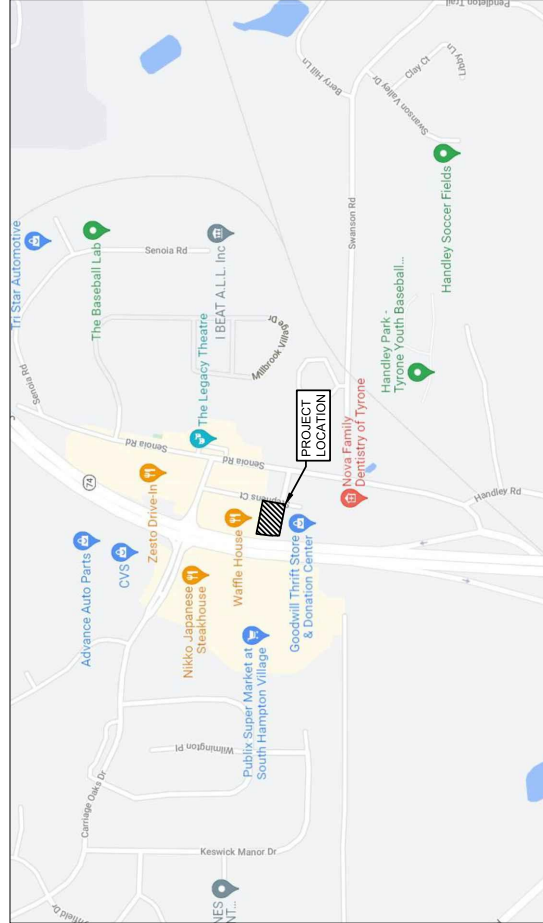




TAKE 5 EXPRESS CAR WASH
OF TYRONE, GA
PERMITTING PLANS
TRACT 5 OF ST. STEPHENS
PID: 0726 041



VICINITY MAP
1" = 20'



LOCATION MAP

DEVELOPMENT TEAM

OWNER
GSM, LLC
10000 W. 10TH AVE. SUITE 700
THUNDER, KS 66080
(CONTACT: JAMIE HED)

DEVELOPER/APPLICANT
BORG & POLCO, INC.
1000 W. 10TH AVE. SUITE 700
CHICAGO, IL 60606
(CONTACT: MATTHEW GUBERT)

SURVEYOR
DAVE & ASSOCIATES, INC.
2500 S. SHILOH ROAD
PATTERTON, IL 62450
(CONTACT: JIMMY HARRIS) P.L.L.
PHONE: (708) 436-4191
EMAIL: SURVEY@DAVEINC.COM

ENGINEER
DAVE & ASSOCIATES, INC.
1000 15TH STREET
PATTERTON, IL 62450
(CONTACT: JIMMY HARRIS) P.L.L.
PHONE: (773) 384-4191
EMAIL: THEENGINEER@DAVEINC.COM

NOTE: SURVEY INFORMATION PROVIDED BY SUBMITTER & ASSOCIATES. P.L.L. ENGINEERS & LAND SURVEYORS (DRAWN BY 10/2012)

SHEET INDEX	
C-0	COVER SHEET
C-1	GENERAL CONSTRUCTION NOTES
C-20	DEMOLITION PLAN
C-21	EROSION CONTROL, PHASE I PLAN
C-22	EROSION CONTROL, PHASE II PLAN
C-23	EROSION CONTROL, PHASE III PLAN
C-24	EROSION CONTROL NOTES
C-25	EROSION CONTROL NOTES
C-26	EROSION CONTROL DETAILS
C-27	EROSION CONTROL DETAILS
C-3	SITE PLAN
C-4	PAVING PLAN
C-5	GRADING & DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	SITE DETAILS
C-8	PAVING DETAILS
C-9	STORM DETAILS
C-10	STORM DETAILS
C-11	UTILITY DETAILS
D-1	LANDSCAPE PLAN
LP-2	LANDSCAPE SPEC'S DETAILS
TP-1	TREE PROTECTION / REPLACEMENT PLAN
S-1	SURVEY (BY OTHERS)

[illegible][illegible]



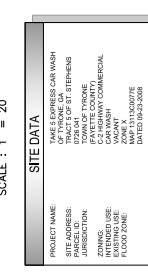
SOIL TYPES

ECIL SANDY/LOAM, 2 TO 6 PERCENT SLOPES

WEHADKEE SOILS, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED

CAUTION

CONTRACTOR TO CONTACT THE UTILITIES PROTECTION CENTER, INC. (1-800-282-7411) AT LEAST 2 WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL EXISTING UTILITIES IN THE PROJECT AREA. IF FILED CONDITIONS DIFFER SIGNIFICANTLY FROM THE LOCATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL STOP WORK AND CONSULT WITH THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.

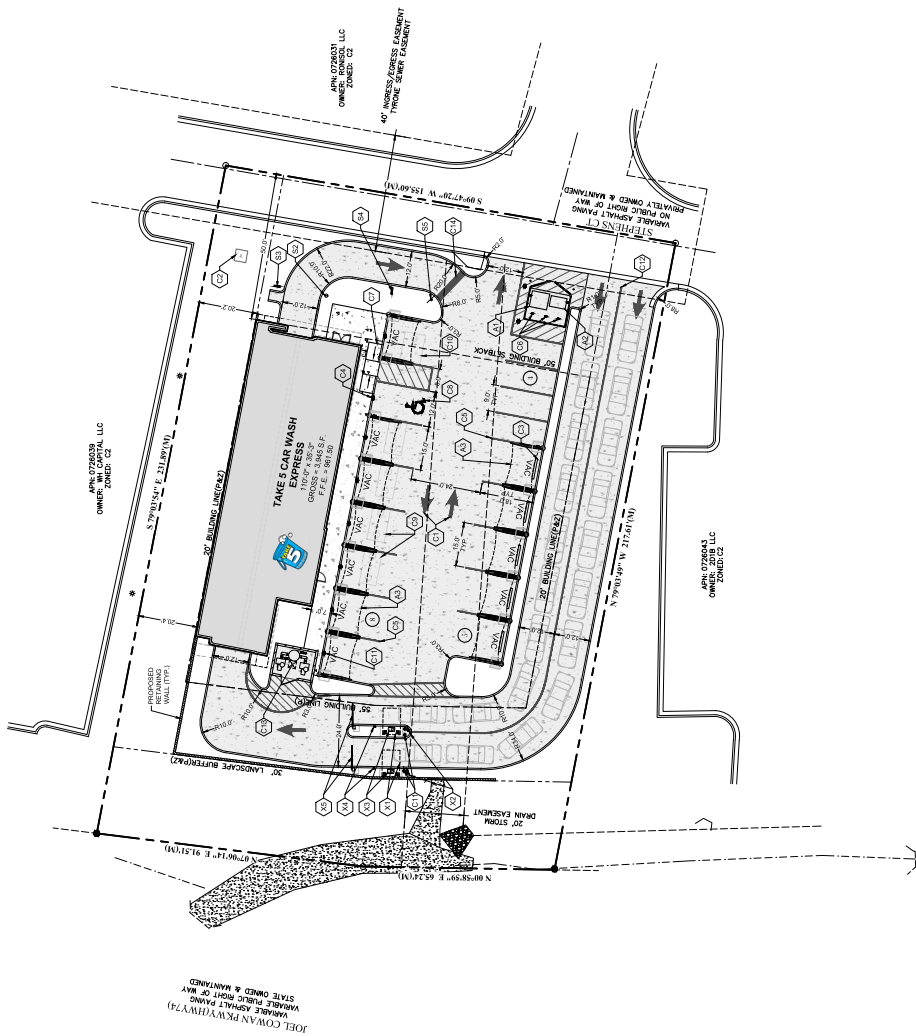


COASTAL EROSION CONTROL NOTES

1000



1



SITE DATA

PROJECT NAME	THREE E ENTRANCES GFA WASH
PROJECT ADDRESS	OF THIRONE GA 31708
PARCEL ID	0779041 OF ST STEPHENS
APPLICANT NAME	THIRONE TRACT
LOCATION	TOWN OF THIRONE
ZONING	RAVETTE COUNTY
INTENDED USE	COMMERCIAL
FLOOD ZONE	ZONE X
	ZONE X
	DATE 02-28-2008
	REQUIRED
SETBACKS	SOFT
FRONT	20 FT.
SIDE	20 FT.
REAR	20 FT.
PARKING CALCULATIONS	
PARKING REQUIRED:	1 COMMERCIAL PER 1,000 SF GFA
	12 SPACES
PARKING PROVIDED:	12 HANDICAP PAC SPACE
	12 STANDARD SPACES
	24 TOTAL SPACES

SIGN KEYNOTES

	"TO BE DETERMINED"
	TUNNEL EXIT LIGHT
	"COME BACK SOON" SIGN
	"FREE VACUUM" SIGN
	STOP SIGN

NOTE: SIGN PACKAGE BY OTHERS. SIGN PERMITTED UNDER

SITE FEATURES KEYNOTES

21	DAMPTEN AND CEMENT TO THE CONSTRUCTION OF SANDS, FILLING, AND IN-PARTICULAR STRUCTURE OF THE DAMPTEN AND CEMENT TO THE CONSTRUCTION OF THE DAMPTEN AND CEMENT TO THE CONSTRUCTION OF THE DAMPTEN AND CEMENT TO THE CONSTRUCTION
22	VACUUM CANNING REFERENCE WHICH SITE DETAILS PAVEMENT MARKINGS REFERENCE SHEET C FOR PAVEMENT MARKINGS REFERENCE SHEET C FOR PAVEMENT MARKINGS REFERENCE SHEET C FOR
23	PAVEMENT TRANSITION REFERENCE SHEET C FOR DETAILS
24	WHEEL STOP REFERENCE SHEET C FOR DETAILS C FOR DETAILS
25	ACCESSIBLE INLAND REFERENCE SHEET C FOR DETAILS
26	ROLLBACK TYPE REFERENCE SHEET C FOR DETAILS
27	BARRAGE RAMP REFERENCE SHEET C FOR DETAILS
28	DEBRIS REMOVAL REFERENCE SHEET C FOR DETAILS
29	WATER RETENTION RAMP REFERENCE MAP DETAILS
30	WATER RETENTION RAMP REFERENCE MAP DETAILS
31	ROLLBACK TYPE REFERENCE SHEET C FOR DETAILS
32	#3000 WHITE LINE TYPE
33	WATER EQUIPMENT ROOM
34	24" STAIN BAR

PAY KIOSK KEYNOTES

X1 PAY STATION CANOPY. REFERENCE ARCH PLANS FOR DETAILS.

X2 XPT MENU BOARD. REFERENCE ARCH PLANS FOR DETAILS.

X3 KIOSK. REFERENCE ARCH PLANS FOR DETAILS.

X4 FAST PASS READER. REFERENCE ARCH PLANS FOR DETAILS.

X5 GATE. REFERENCE ARCH PLANS FOR DETAILS.

WETLAND NOTE

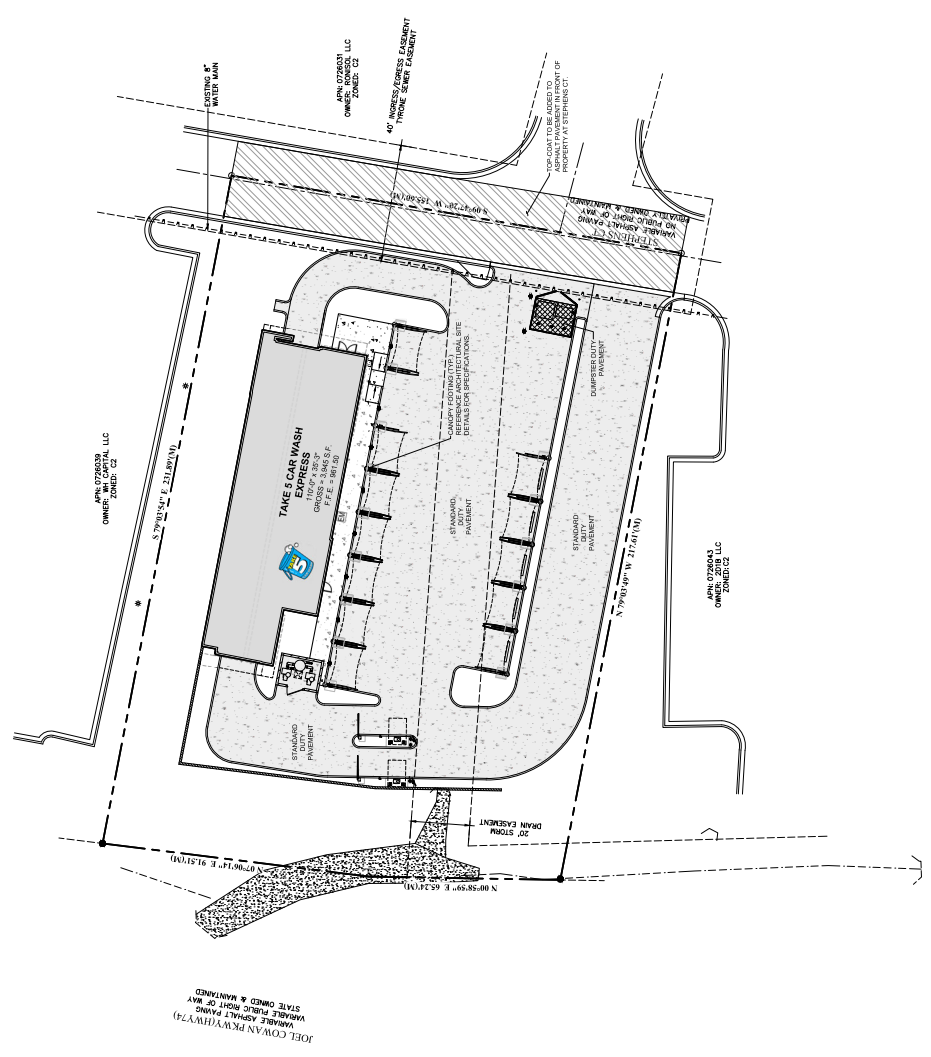
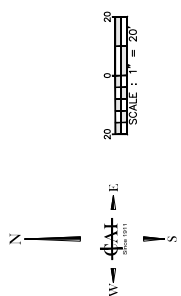
NO WETLANDS WERE IDENTIFIED ON SITE PER "REPORT OF AQUATIC RESOURCE ASSESSMENT" DATED 01-04-2022, COMPLETED BY [REDACTED]

GRO INDI WATER RECHARGE NOTE

LOCATED IN A GROUND WATER RECHARGE AREA OF RELATIVELY LOW SUSCEPTIBILITY OF GROUNDWATER TO POLLUTION PER GEORGIA DNR HYDROLOGIC ATLAS 18 (1989 EDITION)

SITE PLAN NOTES

1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DERBS WITHIN THE LIMITS OF THE WORK FROM THE SITE. THE BURAL OF PUBLIC WORKS SHALL BE NOTIFIED OF THE REMOVAL OF TREES AND OTHER DERBS.
2. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH ALL GOVERNING JURISDICTION STATE OF ALABAMA AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS OBTAINED BY THE CONTRACTOR AT HIS OWNERS UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST ESTABLISHED TRADE PRACTICES.
4. THE CONTRACTOR SHALL NOT USE ANY UNLESS USED OR SALVAGED MATERIALS AUTHORIZED BY THE BUREAU OF PUBLIC WORKS.
5. ALL WORK PERFORMED ON CITY, COUNTY, STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE APPROPRIATE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
6. PRIOR TO COMPLETION OF CONSTRUCTION BUILDING DRAINAGES SHALL BE INSTALLED TO DRAIN ALL SURFACE WATER TO THE STREET OR DRAINAGE DITCHES.
7. ALL DISTURBED AREAS WITHIN SIDEWALK, CURB AND GUTTER, ROAD PAVEMENT SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITIONS.
8. ALL SIDEWALKS SHALL HAVE A WIDTH OF 5 FEET UNLESS OTHERWISE NOTED.



GENERAL PAVING NOTES

- [illegible]

PAVEMENT JOINT NOTES

- [illegible]

PAVING LEGEND

- | | | | |
|--|--|--|--|
| <p>STANDARD DUTY PAYMENT</p> <p>4.000 PSI 10% REINFORCED CONCRETE PAYMENT W/ 2 BARS @ 12" ON CENTER</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> | <p>STANDARD DUTY PAYMENT</p> <p>4.000 PSI 10% REINFORCED CONCRETE PAYMENT W/ 2 BARS @ 12" ON CENTER</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> | <p>STANDARD DUTY PAYMENT</p> <p>4.000 PSI 10% REINFORCED CONCRETE PAYMENT W/ 2 BARS @ 12" ON CENTER</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> | <p>STANDARD DUTY PAYMENT</p> <p>4.000 PSI 10% REINFORCED CONCRETE PAYMENT W/ 2 BARS @ 12" ON CENTER</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> <p>MIN. CUST. LAST 1/4" MINIMUM OF 95% MAXIMUM STANDARD OPTIMUM DRY MIX CONCRETE</p> |
|--|--|--|--|

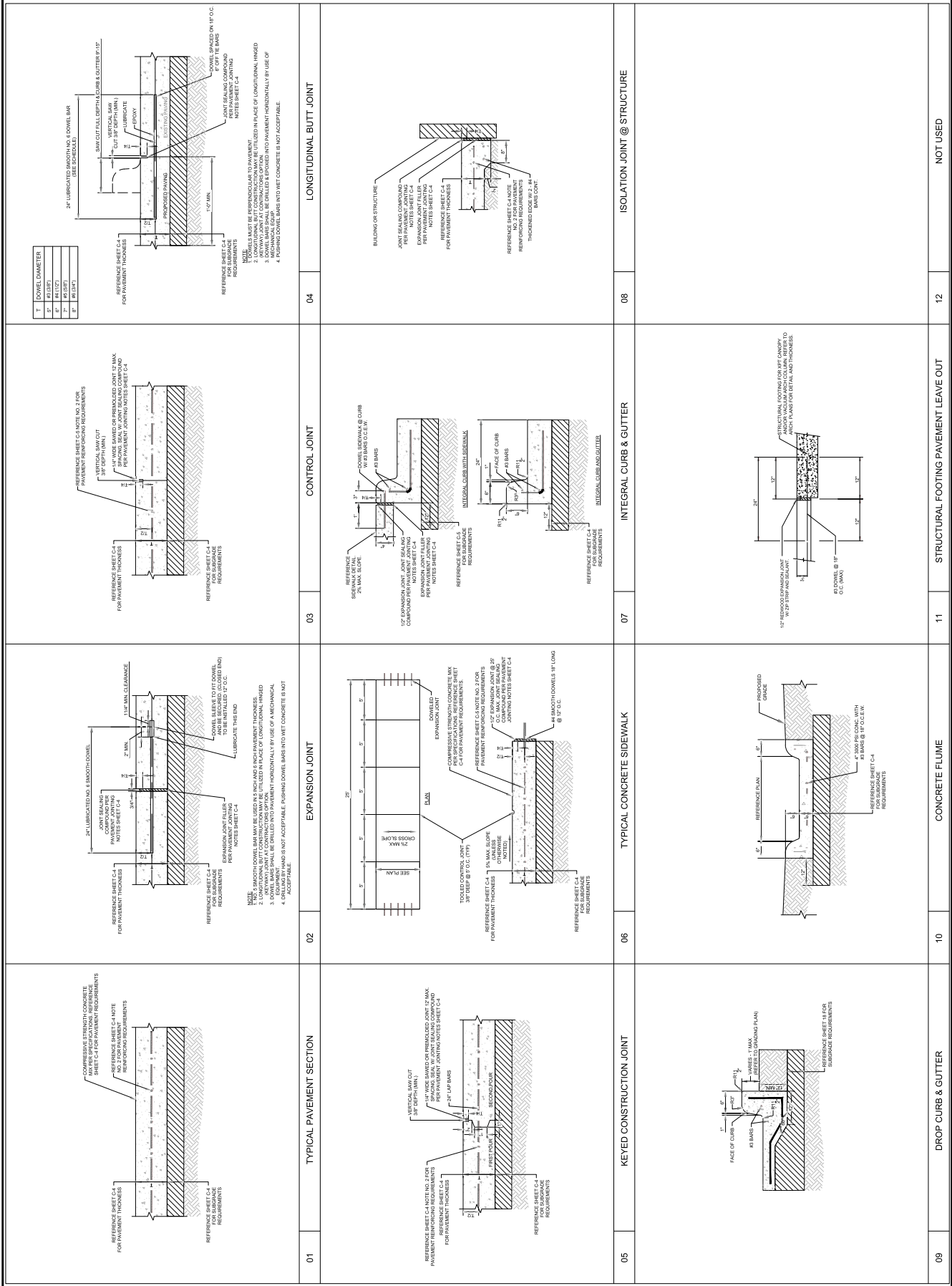
MISC. NOTES:

REFERENCE SHEET C-9 FOR PAVING DETAILS

!CAUTION!

CONTRACTOR TO CONTACT THE UTILITIES PROTECTION CENTER, INC. (1-800-282-7411) AT LEAST 2 WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION. CARTER ASSOCIATES INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES IN THE PROJECT AREA. IF FILED CONDITIONS DIFFER SIGNIFICANTLY FROM THE LOCATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

DWG. NO.:





GENERAL

- ## PRODUCTS

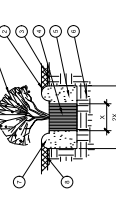
- ## **METHODS**

2000

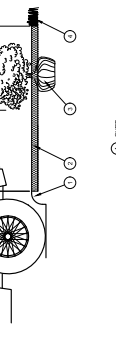
- qp

1. FINISH GRADE
CENTERS
2. ROOT BALL
3. BACKFILL, AMEND AND FERTILIZE ONLY AS
RECOMMENDED IN SOIL FERTILITY ANALYSIS
4. UNDISTURBED NATIVE SOIL
5. 3" HIGH LATHEN INTERIOR BARRI
6. WEED FABRIC UNDER MULCH

W/G. NO. 1



SCALE: NTS



E

SCALE: NOT TO SCALE

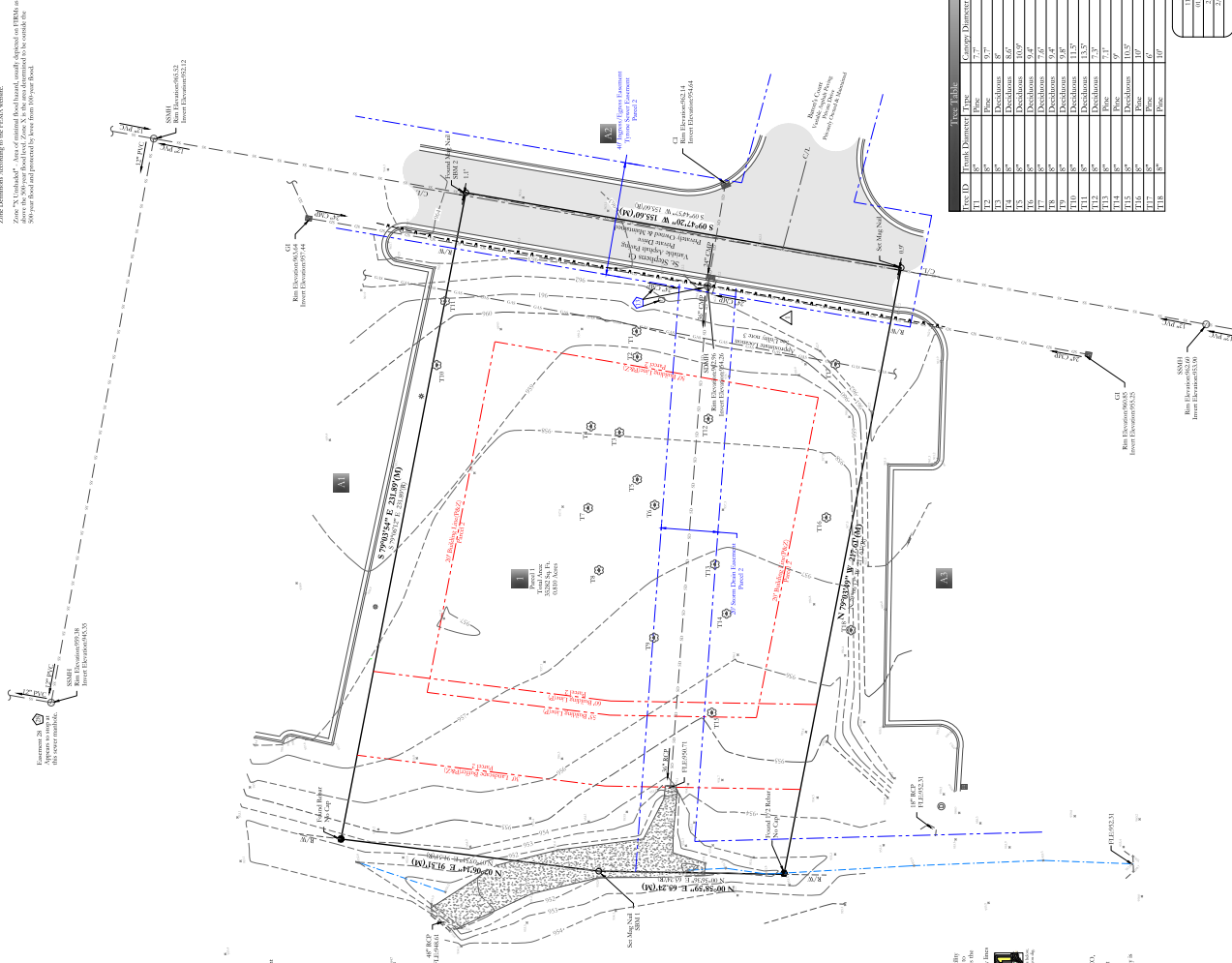


F) ROOT BARRIER - PLAN VIEW

ALTA/NSPS Land Title Survey

Flood Note

Miscellaneous Notes



Elevation Benchmarks		
Site Benchmark (SBM)1	Type	Site Benchmark (SBM)2
Setting	Found Mag Nail	
Northing	12690952.16	Northing 12690998.85
Easting	21609095.81	Easting 2169335.14
Elevation	950.70	Elevation 963.83

Schedule A Description

Significant Observations

matters as shown on plot of survey recorded in Plat Book 48, Page
 Georgia records;
 long eastern property line;
 long eastern property line; and
 Georgia records.

Utility Contacts	Telephone Verizon (800)244-6973	Game Company Atlanta Braves R. Dick 634 Hwy. 140 SW Kennesaw, GA 30144
Telephone Verizon (800)244-6973	Telephone Verizon (800)244-6973	Game Company Atlanta Braves R. Dick 634 Hwy. 140 SW Kennesaw, GA 30144

Tree ID	Tree Name	Tree Type	Group	Group Diameter
T1	Drumkirk	Pine	Group 1	10"
T2	Drumkirk	Pine	Group 1	10"
T3	5"	Pine	Group 1	5"
T4	5"	Pine	Group 1	5"
T5	5"	Deciduous	Group 1	8.67"
T6	5"	Deciduous	Group 1	10.09"
T7	5"	Deciduous	Group 1	10.09"
T8	5"	Deciduous	Group 1	7.6"
T9	5"	Deciduous	Group 1	9.4"
T10	5"	Deciduous	Group 1	9.8"
T11	5"	Deciduous	Group 1	13.3"
T12	5"	Deciduous	Group 1	7.3"
T13	5"	Pine	Group 2	7.3"
T14	5"	Pine	Group 2	7.3"
T15	5"	Pine	Group 2	10"
T16	5"	Pine	Group 2	10"
T17	5"	Pine	Group 2	10"
T18	5"	Pine	Group 2	10"

[illegible]

PROPERTY OF CURRENTLY OWNED		LEASE-HELD	
ITEM	PERMITTED USE	1 Story	Commercial
1. HOME	RESIDENTIAL	30,000 Sq. Ft.	
2. HOME	RESIDENTIAL	50'	
3. HOME	RESIDENTIAL	20'	
4. HOME	RESIDENTIAL	30,000 Sq. Ft.	
5. HOME	RESIDENTIAL	50'	
6. HOME	RESIDENTIAL	30,000 Sq. Ft.	
7. HOME	RESIDENTIAL	50'	
8. HOME	RESIDENTIAL	30,000 Sq. Ft.	
9. HOME	RESIDENTIAL	50'	
10. HOME	RESIDENTIAL	30,000 Sq. Ft.	
11. HOME	RESIDENTIAL	50'	
12. HOME	RESIDENTIAL	30,000 Sq. Ft.	
13. HOME	RESIDENTIAL	50'	
14. HOME	RESIDENTIAL	30,000 Sq. Ft.	
15. HOME	RESIDENTIAL	50'	
16. HOME	RESIDENTIAL	30,000 Sq. Ft.	
17. HOME	RESIDENTIAL	50'	
18. HOME	RESIDENTIAL	30,000 Sq. Ft.	
19. HOME	RESIDENTIAL	50'	
20. HOME	RESIDENTIAL	30,000 Sq. Ft.	
21. HOME	RESIDENTIAL	50'	
22. HOME	RESIDENTIAL	30,000 Sq. Ft.	
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24. HOME	RESIDENTIAL	30,000 Sq. Ft.	
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28. HOME	RESIDENTIAL	30,000 Sq. Ft.	
29. HOME	RESIDENTIAL	50'	
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34. HOME	RESIDENTIAL	30,000 Sq. Ft.	
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74. HOME	RESIDENTIAL	30,000 Sq. Ft.	
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78. HOME	RESIDENTIAL	30,000 Sq. Ft.	
79. HOME	RESIDENTIAL	50'	
80. HOME	RESIDENTIAL	30,000 Sq. Ft.	
81. HOME	RESIDENTIAL	50'	
82. HOME	RESIDENTIAL	30,000 Sq. Ft.	
83. HOME	RESIDENTIAL	50'	
84. HOME	RESIDENTIAL	30,000 Sq. Ft.	
85. HOME	RESIDENTIAL	50'	
86. HOME	RESIDENTIAL	30,000 Sq. Ft.	
87. HOME	RESIDENTIAL	50'	
88. HOME	RESIDENTIAL	30,000 Sq. Ft.	
89. HOME	RESIDENTIAL	50'	
90. HOME	RESIDENTIAL	30,000 Sq. Ft.	
91. HOME	RESIDENTIAL	50'	
92. HOME	RESIDENTIAL	30,000 Sq. Ft.	
93. HOME	RESIDENTIAL	50'	
94. HOME	RESIDENTIAL	30,000 Sq. Ft.	
95. HOME	RESIDENTIAL		

[illegible]

DATE	REVISION	BY
11/9/2021	ADDED WATER LINE INFORMATION	GAC
01/17/2022	CORRECTION LETTER	CZM
2/9/2022	REVISED PER CLIENT COMMENT	GAC
2/10/2022	REVISED TITLE COMMITMENT	GAC

is interpreted by the structure per TMS-CDRGE and is also confirmed by Internet Cengage partners.

Property was confirmed to exist within
0.76/2.21 with Philip Zeeb - T-2
Property to exist within Zone C-2.

Sheet 1 of 1

1000000