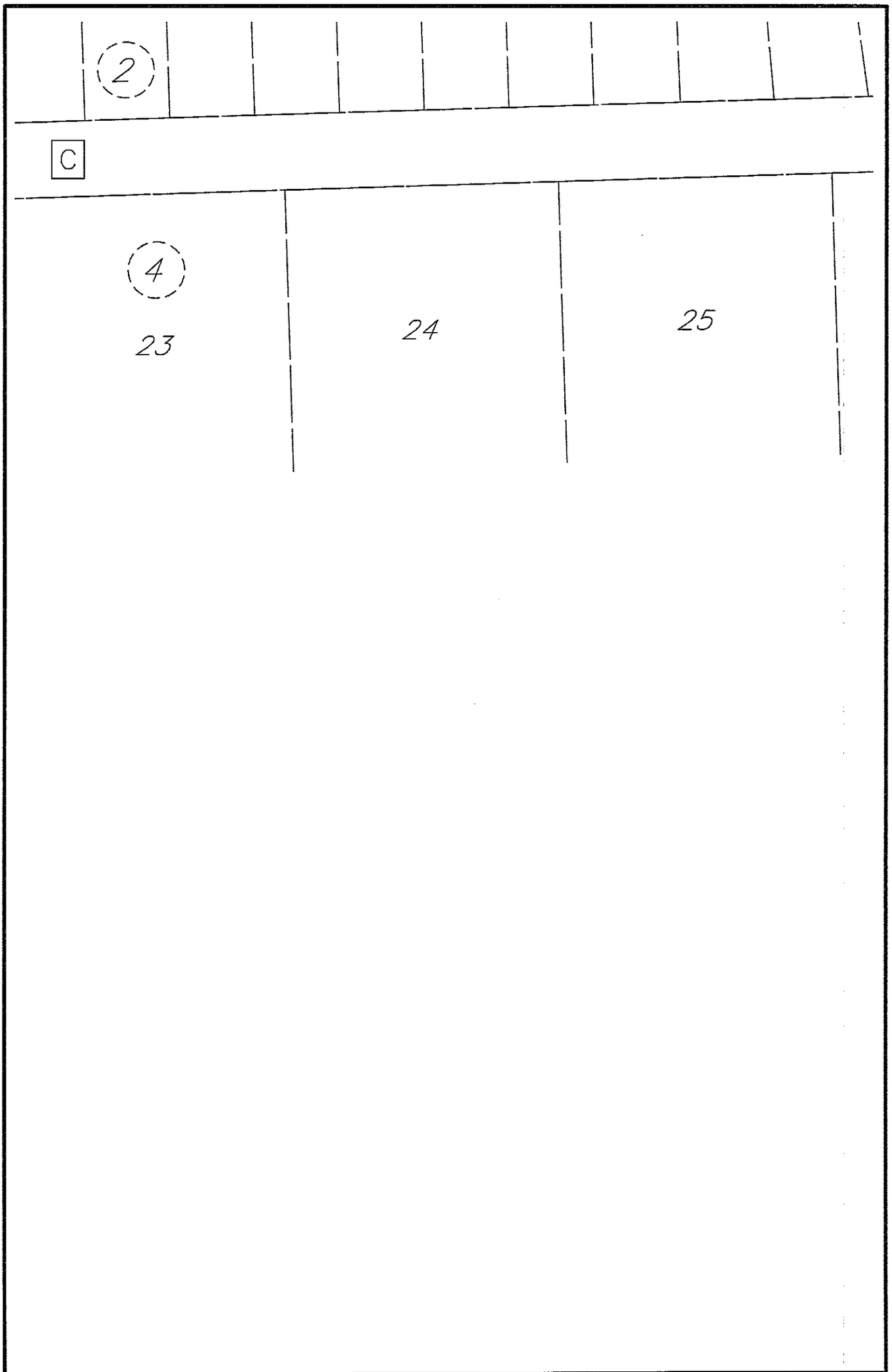
DATE: DECEMBER 2024	FINAL PLAT OF WOODHAVEN ESTATES SECTION 2	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com
SCALE 1"=60'			
SHEET WW OF 1			



DATE: AUGUST 2025 SCALE 1"=60' SHEET 1XX OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER** **DRP TX 1, LLC** **a Delaware limited liability company** 520 Madison Ave, 21st Floor New York, NY 10022 936.999.5600 HBibb@glenmontdevelopment.com	QUID Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 1862 Rock Prairie Rd, Suite 200 • College Station, TX 77845 979.731.8000 RVILLARREAL@quiddity.com



DATE: DECEMBER 2024	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com
SCALE 1"=60'			
SHEET 1YY OF 1			



DATE: DECEMBER 2024	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com
SCALE 1"=60'			
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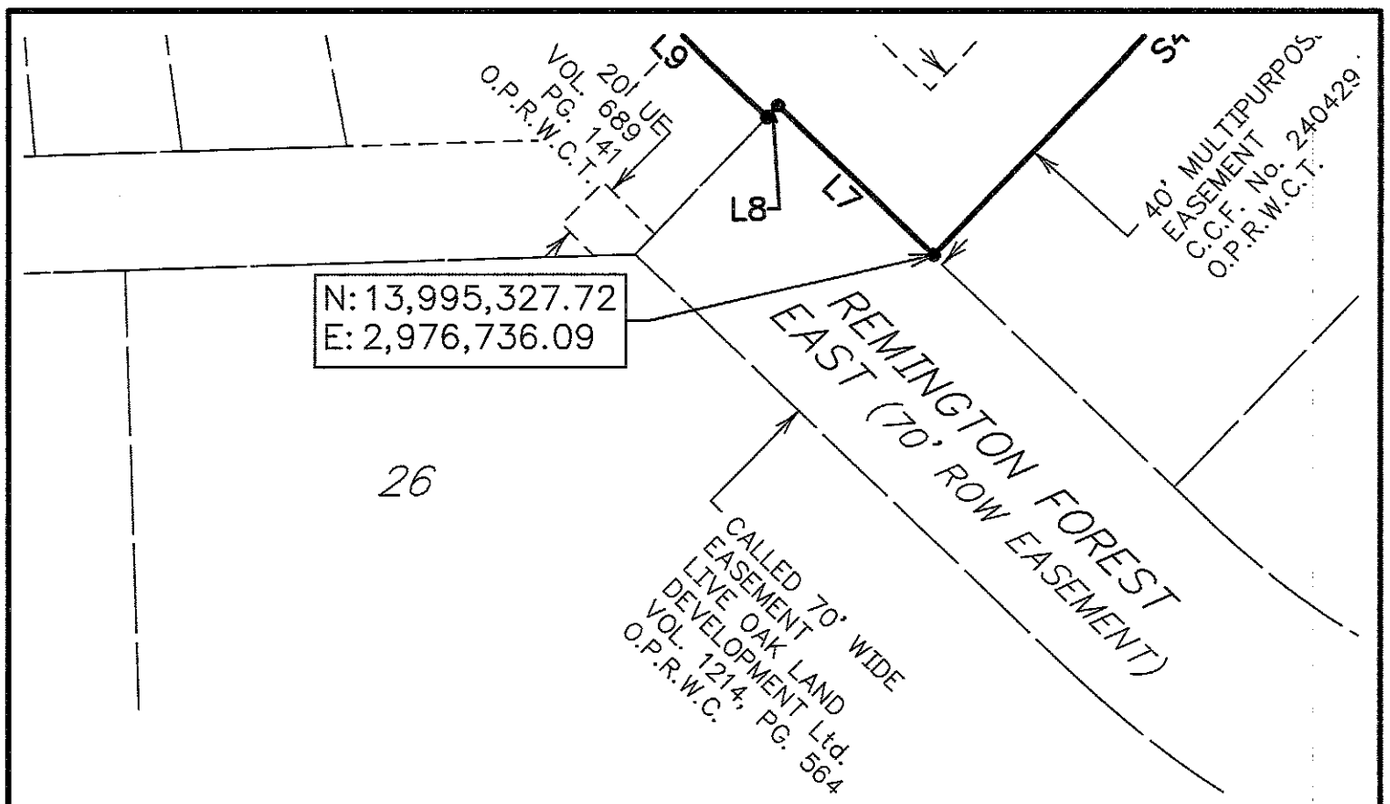
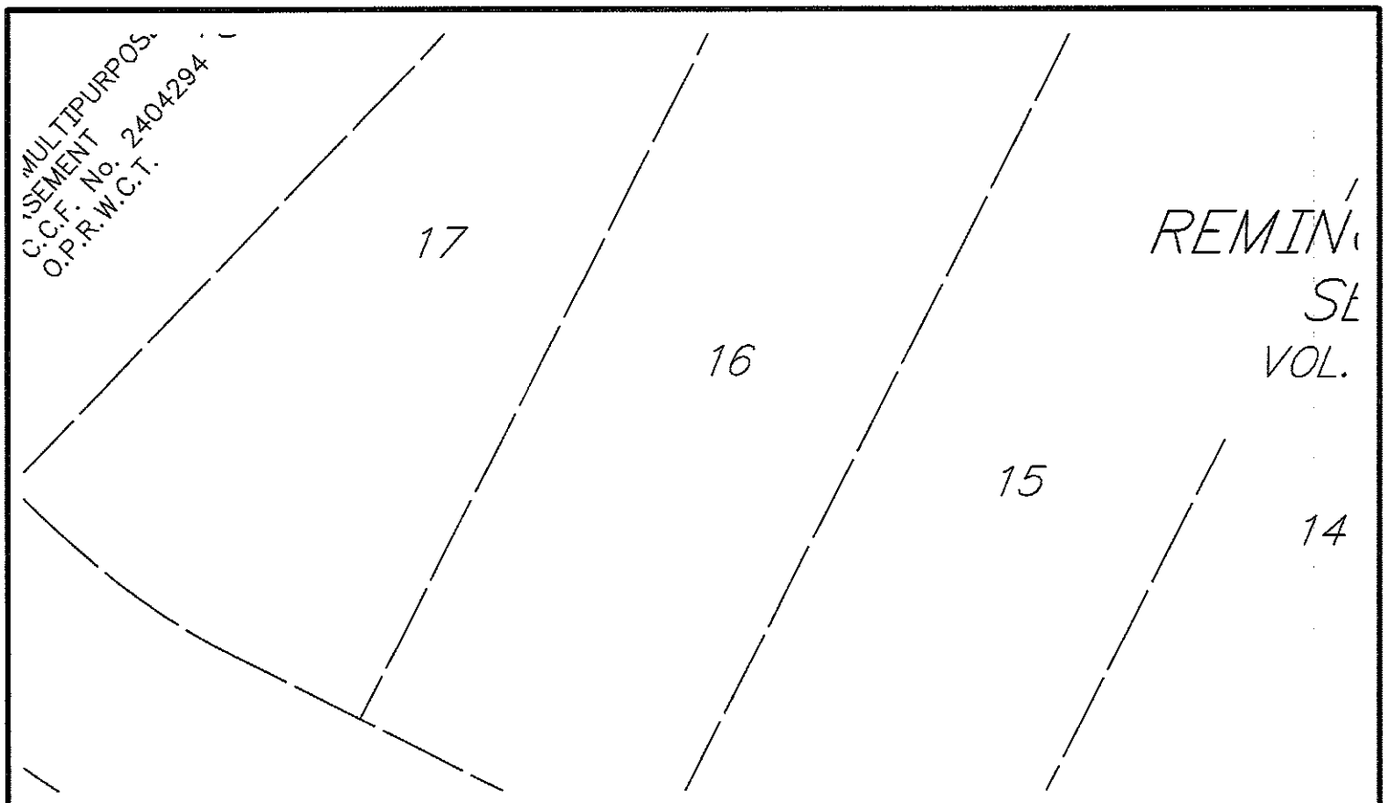
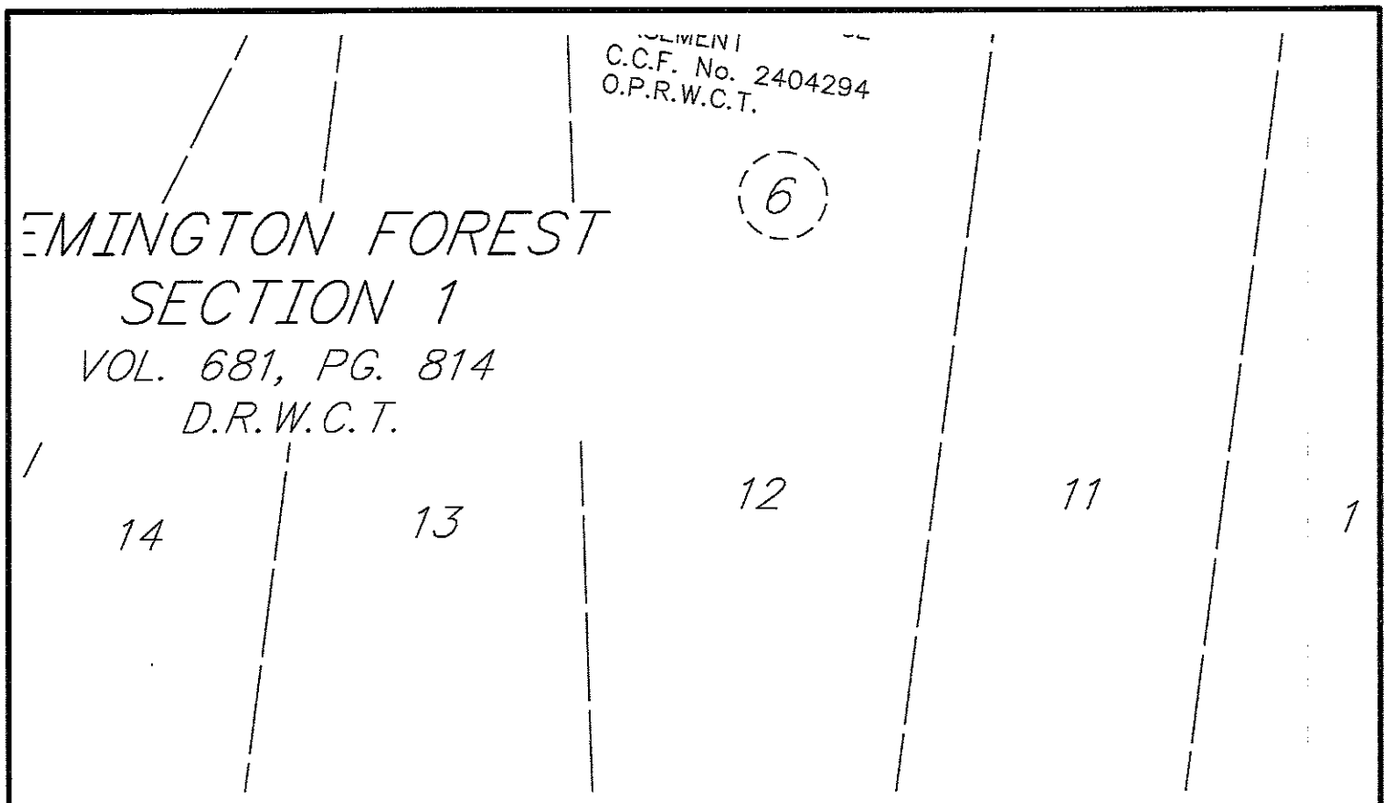


DATE: DECEMBER 2024	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com
SCALE 1"=60'			
SHEET 1AAA OF 1			



DATE: DECEMBER 2024 SCALE 1"=60' SHEET 1BBB OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com



DATE: DECEMBER 2024	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com
SCALE 1"=60'			
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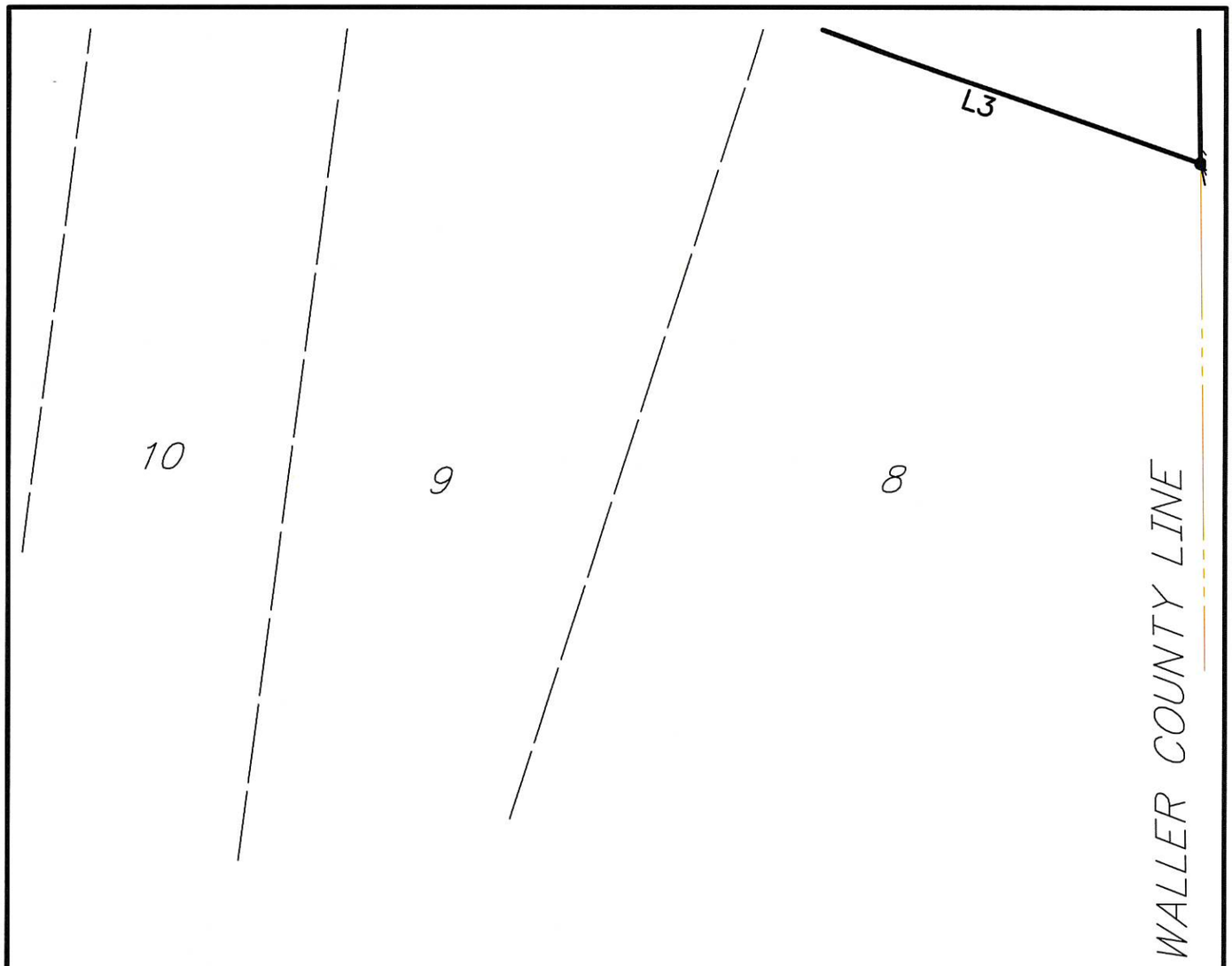
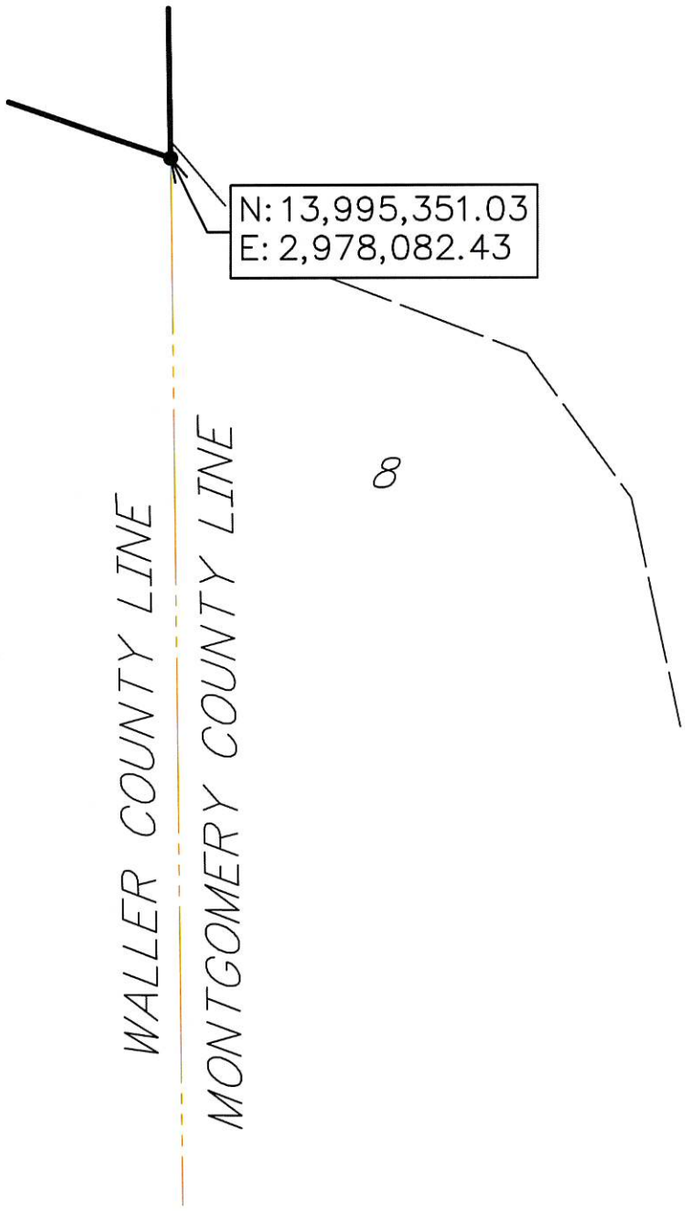


DATE: DECEMBER 2024 SCALE 1"=60' SHEET 1DDD OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** 1605 INVESTMENTS, LTD. 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com



DATE: DECEMBER 2024 SCALE 1"=60' SHEET 1EEE OF 1	FINAL PLAT OF WOODHAVEN ESTATES SECTION 5	**OWNER/DEVELOPER:** **1605 INVESTMENTS, LTD.** 3200 Southwest Fwy, Suite 2600 Houston, Texas 77027 936.777.6600 jcork@coronadowest.com	QUIDDITY Quiddity Engineering, LLC Texas Board of Professional Engineers and Land Surveyors Registration Nos. F-23290 & 10046100 150 Venture Drive, Suite 100 • College Station, TX 77845 • 979.731.8000 Cjamnik@quiddity.com