

**ASSIGNMENT AND ASSUMPTION
OF
DETENTION FACILITIES MAINTENANCE AGREEMENT BY AND BETWEEN
BROOKSHIRE-KATY DRAINAGE DISTRICT, AND FORT BEND MUNICIPAL
UTILITY DISTRICT NO. 213**

**THE STATE OF TEXAS §
 §
COUNTY OF WALLER §**

This ASSIGNMENT AND ASSUMPTION OF DETENTION FACILITIES MAINTENANCE AGREEMENT BY AND BETWEEN BROOKSHIRE-KATY DRAINAGE DISTRICT, AND FORT BEND MUNICIPAL UTILITY DISTRICT NO. 213 ("Assignment"), effective _____, 2025, is entered into by and between FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213 ("Assignor") and WALLER COUNTY ("Assignee").

WHEREAS, Assignor has entered into that certain Detention Facilities Maintenance Agreement by and between Brookshire-Katy Drainage District, and Assignor ("Agreement"), as shown on **Exhibit "A"** attached hereto.

WHEREAS, the Assignor may assign all of its rights and obligations under the Agreement to Assignee under the terms of the Agreement; and

WHEREAS, the Assignor and Assignee each desire that the Assignee acquire and assume all of the rights and obligations of the Assignor under the Agreement.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Assignor and Assignee agree as follows:

1. Assignment and Assumption. In accordance with the terms of the Agreement, Assignee hereby assigns and transfers to Assignee, and the Assignee hereby acquires from the Assignor, all of the rights, interests and obligations of Assignor under the Agreement, of whatever kind or nature, and the Assignee hereby assumes and agrees to perform all of the obligations duties, liabilities, and commitments of Assignor under the Agreement, of whatever kind or nature.
2. Miscellaneous. Nothing in this Assignment is intended to or shall be construed to modify in any way the terms of the Agreement, except as expressly contemplated

by this Assignment. This Assignment shall be governed by and construed in accordance with the laws of the State of Texas.

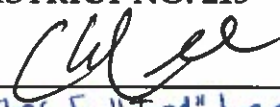
[EXECUTION PAGES FOLLOW]

[Signature Page to Assignment of Detention Facilities Maintenance Agreement]

IN WITNESS WHEREOF, the parties hereto have executed this Assignment in multiple copies, each of equal dignity, as of the date and year set forth in the first page hereof.

ASSIGNOR:

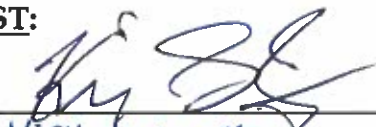
FORT BEND COUNTY MUNICIPAL
UTILITY DISTRICT NO. 213

By: 

Name: Charles E. "Fred" Lee

Title: President, Board of Directors

ATTEST:

By: 

Name: Kirk Laguarda

Title: Secretary, Board of Directors

THE STATE OF TEXAS

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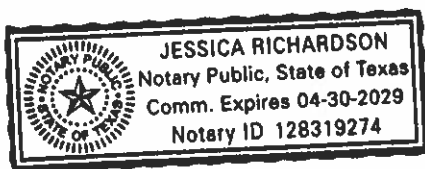
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COUNTY OF Harris

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This instrument was acknowledged before me on the 22nd day of July, 2025, by Charles E. "Fred" Lee, President, and Kirk Laguarda, Secretary of the Board of Directors of FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213, a political subdivision of the State of Texas, on behalf of said political subdivision.

(NOTARY SEAL)




Notary Public, State of Texas

[Signature Page to Assignment of Detention Facilities Maintenance Agreement]

ASSIGNEE:

WALLER COUNTY

By: _____

Name: _____

Title: _____

EXHIBIT "A"
AGREEMENT

Exhibit A

2100530

01/13/2021 02:13:24 PM Total Pages: 104 Fees: \$424.00

Debbie Hollan, County Clerk - Waller County, TX

STATE OF TEXAS

COUNTY OF WALLER

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**DETENTION FACILITIES MAINTENANCE AGREEMENT BY AND
BETWEEN BROOKSHIRE-KATY DRAINAGE DISTRICT, AND FORT
BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213**

This Detention Facilities Maintenance Agreement ("Agreement") is made by and among the Brookshire-Katy Drainage District, a political subdivision of the State of Texas ("District") and Fort Bend County Municipal Utility District No. 213, a political subdivision of the State of Texas ("MUD 213") and to be effective as of August 24, 2020 (the "Effective Date"). (District and "MUD 213" sometimes herein collectively referred to as "the Parties" or individually as "the Party" or "a Party").

RECITALS

WHEREAS, the MUD 213 is the owner of certain real property described as follows:

FOUR (4) tracts of land, a 0.8591 acre tract, a 0.8943 acre tract, a 0.9776 acre tract, and a 0.9801 acre tract, described in Deed dated June 29, 2020 from TWINWOOD (U.S.), INC., a Texas Corporation as Grantor to FORT BEND COUNTY MUNICIPAL DISTRICT NO. 213, a political subdivision of the State of Texas, as Grantee recorded in the Official Public Records, Waller County, Texas, under Clerk's File No. 2006203 and being more particularly described as follows:

TRACT ONE (1): A 0.8591 acre tract being out of a called 82.3025 acre tract in Nathan Brookshire League, Abstract 16, Waller County, Texas, as described in deed to Twinwood (U.S.), Inc. as recorded in Volume 1393, Page 101, Official Public Records, Waller County, Texas, more particularly described by metes and bounds in Exhibit "A"

TRACT TWO (2): A 0.8943 acre tract being out of a called 82.3025 acre tract in Nathan Brookshire League, Abstract 16, Waller County, Texas, as described in deed to Twinwood (U.S.), Inc. as recorded in Volume 1393, Page 101, Official Public Records, Waller County, Texas, more particularly described by metes and bounds in Exhibit "A"

TRACT THREE (3): A 0.9776 acre tract being out of a called 477.895 acre tract of land in the William Cooper Survey, Abstract 20, Waller County, Texas, as described in deed to NBI Properties, Inc. as recorded in County Clerk's File No. 2006146817, Official Public Records, Fort Bend County, Texas, and Volume 998, Page 753, Official Public Records, Waller County, Texas, now known as Twinwood (U.S.), Inc. by instrument recorded in County Clerk's File No. 2012121483, Official Public Records, Fort Bend County, Texas and Volume 1330, Page 240, Official Records, Waller County, Texas, and more particularly described by metes and bounds in Exhibit "A"

TRACT FOUR (4): A 0.9801 acre tract being out of a called 477.895 acre tract of land in the William Cooper Survey, Abstract 20, Waller County, Texas, as described in deed to NBI Properties, Inc. as recorded in County Clerk's File No. 2006146817, Official Public Records, Fort Bend County, Texas, and Volume 998, Page 753, Official Public Records, Waller County, Texas, now known as Twinwood (U.S.), Inc. by instrument recorded in County Clerk's File No. 2012121483, Official Public Records, Fort Bend County, Texas and Volume 1330, Page 240, Official Records, Waller County, Texas,

and more particularly described by metes and bounds in Exhibit "A" attached hereto

hereinafter the "Property", which Property is located within the jurisdiction and boundaries of the Waller County, Texas, (hereinafter sometimes referred to as "County"), and the Brookshire-Katy Drainage District (hereinafter sometimes referred to as the "District"), and

WHEREAS, MUD 213 proposes to build Detention Facilities within the Property according to Detention Plans as herein defined and are expressly made a part hereof, as approved by the District, and MUD 213 agrees to provide for management of storm water within confines of the Property as hereinabove described to be made subject to this Agreement; and

WHEREAS, MUD 213 is desirous of constructing said Detention Facilities on the Property and the District is desirous of such development being commenced and completed in such manner as will provide for storm water drainage and detention in the area adjacent to the Property, and

WHEREAS, the County, District and MUD 213, and their successors and assigns, agree that the health, safety and welfare of the residents of Waller County and Brookshire-Katy Drainage District require that the Detention Facilities be constructed and maintained on the Property hereinabove described and to be made subject to this Agreement; and

WHEREAS, the County and District requires that the Detention Facilities as shown on the Detention Plans be constructed and adequately maintained by the MUD 213, its successors and assigns, the location and dimensions of which is shown and more particularly described by the Detention Plans dated March 27, 2020 ("Detention Plans") as shown in the attached Exhibit "B"; and

WHEREAS, this Agreement encumbers or will encumber the Property hereinabove described or to be made subject to this Agreement (defined herein), said Property being located in Waller County and Brookshire-Katy Drainage District, Waller County, Texas; and

WHEREAS, in association with the improvement of the Detention Facilities in accordance with this Agreement, MUD 213 seeks to construct, install, and maintain certain Detention Facilities defined in Exhibit "B" ("Detention Plans") attached hereto and made a part hereof, on the Property; and

WHEREAS, the District has required that MUD 213 enter into an agreement with the District regarding the construction, installation, maintenance, repair, and replacement of the Detention Facilities as a condition for approval of the Detention Plans; and

WHEREAS, the District, and the MUD 213, have agreed herein that a permit is to be issued and Property should be impressed with covenants and restrictions running with the land for the purpose of insuring proper storm water drainage and detention on the following terms and conditions; and

WHEREAS, the District, and MUD 213 desire to enter into this Agreement for the purpose of satisfying the foregoing condition;

NOW THEREFORE, in consideration of the premises and the mutual covenants contained herein and other valuable consideration the sufficiency and receipt of which are hereby acknowledged by the Parties, District, MUD 213 agree as follows:

MUD 213 and the District, for and in consideration of the premises and for other valuable consideration the receipt of which is hereby acknowledged, does hereby agree with respect to the Property described hereinabove, to be made subject to this Agreement, that this Agreement shall be deemed and considered as a covenant and restriction running with the land, and which shall be binding upon MUD 213, its successors and/or assigns as follows, to-wit:

Article I Definitions

For the purposes of this Agreement, the following words and phrases shall have the meanings set forth herein unless the context clearly requires otherwise:

"Detention Areas" means the areas on the Property where the Detention Facilities will be constructed, installed and maintained by MUD 213, as more particularly described on the Plans in **Exhibit "B"** attached hereto, to be made subject to this Agreement.

"Detention Facilities" means those certain storm water drainage and detention facilities, which may include but not be limited to, surface drainage swales, underground storm water pipes, additional collection tanks, pumps, controls, and storm water detention ponds to be constructed and installed by MUD 213 within the Property; The Detention Facilities includes all pipes, channels or other conveyances built to convey storm water to the Detention Facilities, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance is herein defined as necessary activity by MUD 213 to maintain Detention Facilities in good working condition so that these facilities are performing their design functions with the design detention capacity and flow rates.

"Detention Plans" means any design and construction plans for the Detention Facilities located on the Property and approved by District, being **Exhibit "B"**, attached hereto and a part of this Agreement.

"Development Regulations" means the ordinances, regulations, and policies, adopted by the County and District, as presently in effect and as adopted or amended after the Effective Date, which are applicable to the development and use of the Detention Facilities.

"Property" means the real property being:

FOUR (4) tracts of land, a 0.8591 acre tract, a 0.8943 acre tract, a 0.9776 acre tract, and a 0.9801 acre tract, described in Deed dated June 29, 2020 from TWINWOOD (U.S.), INC., a Texas Corporation as Grantor to FORT BEND COUNTY MUNICIPAL DISTRICT NO. 213, a political subdivision of the State of Texas, as Grantee recorded in the Official Public Records, Waller County, Texas, under Clerk's File No. 2006203 and being more particularly described as follows:

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and more particularly described by metes and bounds in Exhibit "A" attached hereto

Article II

Term

The term of this Agreement shall begin on the Effective Date and shall be perpetual, subject, however, to termination by the Parties as provided herein.

Article III

Design and Construction

3.1 Specifications. The Detention Facilities shall be designed and initially constructed and/or installed by MUD 213 on the Property in compliance with the County's Regulations, and District's Rules and Regulations, Detention Plans and the Development Regulations.

3.2 Silt Accumulation. MUD 213 shall cause silt to be removed from the Detention Facilities, as necessary, for the Detention Facilities to serve their intended purposes of detention storage and flow rates.

3.3 Inspection and Acceptance of the Detention Facilities.

A. The inspection and approval of the Detention Facilities by County and District shall be conducted in the same manner as inspection and acceptance of other improvements constructed and/or installed in association with the development of property in Waller County, Texas, and Brookshire-Katy Drainage District, pursuant to the Rules and Regulations, as amended, and the current policies and procedures of the Waller County and Brookshire-Katy Drainage District.

B. MUD 213, its successors and assigns, shall cause its engineer to visually inspect the Detention Facilities annually and complete and deliver to the County and District, an annual inspection certificate, on a form substantially similar to the form attached hereto as Exhibit "C", attesting that the Detention Facilities have the capacity and ability to function in substantial conformity with the Detention Plans attached hereto as Exhibit "B".

C. MUD 213, its successors and assigns, hereby grant permission to the County or District, its authorized agents and employees, to enter upon the Property and to inspect the Detention Facilities whenever the County or District deems necessary.

Article IV

Maintenance, Repair, Replacement, and Removal

4.1 Detention Facilities to be Maintained by MUD 213. Subject to and in accordance with the provisions of this Agreement, MUD 213, shall cause the Detention Facilities to be maintained and repaired at no cost to the County or the District. MUD 213 agrees to cause the Detention Facilities to be maintained in good working condition for their intended purpose of detention storage capacity and flow rates in accordance with the Detention Plans and appropriate Orders, Ordinances, Rules and Regulations.

4.2 Maintenance Detention Facilities.

A. In the event MUD 213 fails to repair or maintain the Detention Facilities as required by Section 4.1, above, the District may provide written notice to MUD 213 reflecting same. On or before the sixtieth (60th) calendar day after MUD 213 receives written notice from the District stating that the District believes MUD 213 has failed to maintain the Detention Facilities required by Section 4.1 above, MUD 213 shall perform such repairs and/or maintenance necessary and shall cause its engineer to provide an updated inspection certificate, on a form substantially similar to the

form attached as Exhibit C, reflecting that the Detention Facilities met the requirements of Section 4.1 above.

B. In the event MUD 213, its successors and assigns, fails to maintain the Detention Facilities in good working condition as specified herein, the County or District its authorized agents and employees, may enter upon the Property and take whatever steps necessary to correct deficiencies and shall invoice MUD 213 for work performed.

It is expressly understood and agreed that the County or District is under no obligation to routinely maintain or repair the Detention Facilities, and in no event shall this Agreement be construed to impose any such obligation on the County or District, such obligation is that of MUD 213.

C. Until such time as the Detention Facilities are abandoned, MUD 213 shall hold the District and County harmless from any property damages, personal injury, suits, actions, liabilities, damage, costs, or any other loss, claim, or cause of action arising from any damage, injury, or loss of life which may occur in connection with the operation or presence of the Detention Facilities installed in connection therewith, or enforcement by County or District of this Agreement.

4.3 Annual Inspection Certificate

A. MUD 213 shall annually, on or before the first January 31st after the one (1) year anniversary date of this Agreement and on or before every January 31st thereafter until this Agreement is vacated as allowed in paragraph 4.3 D, deliver to the District an Annual Inspection Certificate executed by a Texas registered professional engineer, attesting that the Detention Facilities conform to the plans and specifications contained in the permit application and this Agreement, on a form substantially similar to the form attached as **Exhibit "C"**.

B. In the event an ambiguity exists in such form, District reserves the right to amend such form and require an amendment to such form to cure such ambiguity.

C. If this Annual Inspection Certificate reflects changes or deviation in any manner or degree at any time this Agreement is in effect, MUD 213 must bring the Detention Facilities to compliance with this Agreement within sixty (60) days of the date of the Certification and provide the District with an updated Annual Inspection Certificate verifying compliance.

D. At such time as a determination has been made that the use of the Detention Facilities is no longer necessary and such determination has been approved in writing by the District and any other governmental agency exercising control, direct or indirect, over such Detention Facilities, the Board of Supervisors of the District shall execute a recordable instrument vacating this Agreement, and such instrument shall expressly provide that the covenants and restrictions running with the land for the purpose of ensuring proper storm water drainage and said detention no longer apply to the Property nor will they thereafter be binding upon MUD 213 its successors and/or assigns.

E. MUD 213 shall contemporaneously with the execution of this Agreement, submit the certification by its registered professional engineer that the amount of drainage that results from the

Detention Facilities shall not exceed existing condition drainage and that the Detention Facilities and storm water releases shall not adversely impact adjacent and/or downstream property.

Article V
Use of the Detention Facilities

5.1 Access. MUD 213 represents access to the Detention Facilities identified as the aforementioned 0.8591 acre tract, 0.8943 acre tract, 0.9776 acre tract, and 0.9801 acre tract is provided by a Temporary Easement and ultimately the record subdivision plat, and set out in Exhibit "D".

Article VI

Miscellaneous

6.1 Notices. When notice is permitted or required by this Agreement, it shall be in writing and shall be deemed delivered when delivered in person or on the date when placed, postage prepaid in the United States mail, certified return receipt requested, and addressed to the Parties at the address set forth below. A Party may designate from time to time another and different address for receipt of notice by giving notice of such change or address.

If to the District

The Brookshire-Katy Drainage District
1111 Kenney Ave.
Brookshire, Texas 77423
Attn: President
(281) 375-5430

With copy to:

David Frishman
Attorney at Law
5723 Highway Blvd.
Katy, Texas 77494
(281) 391-2147

If to MUD 213:

Allen Boone Humphries Robinson LP
3200 Southwest Fwy, Suite 2600
Houston, Texas 77027
Attn: Steve Robinson
(713) 860-6408
Srobinson@abhr.com
Attn: D. Ryan Harper
(512) 518-2431
Rharper@abhr.com

With a copy to Twinwood:

Twinwood (U.S.), Inc,
a Texas Corporation
10514 FM 1489
P.O. Box 649

Simonton, Texas 77476
Attn: Mark A. Kilkenny
(281) 402-3025
Attn: J. Michael Dinges
(281) 346-1940

6.2 Address Change. By giving to the other parties hereto at least thirty (30) days written notice thereof, the parties hereto shall have the right at any time during the term of this Agreement to change their respective addresses to any other address within the United States of America.

6.3 Binding Effect. This Agreement shall be binding on and inure to the benefit of the Parties and their respective successors and permitted assigns.

6.4 Severability. In the event any section, subsection, paragraph, sentence, phrase or word herein is held invalid, illegal or unconstitutional, the balance of this Agreement shall be enforceable and shall be enforced as if the Parties intended at all times to delete said invalid section, subsection, paragraph, sentence, phrase or word.

6.5 Governing Law. The validity of this Agreement and any of its terms and provisions, as well as the rights and duties of the Parties, shall be governed by the laws of the State of Texas; and venue for any action concerning this Agreement shall be in a State Court of competent jurisdiction in Waller County, Texas. The Parties agree to submit to the personal and subject matter jurisdiction of said court.

6.6 Entire Agreement. This Agreement embodies the entire Agreement between the Parties and supersedes all prior Agreements, understandings, if any, relating to the Subdivision Plat, Detention Area, and Detention Facilities and the matters addressed herein and may be amended or supplemented only by written instrument executed by the Party against whom enforcement is sought.

6.7 Recordation of Agreement; Memorandum of Agreement. A copy of this Agreement shall be recorded in the Official Real Property Records of Waller County, Texas.

6.8 Recitals. The Recitals to this Agreement are incorporated herein as part of this Agreement.

6.9 Exhibits. All exhibits to this Agreement are incorporated herein by reference for all purposes wherever reference is made to the same.

6.10 Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and constitute one and the same instrument.

6.11 Headings. The headings of this Agreement are for the convenience of reference only and shall not affect in any manner any of the terms and conditions hereto.

6.12 Covenants Run With Land. The provisions of this Agreement are hereby declared covenants running with the Property and are fully binding on MUD 213 and each and every subsequent party designated as the "Declarant" under the Declaration.

6.13 Permit. This Detention Facility Agreement and Permit issued concurrently by the District, contains the entire Agreement between the parties hereto relative to the subject matter hereof and no variations, modifications or changes herein or hereof shall be binding upon any party hereto unless set forth in a document duly executed by or on behalf of such party.

6.14 Enforcement

A. This covenant and Agreement shall run solely to and in favor of the District and shall be enforceable by the District, its successors and/or assigns. If any persons or persons shall violate or attempt to violate the foregoing Agreement or covenant, it shall be lawful for the District, its successors and/or assigns, to prosecute proceedings at law or in equity against the person or persons violating or attempting to violate the Agreement or covenant, and to obtain a temporary restraining order, and/or a temporary or permanent injunction to enforce this Agreement. If any part or provision of this Agreement or covenant herein contained shall be declared invalid or unenforceable by a Judge or Court Order, the same shall in no wise affect any of the other provisions of this Agreement. Any suit brought to enforce this Agreement, to determine the validity, as reasonable or otherwise, of any act or decision of MUD 213, including its representatives and employees, or its successors and/or assigns, shall be brought in a Court of competent jurisdiction in Waller County, Texas. The successful party in such suit shall be reimbursed by the other party for any reasonable attorney's fees, pre-judgment and post judgment interest and all other costs of litigation incurred by the successful party seeking enforcement of this Agreement or the permit.

B. District agrees not to bring an action hereunder until MUD 213 has been given written notice of default and MUD 213 has failed to cure such default within 60 days of receipt of such notice of default from the District.

6.15 No consent or waiver, express or implied, by either party to any breach or default by any other party in the performance by the other of its obligations hereunder shall be deemed to construe to be a consent or waiver to or of any other breach or default in the performance by such other party of the same or any other obligations hereunder. Failure on the part of any party to complain of any act or failure to act of any other party or to declare the other party in default, irrespective of how long such failure continues, shall not constitute a waiver by said party of its rights hereunder.

6.16 This Agreement shall inure to the benefit of and be binding upon the undersigned parties and their respective successors and assigns. Whenever, in this instrument, a reference to any party is made, such reference shall be deemed to include a reference to the heirs, executors, legal representatives, successors, and assigns or such party but not any third parties.

6.17 This Agreement may be signed in any number of counterparts, each of which shall be an original for all purposes, but all of which taken together shall constitute only one Agreement. The production of any executed counterpart of this Agreement shall be sufficient for all purposes without producing or accounting for the other counterparts hereof.

6.18 This Agreement is intended to be, performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules, and regulations of the State of Texas.

6.19 If any provisions of this Agreement, or the applications thereof to any person or circumstance, shall, for any reason and to any extent, be invalid or unenforceable, the remainder of this Agreement and the application of such provision to other persons or circumstances shall not be affected thereby, but rather shall be enforced to the greatest extent permitted by law.

6.20 The rights created herein, in favor of the District shall be enforced by the District in its sole discretion and shall not constitute an obligation by the District to commence any action authorized in this Agreement.

6.21 The County, District and MUD 213 reserve their Sovereign Immunity as provided by the Common Laws, Statutes, and Constitution of the State of Texas.

6.22 This Agreement imposes no liability of any kind whatsoever on the County or District.

6.23 Indemnification. TO THE EXTENT PERMITTED BY APPLICABLE LAW, MUD 213 AGREES TO HOLD THE COUNTY OR DISTRICT HARMLESS FROM ANY LIABILITY IN THE EVENT THE DETENTION FACILITIES FAIL TO OPERATE PROPERLY. MUD 213 COVENANTS AND AGREES AND DOES HEREBY INDEMNIFY, HOLD HARMLESS AND DEFEND THE COUNTY AND DISTRICT, ITS REPRESENTATIVES, AGENTS, SERVANTS, AND EMPLOYEES, FROM AND AGAINST ALL COSTS, EXPENSES, LOSSES, DAMAGES, CLAIMS OR CAUSES OF ACTION WHATSOEVER ARISING, OR WHICH MIGHT ARISE, FROM THE FAILURE OF MUD 213 OR ANY FUTURE OWNERS OF THE ABOVE FACILITY PROPERTY TO MAINTAIN THE DETENTION FACILITIES, INCLUDING, BUT NOT LIMITED TO THE BED AND BANKS OF THE DETENTION POND; ANY DAMAGES CAUSED TO PERSON OR PROPERTY DUE TO (1) FLOODING OF THE POND AND ITS BANKS, (2) SLOPE FAILURE OF THE BANKS OF THE POND, OR (3) FAILURE OF THE POND OR ITS BANKS TO OPERATE IN A MANNER CONSISTENT WITH COUNTY OR DISTRICT CRITERIA TO PERFORM ANY OTHER DUTIES OR OBLIGATIONS HEREUNDER.

IN WITNESS WHEREOF, MUD 213, and the District cause this Agreement to be executed by their respective representatives or officers in multiple counterparts (which constitute but one and the same instrument) as of the 24 day of August, 2020.

Signatures on Following Pages

FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213
Signature Page

SIGNED AND AGREED this 24th day of August, 2020.

**FORT BEND COUNTY MUNICIPAL
UTILITY DISTRICT NO. 213**
a political subdivision of the State of Texas

By: [Signature]
Name: Jonathan St. Romain
Title: Vice President

STATE OF TEXAS §
 §
COUNTY OF Harris §

This instrument was acknowledged before me on the 24th day of August, 2020 by
Jonathan St. Romain Vice President of FORT BEND COUNTY MUNICIPAL UTILITY
DISTRICT NO. 213, a political subdivision of the State of Texas.



[Signature]
Notary Public in and for
The State of Texas

Printed Name: Sumeyr Abulhassan

My Commission expires: 06/10/2024

District's Signature Page

ATTEST:

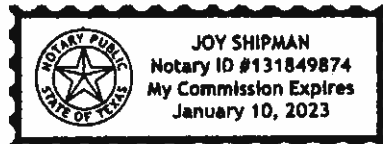
BROOKSHIRE-KATY DRAINAGE DISTRICT

By: Ruth Ellis
Name: Ruth Ellis
Title: Secretary

By: David Hunsucker
Name: David Hunsucker
Title: President

STATE OF TEXAS §
 §
COUNTY OF WALLER §

This instrument was acknowledged before me on the 24 day of August, 2020, by David Hunsucker, President of the BROOKSHIRE-KATY DRAINAGE DISTRICT, on behalf of said corporation.



Joy Shipman
Notary Public in and for
The State of Texas

Printed Name: Joy Shipman
My Commission expires: 01/10/2023

2006203

07/08/2020 12:23:57 PM Total Pages: 18 Fees: \$80.00

Debbie Hollan, County Clerk - Waller County, TX

EXHIBIT "A"
SPECIAL WARRANTY DEED
(Detention Tracts)

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER

THE STATE OF TEXAS §
 § **KNOW ALL PERSONS BY THESE PRESENTS:**
 COUNTY OF WALLER §

THAT TWINWOOD (U.S.), INC., a Texas corporation ("Grantor"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, has GRANTED, BARGAINED, SOLD and CONVEYED, and by these presents does GRANT, BARGAIN, SELL and CONVEY unto FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213, a political subdivision of the State of Texas, its successors and assigns ("Grantee"), all of those four (4) certain tracts of real property situated in Waller County, Texas, containing 0.8591 acre, 0.8943 acre, 0.9776 acre and 0.9801 acre, respectively, as more particularly described in Exhibits A, C, E and G and shown on Exhibits B, D, F and H, all attached hereto and incorporated herein for all purposes, together with all rights, titles, and interests appurtenant thereto and improvements situated thereon (collectively, the "Property").

This Special Warranty Deed and the conveyance hereinabove set forth are executed by Grantor and accepted by Grantee subject to the terms, conditions and provisions hereof and further subject to all easements, conditions, restrictions, covenants, mineral or royalty interests, mineral reservations, surface waivers, utility conveyances, liens, encumbrances, regulations or orders of municipal and/or other governmental authorities, if any, or other matters of record in Waller County, Texas, to the extent the same are validly existing and applicable to the Property (collectively, the "Permitted Encumbrances").

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereunto in anywise belonging, unto Grantee, its successors and assigns, forever, and Grantor does hereby bind itself, its successors and assigns, to WARRANT AND FOREVER DEFEND, all and singular the title to the Property unto Grantee, its successors and assigns, against every person whomsoever lawfully

claiming or to claim the same or any part thereof by, through, or under Grantor, but not otherwise, subject only to the Permitted Encumbrances.

Grantee's address is c/o Allen Boone Humphries Robinson LLP, 3200 Southwest Freeway, Suite 2600, Houston, Texas 77027.

[Signature pages follow this page.]

EXECUTED this 29th day of June, 2020.

GRANTOR:

TWINWOOD (U.S.), INC.,
a Texas corporation

By: [Signature]
Name: Abel C. Gonzales
Title: Vice President

THE STATE OF TEXAS

§

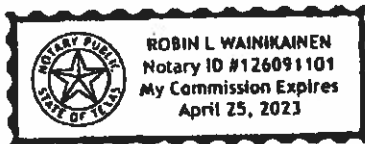
COUNTY OF Fort Bend

§

§

This instrument was acknowledged before me on the 29th day of June, 2020, by Abel C. Gonzales, Vice President of TWINWOOD (U.S.), INC., a Texas corporation, on behalf of said corporation.

(NOTARY SEAL)



[Signature]
Notary Public, State of Texas

EXECUTED by Grantee on the date set forth in the acknowledgment below, but AGREED to, ACCEPTED, and EFFECTIVE as of the date executed by Grantor.

GRANTEE:

**FORT BEND COUNTY MUNICIPAL
UTILITY DISTRICT NO. 213**

By: [Signature]
Name: CHARLES E. LEE
Title: PRESIDENT

ATTEST:

By: [Signature]
Name: MARSHA EDWARDS
Title: SECRETARY

THE STATE OF TEXAS §
 §
COUNTY OF HARRIS §

This instrument was acknowledged before me on the 30TH day of JUNE, 2020, by CHARLES LEE, PRESIDENT and MARSHA EDWARDS, SECRETARY of the Board of Directors of FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213, a political subdivision of the State of Texas, on behalf of said political subdivision.

(NOTARY SEAL)



[Signature]
Notary Public, State of Texas

Attachments:

Exhibit A - Description of 0.8591 Acre Tract
Exhibit B - Sketch of 0.8591 Acre Tract
Exhibit C - Description of 0.8943 Acre Tract
Exhibit D - Sketch of 0.8943 Acre Tract
Exhibit E - Description of 0.9776 Acre Tract
Exhibit F - Sketch of 0.9776 Acre Tract
Exhibit G - Description of 0.9801 Acre Tract
Exhibit H - Sketch of 0.9801 Acre Tract

After recording, please return to:

Allen Boone Humphries Robinson LLP
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027
Attention: Real Estate Department

January 30, 2020
Job No. LJA001-7778-0000

**DESCRIPTION OF
DETENTION TRACT
0.8591 ACRE**

Being 0.8591 acre of land located in the Nathan Brookshire League, Abstract 16, of Waller County, Texas, more particularly being a portion of that certain called 82.3025 acre tract described in the deed to Twinwood (U.S.), Inc. by an instrument of record in Volume 1393, Page 101, of the Official Public Records of said Waller County, Texas (W.C.O.P.R.), said 0.8591 acre tract being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD83, 2001 Adjustment):

Commencing for reference at a 3/4-inch iron pipe found for a northerly interior corner of that certain called 477.895 acre tract described in the deed to NBI Properties, Inc. by an instrument of record under File Number 2006146817, of the Official Public Records of Fort Bend County, Texas (F.B.C.O.P.R.), and under Volume 998, Page 753, W.C.O.P.R., now known as Twinwood (U.S.), Inc. by an instrument of record in Volume 1330, Page 240, W.C.O.P.R. and under File Number 2012121483, F.B.C.O.P.R., common to the most westerly southwest corner of said 82.3025 acre tract, and the northwest corner of that certain called 14.186 acre tract described in the deed to Dewitt Waltmon, Jr. and Scott Mosle Waltmon by an instrument of record under Instrument Number 1900091, W.C.O.P.R., from which a 3/4-inch iron pipe (bent) found for the southwest corner of said 14.186 acre tract, common to a northerly interior corner of said 477.895 acre tract bears, South 02° 46' 48" East, 557.67 feet;

Thence, North 15° 38' 29" East, 559.80 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for the southwest corner and the POINT OF BEGINNING of the herein described tract;

Thence, North 01° 04' 23" West, 162.95 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

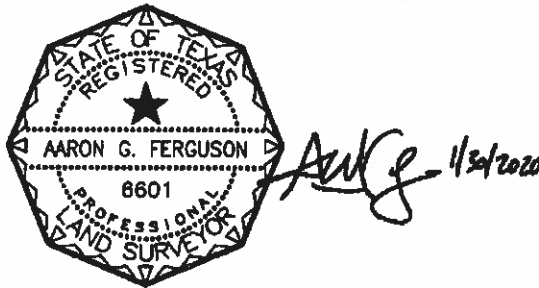
Thence, North 72° 08' 14" East, 170.42 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

0.8591 Acre

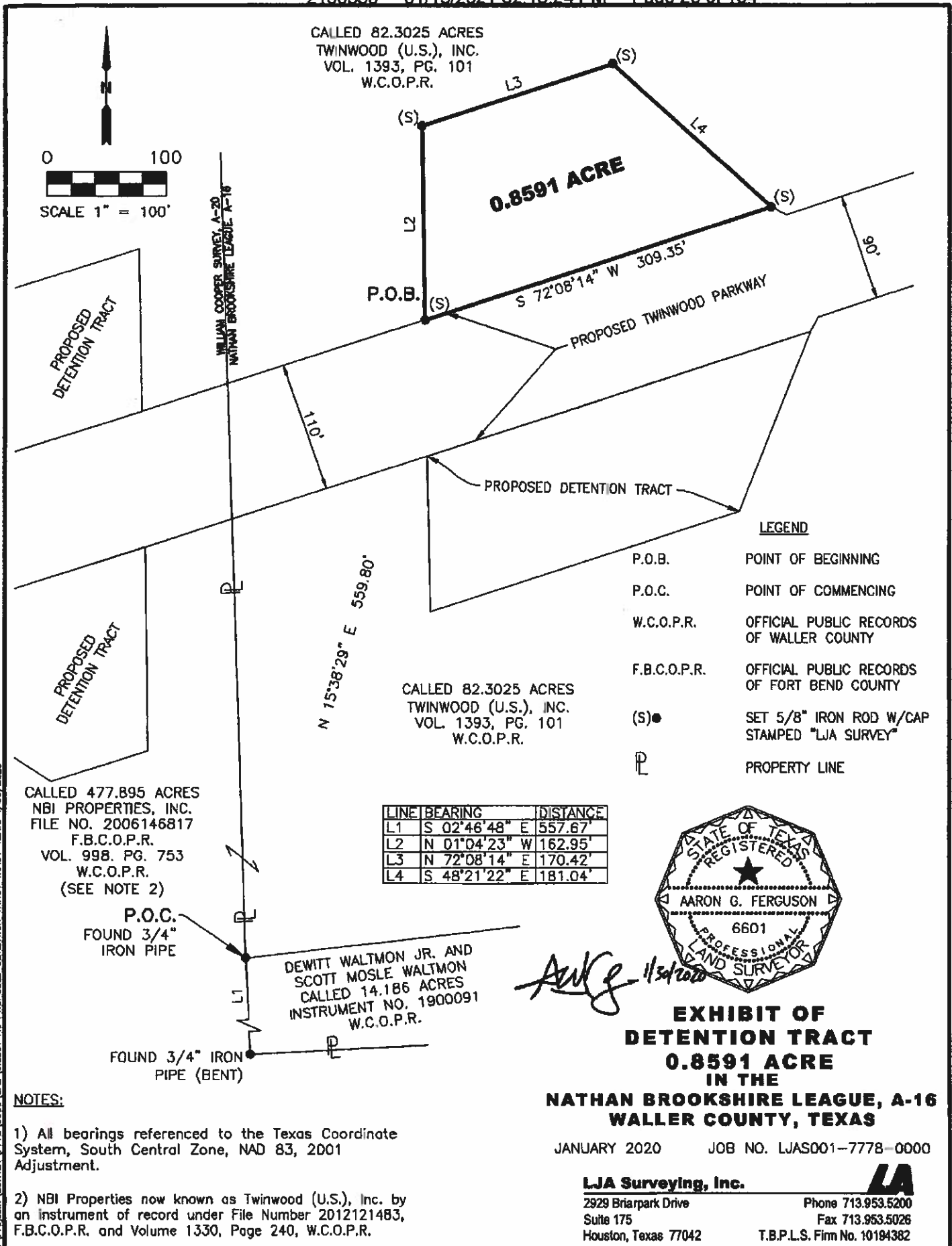
January 30, 2020
Job No. LJA001-7778-0000

Thence, South 48° 21' 22" East, 181.04 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 72° 08' 14" West, 309.35 feet to the POINT OF BEGINNING and containing 0.8591 acre of land.



LJA Surveying, Inc.



January 30, 2020
Job No. LJAS001-7778-0000

**DESCRIPTION OF
DETENTION TRACT
0.8943 ACRE**

Being 0.8943 acre of land located in the Nathan Brookshire League, Abstract 16, of Waller County, Texas, more particularly being a portion of that certain called 82.3025 acre tract described in the deed to Twinwood (U.S.), Inc. by an instrument of record in Volume 1393, Page 101, of the Official Public Records of said Waller County, Texas (W.C.O.P.R.), said 0.8943 acre tract being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD83, 2001 Adjustment):

Commencing for reference at a 3/4-inch iron pipe found for a northerly interior corner of that certain called 477.895 acre tract described in the deed to NBI Properties, Inc. by an instrument of record under File Number 2006146817, of the Official Public Records of Fort Bend County, Texas (F.B.C.O.P.R.), and under Volume 998, Page 753, W.C.O.P.R., now known as Twinwood (U.S.), Inc. by an instrument of record in Volume 1330, Page 240, W.C.O.P.R. and under File Number 2012121483, F.B.C.O.P.R., common to the most westerly southwest corner of said 82.3025 acre tract, and the northwest corner of that certain called 14.186 acre tract described in the deed to Dewitt Waltmon, Jr. and Scott Mosle Waltmon by an instrument of record under Instrument Number 1900091, W.C.O.P.R., from which a 3/4-inch iron pipe (bent) found for the southwest corner of said 14.186 acre tract, common to a northerly interior corner of said 477.895 acre tract bears, South 02° 46' 48" East, 557.67 feet;

Thence, North 27° 59' 40" East, 331.40 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for the southwest corner and the POINT OF BEGINNING of the herein described tract;

Thence, North 01° 04' 23" West, 131.61 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

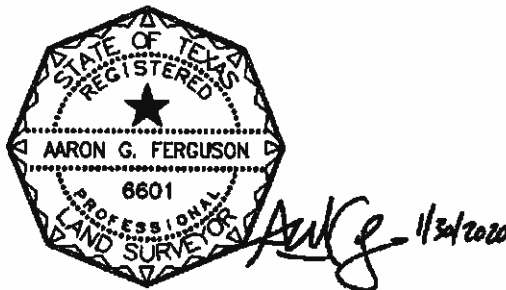
Thence, North 72° 08' 14" East, 342.16 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

0.8943 Acre

January 30, 2020
Job No. LJA001-7778-0000

Thence, South 21° 39' 49" West, 163.35 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 72° 08' 14" West, 276.21 feet to the POINT OF BEGINNING and containing 0.8943 acre of land.



LJA Surveying, Inc.

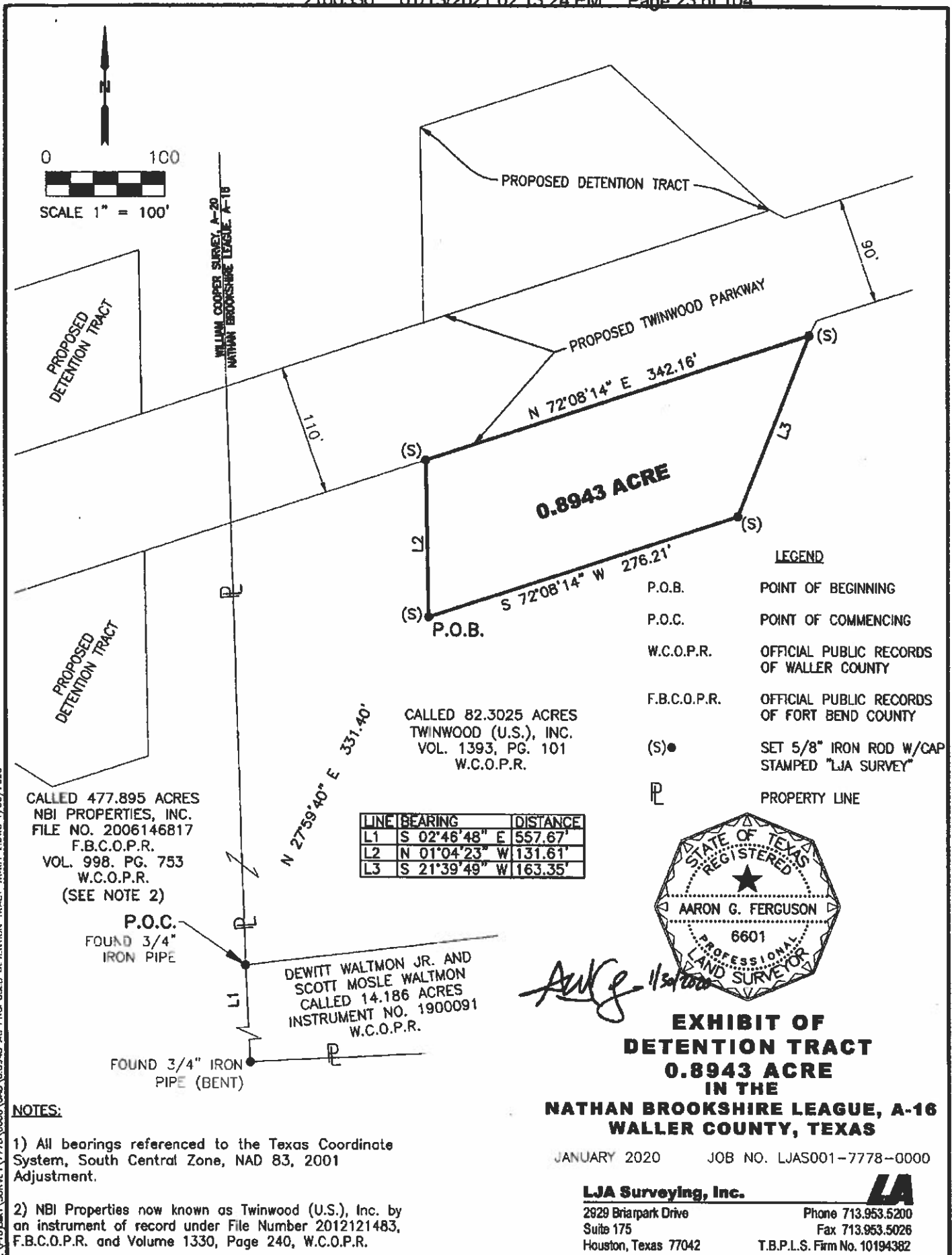


Exhibit E – Description of 0.9776 Acre Tract

January 30, 2020
Job No. LJA001-7778-0000

**DESCRIPTION OF
DETENTION TRACT
0.9776 ACRE**

Being 0.9776 acre of land located in the William Cooper Survey, Abstract 20, of Waller County, Texas, more particularly being a portion of that certain called 477.895 acre tract described in the deed to NBI Properties, Inc. by an instrument of record under File Number 2006146817, of the Official Public Records of Fort Bend County, Texas (F.B.C.O.P.R.), and under Volume 998, Page 753, of the Official Public Records of said Waller County, Texas (W.C.O.P.R.), now known as Twinwood (U.S.), Inc. by an instrument of record in Volume 1330, Page 240, W.C.O.P.R. and under File Number 2012121483, F.B.C.O.P.R., said 0.9776 acre tract being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD83, 2001 Adjustment):

Commencing for reference at a 3/4-inch iron pipe found for a northerly interior corner of said 477.895 acre tract, common to the most westerly southwest corner of that certain called 82.3025 acre tract described in the deed to Twinwood (U.S.), Inc. by an instrument of record in Volume 1393, Page 101, W.C.O.P.R., and the northwest corner of that certain called 14.186 acre tract described in the deed to Dewitt Waltmon, Jr. and Scott Mosle Waltmon by an instrument of record under Instrument Number 1900091, W.C.O.P.R., from which a 3/4-inch iron pipe (bent) found for the southwest corner of said 14.186 acre tract, common to a northerly interior corner of said 477.895 acre tract bears, South 02° 46' 48" East, 557.67 feet;

Thence, North 10° 44' 25" West, 470.45 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for the southeast corner and the POINT OF BEGINNING of the herein described tract;

Thence, South 72° 08' 14" West, 327.34 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a tangent curve;

0.9776 Acre

January 30, 2020
Job No. LJA001-7778-0000

Thence, 142.97 feet along the arc of a tangent curve to the left, having a radius of 3,255.00 feet, a central angle of $02^{\circ} 31' 00''$, and a chord which bears South $70^{\circ} 52' 44''$ West 142.96 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

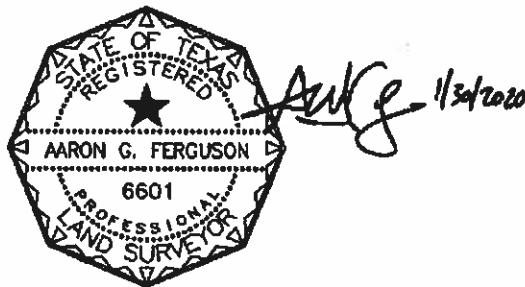
Thence, North $37^{\circ} 27' 51''$ East, 148.48 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North $72^{\circ} 14' 23''$ East, 183.80 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North $30^{\circ} 26' 59''$ East, 75.84 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North $72^{\circ} 20' 28''$ East, 147.23 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South $01^{\circ} 04' 23''$ East, 136.74 feet to the POINT OF BEGINNING and containing 0.9776 acre of land.



LJA Surveying, Inc.



January 30, 2020
Job No. LJAS001-7778-0000

**DESCRIPTION OF
DETENTION TRACT
0.9801 ACRE**

Being 0.9801 acre of land located in the William Cooper Survey, Abstract 20, of Waller County, Texas, more particularly being a portion of that certain called 477.895 acre tract described in the deed to NBI Properties, Inc. by an instrument of record under File Number 2006146817, of the Official Public Records of Fort Bend County, Texas (F.B.C.O.P.R.), and under Volume 998, Page 753, of the Official Public Records of said Waller County, Texas (W.C.O.P.R.), now known as Twinwood (U.S.), Inc. by an instrument of record in Volume 1330, Page 240, W.C.O.P.R. and under File Number 2012121483, F.B.C.O.P.R., said 0.9801 acre tract being more particularly described by metes and bounds as follows, (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD83, 2001 Adjustment):

Commencing for reference at a 3/4-inch iron pipe found for a northerly interior corner of said 477.895 acre tract, common to the most westerly southwest corner of that certain called 82.3025 acre tract described in the deed to Twinwood (U.S.), Inc. by an instrument of record in Volume 1393, Page 101, W.C.O.P.R., and the northwest corner of that certain called 14.186 acre tract described in the deed to Dewitt Waltmon, Jr. and Scott Mosle Waltmon by an instrument of record under Instrument Number 1900091, W.C.O.P.R., from which a 3/4-inch iron pipe (bent) found for the southwest corner of said 14.186 acre tract, common to a northerly interior corner of said 477.895 acre tract bears, South 02° 46' 48" East, 557.67 feet;

Thence, North 25° 11' 06" West, 193.35 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for the southeast corner and the POINT OF BEGINNING of the herein described tract;

Thence, South 72° 08' 14" West, 84.80 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North 57° 45' 02" West, 89.93 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

0.9801 Acre

January 30, 2020
Job No. LJA001-7778-0000

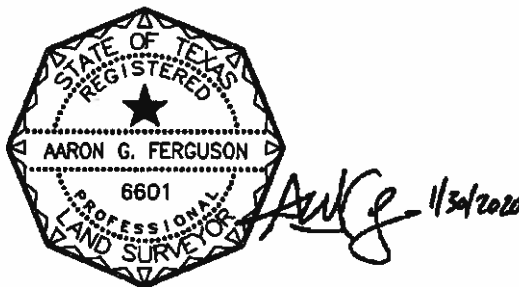
Thence, South 71° 56' 53" West, 113.20 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North 71° 35' 20" West, 157.74 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a non-tangent curve;

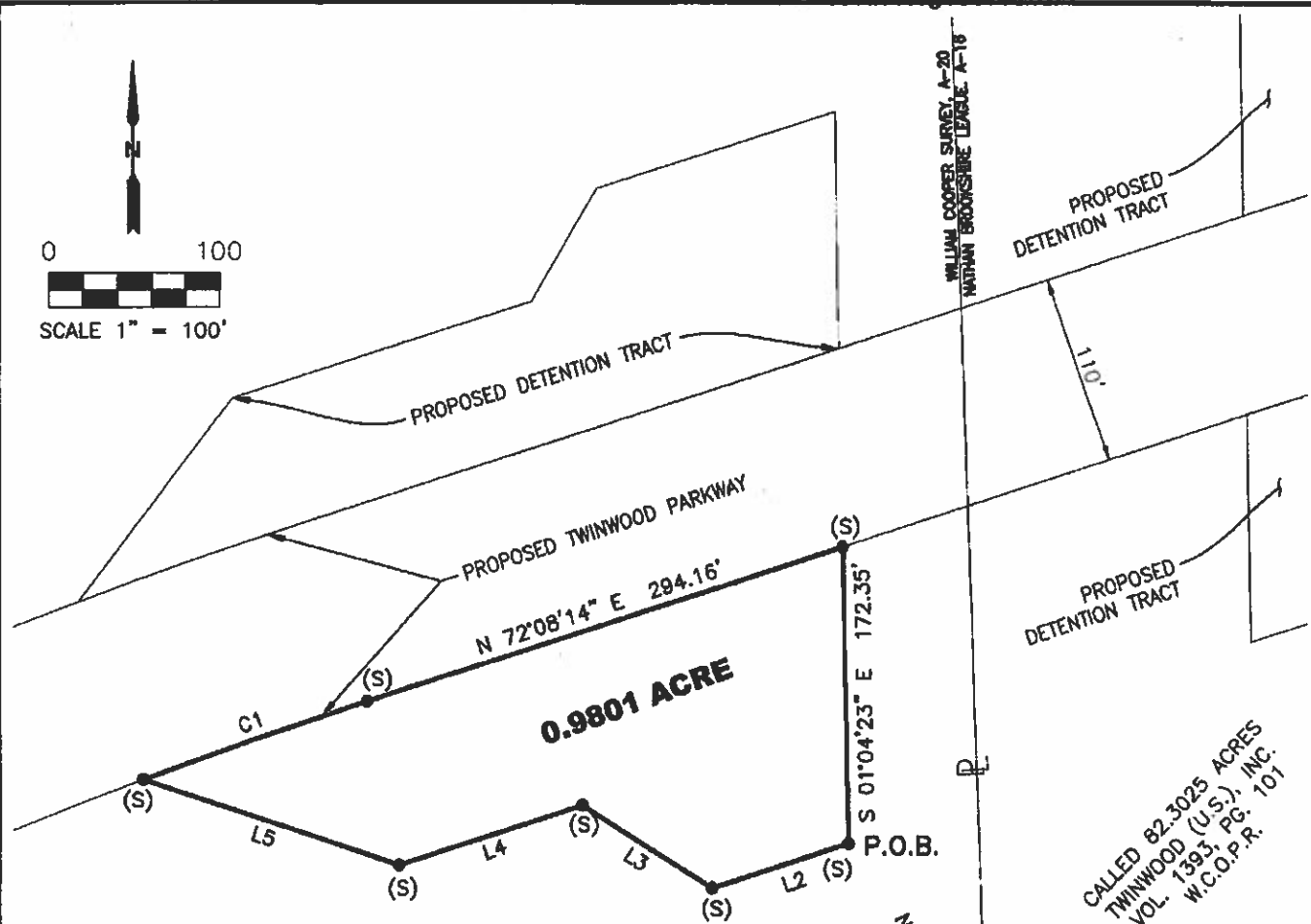
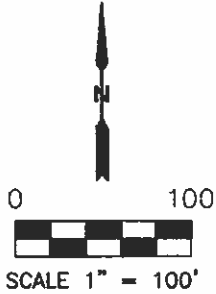
Thence, 138.51 feet along the arc of a non-tangent curve to the right, having a radius of 3,145.00 feet, a central angle of 02° 31' 24", and a chord which bears North 70° 52' 32" East, 138.50 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North 72° 08' 14" East, 294.16 feet to a 5/8" iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 01° 04' 23" East, 172.35 feet to the POINT OF BEGINNING and containing 0.9801 acre of land.



LJA Surveying, Inc.



LINE	BEARING	DISTANCE
L1	S 02°46'48" E	557.67'
L2	S 72°08'14" W	84.80'
L3	N 57°45'02" W	89.93'
L4	S 71°56'53" W	113.20'
L5	N 71°35'20" W	157.74'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	3,145.00'	138.51'	138.50'	N 70°52'32" E	2°31'24"

LEGEND

- P.O.B. POINT OF BEGINNING
P.O.C. POINT OF COMMENCING
W.C.O.P.R. OFFICIAL PUBLIC RECORDS OF WALLER COUNTY
F.B.C.O.P.R. OFFICIAL PUBLIC RECORDS OF FORT BEND COUNTY
(S) SET 5/8" IRON ROD W/CAP STAMPED "LJA SURVEY"
P PROPERTY LINE



P.O.C.
FOUND 3/4" IRON PIPE

FOUND 3/4" IRON PIPE (BENT)

DEWITT WALTMON JR. AND
SCOTT MOSLE WALTMON
CALLED 14.186 ACRES
INSTRUMENT NO. 1900091
W.C.O.P.R.

EXHIBIT OF DETENTION TRACT 0.9801 ACRE IN THE

WILLIAM COOPER SURVEY, A-20
WALLER COUNTY, TEXAS

JANUARY 2020

JOB NO. LJAS001-7778-0000

LJA Surveying, Inc.

2929 Briarpark Drive
Suite 175
Houston, Texas 77042

Phone 713.953.5200
Fax 713.953.5026
T.B.P.L.S. Firm No. 10194382



FILED AND RECORDED

Instrument Number: 2006203

Filing and Recording Date: 07/08/2020 12:23:57 PM Pages: 18 Recording Fee: \$80.00

I hereby certify that this instrument was FILED on the date and time stamped hereon by me and was duly RECORDED in the OFFICIAL PUBLIC RECORDS of Waller County,



Debbie Hollan, County Clerk
Waller County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

CSC, Deputy

Returned To:
ALLEN BOONE HUMPHRIES ROBINSON
3200 SOUTHWEST FREEWAY SUITE 2600
HOUSTON, TX 77027

CONSTRUCTION PLANS FOR TWINWOOD PARKWAY PHASE 1A, SEGMENT E TO SERVE FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT NO. 213 WALLER COUNTY, TEXAS

DATE: MARCH 2020

JOB NO. 7777-1040

NOTES

1. THESE PLANS HAVE BEEN PREPARED BY THE ENGINEER, WALLER COUNTY, TEXAS, AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE.
2. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE INFORMATION TO BE SUFFICIENT FOR THE PREPARATION OF THESE PLANS.
3. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE INFORMATION TO BE SUFFICIENT FOR THE PREPARATION OF THESE PLANS.
4. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE INFORMATION TO BE SUFFICIENT FOR THE PREPARATION OF THESE PLANS.
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6. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE INFORMATION TO BE SUFFICIENT FOR THE PREPARATION OF THESE PLANS.

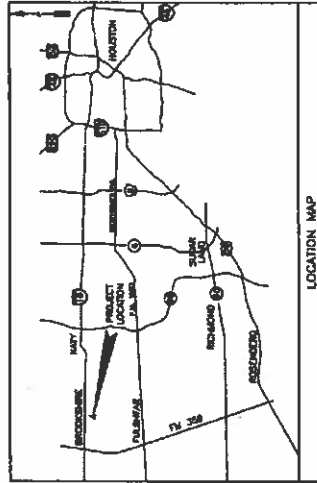
WALLER COUNTY ENGINEER APPROVAL

ENGINEER _____

DATE _____

SEAL OF THE ENGINEER

DEVELOPER:
TWINWOOD (U.S.), INC.
P.O. BOX 648
SMOOTH, TX 77408
713-683-5300



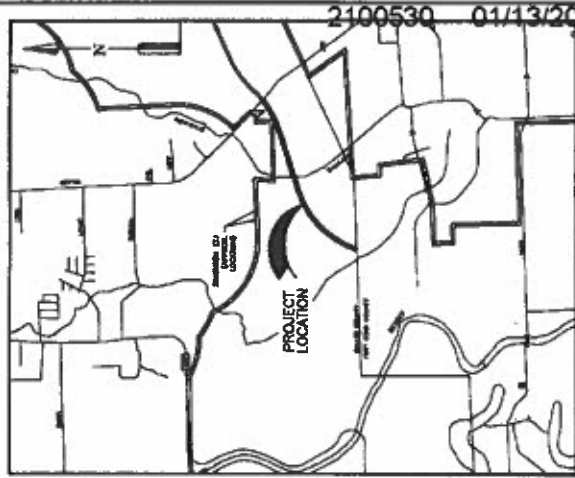
THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE INFORMATION TO BE SUFFICIENT FOR THE PREPARATION OF THESE PLANS.

RECORD DRAWING

BY _____ DATE _____

TITLE _____

COMPANY _____



SCALE: 1" = 2,000'

SHEET INDEX

1. COVER SHEET
2. GENERAL NOTES
3. EXISTING GRADE
4. EXISTING GRADE
5. EXISTING GRADE
6. EXISTING GRADE
7. EXISTING GRADE
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EXHIBIT 'B'

ENGINEER/SURVEYOR:

LJA Engineering, Inc.
10010 Grand Parkway North
Suite 100
Houston, TX 77060
713-683-5300



SHEET 1 OF 27

2100530 01/13/2013 02:13:24 PM Page 1 of 104

RECORD DRAWING
DATE: 01/13/2013
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

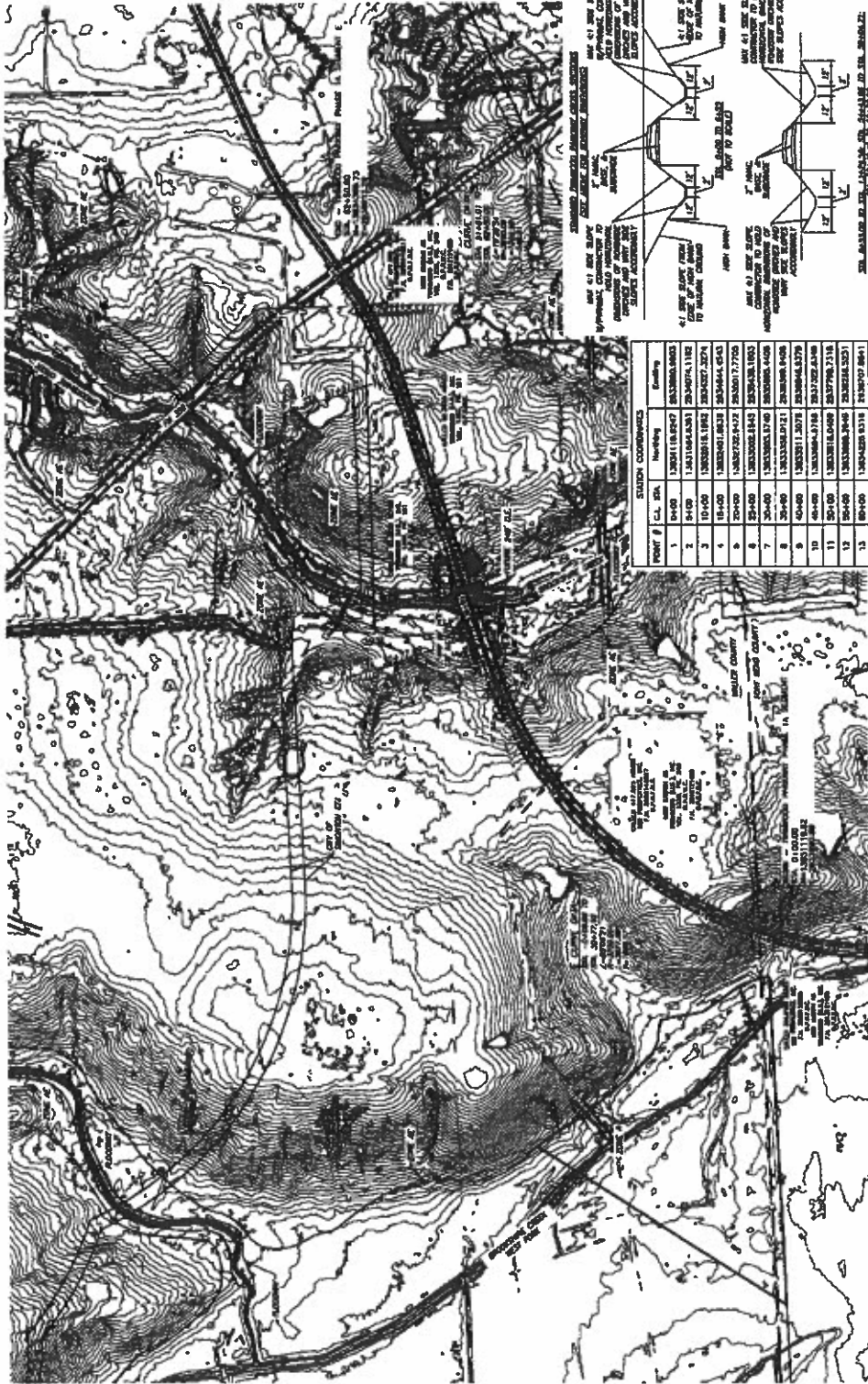
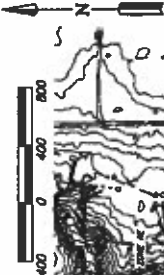


L.A. Engineering, Inc.
2010 Central Expressway, Suite 100
Folsom, CA 95630
Tel: 916.241.1111
Fax: 916.241.1112

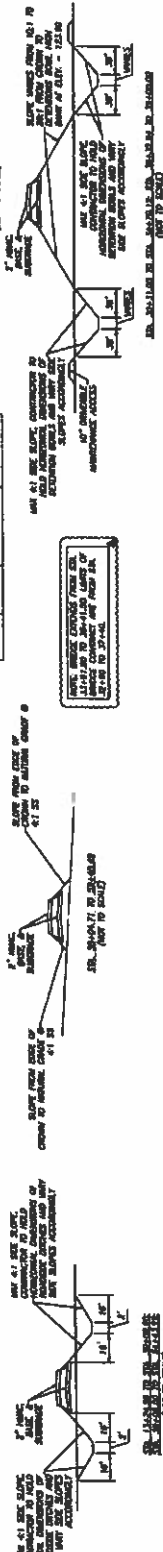
FOR BEND COUNTY MUD NO. 213
TWINWOOD PARKWAY PHASE 1A
SEGMENT E

CENTERLINE CONTROL

3
DATE: 01/13/2013
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



POINT #	C.L.	S.E.	Elevation
1	0+00	126261.18	126261.18
2	0+20	126261.18	126261.18
3	0+40	126261.18	126261.18
4	0+60	126261.18	126261.18
5	0+80	126261.18	126261.18
6	1+00	126261.18	126261.18
7	1+20	126261.18	126261.18
8	1+40	126261.18	126261.18
9	1+60	126261.18	126261.18
10	1+80	126261.18	126261.18
11	2+00	126261.18	126261.18
12	2+20	126261.18	126261.18
13	2+40	126261.18	126261.18
14	2+60	126261.18	126261.18



2100530 01/13/2018
RECORD DRAWING



L.J.M. Engineering, Inc.
1924 W. Grand Parkway (Hwy.
Route 40)
New York 77-49
Phone 743-1600
Fax 712-264-7699
E-MAIL: LJM@LJM.COM

FORT BEND COUNTY MUD NO 213
TWINWOOD PARKWAY PHASE 1A,
SEGMENT E

DETENTION SUMMARY

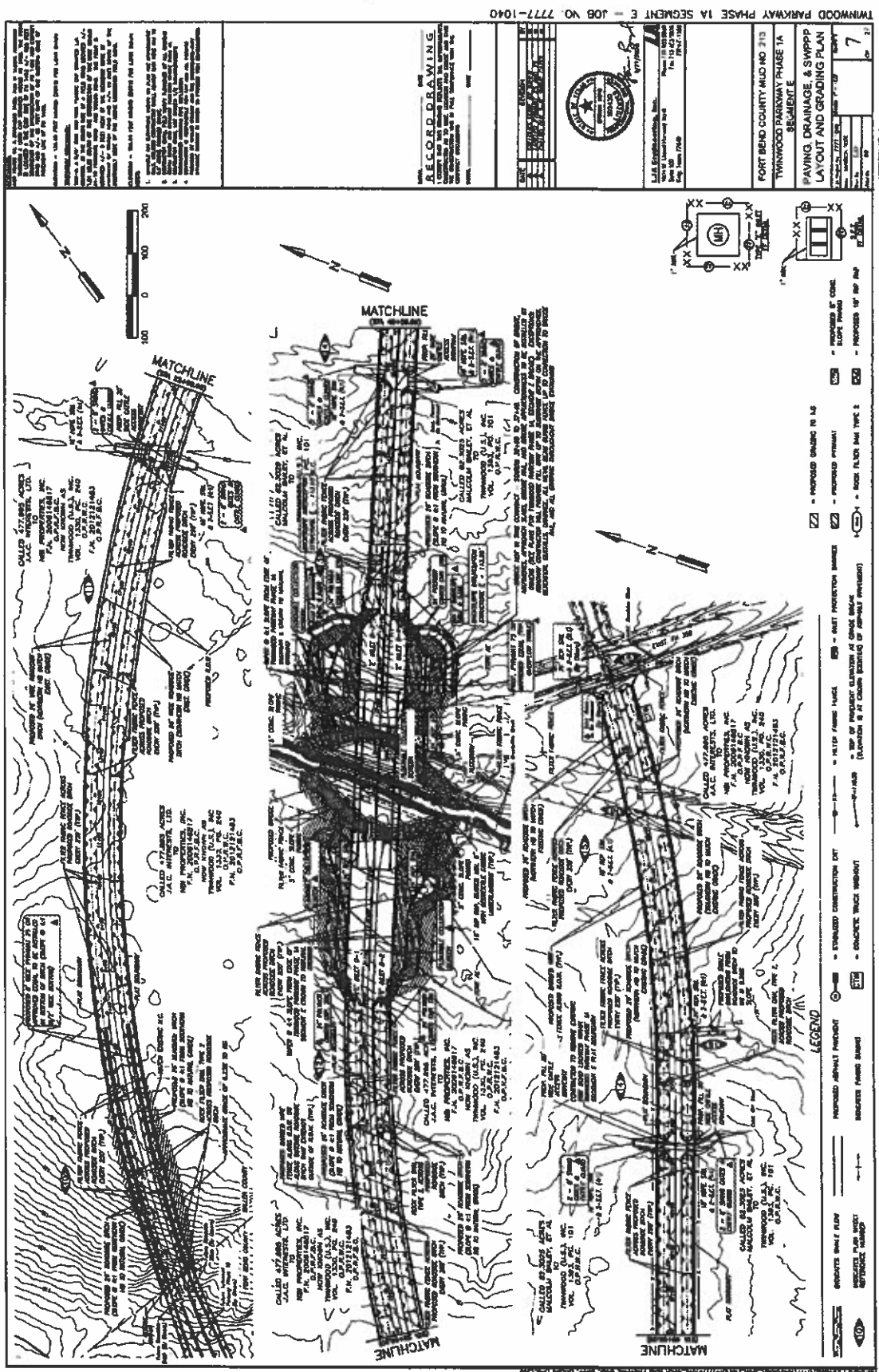
44-38861-777-1048 Date: MARCH 2003 Due by: EAO Due by: 8th	10-200	6 OF 27
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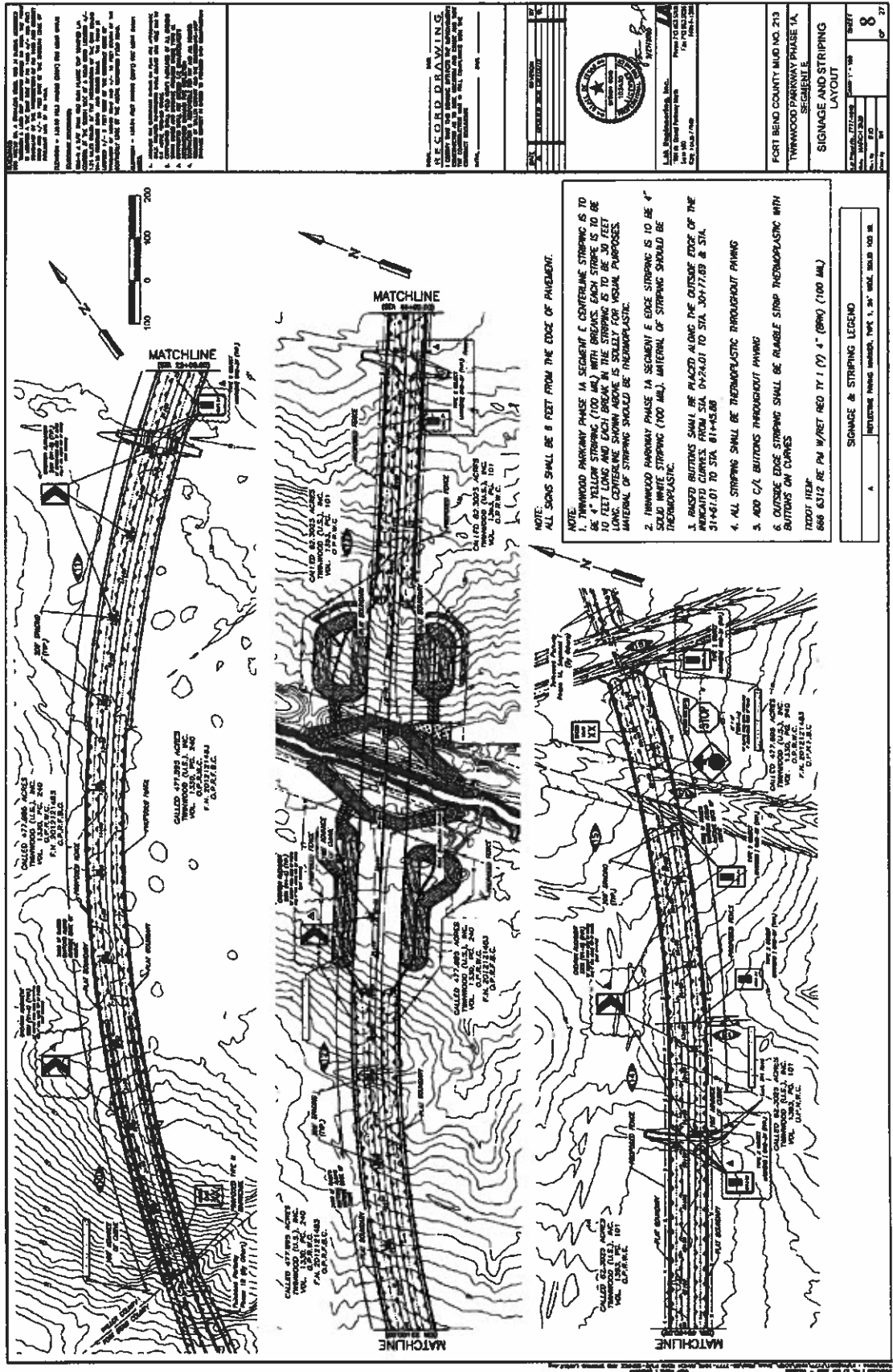


AREA	EXTENSION AREA (AC)	BEST ESTIMATE OF SURFACE (sq. MILES)	100-YEAR WATER SURFACE AREA (sq. MILES)	INFORMATION AVAILABLE (AC) IN POUNDS	EXTENSION AVAILABLE (AC) IN POUNDS
HW	10.07	113.5	321.28	2.02	1.50
NE	10.77	113.5	117.97	0.46	0.40
SW	3.84	113.5	123.00	1.78	0.49
SE	2.75	113.5	120.47	1.40	0.17

DETENTION AREA REQUIRED (AC 47)	7.99
DETENTION AREA PROVIDED (AC 47)	8.42

NOTE: DETENTION SUMMARY IS BASED ON TANNAHOOD PARKWAY PHASE 1A, SEGMENT E DRAINAGE IMPACT ANALYSIS DATED MAY 4, 2019 SIGNED AND SEALED BY CAROLYN GILGIAN, PE AND AS AMENDED BY DETENTION MEMO DATED MARCH 27, 2020 SEALED BY CAROLYN GILGIAN, PE.





NOTE: ALL SIGNS SHALL BE 8 FEET FROM THE EDGE OF PAVEMENT.

NOTE: TWINWOOD PARKWAY PHASE 1A, SEGMENT C, CONTAINS STRIPING IS TO BE 4" YELLOW STRIPING (100 MIL) WITH BREAKS. EACH STRIKE IS TO BE 10 FEET LONG AND EACH BREAK IN THE STRIPING IS TO BE 30 FEET LONG. CENTERLINE SHOWN ABOVE IS SOLELY FOR VISUAL PURPOSES. MATERIAL OF STRIPING SHOULD BE THERMOPLASTIC.

2. TWINWOOD PARKWAY PHASE 1A, SEGMENT E, EDGE STRIPING IS TO BE 4" THERMOPLASTIC.

3. BASED BUTTIONS SHALL BE PLACED ALONG THE OUTSIDE EDGE OF THE PAVEMENT CURVES FROM STA. 0+24.01 TO STA. 0+17.89 & STA. 31+46.01 TO STA. 81+43.00.

4. ALL STRIPING SHALL BE THERMOPLASTIC THROUGHOUT PAVING.

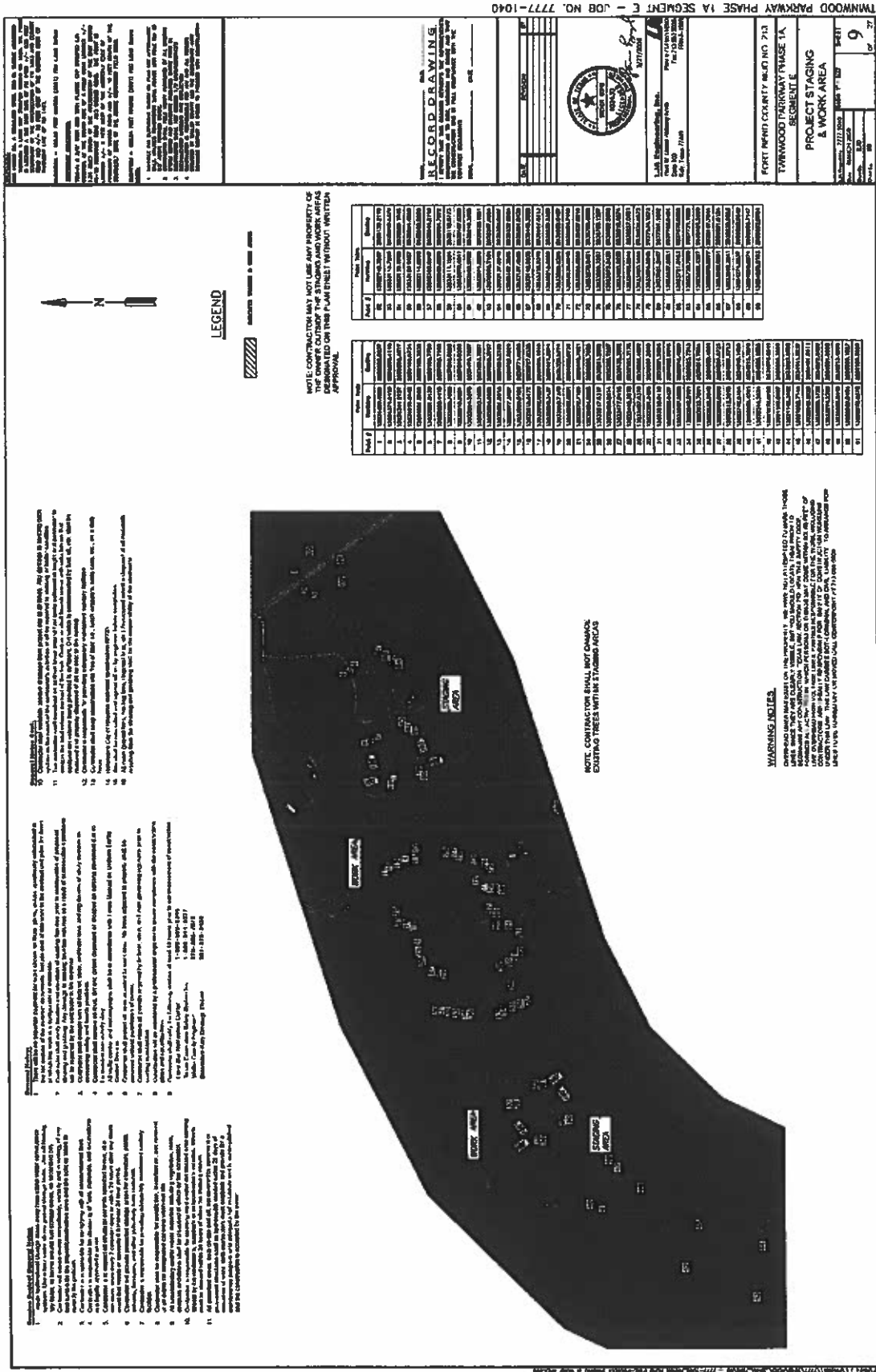
5. ADD C/L BUTTIONS THROUGHOUT PAVING.

6. OUTSIDE EDGE STRIPING SHALL BE RUBBLE STRIP THERMOPLASTIC WITH BUTTIONS ON CURVES.

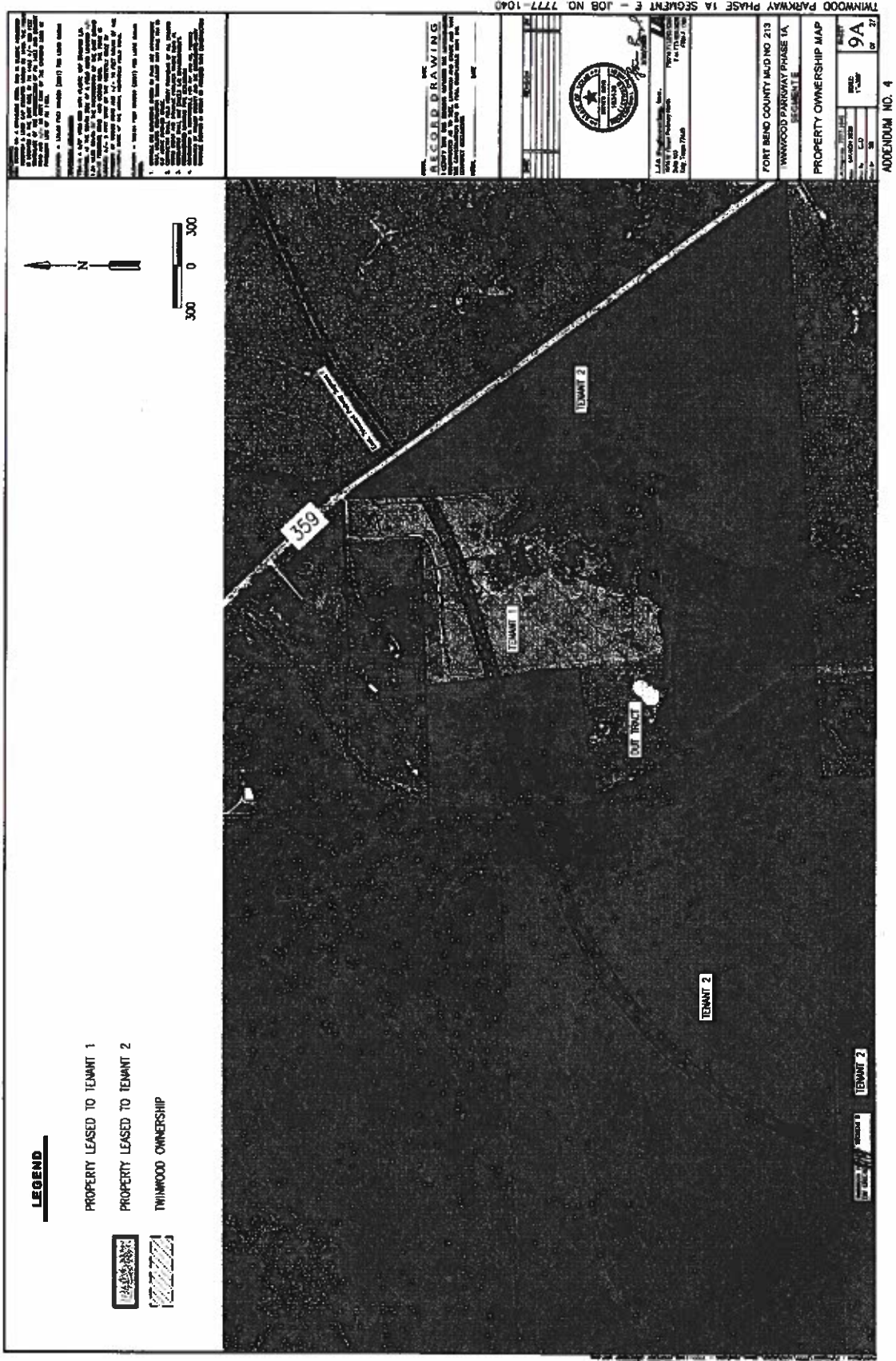
7. TYPICAL THERMOPLASTIC STRIPING (100 MIL) 4" (80%) (100 MIL)

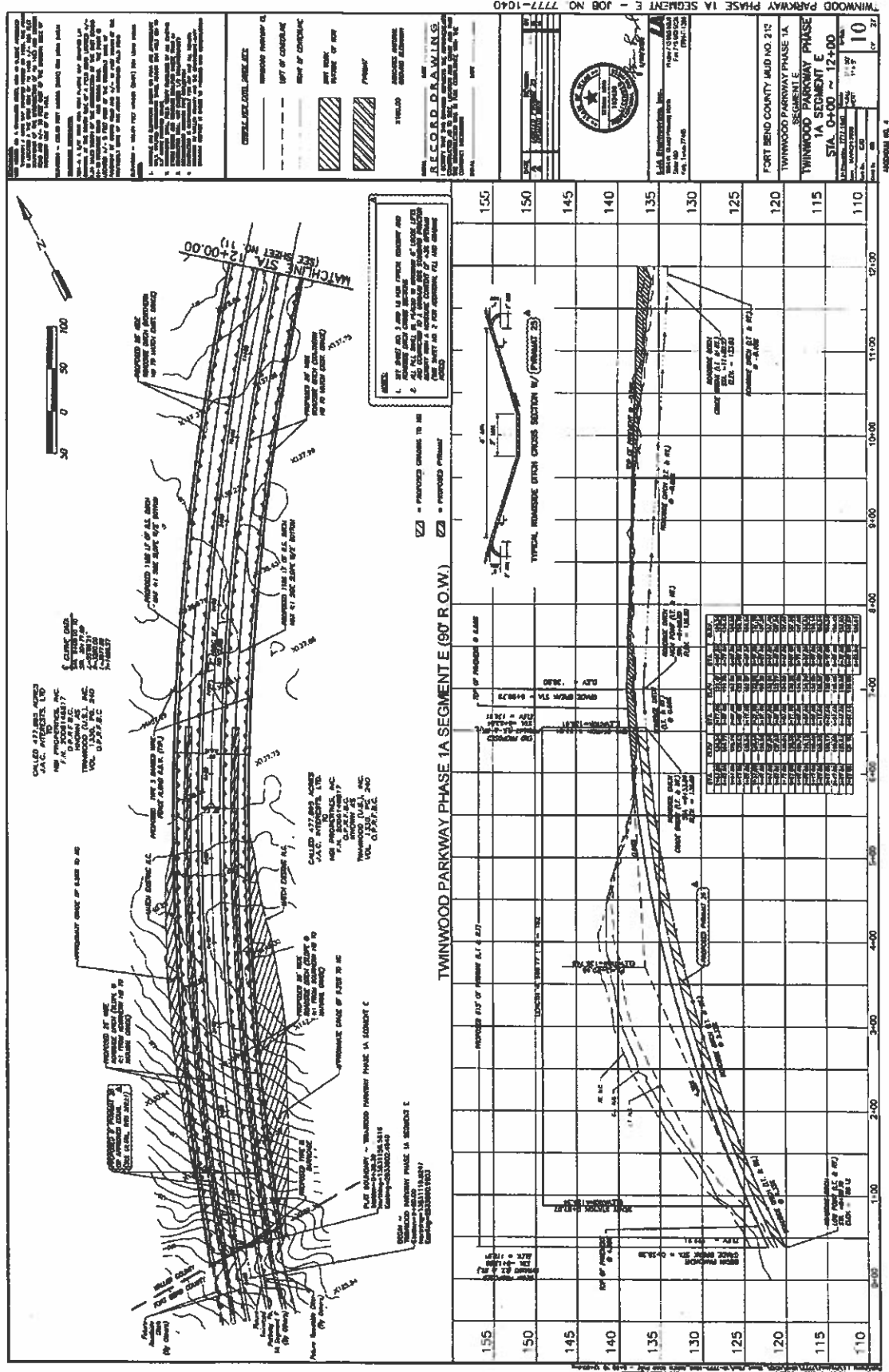
SIGNAGE & STRIPING LEGEND	
A	REFLECTIVE PAVING MARKING, TYPE 1, 30" WIDE, 30x30 IN.

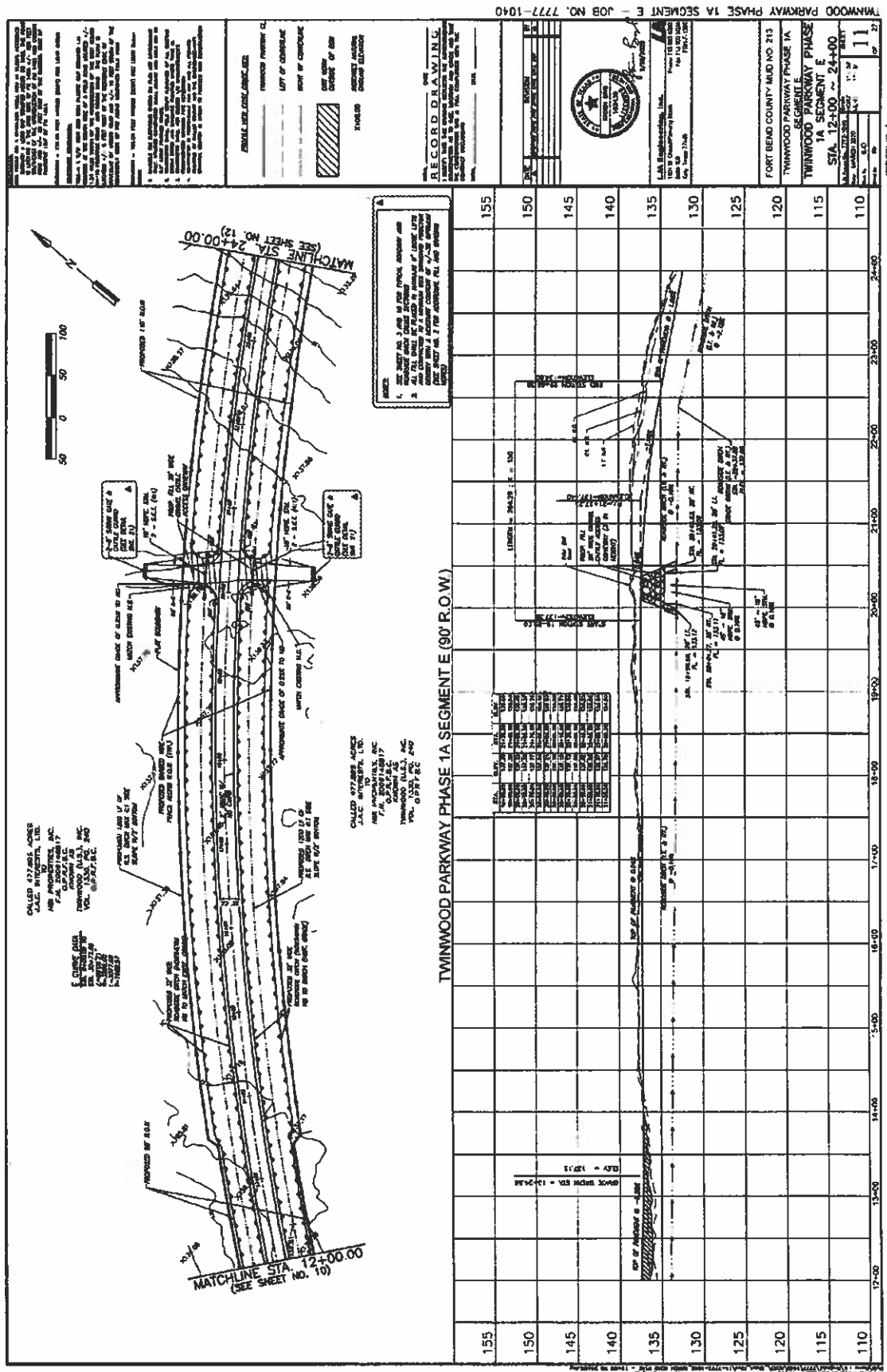
TWINWOOD PARKWAY PHASE 1A, SEGMENT E - JOB NO. 7777-1040	
RECORD DRAWING DATE: 01/13/2021 BY: [Signature] CHECKED: [Signature] IN CHARGE: [Signature]	PORT BEND COUNTY AND NO. 218 TWINWOOD PARKWAY PHASE 1A SEGMENT E SIGNAGE AND STRIPING LAYOUT
8 27	8 27

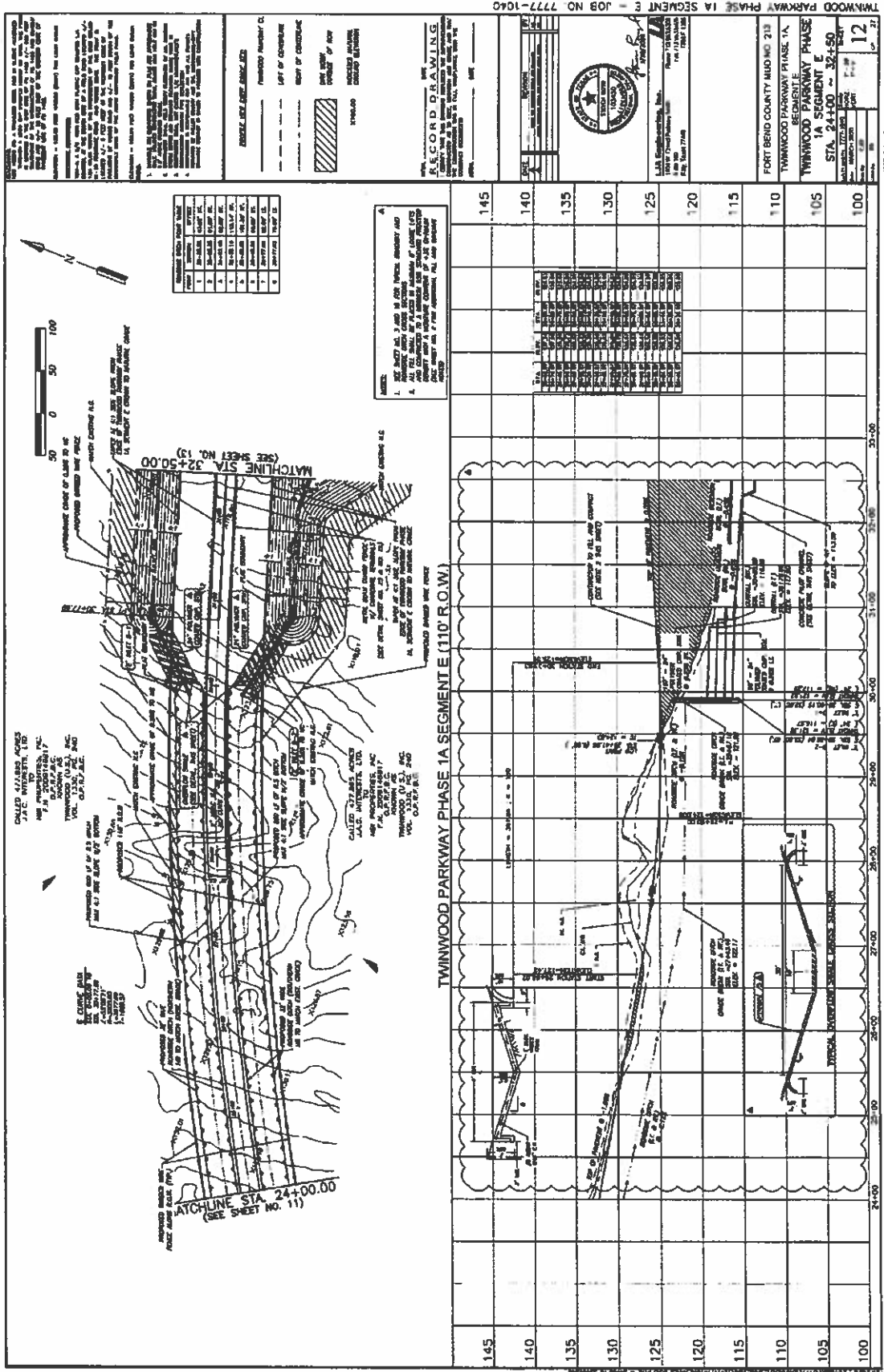


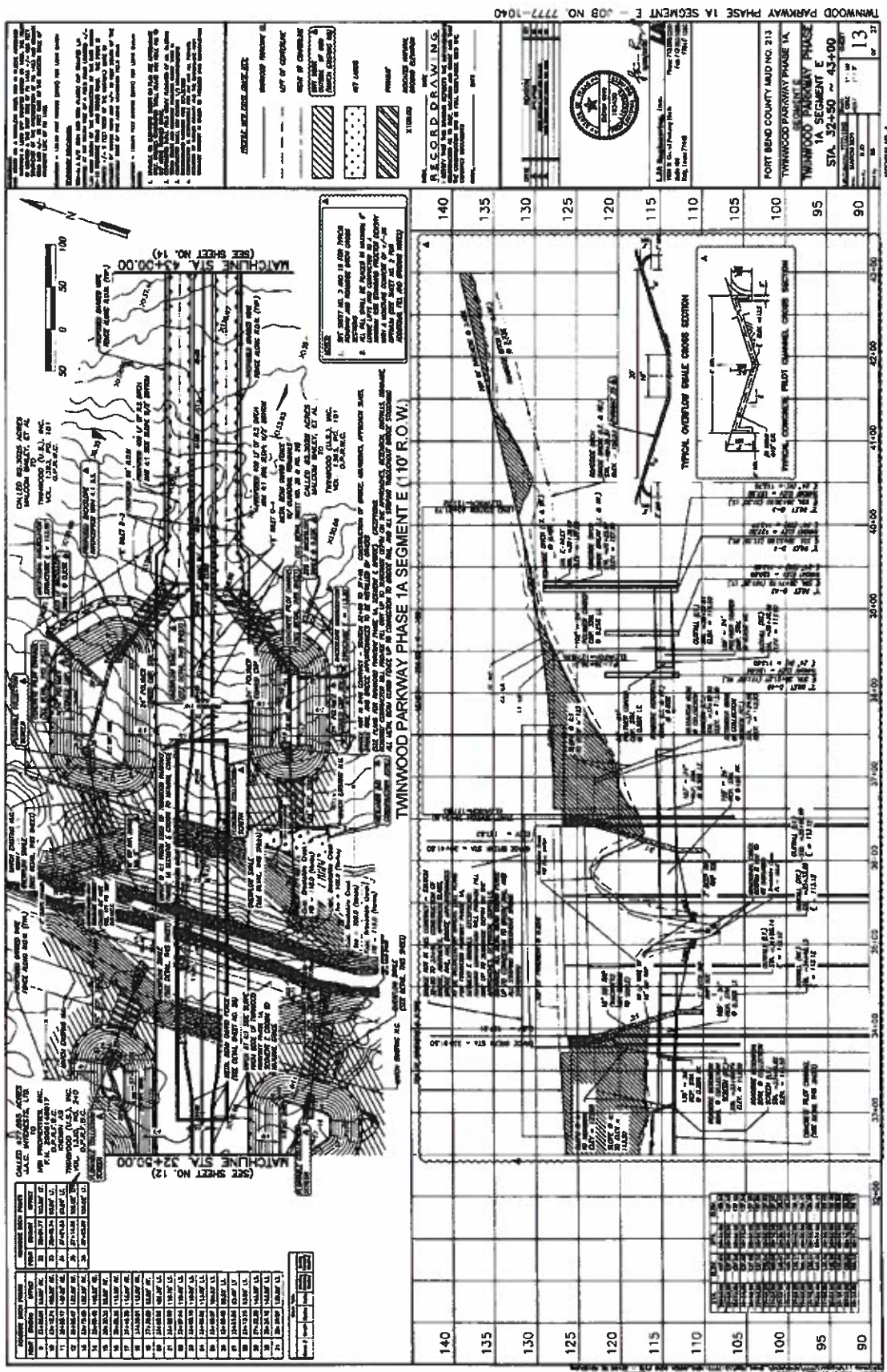
THIRWOOD PARKWAY PHASE 1A SEGMENT E - JOB NO. 7777-1040

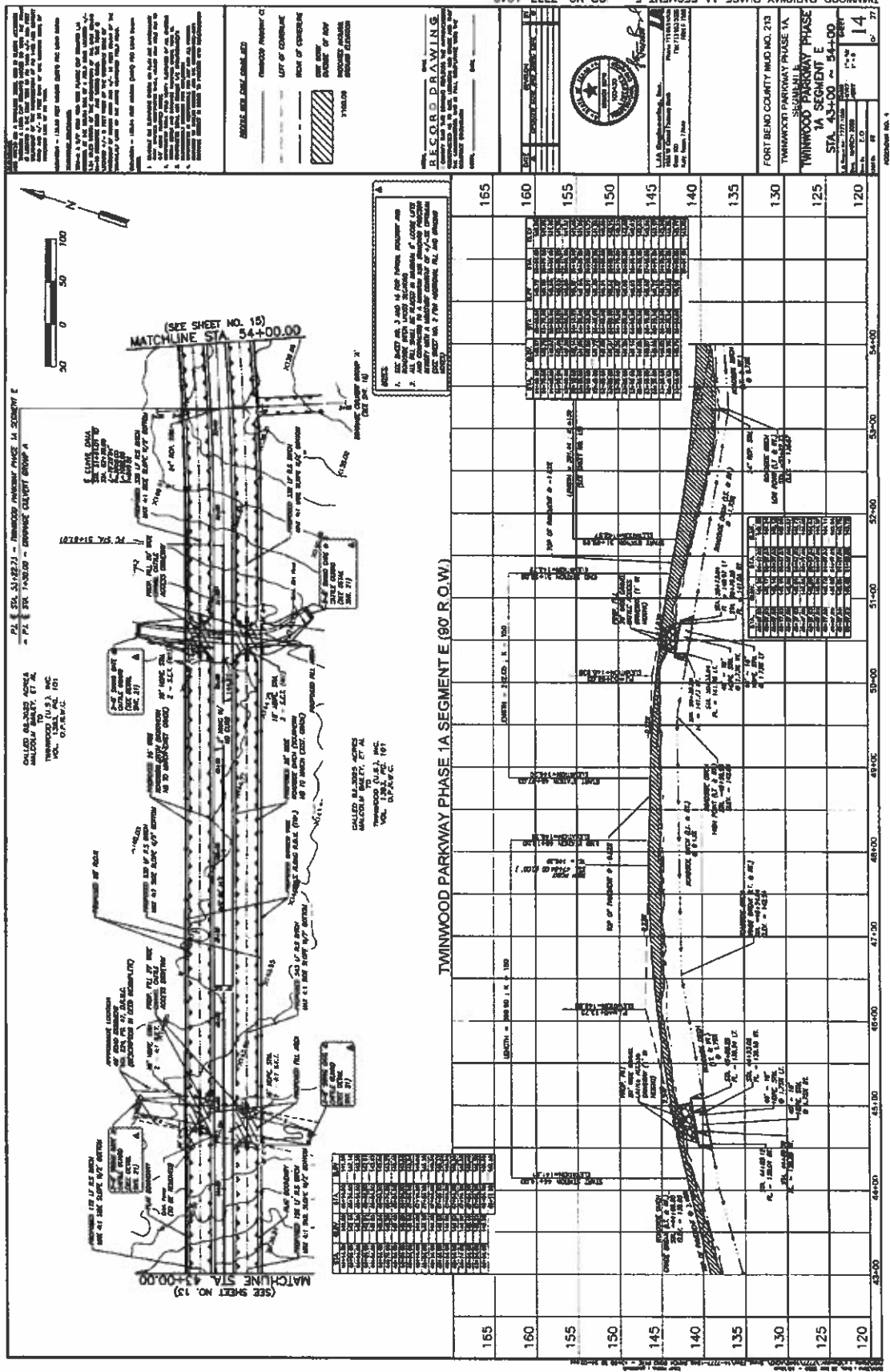


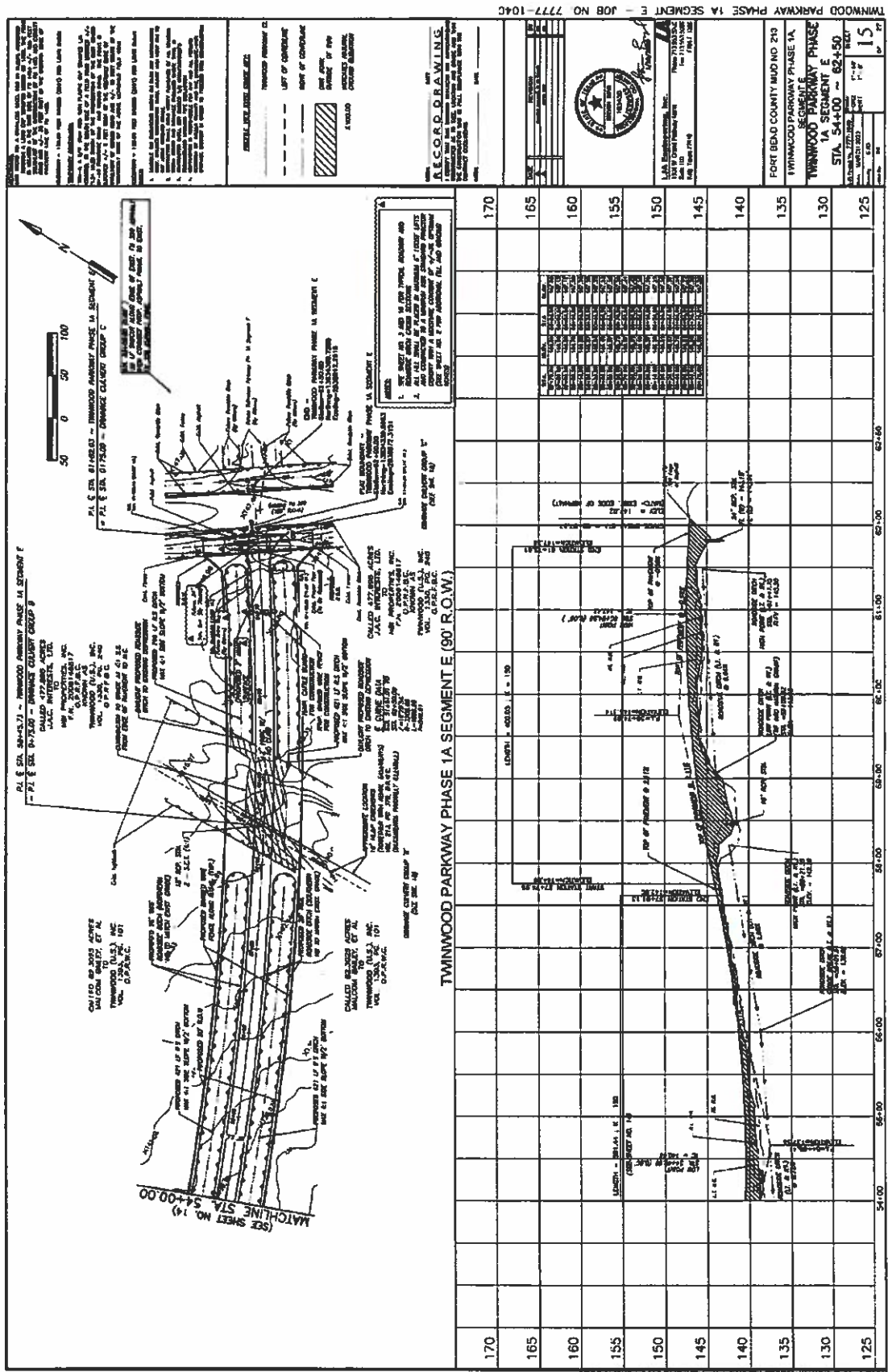


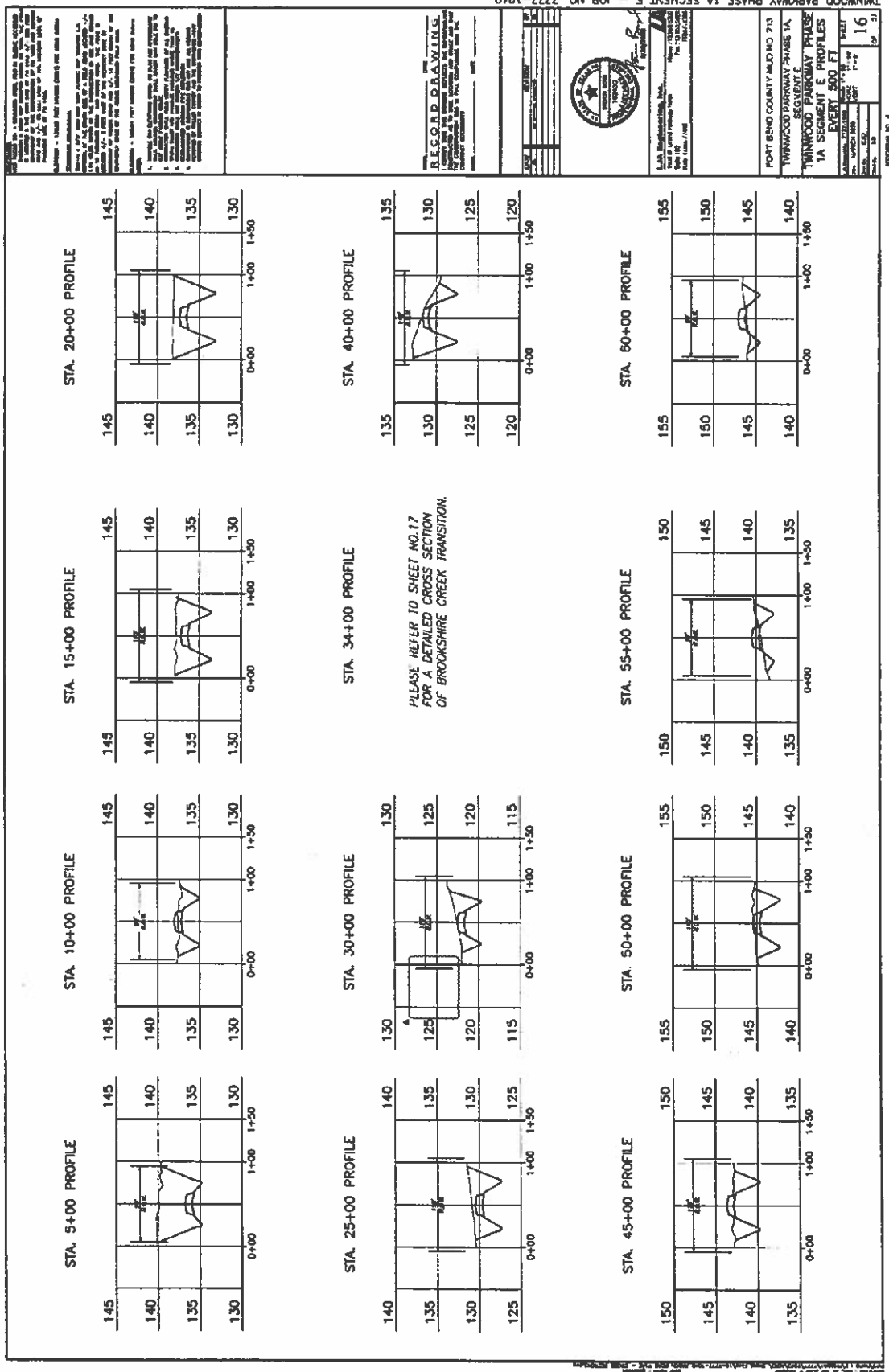


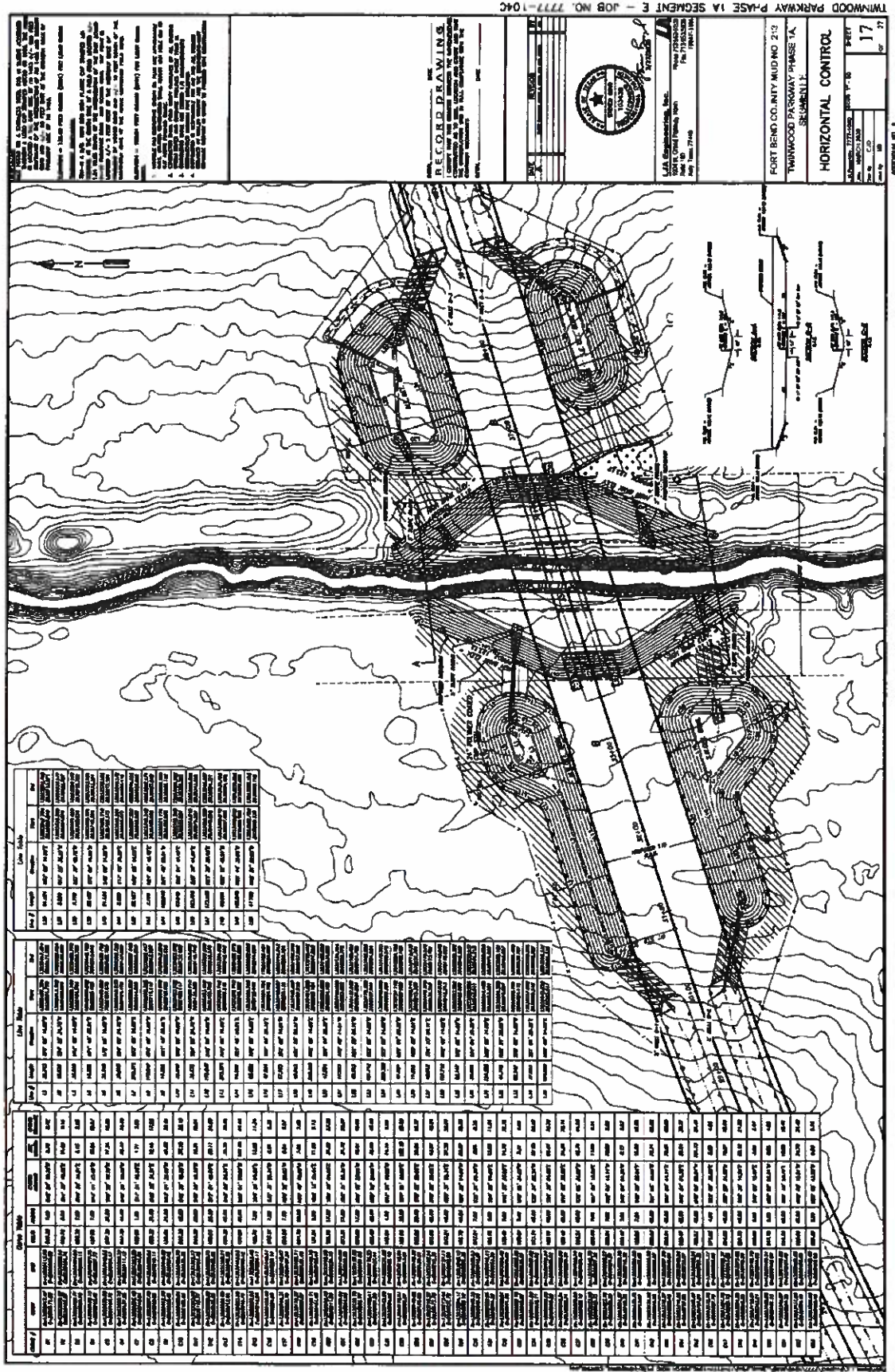












TWINWOOD PARKWAY PHASE 1A SEGMENT 1 - JOB NO. 7777-104C

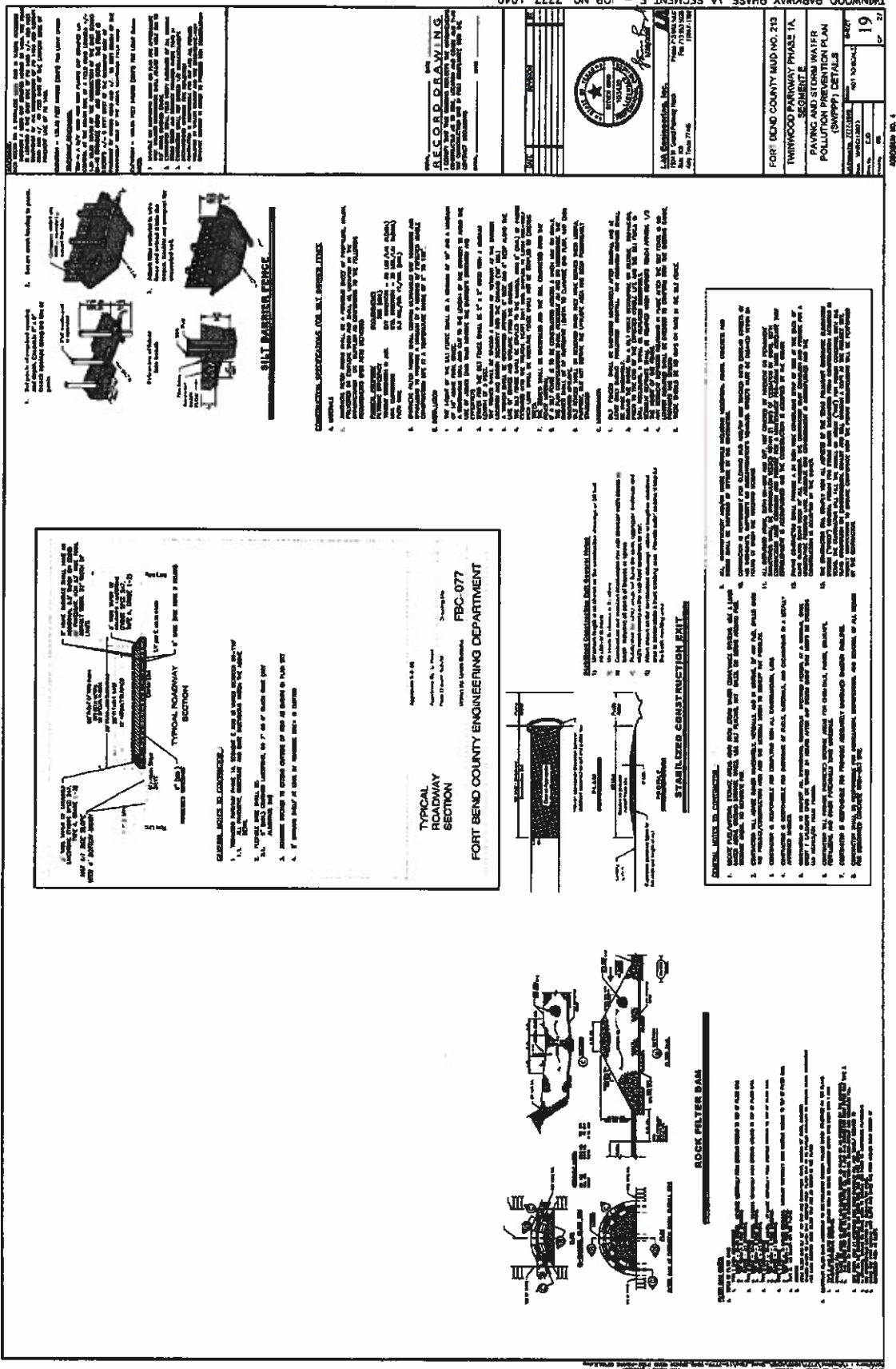
RECORD DRAWING

PORT BEND COUNTY MUD NO. 213
TWINWOOD PARKWAY PHASE 1A
SEGMENT 1

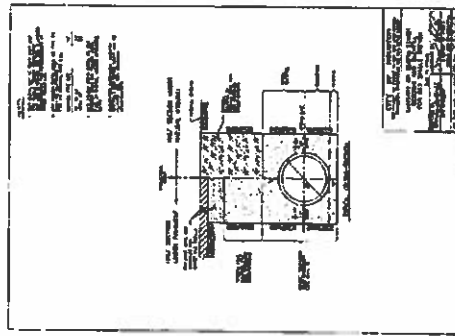
HORIZONTAL CONTROL

DATE: 1/13/21
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

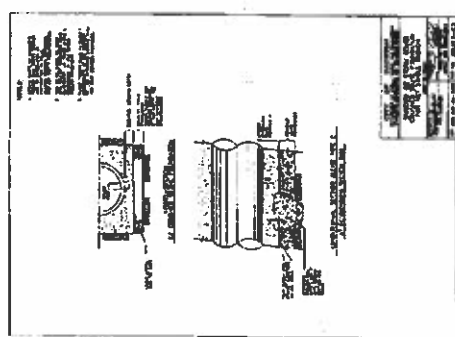
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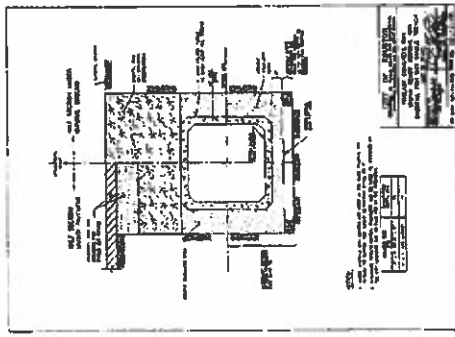
L&L Engineering, Inc. 1000 West 10th Street Suite 100 Fort Worth, Texas 76106 Tel. 754-1144		L&L Engineering, Inc. 1000 West 10th Street Suite 100 Fort Worth, Texas 76106 Tel. 754-1144	
PROJECT: PORT BEND COUNTY BUILD NO. 213 DRAWING: TWINWOOD PARKWAY PHASE, TX. SHEET: SEGMENT E		PROJECT: PORT BEND COUNTY BUILD NO. 213 DRAWING: TWINWOOD PARKWAY PHASE, TX. SHEET: SEGMENT E	
DATE: 11/10/77 BY: W. J. L. L. CHECKED: W. J. L. L. APPROVED: W. J. L. L.		DATE: 11/10/77 BY: W. J. L. L. CHECKED: W. J. L. L. APPROVED: W. J. L. L.	



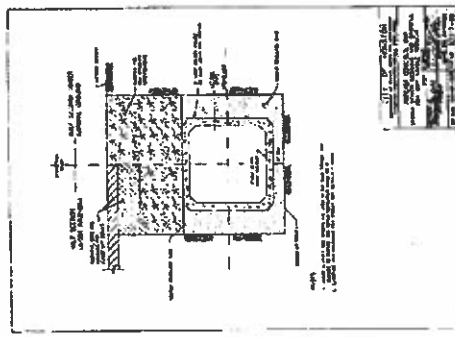
**STORM SEWER CRUSHED STONE FOUNDATION
FOR DRY STAFF TREND**



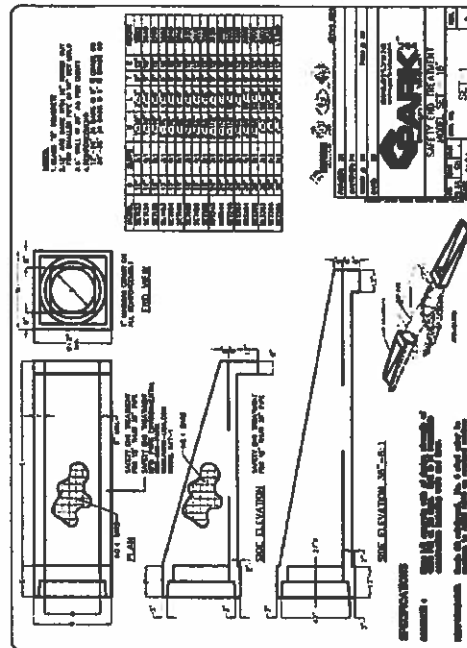
810-4M SE-WAY (CHINA-1) SIDE-FOUNDAION FOR WEY STABLE TRENCH



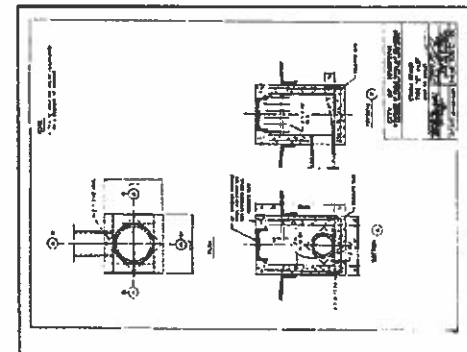
PREFABRICATED CONCRETE BOX STORM SEWER BEDDING AND BACKFILL FOR WET STABLE TRENCH



PRECAST CONCRETE BOX STORM SEWER BEDDING AND BACKFILL FOR DRY STABLE TRENCH

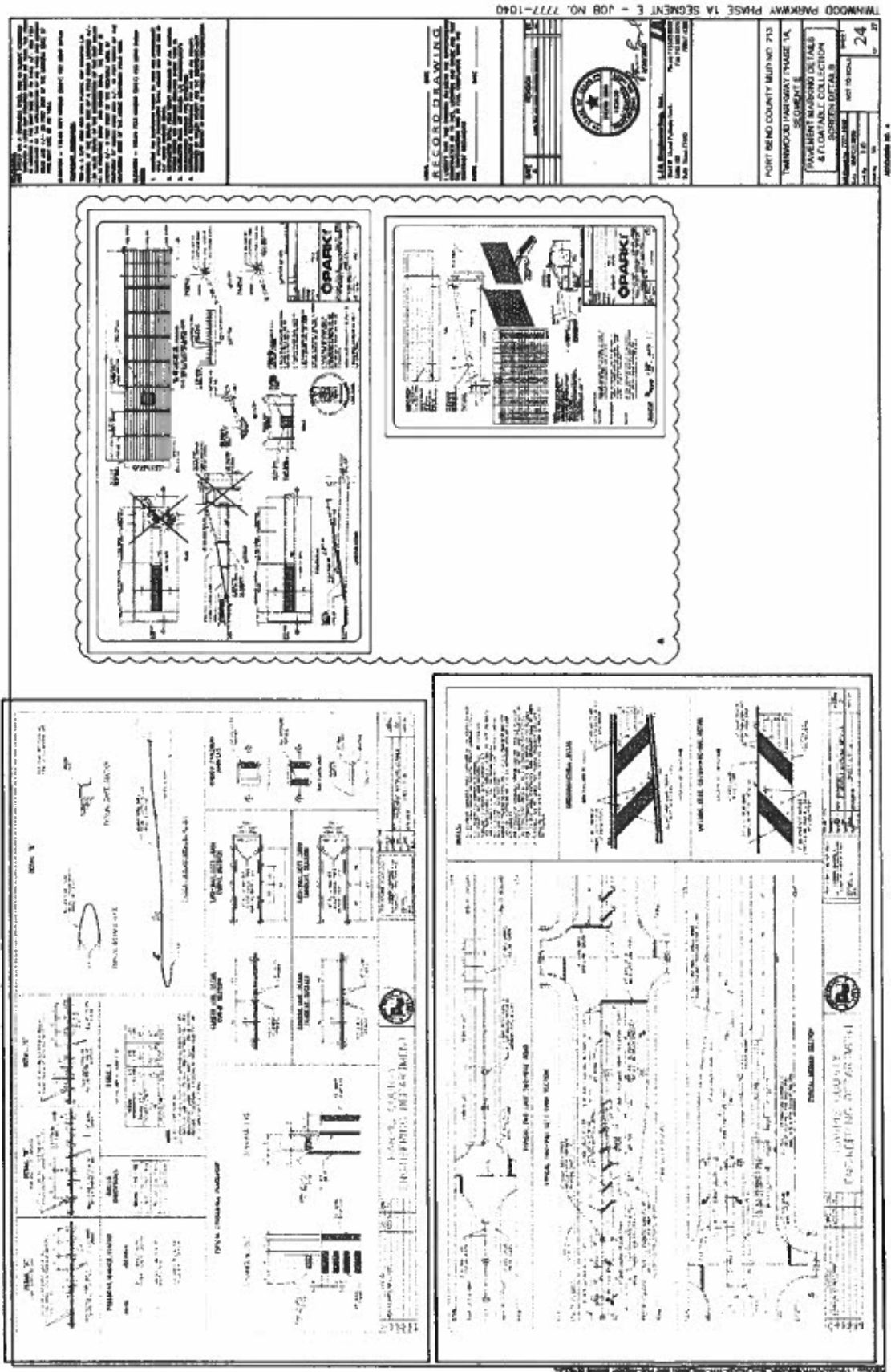


SAFETY END TREATMENT DETAIL



TYPE "F" METAL DETAIL

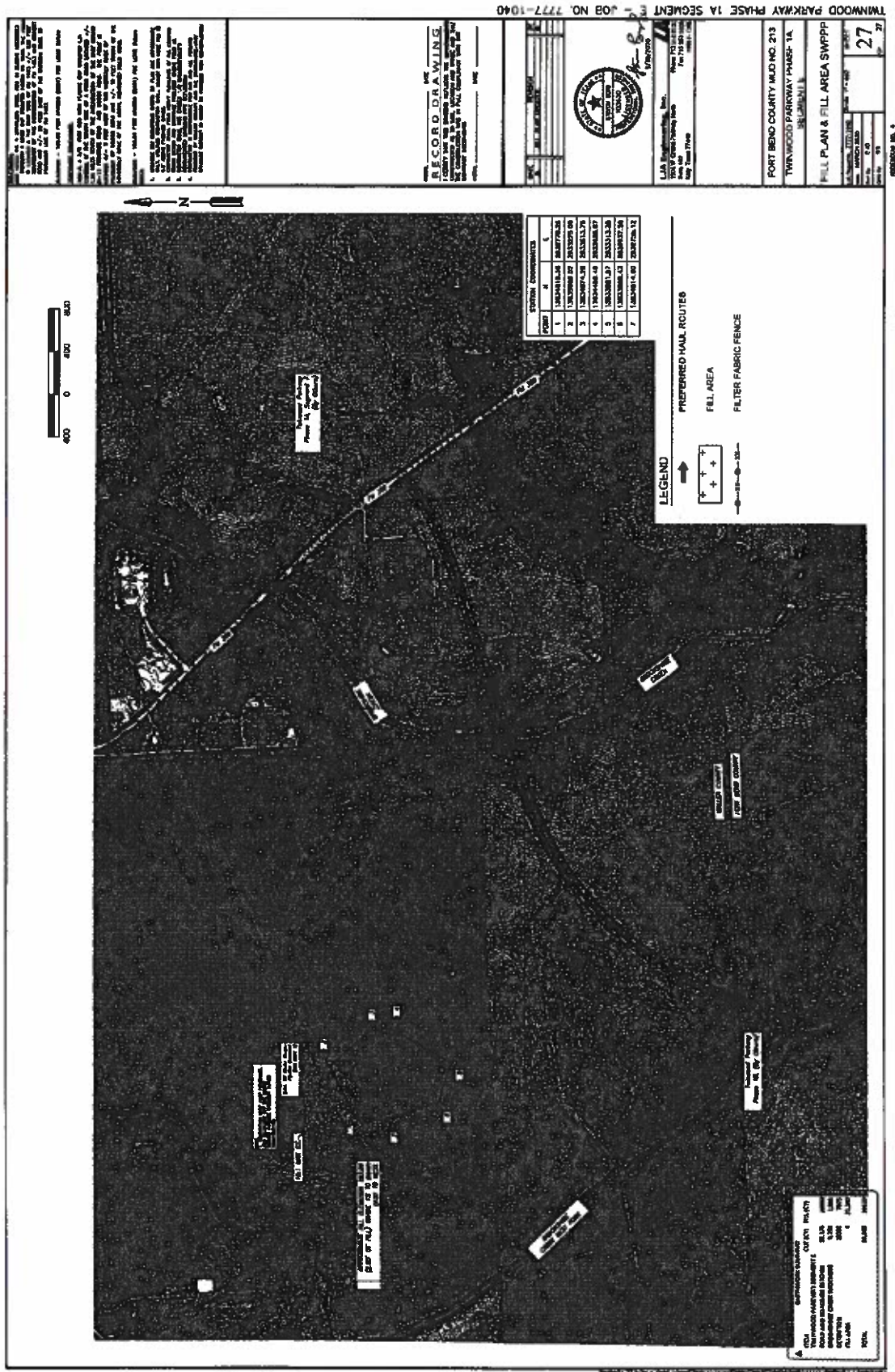
ALSO DRAWING DATE: 01/13/2021 BY: [Signature] CHECKED: [Signature] APP: [Signature]		PROJECT DATA PROJECT NO: 2100530 PROJECT NAME: TWINWOOD PARKWAY PHASE 1A PROJECT LOCATION: FORT BEND COUNTY ROAD NO. 219 PROJECT DESCRIPTION: STORM SEWER OUTFALL RIP RAP, STORM SEWER PUMP STATION, 12" DIA. AND ACCESS GATE DETAILS							
REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR PERMIT</td> <td>01/13/2021</td> </tr> </tbody> </table>		NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	01/13/2021	SCALE AS SHOWN	
NO.	DESCRIPTION	DATE							
1	ISSUED FOR PERMIT	01/13/2021							
NOTES 1. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ENGINEER. 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED. 4. ALL ELEVATIONS SHALL BE IN FEET ABOVE MEAN SEA LEVEL, UNLESS OTHERWISE SPECIFIED. 5. ALL NOTES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.		PROJECT DATA PROJECT NO: 2100530 PROJECT NAME: TWINWOOD PARKWAY PHASE 1A PROJECT LOCATION: FORT BEND COUNTY ROAD NO. 219 PROJECT DESCRIPTION: STORM SEWER OUTFALL RIP RAP, STORM SEWER PUMP STATION, 12" DIA. AND ACCESS GATE DETAILS							
DETAILS 1. STORM SEWER OUTFALL RIP RAP 2. STORM SEWER PUMP STATION 3. 12" DIA. AND ACCESS GATE DETAILS		PROJECT DATA PROJECT NO: 2100530 PROJECT NAME: TWINWOOD PARKWAY PHASE 1A PROJECT LOCATION: FORT BEND COUNTY ROAD NO. 219 PROJECT DESCRIPTION: STORM SEWER OUTFALL RIP RAP, STORM SEWER PUMP STATION, 12" DIA. AND ACCESS GATE DETAILS							
DETAILS 1. STORM SEWER OUTFALL RIP RAP 2. STORM SEWER PUMP STATION 3. 12" DIA. AND ACCESS GATE DETAILS		PROJECT DATA PROJECT NO: 2100530 PROJECT NAME: TWINWOOD PARKWAY PHASE 1A PROJECT LOCATION: FORT BEND COUNTY ROAD NO. 219 PROJECT DESCRIPTION: STORM SEWER OUTFALL RIP RAP, STORM SEWER PUMP STATION, 12" DIA. AND ACCESS GATE DETAILS							

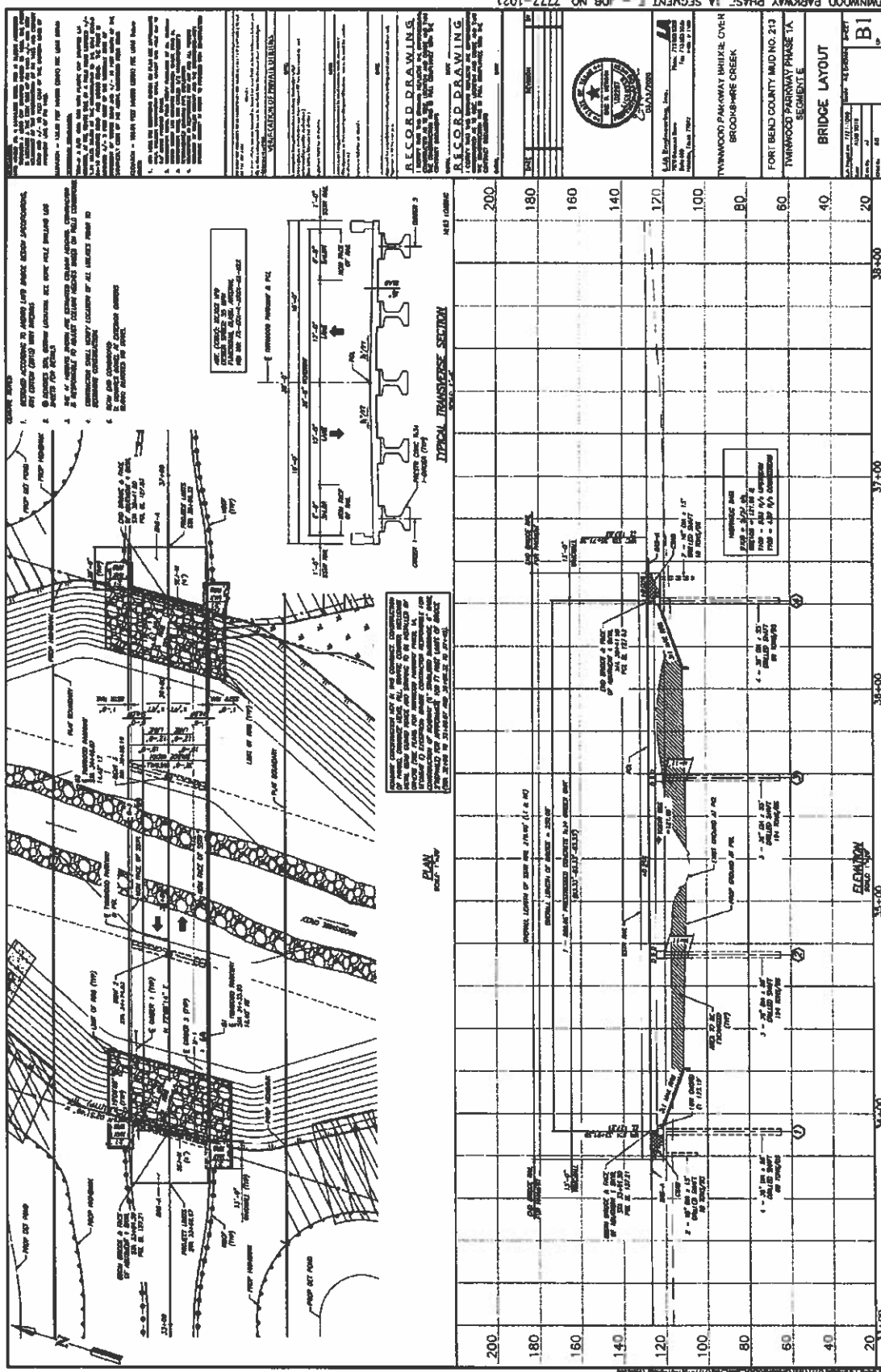


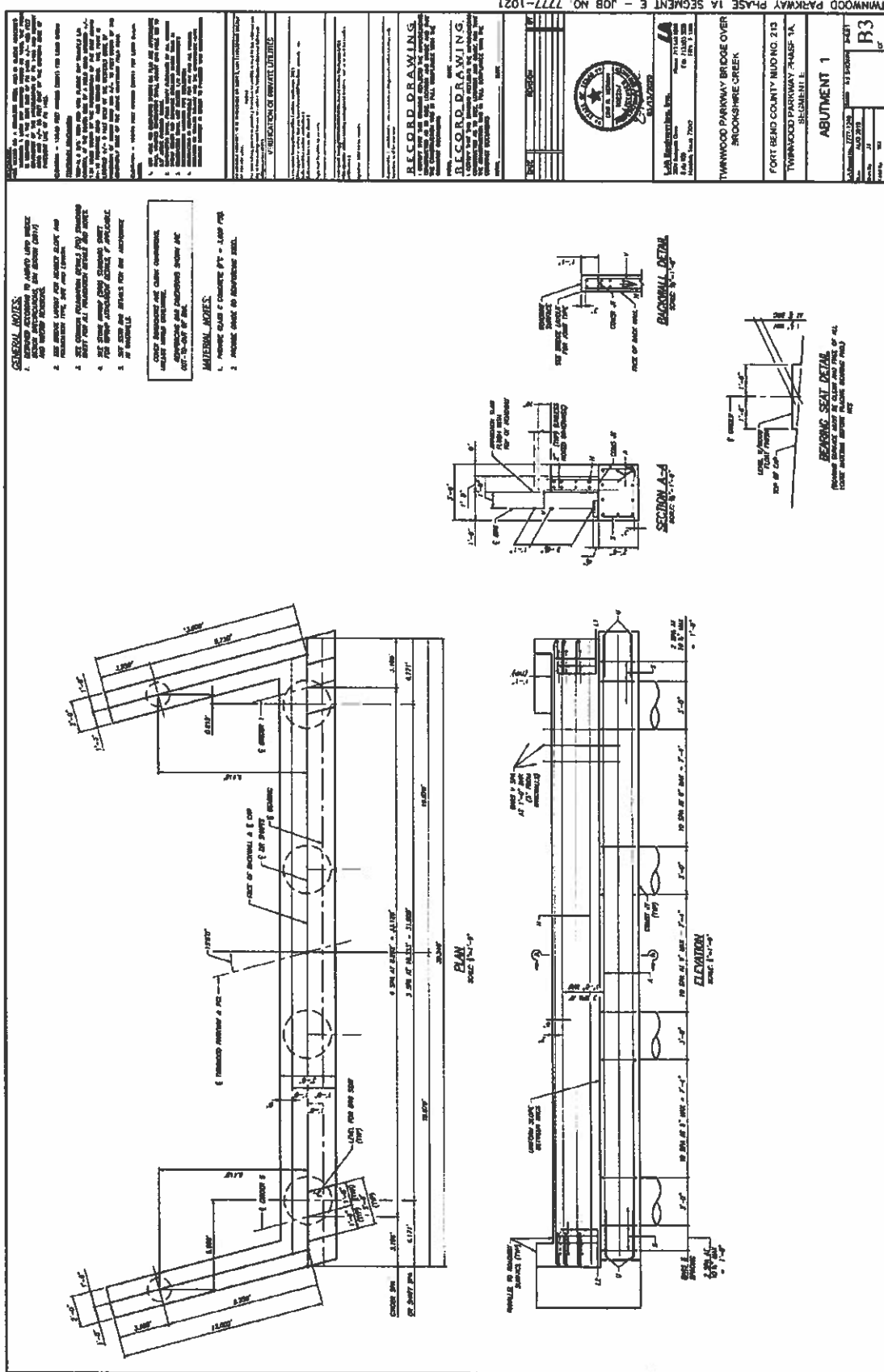
The image displays a set of architectural drawings for a "METAL BEAM GUARD FENCE". The drawings include:

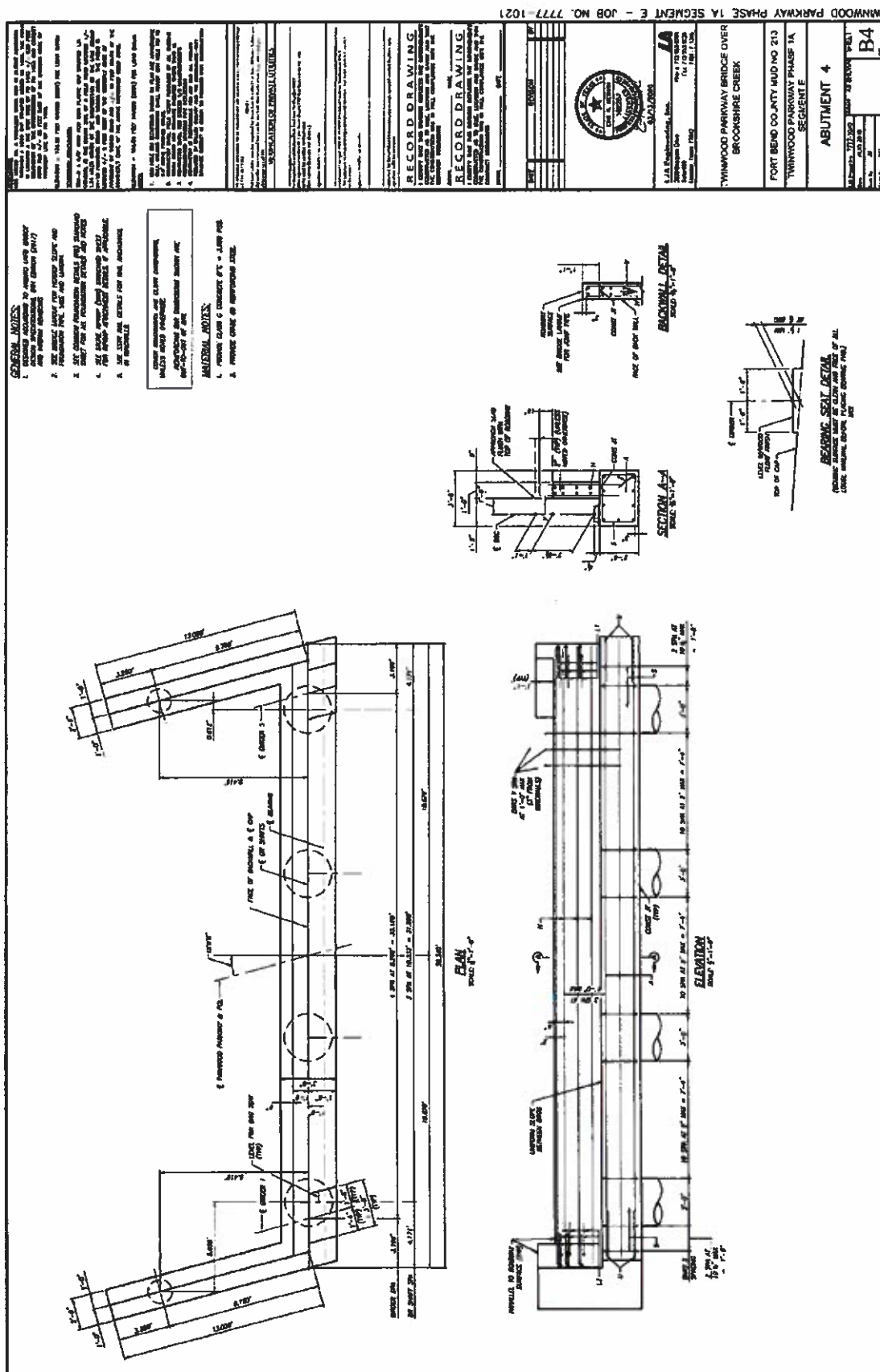
- Side Elevation (Top Left):** Shows the profile of the fence with dimensions: 12'-0" height, 12'-0" width, and 12'-0" depth. It includes a section line A-A.
- End Detail (Top Right):** A detailed view of the fence end, showing the connection between the beam and the post. It includes a section line B-B.
- Plan View (Bottom Left):** A top-down view of the fence, showing the layout of the beams and posts. It includes a section line C-C.
- Section A-A (Bottom Right):** A cross-section of the fence, showing the internal structure and the connection between the beam and the post. It includes a section line A-A.

The drawings are labeled with dimensions and material specifications. A title block on the right side of the page contains project information and a record drawing stamp.

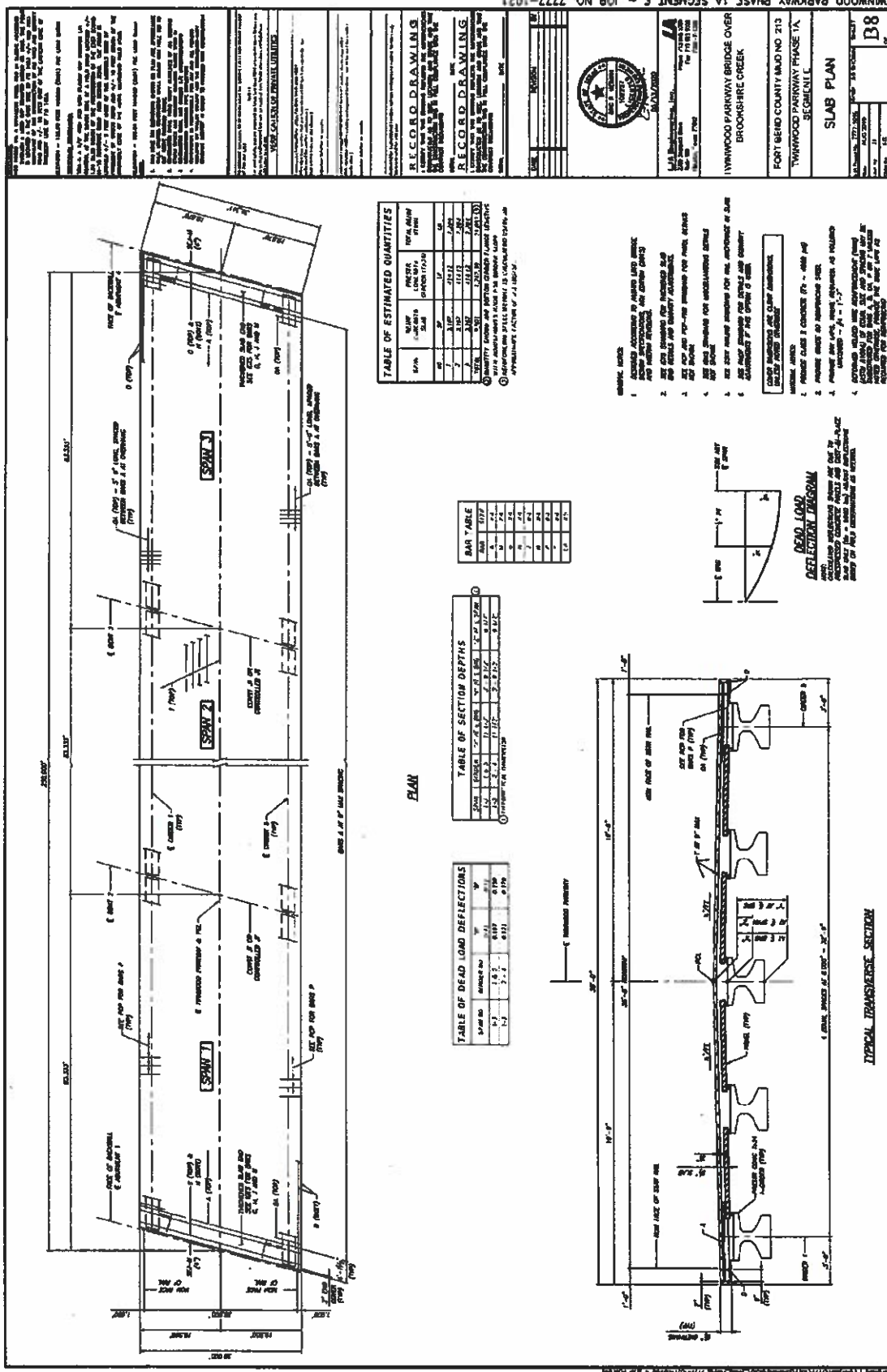








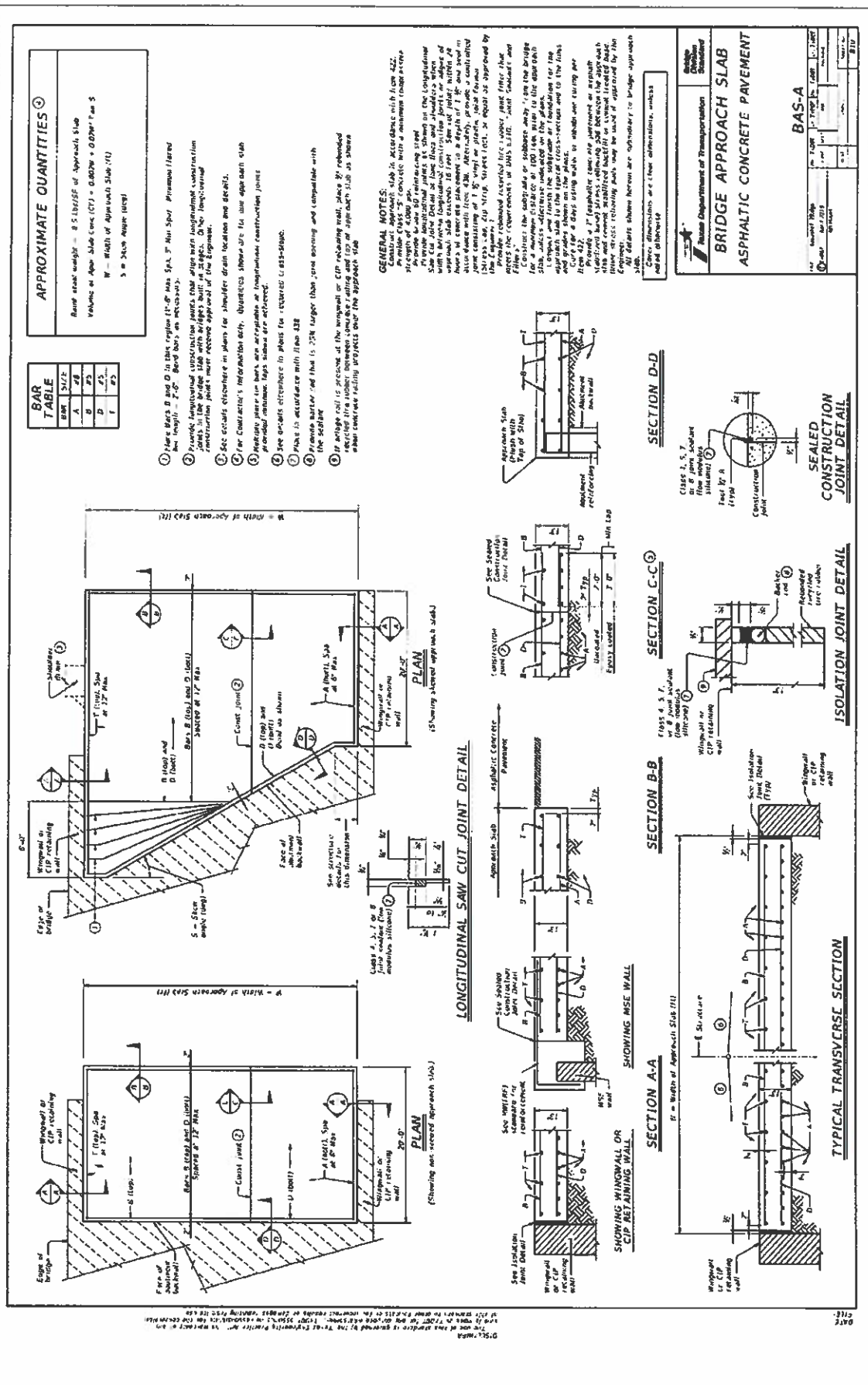
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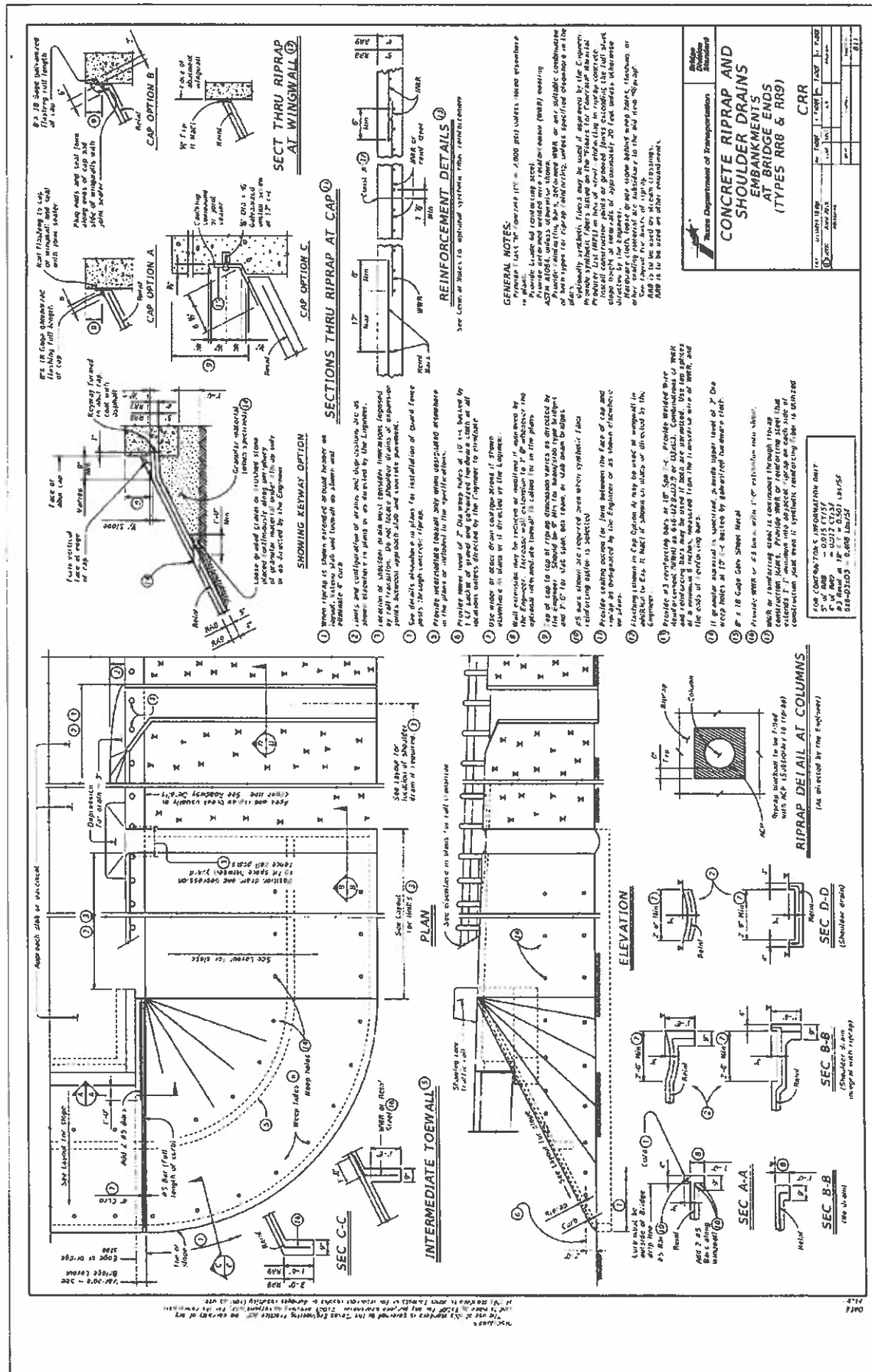


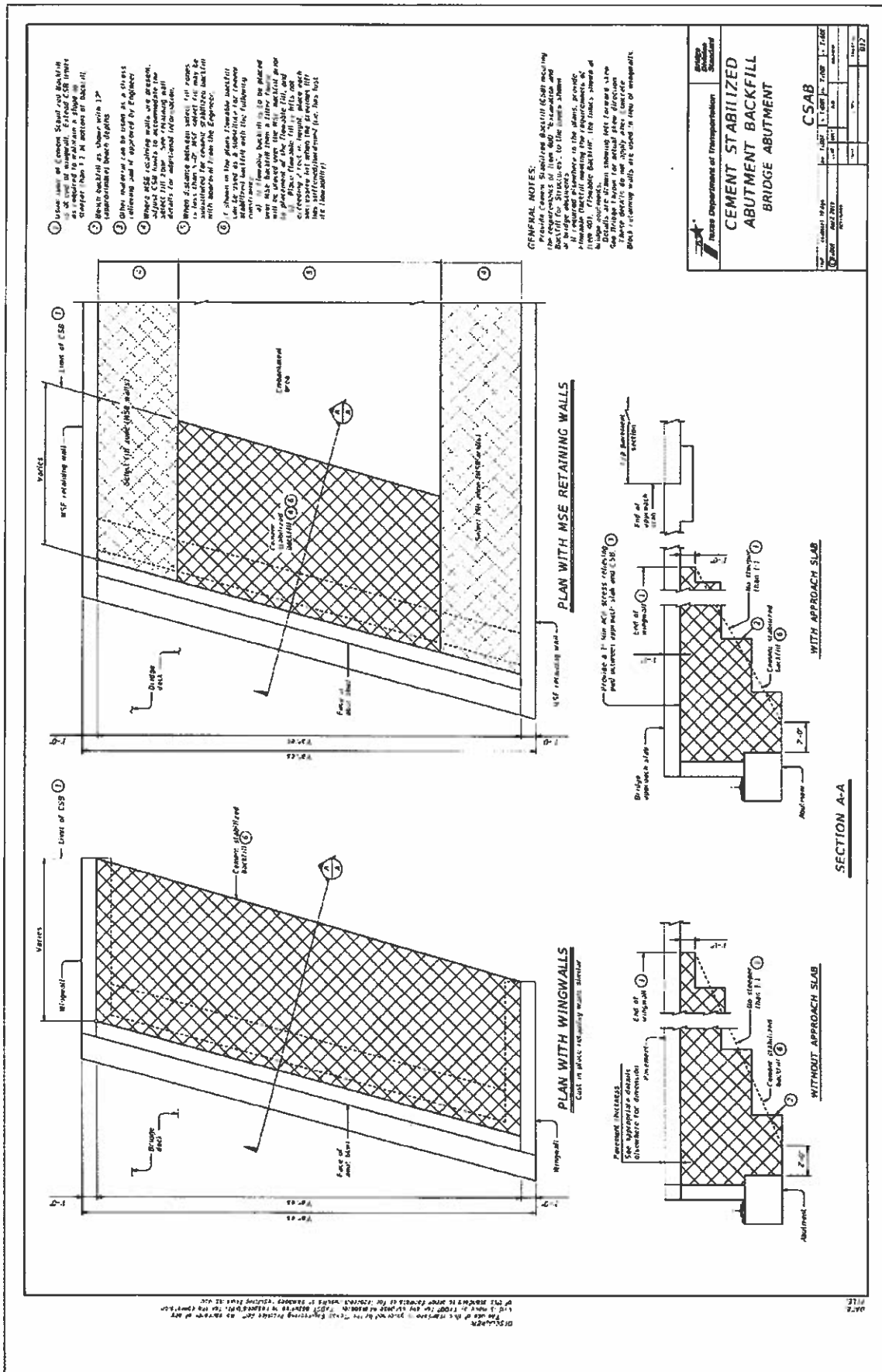
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314
315







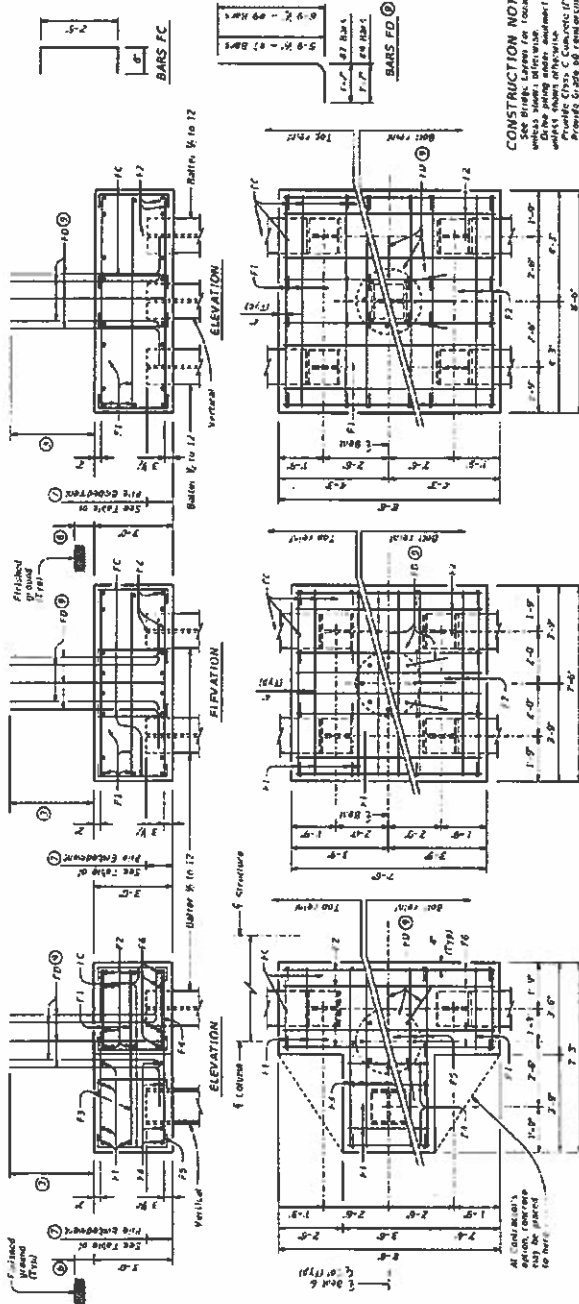
**TABLE OF FOOTING
QUANTITIES FOR
30" COLUMNS**

ONE 3 MILE FOOTINGS					ONE 3 MILE FOOTINGS				
Run	Age	Sex	Length	Weight	Run	Age	Sex	Length	Weight
F 1	1	♀	3"	2.3	F 1	1	♀	3"	2.3
F 2	2	♀	4"	2.3	F 2	2	♀	4"	2.3
F 3	6	♀	8"	20	F 3	6	♀	8"	20
F 4	8	♀	8-11"	86	F 4	8	♀	8-11"	86
F 5	4	♀	6-11"	84	F 5	4	♀	6-11"	84
F 6	1	♀	8"	78	F 6	1	♀	8"	78
F 7	1	♀	8"	78	F 7	1	♀	8"	78
F 8	1	♀	8"	78	F 8	1	♀	8"	78
F 9	1	♀	8"	78	F 9	1	♀	8"	78
F 10	1	♀	8"	78	F 10	1	♀	8"	78
F 11	1	♀	8"	78	F 11	1	♀	8"	78
F 12	1	♀	8"	78	F 12	1	♀	8"	78
F 13	1	♀	8"	78	F 13	1	♀	8"	78
F 14	1	♀	8"	78	F 14	1	♀	8"	78
F 15	1	♀	8"	78	F 15	1	♀	8"	78
F 16	1	♀	8"	78	F 16	1	♀	8"	78
F 17	1	♀	8"	78	F 17	1	♀	8"	78
F 18	1	♀	8"	78	F 18	1	♀	8"	78
F 19	1	♀	8"	78	F 19	1	♀	8"	78
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F 111	1	♀	8"	78	F 111	1	♀	8"	78
F 112	1	♀	8"	78	F 112	1	♀	8"	78
F 113	1	♀	8"	78	F 113	1	♀	8"	78
F 114	1	♀	8"	78	F 114	1	♀	8"	78
F 115	1	♀	8"	78	F 115	1	♀	8"	78
F 116	1	♀	8"	78	F 116	1	♀	8"	78
F 117	1	♀	8"	78	F 117	1	♀	8"	78
F 118	1	♀	8"	78	F 118	1	♀	8"	78
F 119	1	♀	8"	78	F 119	1	♀	8"	78
F 120	1	♀	8"	78	F 120	1	♀	8"	78
F 121	1	♀	8"	78	F 121	1	♀	8"	78
F 122	1	♀	8"	78	F 122	1	♀	8"	78
F 123	1	♀	8"	78	F 123	1	♀	8"	78
F 124	1	♀	8"	78	F 124	1	♀	8"	78
F 125	1	♀	8"	78	F 125	1	♀	8"	78
F 126	1	♀	8"	78	F 126	1	♀	8"	78
F 127	1	♀	8"	78	F 127	1	♀	8"	78
F 128	1	♀	8"	78	F 128	1	♀	8"	78
F 129	1	♀	8"	78	F 129	1	♀	8"	78
F 130	1	♀	8"	78	F 130	1	♀	8"	78
F 131	1	♀	8"	78	F 131	1	♀	8"	78
F 132	1	♀	8"	78	F 132	1	♀	8"	78
F 133	1	♀	8"	78	F 133	1	♀	8"	78
F 134	1	♀	8"	78	F 134	1	♀	8"	78
F 135	1	♀	8"	78	F 135	1	♀	8"	78
F 136	1	♀	8"	78	F 136	1	♀	8"	78
F 137	1	♀	8"	78	F 137	1	♀	8"	78
F 138	1	♀	8"	78	F 138	1	♀	8"	78
F 139	1	♀	8"	78	F 139	1	♀	8"	78
F 140	1	♀	8"	78	F 140	1	♀	8"	78
F 141	1	♀	8"	78	F 141	1	♀	8"	78
F 142	1	♀	8"	78	F 142	1	♀	8"	78
F 143	1	♀	8"	78	F 143	1	♀	8"	78
F 144	1	♀	8"	78	F 144	1	♀	8"	78
F 145	1	♀	8"	78	F 145	1	♀	8"	78
F 146	1	♀	8"	78	F 146	1	♀	8"	78
F 147	1	♀	8"	78	F 147	1	♀	8"	78
F 148	1	♀	8"	78	F 148	1	♀	8"	78
F 149	1	♀	8"	78	F 149	1	♀	8"	78
F 150	1	♀	8"	78	F 150	1	♀	8"	78
F 151	1	♀	8"	78	F 151	1	♀	8"	78
F 152	1	♀	8"	78	F 152	1	♀	8"	78
F 153	1	♀	8"	78	F 153	1	♀	8"	78
F 154	1	♀	8"	78	F 154	1	♀	8"	78
F 155	1	♀	8"	78	F 155	1	♀	8"	78
F 156	1	♀	8"	78	F 156	1	♀	8"	78
F 157	1	♀	8"	78	F 157	1	♀	8"	78
F 158	1	♀	8"	78	F 158	1	♀	8"	78
F 159	1	♀	8"	78	F 159	1	♀	8"	78
F 160	1	♀	8"	78	F 160	1	♀	8"	78
F 161	1	♀	8"	78	F 161	1	♀	8"	78
F 162	1	♀	8"	78	F 162	1	♀	8"	78
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F 165	1	♀	8"	78	F 165	1	♀	8"	78
F 166	1	♀	8"	78	F 166	1	♀	8"	78
F 167	1	♀	8"	78	F 167	1	♀	8"	78
F 168	1	♀	8"	78	F 168	1	♀	8"	78
F 169	1	♀	8"	78	F 169	1	♀	8"	78
F 170	1	♀	8"	78	F 170	1	♀	8"	78
F 171	1	♀	8"	78	F 171	1	♀	8"	78
F 172	1	♀	8"	78	F 172	1	♀	8"	78
F 173	1	♀	8"	78	F 173	1	♀	8"	78
F 174	1	♀	8"						

CONSTRUCTION NOTES:

[illegible]

GENERAL NOTES:



THREE PILE FOOTING®

FOUR PILE FOOTING®

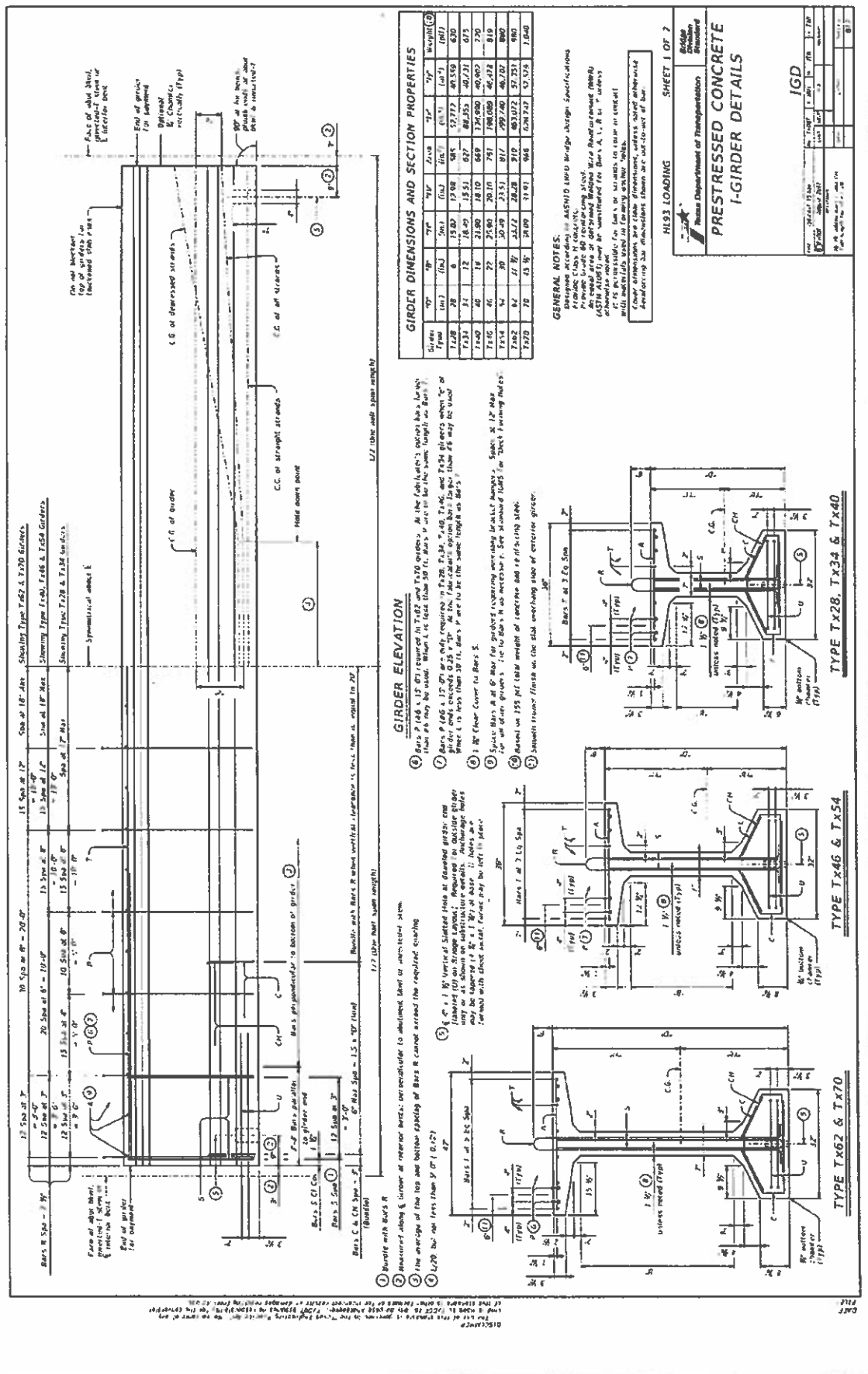
FIVE PILE FOOTING®

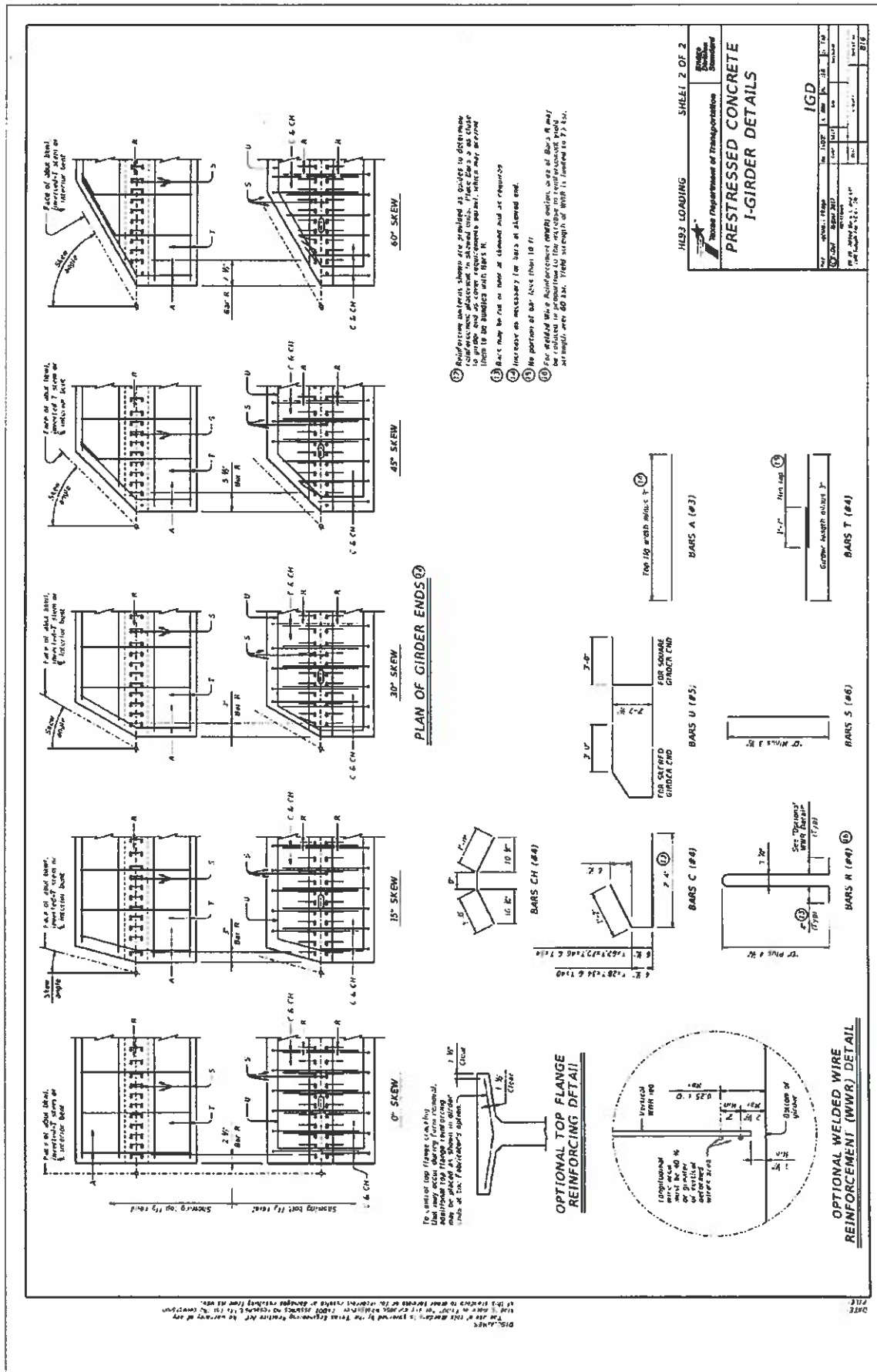
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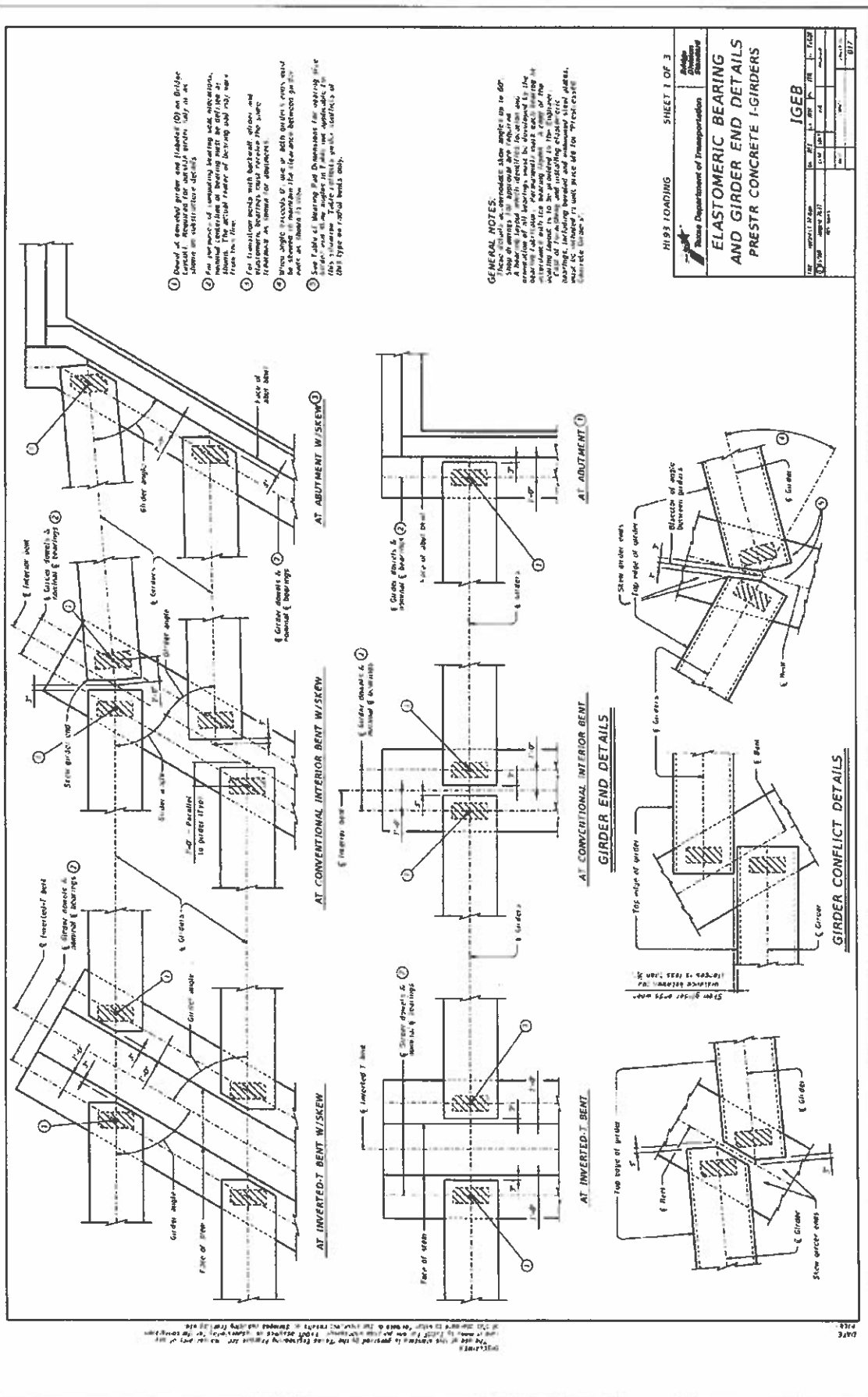
SHEET 2 OF 2

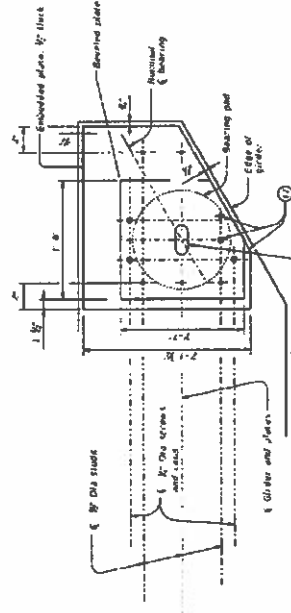
COMMON FOUNDATION DETAILS

ref	sample 18.49a	in	7.1007	in	7.1007	in	7.1007	in	7.1007
date	Aug 2018	date	10/1	date	10/1	date	10/1	date	10/1
ref	sample 18.49b	in	7.1007	in	7.1007	in	7.1007	in	7.1007
date	Aug 2018	date	10/1	date	10/1	date	10/1	date	10/1

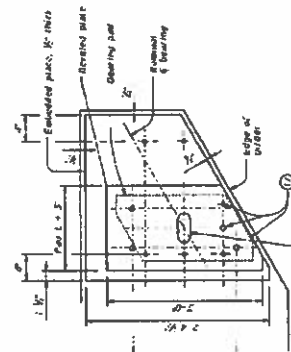




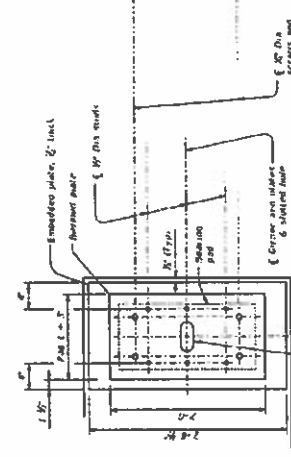




SKewed GIRDER END
15" DIA BEARING PAD

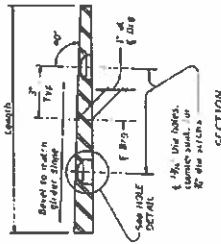


SKIPPED GIRDER FND

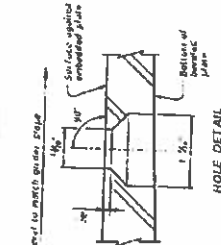


NORMAL GIRDER END

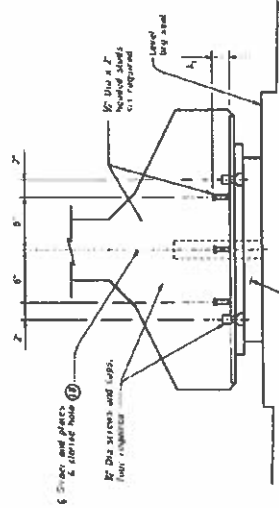
PLAN VIEW OF SOLE PLATE DETAILS



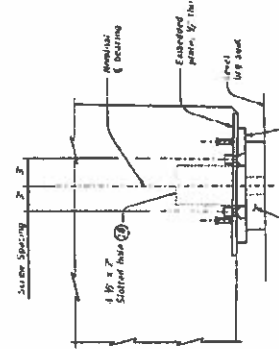
SECTION



HOLE DETAIL



END ELEVATION



SIDE ELEVATION

[illegible]

REVELED PLATE DETAILS

SH-107-1-10-1

SH-107-1-10-1

SH-107-1-10-1

SH-107-1-10-1

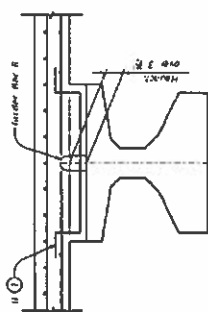
SH-107-1-10-1

SH-107-1-10-1

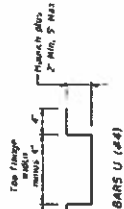
SH-107-1-10-1

SH-107-1-10-1

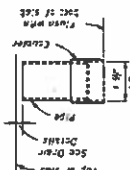
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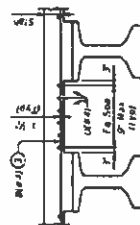
HAUNCH REINFORCING DETAIL



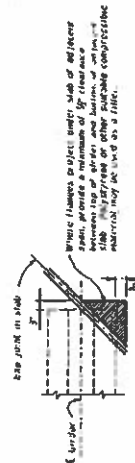
BARS U (24)



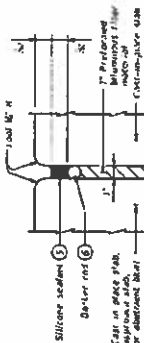
C-I-P DRAIN DETAIL ③



TYPICAL PART TRANSVERSE (1)
SLAB SECTION WITHOUT PCP

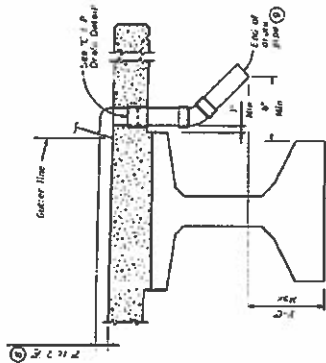


TREATMENT AT GIRDER END FOR SKEWED SPANS



TYPE A JOINT DETAIL ①

- [illegible]



DRAIN DETAIL®

GENERAL NOTES

UPPER HALF ONLY
UNCLASSIFIED
BRIDGE DESIGN SPECIFICATIONS
BY MEMO FOR TYPE A JOURNAL
PER ITEM 451, "BRIDGE EXPANSION JOINTS"
ALL OTHER ITEMS FURNISHING CLEAR BRIDGE
FOR MEMO ON THE SHEET ARE SUBMITTED
TO OTHER FOR ITEMS.

Large dimensions/has not been discussed unless asked otherwise.

DECK FOREMAN NOTES:

DECK FORMWORK NOTES:
Overhead bracket hangers are limited to a safe working load of 3,000 lbs., applied 12" and along the width of a stud and in 45 degree from vertical. Spacings of lighter loads permitted by hanger manufacturer. The first 50' of a member is less than 12" from girth and 3" above hangers, second 50' is

SHEET 1 OF 2

SALES 1 OF 2

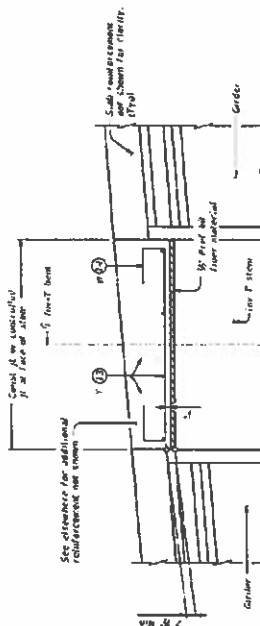
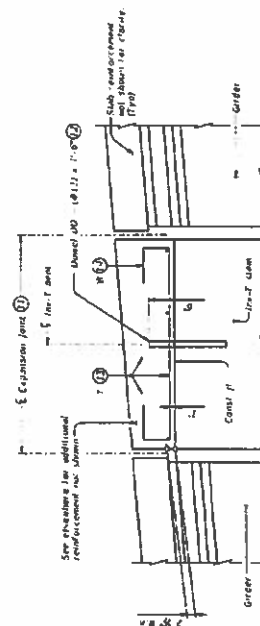
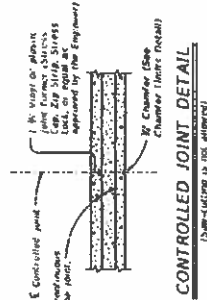
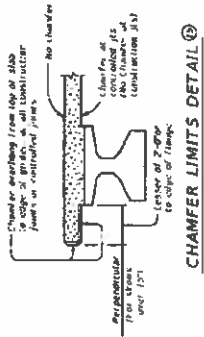
 **Texas Department of Transportation**

Bridge Division
Division Standard

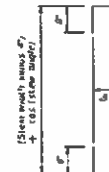
**MISCELLANEOUS
SLAB DETAILS**

PRESTR CONCRETE I-GIRDERS

[illegible]



SHOWING CONST. JTS OR CONTROLLED JTS
REINFORCEMENT OVER INV-T BENT



8495-N (24)

- (1) See Lanthier for field type.
- (2) Sources UNHCR sources at 3 PM. See how F's notes re quarters and relations
- (3) Source B's info at 12 PM. Use C and source. Revisit of M's T must satisfy starting point. Please discuss to him
- (4) Source B's W at 12 PM. 13 hours and up. Tell if necessary to murder can't require them. Please handle to longitudinal lab
- (5) See memo details for logs at 3 PM and final documents

SHEET 2 OF 2

Texas Department of Transportation
 Bridge Division
 Standard

MISCELLANEOUS

SLAB DETAILS

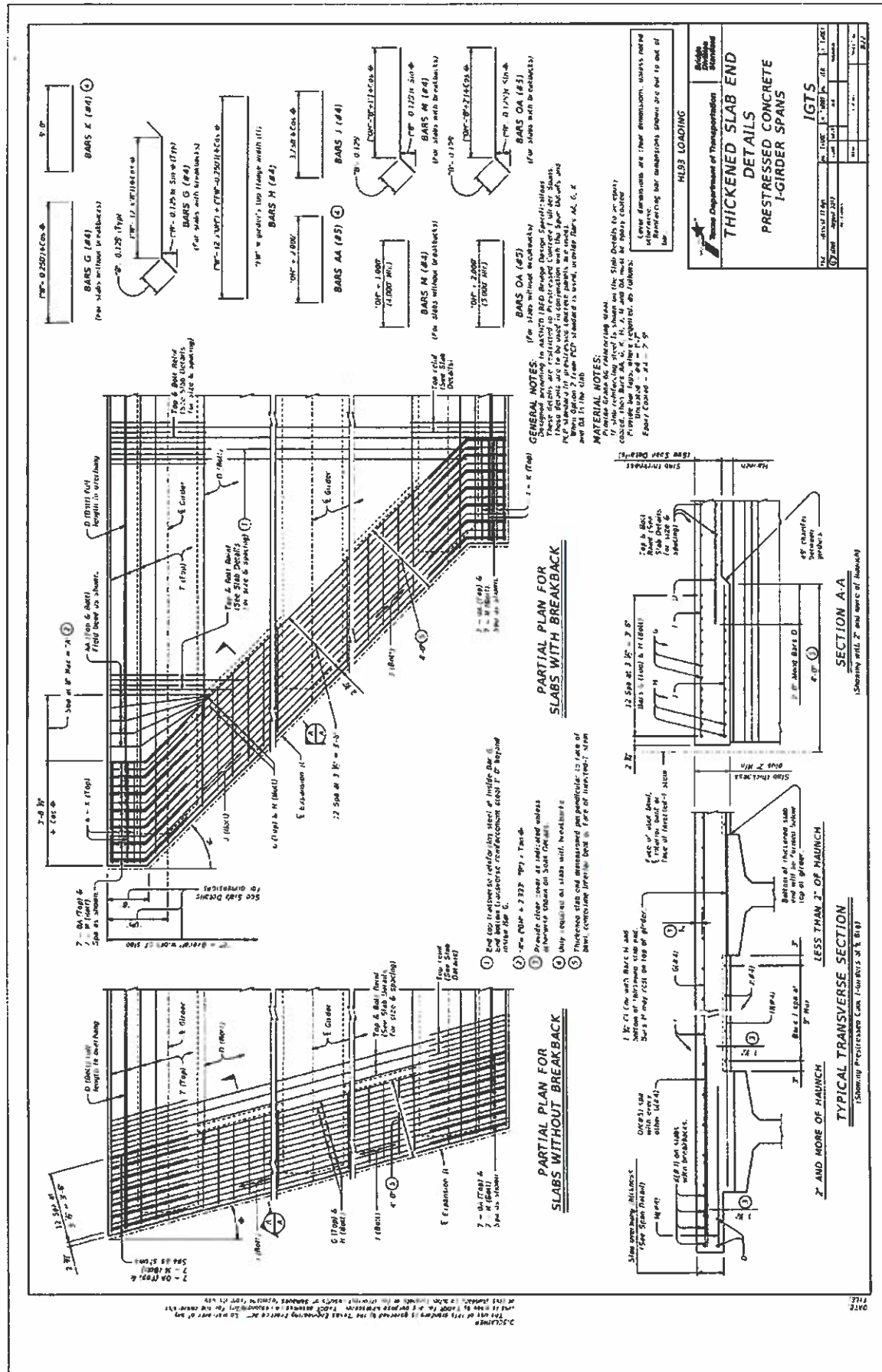
PRESTA CONCRETE I-GIRDERS

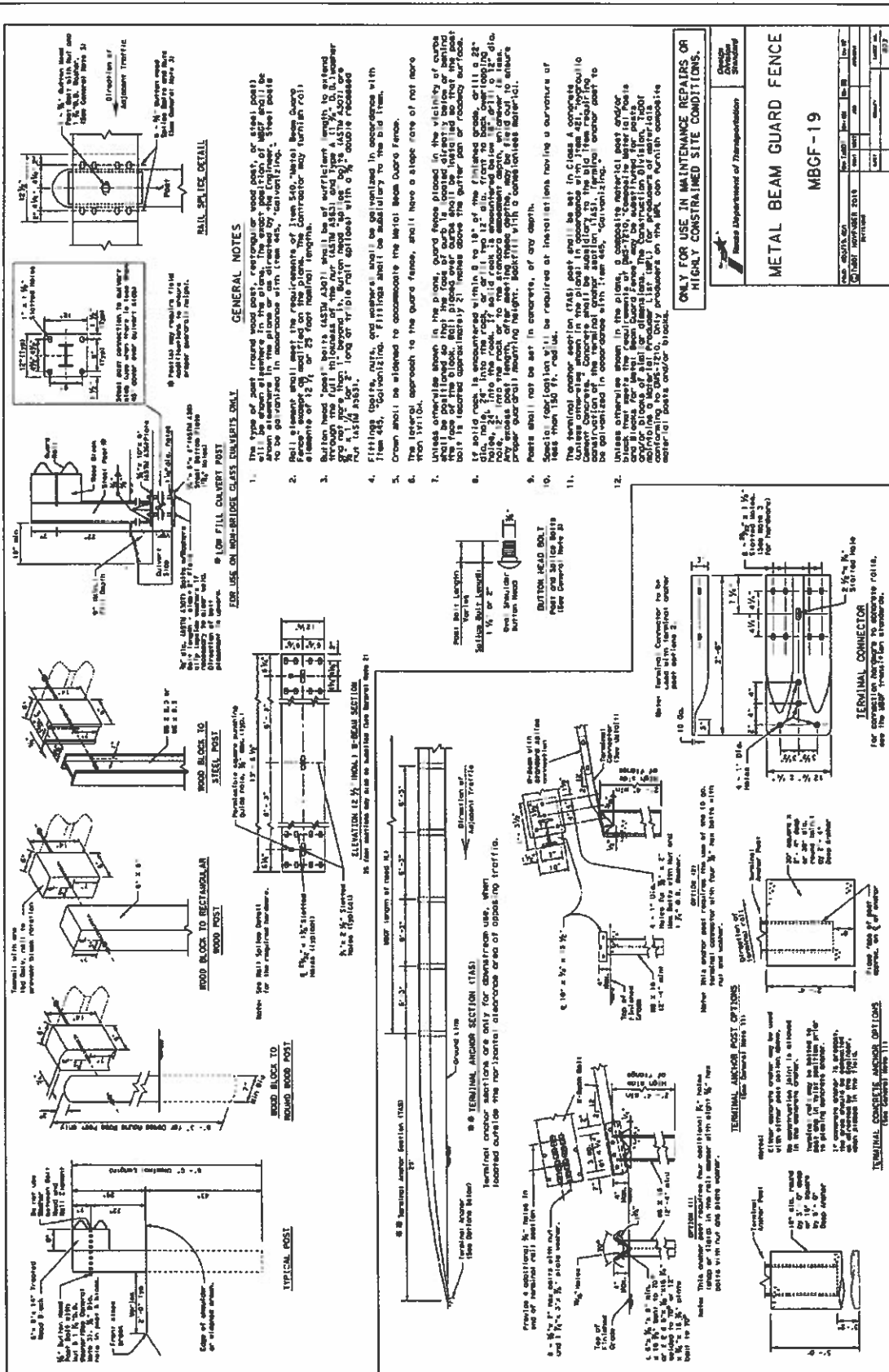
IGMS

[illegible]

DATE

1. The first part of the document is a letter from the President of the United States to the President of the Senate, dated January 1, 1901. The letter is signed by William McKinley and is addressed to John D. Long. The letter is a copy of a letter that was sent to the President of the Senate by the President of the United States on January 1, 1901. The letter is a copy of a letter that was sent to the President of the Senate by the President of the United States on January 1, 1901. The letter is a copy of a letter that was sent to the President of the Senate by the President of the United States on January 1, 1901.



[illegible]

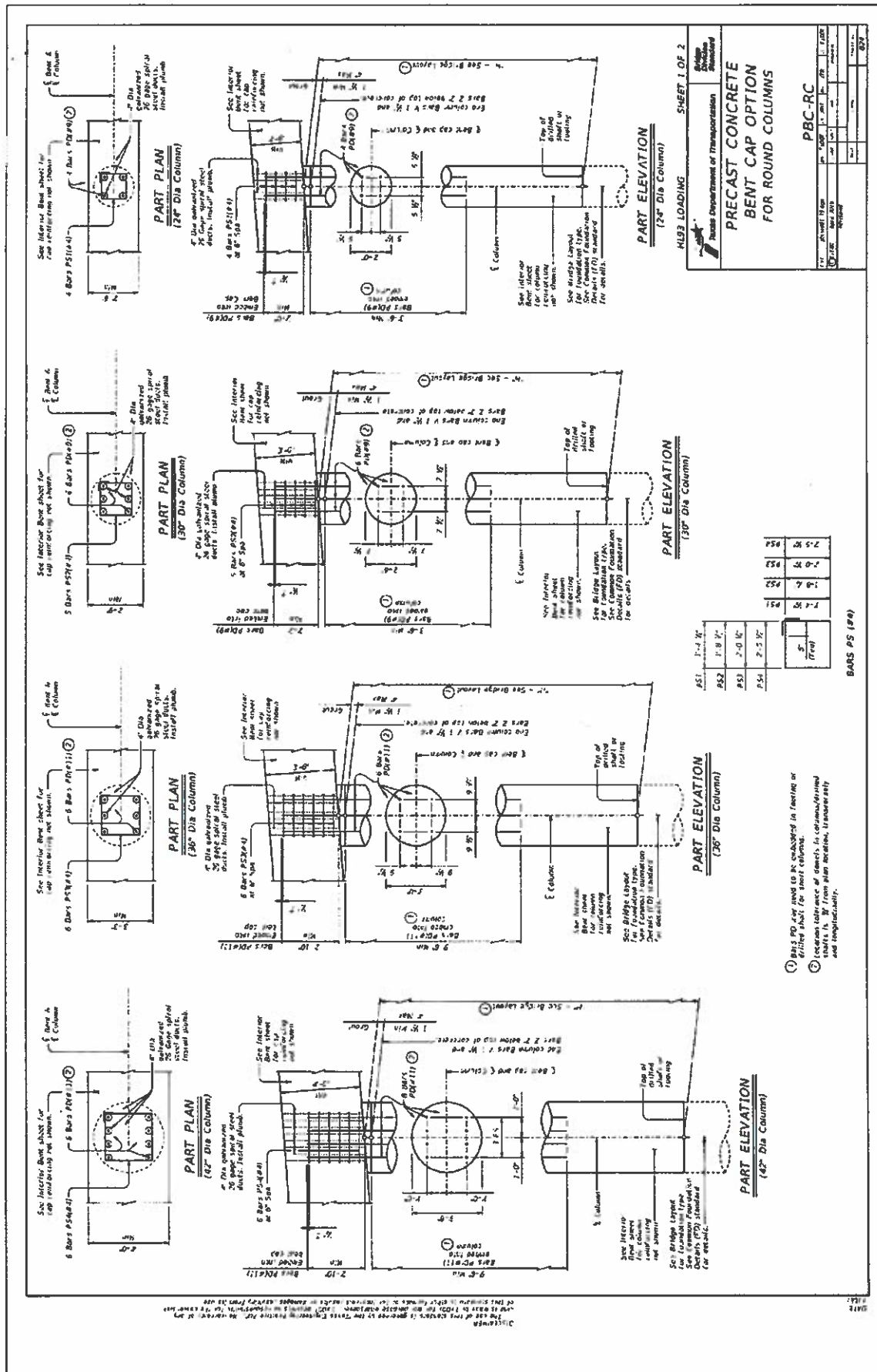
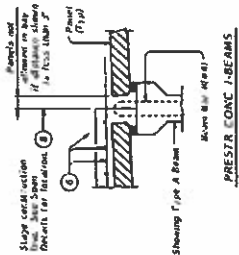
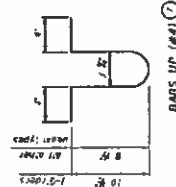
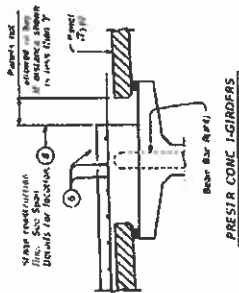
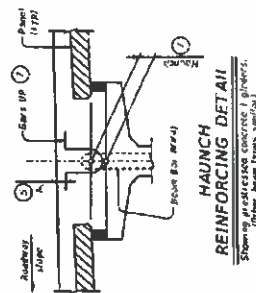
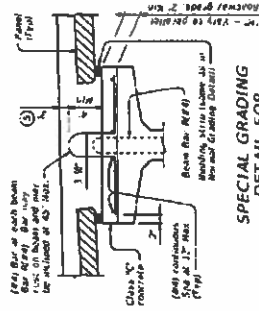
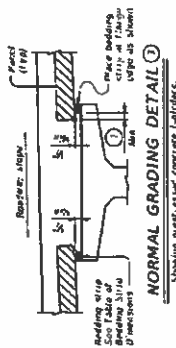
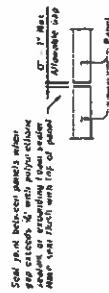


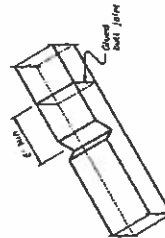
TABLE OF BEDDING STRIP DIMENSIONS		
WIDTH	HEIGHT	REINFORCING
1 (MIN)	2"	1"
1 1/2"	2"	1 1/2"
2"	2"	2"
2 1/2"	2"	2 1/2"
3"	2"	3"
3 1/2"	2"	3 1/2"
4"	2"	4"
4 1/2"	2"	4 1/2"
5"	2"	5"
5 1/2"	2"	5 1/2"
6"	2"	6"



1. For use in Figure 1, 1/2" dia. for all other beam types.
2. Always use 1-girder, not allowed on other beam types.
3. For use in Figure 1, 1/2" dia. for all other beam types.
4. For use in Figure 1, 1/2" dia. for all other beam types.
5. For use in Figure 1, 1/2" dia. for all other beam types.
6. For use in Figure 1, 1/2" dia. for all other beam types.
7. For use in Figure 1, 1/2" dia. for all other beam types.
8. For use in Figure 1, 1/2" dia. for all other beam types.
9. For use in Figure 1, 1/2" dia. for all other beam types.
10. For use in Figure 1, 1/2" dia. for all other beam types.
11. For use in Figure 1, 1/2" dia. for all other beam types.
12. For use in Figure 1, 1/2" dia. for all other beam types.
13. For use in Figure 1, 1/2" dia. for all other beam types.
14. For use in Figure 1, 1/2" dia. for all other beam types.
15. For use in Figure 1, 1/2" dia. for all other beam types.
16. For use in Figure 1, 1/2" dia. for all other beam types.
17. For use in Figure 1, 1/2" dia. for all other beam types.
18. For use in Figure 1, 1/2" dia. for all other beam types.
19. For use in Figure 1, 1/2" dia. for all other beam types.
20. For use in Figure 1, 1/2" dia. for all other beam types.



The joint should be considered as a joint for reinforcement. Refer to the Reinforcing Bar Detail for reinforcement.



CONSTRUCTION NOTES:
1. For use in Figure 1, 1/2" dia. for all other beam types.
2. Always use 1-girder, not allowed on other beam types.
3. For use in Figure 1, 1/2" dia. for all other beam types.
4. For use in Figure 1, 1/2" dia. for all other beam types.
5. For use in Figure 1, 1/2" dia. for all other beam types.
6. For use in Figure 1, 1/2" dia. for all other beam types.
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14. For use in Figure 1, 1/2" dia. for all other beam types.
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16. For use in Figure 1, 1/2" dia. for all other beam types.
17. For use in Figure 1, 1/2" dia. for all other beam types.
18. For use in Figure 1, 1/2" dia. for all other beam types.
19. For use in Figure 1, 1/2" dia. for all other beam types.
20. For use in Figure 1, 1/2" dia. for all other beam types.

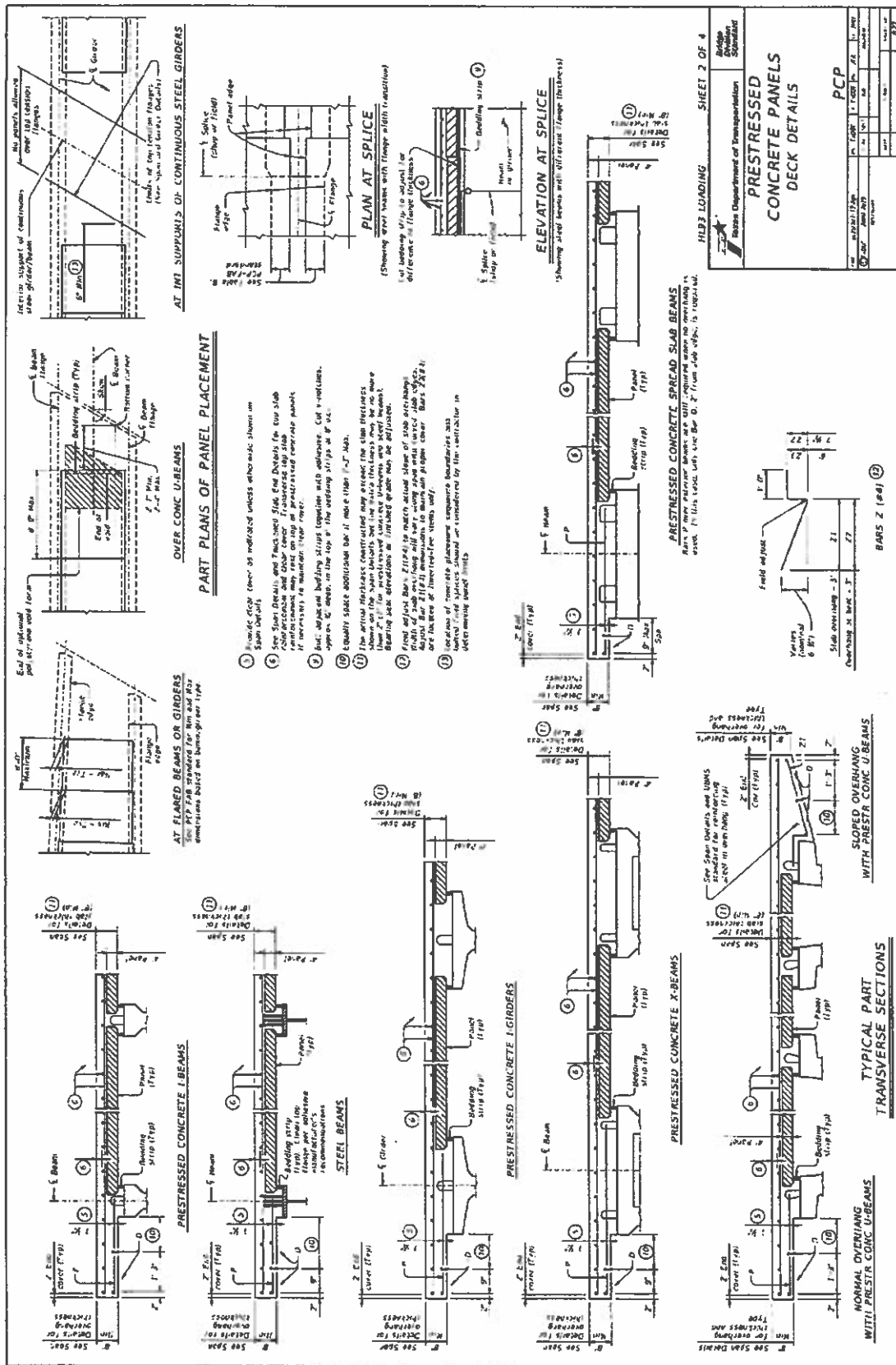
GENERAL NOTES:
1. For use in Figure 1, 1/2" dia. for all other beam types.
2. Always use 1-girder, not allowed on other beam types.
3. For use in Figure 1, 1/2" dia. for all other beam types.
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17. For use in Figure 1, 1/2" dia. for all other beam types.
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19. For use in Figure 1, 1/2" dia. for all other beam types.
20. For use in Figure 1, 1/2" dia. for all other beam types.

PRESTRESSED CONCRETE PANELS DECK DETAILS

SHEET 1 OF 4

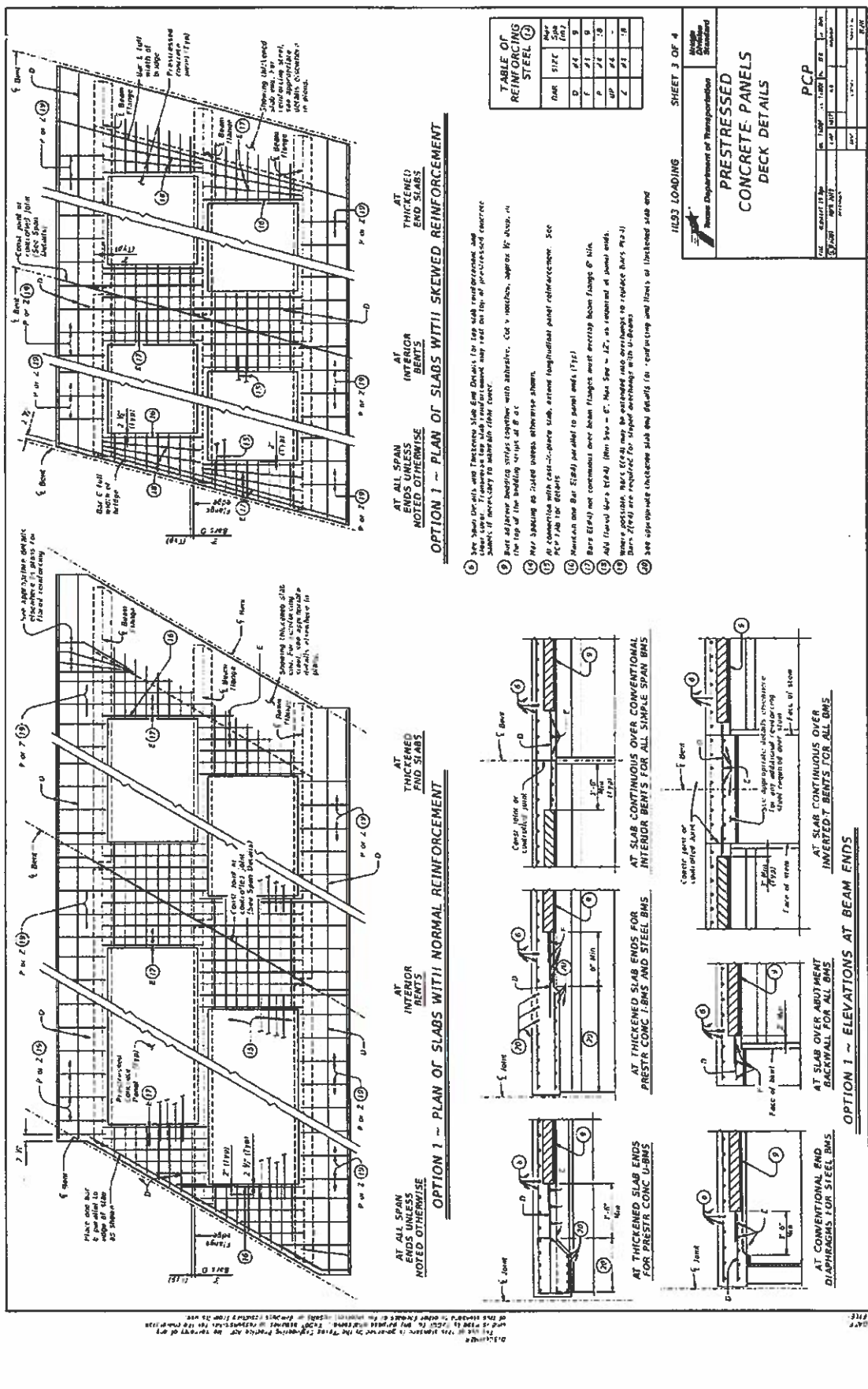
PCP

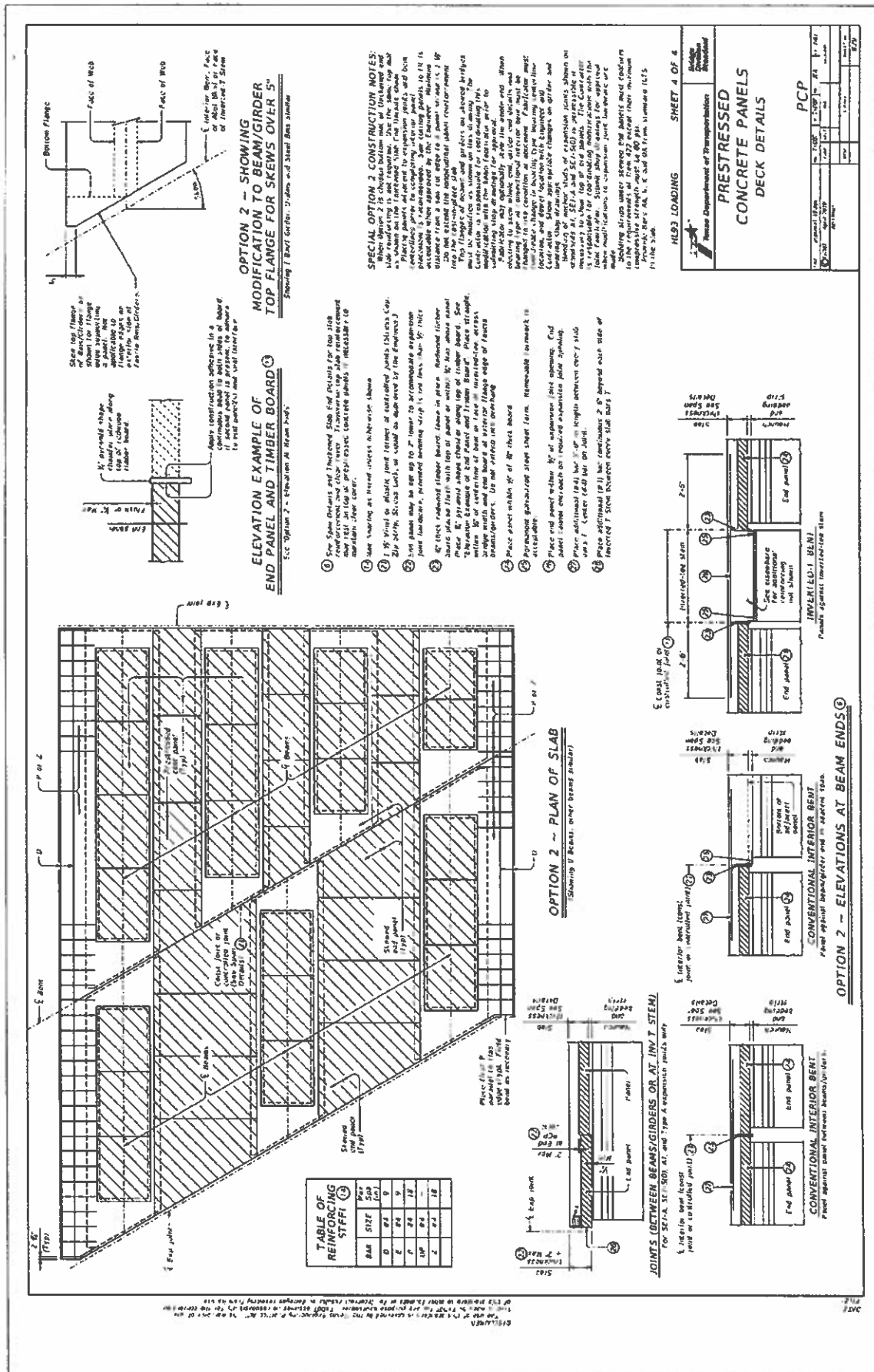
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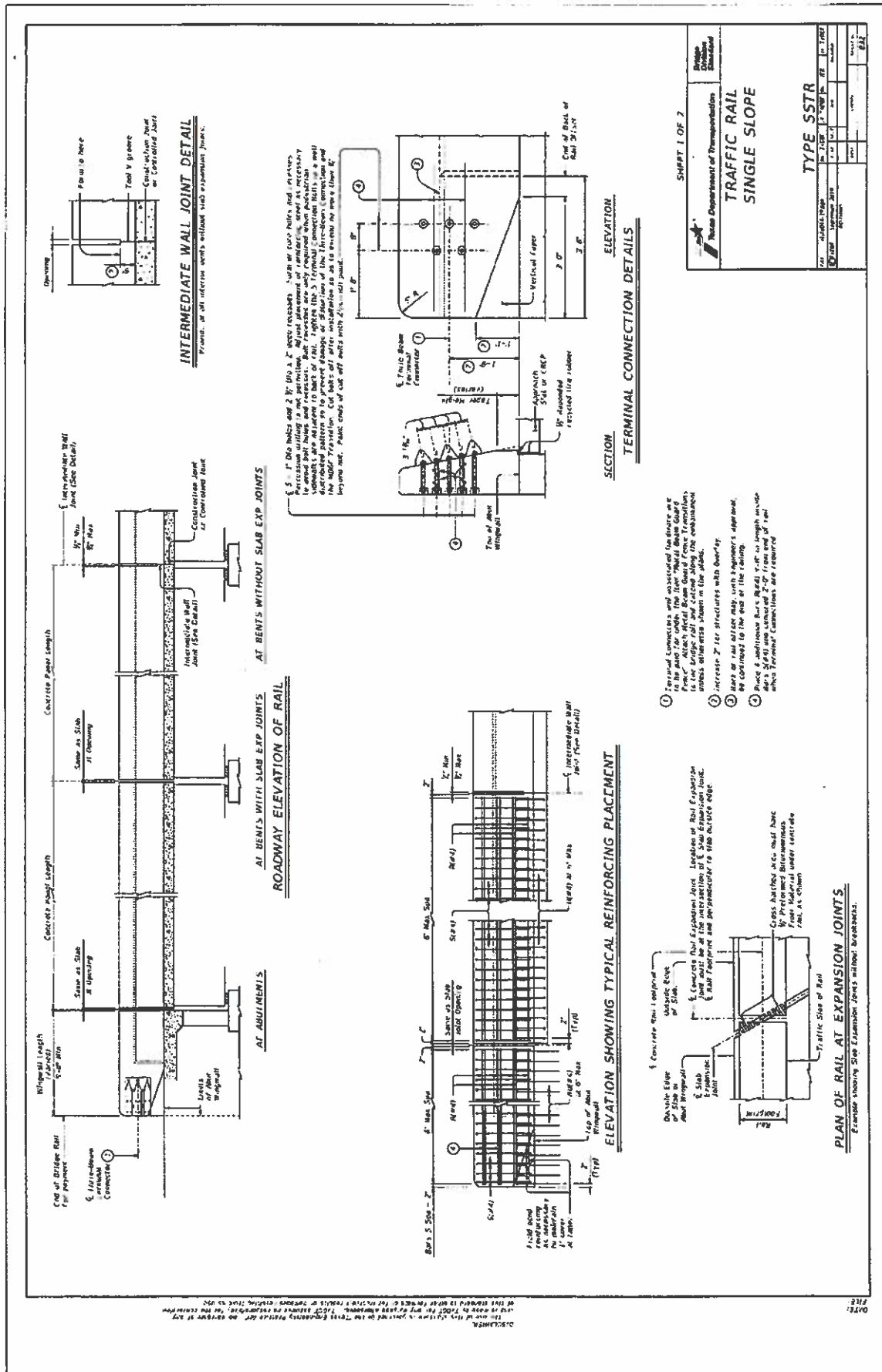
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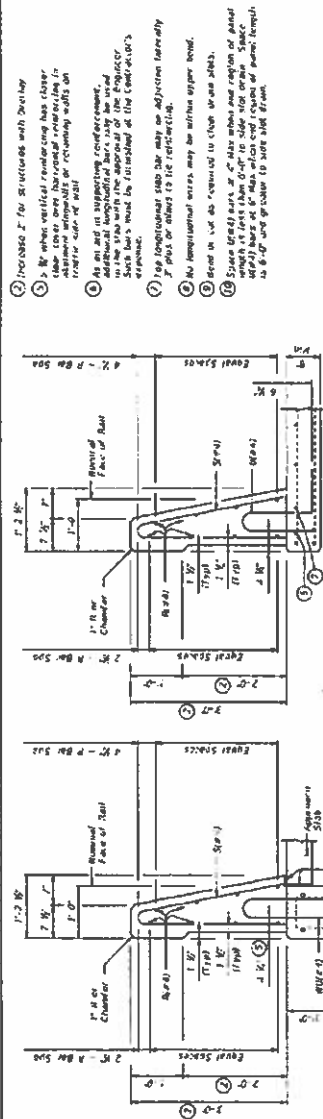
ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED
DATE 08-27-2019 BY 60322 UCBAW/BJS





[illegible]

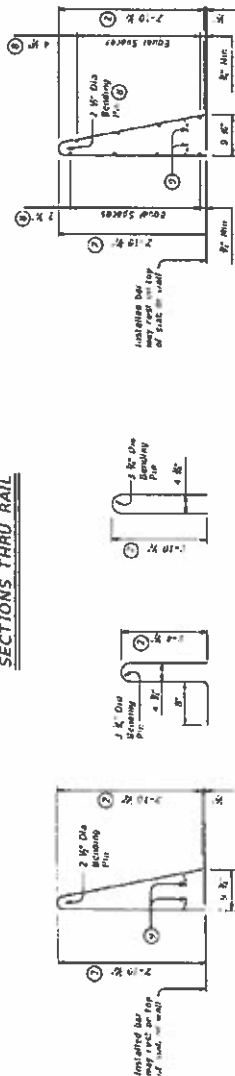




ON BRIDGE SLAB

SECTIONS THRU RAIL

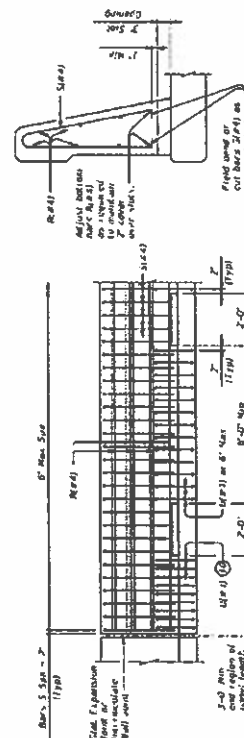
**ON ADJUTANT WINGWALLS
ON C/P RETAINING WALLS**



BARS WU (04)

BARS U (04)

BARS 5 (94)



SECTION THRU
OPTIONAL SIDE SLOT DRAIN

OPTIONAL SIDE SLOT DRAIN DETAIL

Agar-agar film drums may be used where drums elsewhere are not used or as directed by the Engineer. Drums should not be placed over railroad tracks, power lines, or sidewalks. When this roll is used as a separator between a roadway surface and a subgrade surface, place this roll with the smooth surface

7-10-68
10-10-68
11-10-68
12-10-68
1-11-68
2-11-68
3-11-68
4-11-68
5-11-68
6-11-68
7-11-68
8-11-68
9-11-68
10-11-68
11-11-68
12-11-68
1-12-68
2-12-68
3-12-68
4-12-68
5-12-68
6-12-68
7-12-68
8-12-68
9-12-68
10-12-68
11-12-68
12-12-68
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CONSTRUCTION NOTES

This column can be constructed by the following process which also tends to be the simplest, with minimum judgment and no need for the engineer to be involved in any calculations. It is a method to provide a means for the engineer to determine the relative importance of the various items on a list. It is a method to provide a means for the engineer to determine the relative importance of the various items on a list. It is a method to provide a means for the engineer to determine the relative importance of the various items on a list.

[illegible]

GENERAL MOTORS has recently published a full-page advertisement in the *Automotive News* that reads: "The new GM 1000 cc. 4-cylinder engine will meet all 50 mph and greater when a 11.5 second 0-60 mph acceleration is used. When a 11.2 second quarter mile transition is used, then, it will only be tested for 100 mph." The advertisement is signed "General Motors."

It is not an idle guess to believe that expensive jobs promoting these 100 mph cars are necessary.

Let me cite two striking items on this. According to my request for information for articles, Atlanta Press, says approximately 100,000 cars are being sold in the U.S. each year. The 1964 cars are being sold for the 1963 rate.

More striking, with the cars being sold for the 1963 rate, more speed testing of driving with an overlay is 376 mi.

Computer simulations are clear demonstrations. Unlike actual

SHEET 2 OF 2

**TRAFFIC RAIL
SINGLE SLOPE**

TYPE 557B

DATE	10/10/2000	TIME	10:00	DATE	10/10/2000	TIME	10:00
NAME	John Doe	NAME	John Doe	NAME	John Doe	NAME	John Doe
ADDRESS	123 Main St	ADDRESS	123 Main St	ADDRESS	123 Main St	ADDRESS	123 Main St
CITY	New York	CITY	New York	CITY	New York	CITY	New York
STATE	NY	STATE	NY	STATE	NY	STATE	NY
ZIP	10001	ZIP	10001	ZIP	10001	ZIP	10001
PHONE	212-555-1234	PHONE	212-555-1234	PHONE	212-555-1234	PHONE	212-555-1234
EMAIL	john.doe@ny.com	EMAIL	john.doe@ny.com	EMAIL	john.doe@ny.com	EMAIL	john.doe@ny.com

Exhibit "C"

Brookshire-Katy Drainage District
1111 Kenney Ave.
Brookshire, Texas 77423

**ANNUAL TEXAS REGISTERED PROFESSIONAL
ENGINEER INSPECTION CERTIFICATE**

I, _____, a Registered Professional Engineer, duly
licensed to practice in the State of Texas do hereby certify that on _____,
____, 20____, the Detention Facilities designed and constructed as part of _____, to
the best of my knowledge, conformed to the plans and technical specifications contained in the civil
engineering drawings therein stated on file with the Brookshire-Katy Drainage District under Permit
No. _____, and as of the date of this certificate said Detention Facilities have the
capacity to function in substantial conformity with said approved plans and technical specifications.

Signature

Date

Mailing Address

City, State, Zip

Phone Number

2100509

01/13/2021 09:04:50 AM Total Pages: 11 Fees: \$52.00

Debbie Hollan, County Clerk - Waller County, TX

Exhibit "D"

TEMPORARY ACCESS EASEMENT (13.884 Acres)

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

THE STATE OF TEXAS

§

KNOW ALL BY THESE PRESENTS:

COUNTY OF WALLER

§

§

THAT TWINWOOD (U.S.), INC., a Texas corporation ("Grantor"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, has GRANTED, SOLD, AND CONVEYED and by these presents does GRANT, SELL, AND CONVEY unto BROOKSHIRE-KATY DRAINAGE DISTRICT, a political subdivision of the State of Texas, whose mailing address is P.O. Box 608, Brookshire, Texas 77423 ("Grantee"), a temporary and non-exclusive easement and right-of-way (the "Easement") for vehicular and pedestrian ingress, egress, and regress on, across, along, over, upon and through that certain tract of land located in Waller County, Texas, containing 13.884 acres, as more particularly described in Exhibit A attached hereto and incorporated herein for all purposes (the "Easement Tract").

Notwithstanding anything herein to the contrary, the Easement is temporary and shall automatically terminate and be of no further force and effect on the date on which a plat is recorded that encompasses the Easement Tract. At such time, the Easement shall automatically revert to Grantor without the necessity for Grantor or Grantee to take any action.

Grantee may enter upon the Easement Tract to engage in all activities as may be necessary in connection therewith. Subject to the rights granted to Grantee herein, Grantee will, at all times after doing any work in connection with the Easement, restore the surface of the Easement Tract as nearly as reasonably practicable to substantially its condition prior to the undertaking of such work.

Subject to the limitations set forth herein, Grantor expressly reserves the right to the use and enjoyment of the surface of the Easement Tract for any and all purposes, provided, however, that such use and enjoyment of the surface of the Easement Tract shall not unreasonably interfere with Grantee's use of the Easement for the purposes set forth herein.

Grantor reserves all oil, gas, and other minerals in, on, or under the Easement Tract, but waives all right to use the surface of the Easement Tract for, and all rights of ingress and egress for, the purpose of exploring, developing, mining, or drilling for the same; provided, however, that nothing herein shall prohibit or in any manner restrict the right of Grantor to extract oil, gas, and other minerals from and under the Easement Tract by directional drilling or other means that does not interfere with or disturb the surface of the Easement Tract or Grantee's use of the Easement Tract for the purposes set forth herein.

This conveyance is further made subject to any and all restrictions, covenants, easements, rights-of-way, encumbrances, and mineral or royalty reservations or interests affecting the Easement Tract and appearing of record in the Official Public Records of Waller County, Texas, to the extent in effect and validly enforceable against the Easement Tract (the "Permitted Encumbrances"); provided, however, to the extent that Grantor has the ability to enforce any of the Permitted Encumbrances, Grantor will not do so in a manner that would unreasonably prejudice or interfere with Grantee's exercise of its rights in the Easement and use of the Easement Tract for the purposes set forth herein.

TO HAVE AND TO HOLD, subject to the matters set forth herein and the Permitted Encumbrances, the Easement, together with, all and singular, the rights and appurtenances thereto in any wise belonging, including all necessary rights to ingress, egress, and regress, unto Grantee, its successors and assigns, forever. Grantor does hereby bind itself and its successors and assigns to WARRANT AND FOREVER DEFEND, all and singular, the Easement and right-of-way and other rights described herein unto Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under Grantor, but not otherwise.

The covenants and agreements contained herein shall run with the land and shall inure to the benefit of and shall be binding upon Grantor and Grantee and their respective successors and assigns.

The prevailing party in any suit, action, or other proceeding instituted in connection with any controversy arising out of this instrument or the Easement shall be entitled to recover its reasonable attorneys' fees from the other party.

The individual signing this instrument on behalf of Grantor represents that he/she has the requisite authority to bind Grantor.

Neither party's failure to insist on strict performance of any part of this instrument shall be construed as a waiver of the performance in any other instance.

This instrument shall be interpreted and construed in accordance with the laws of the State of Texas, without regard to conflict of laws, principles, and venue for any suit, action, or proceeding instituted in connection with any controversy arising out of this instrument or the Easement shall be the state courts situated in Waller County, Texas.

This instrument may be executed in multiple counterparts, each of which shall be deemed an original, and all of which taken together shall constitute one instrument.

[Signature pages follow this page.]

EXECUTED this 24 day of August, 2020.

GRANTOR:

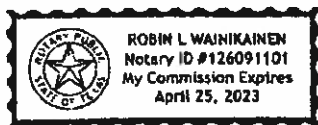
TWINWOOD (U.S.), INC.,
a Texas corporation

By: [Signature]
Name: Abel C. Gonzales
Title: Vice President

THE STATE OF TEXAS §
 §
COUNTY OF Fort Bend §

This instrument was acknowledged before me on the 29th day of June, 2020, by Abel C. Gonzales, Vice President of TWINWOOD (U.S.), INC., a Texas corporation, on behalf of said corporation.

(NOTARY SEAL)



[Signature]
Notary Public, State of Texas

EXECUTED by Grantee on the date set forth in the acknowledgment below, but AGREED to, ACCEPTED, and EFFECTIVE as of the date executed by Grantor.

GRANTEE:

BROOKSHIRE-KATY
DRAINAGE DISTRICT

By: [Signature]
Name: DAVID HUNSMUCKER
Title: PRESIDENT

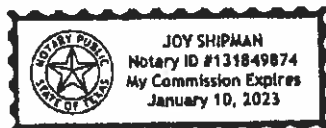
ATTEST:

By: [Signature]
Name: RUTH ELLIS
Title: Secretary

THE STATE OF TEXAS §
 §
COUNTY OF Waller §

This instrument was acknowledged before me the 24 day of August, 2020, by DAVID HUNSMUCKER, President and RUTH ELLIS, Secretary of the Board of Directors of BROOKSHIRE-KATY DRAINAGE DISTRICT, a political subdivision of the State of Texas, on behalf of said political subdivision.

(NOTARY SEAL)



[Signature]
Notary Public, State of Texas

Attachments:

Consent of Lienholder (Capital Farm Credit, FLCA)
Exhibit A - Description of Easement Tract

After recording, please return to:

Allen Boone Humphries Robinson LLP
3200 Southwest Freeway, Suite 2600
Houston, Texas 77027
Attention: Real Estate Department

CONSENT OF LIENHOLDER
(Capital Farm Credit, FLCA)

CAPITAL FARM CREDIT, FLCA, being the owner and holder of certain liens or other security interests (the "Security Interests"), against the real property described in Exhibit A attached hereto (the "Easement Tract"), hereby:

- (a) Consents to the conveyance of the Temporary Access Easement to Brookshire-Katy Drainage District ("District") on, across, along, over, upon, and through the Easement Tract;
- (b) Subordinates all of its Security Interests (including, without limitation, all extensions of the Security Interests and modification agreements thereto) that encumber the Easement Tract, to the rights and interests created under the Temporary Access Easement; and
- (c) Acknowledges and agrees that a foreclosure of its Security Interests shall not extinguish the rights, obligations, and interests of the District created under the Temporary Access Easement.

Executed on the date set forth in the acknowledgment below, but EFFECTIVE as of the date of Grantor's execution of the Temporary Access Easement.

CAPITAL FARM CREDIT, FLCA

By: [Signature]
Name: Robert Ward
Title: SVP

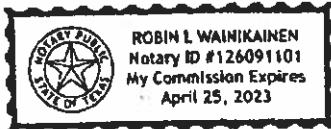
THE STATE OF TEXAS

§
§
§

COUNTY OF Fort Bend

This instrument was acknowledged before me on the 30th day of June, 2020, by Robert Ward, Senior Vice President of CAPITAL FARM CREDIT, FLCA, on behalf of said banking association.

(NOTARY SEAL)



[Signature]
Notary Public, State of Texas

Exhibit A
Description of Easement Tract

January 9, 2020
Job No. LJA001-7777-1040

DESCRIPTION OF
13.884 ACRES

Being 13.884 acres of land located in the Nathan Brookshire League, Abstract 16, and the William Cooper League, Abstract 20, of Waller County, Texas, more particularly being a portion of that certain called 477.895 acre tract described in the deed to NBI Properties, Inc. by an instrument of record under File Number 2008146817, of the Official Public Records of Fort Bend County, Texas (F.B.C.O.P.R.), and under Volume 998, Page 753, of the Official Public Records of said Waller County, Texas (W.C.O.P.R.), now known as Twinwood (U.S.), Inc. by an instrument of record in Volume 1330, Page 240, W.C.O.P.R. and under File Number 2012121483, F.B.C.O.P.R., and a portion of that certain called 82.3025 acre tract described in the deed to Twinwood (U.S.), Inc. by an instrument of record in Volume 1393, Page 101, W.C.O.P.R., said 13.884 acre tract being more particularly described by metes and bounds as follows, (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD83):

COMMENCING for reference at a concrete monument (4-inch X 4-inch) found in the north line of said Fort Bend County, common to the south line of said Waller County, and in the east line of said 477.895 acre tract, common to the west right-of-way line of Farm-to-Market (F.M.) 359 (called 100' wide);

Thence, North 35° 56' 20" West, departing said county line, along the east line of said 477.895 acre tract, common to the west right-of-way line of said F.M. 359, 1,706.08 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for the most easterly corner and POINT OF BEGINNING of the herein described tract;

Thence, North 80° 49' 42" West, departing said common line, 28.32 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a non-tangent curve;

Thence, 1,003.77 feet along the arc of a non-tangent curve to the right, having a radius of 3,245.00 feet, a central angle of 17° 43' 24", and a chord which bears South 63° 16' 32" West, 999.78 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;

13.884 Acres

January 9, 2020
Job No. LJA001-7777-1040

Thence, South 72° 08' 14" West, 1,186.32 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 27° 08' 14" West, 14.14 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 72° 08' 14" West, 887.00 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a tangent curve;

Thence, 1,702.41 feet along the arc of a tangent curve to the left, having a radius of 3,145.00 feet, a central angle of 31° 00' 52", and a chord which bears South 56° 37' 48" West, 1,681.70 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 86° 07' 22" West, 14.12 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a non-tangent curve;

Thence, 1,262.35 feet along the arc of a non-tangent curve to the left, having a radius of 3,155.00 feet, a central angle of 22° 55' 29", and a chord which bears South 29° 28' 44" West, 1,253.94 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for the southeast corner of the herein described tract in the south line of said 477.895 acre tract, common to the north line of that certain called 316.9155 acre tract described in the deed to NBI Properties, Inc., by an instrument of record under File Number 2006152865, F.B.C.O.P.R., now known as Twinwood (U.S.), Inc. by an instrument of record under File Number 2012121483, F.B.C.O.P.R., same being in said Waller and Fort Bend County Line;

Thence, South 87° 42' 14" West, along said common line, 95.79 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for the southwesterly corner of the herein described tract, from which a 1-inch Iron rod found in said common line, bears South 87° 42' 14" West, 963.25 feet, the beginning of a non-tangent curve;

Thence, departing said common line, 1,342.02 feet along the arc of a non-tangent curve to the right, having a radius of 3,245.00 feet, a central angle of 23° 41' 44", and a chord which bears North 29° 16' 38" East, 1,332.47 feet to a 5/8-inch Iron rod with cap stamped "LJA SURVEY" set for corner;

13.884 Acres

January 9, 2020
Job No. LJA001-7777-1040

Thence, North 03° 41' 53" West, 14.16 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a non-tangent curve;

Thence, 1,751.77 feet along the arc of a non-tangent curve to the right, having a radius of 3,255.00 feet, a central angle of 30° 50' 07", and a chord which bears North 56° 43' 10" East, 1,730.70 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North 72° 08' 14" East, 887.38 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, South 82° 51' 46" East, 14.14 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North 72° 08' 14" East, 1,185.93 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a tangent curve;

Thence, 975.35 feet along the arc of a tangent curve to the left, having a radius of 3,155.00 feet, a central angle of 17° 42' 45", and a chord which bears North 63° 16' 51" East, 971.47 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;

Thence, North 09° 10' 28" East, 28.25 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for the most northerly corner of the herein described tract, in the east line of said 477.895 acre tract, common to the west right-of-way line of said F.M. 359, from which a 3/4-inch iron pipe found in said common line bears, North 35° 56' 20" West, 396.20 feet;

Thence, South 35° 56' 20" East, 130.00 feet to the POINT OF BEGINNING and containing 13.884 acres of land.

LJA Surveying, Inc.



Handwritten signature and date: 1/9/2020

FILED AND RECORDED

Instrument Number: 2100509

Filing and Recording Date: 01/13/2021 09:04:50 AM Pages: 11 Recording Fee \$52.00

I hereby certify that this instrument was FILED on the date and time stamped hereon by me and was duly RECORDED in the OFFICIAL PUBLIC RECORDS of Waller County,



Debbie Holian

Debbie Holian, County Clerk
Waller County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

simpfile, Deputy

Returned To:
BROOKSHIRE-KATY DRAINAGE DISTRICT
1111 KENNEY ST
BROOKSHIRE, TX 77423

FILED AND RECORDED

Instrument Number: 2100530

Filing and Recording Date: 01/13/2021 02:13:24 PM Pages: 104 Recording Fee

I hereby certify that this instrument was FILED on the date and time stamped hereon by me and was duly RECORDED in the OFFICIAL PUBLIC RECORDS of Waller County,



A handwritten signature in black ink that reads "Debbie Hollan".

Debbie Hollan, County Clerk
Waller County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

simplifile, Deputy

Returned To:
BROOKSHIRE-KATY DRAINAGE DISTRICT
1111 KENNEY ST
BROOKSHIRE, TX 77423