

NO.	REVISIONS FOR THE TOWN OF TYNONE
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GENERAL CONSTRUCTION NOTES

- 15. SHOWING ALL SURVING REQUIRED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE CONTRACTOR. THE DEVELOPER SHALL PROVIDE A REGISTERED PROFESSIONAL LAND SURVEYOR TO PERFORM ALL ADDITIONAL SURVEY, LAYOUT AND MEASUREMENT WORK NECESSARY FOR THE COMPLETION OF THE PROJECT.
- 16. MAINTAIN EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 17. EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 18. PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 19. DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 20. FIRE AND LIFE SAFETY SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 21. SAFETY SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 22. TRAFFIC CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
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- 1. STANDARDS AND SPECIFICATIONS. ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT, SERVICES AND TESTING FOR ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' ORDINANCES, REGULATIONS, REQUIREMENTS, SPECIFICATIONS AND MANUALLY REVISIONS AND AMENDMENTS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, AND THE DEPARTMENT REGULATIONS SHALL TAKE PRECEDENT FOR ALL PRIVATE IMPROVEMENTS WHERE APPLICABLE.
- 2. EXAMINATION OF SITE. THE CONTRACTOR ACKNOWLEDGES THAT HE HAS INVESTIGATED AND SATISFIED HIMSELF AS TO THE CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT RESTRICTED TO THOSE BEARING UPON TRANSPORTATION, DISPOSAL, WEATHER OR SIMILAR PHYSICAL CONDITIONS AT THE SITE, CONDITIONS OF THE GROUND, THE CHARACTER OF EXISTING UTILITIES, SOIL, BATHING ORIGIN, ROCK, FOSPHORUS, SOIL STABILITY AND THE PRESENCE, LEVEL, AND EXTENT OF UNDERGROUND WATER.
- 3. SUBSURFACE INVESTIGATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 4. TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 5. COMPLIANCE WITH LAWS. THE CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, INCLUDING BUT NOT LIMITED TO, ALL APPLICABLE ORDINANCES, REGULATIONS, REQUIREMENTS, SPECIFICATIONS AND MANUALLY REVISIONS AND AMENDMENTS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, AND THE DEPARTMENT REGULATIONS SHALL TAKE PRECEDENT FOR ALL PRIVATE IMPROVEMENTS WHERE APPLICABLE.
- 6. PUBLIC CONVENIENCE AND SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 7. STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS OF THE SWPPP SHEETS, COMPLIANCE WITH THE SWPPP INCLUDES CONFORMANCE TO CERTAIN PRACTICES AND PROCEDURES IDENTIFIED IN THE SWPPP DURING PROJECT CONSTRUCTION.
- 8. PERMITS AND LICENSES. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND LICENSES NECESSARY FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, AND THE DEPARTMENT REGULATIONS SHALL TAKE PRECEDENT FOR ALL PRIVATE IMPROVEMENTS WHERE APPLICABLE.
- 9. IMPACT FEES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 10. BONDS. PERFORMANCE PAYMENT AND MAINTENANCE BONDS SHALL BE IN THE FORM AND IN THE AMOUNTS AS REQUIRED BY THE GOVERNING AUTHORITIES.
- 11. VENDORS CERTIFICATION. ALL MATERIALS USED IN CONSTRUCTION SHALL HAVE A VENDORS CERTIFIED TEST REPORT. TEST REPORTS SHALL BE DELIVERED TO THE ENGINEER BEFORE PERMITS ARE GRANTED FOR USE OF THE MATERIAL. ALL MATERIALS SHALL BE TESTED FOR COMPLIANCE WITH ALL APPLICABLE ORDINANCES, REGULATIONS, REQUIREMENTS, SPECIFICATIONS AND MANUALLY REVISIONS AND AMENDMENTS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, AND THE DEPARTMENT REGULATIONS SHALL TAKE PRECEDENT FOR ALL PRIVATE IMPROVEMENTS WHERE APPLICABLE.
- 12. TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 13. INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 14. SHOP DRAWINGS. THE CONTRACTOR SHALL PROVIDE, REVIEW, APPROVE AND SUBMIT ALL SHOP DRAWINGS, PRODUCT DATA AND SAMPLES REQUIRED BY THE GOVERNING AUTHORITIES.

- 26. PARKING OF CONSTRUCTION EQUIPMENT. ALL TRUCKS AND OTHER EQUIPMENT OF THIS WORK SHALL BE KEPT OFF THE PROJECT SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 27. WATER FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 28. TEMPORARY ELECTRICAL AND COMMUNICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 29. FENCES. ALL FENCES ENCOUNTERED AND REMOVED DURING CONSTRUCTION, EXCEPT THOSE DESIGNATED TO BE REMOVED OR RELOCATED, SHALL BE RESTORED TO THE ORIGINAL OR BETTER THAN ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 30. DRAINAGE CHANNELS. WHERE EXISTING DRAINAGE CHANNELS ARE TEMPORARILY DISTURBED OR BLOCKED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 31. COOPERATION WITH OTHERS. IN THE EVENT THAT OTHER CONTRACTORS ARE DOING WORK IN THE SAME AREA, THE CONTRACTOR SHALL COOPERATE WITH OTHER CONTRACTORS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 32. CONDITION OF SITE DURING CONSTRUCTION. DURING CONSTRUCTION OF THE WORK, THE CONTRACTOR SHALL AT ALL TIMES, MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 33. EXISTING ROADWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 34. DUST CONTROL. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO CONTROL DUST ON THE PROJECT SITE BY THE USE OF WATER OR OTHER MEANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 35. CLEANUP FOR FINAL ACCEPTANCE. THE CONTRACTOR SHALL MAKE A FINAL CLEAN UP OF ALL PARTS OF THE WORK BEFORE ACCEPTANCE BY THE TOWN OF TYNONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 36. REMOVAL OF DEFECTIVE AND UNSATISFACTORY WORK. ALL WORK WHICH HAS BEEN NOTICED OR CONCERNED SHALL BE IMMEDIATELY REMOVED OR REPAIRED TO THE SATISFACTION OF THE TOWN OF TYNONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 37. DISPOSAL AND REMOVAL OF EXCESS AND UNSUITABLE MATERIALS. ALL MATERIALS TO BE REMOVED FROM THE SITE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS GOVERNING SPRILLAGE OF DEBRIS WHILE TRANSPORTING TO DISPOSAL SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 38. SEEDING. THE CONTRACTOR SHALL PROVIDE SEEDING, WEEDING, FERTILIZING AND MAINTENANCE FOR THE GRASSING OF ALL IMPAVED AREAS OF DEDICATED RIGHT-OF-WAY, EASEMENTS, AND ALL OTHER DISTURBED AREAS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.
- 39. RECORD DRAWINGS. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF ALL MATERIALS AND SYSTEMS COVERED BY THE PROJECT CONTRACT DOCUMENTS. THESE RECORD PRINTS WILL BE REVIEWED BY THE ENGINEER AND APPROVED BY THE TOWN OF TYNONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND RECORDS.



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BOING US HOLDCO, INC.
 6300 S SYRACUSE CAR WASH
 'B' TAKE 5 EXPRESS CAR WASH
 CENTENNIAL, CO
 TEL: (980) 250-0701

NO.	REVISIONS FOR THE TOWN OF TYRONE	DATE
1	REVISIONS FOR THE TOWN OF TYRONE	10-11-22
2	REVISIONS FOR THE TOWN OF TYRONE	10-18-22
3	REVISIONS FOR THE TOWN OF TYRONE	10-21-22

TAKE 5 EXPRESS CAR WASH
 OF TYRONE, GA
 PID: 0726 041



PROJECT NO. 24-022
 GA LIC. NO. 10000
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 PROJECT NO. 24-022
 DATE: 10/18/2022

DEMOLITION PLAN
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DEMOLITION NOTES

- ALL ITEMS NOT CALLED OUT TO BE REMOVED/RELOCATED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES CONCERNING THE ABANDONMENT/RELOCATION OF ALL UTILITIES PRIOR TO THE START OF DEMOLITION. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED UNLESS APPROVED IN WRITING BY THE UTILITY IN ALL CASES. APPROVED RELOCATION FROM THE UTILITY SHALL BE WORKING HEADQUARTERS AND SHALL BE PROTECTED FROM ALL TRAFFIC AND VEHICLES.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, AND ALL OTHER UTILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, AND ALL OTHER UTILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, AND ALL OTHER UTILITIES.
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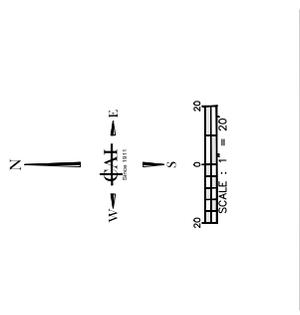
ENVIRONMENTAL NOTE

THE SUBJECT PLAN IS PROVIDED BY CARTER ASSOCIATES, INC. IT DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR ANY INFORMATION THAT IS NOT RESPONSIBLE FOR ENVIRONMENTAL TESTING, FINDINGS OR OTHER ENVIRONMENTAL SERVICES PROVIDED BY CARTER ASSOCIATES, INC. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES.

UNDERGROUND UTILITIES NOTE

THE UNDERGROUND UTILITIES SHOWN WITHIN THE PLAN SET PROVIDED BY CARTER ASSOCIATES, INC. HAVE BEEN MADE UNDETERMINED BY THE UNDERGROUND UTILITIES SURVEY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES.

TREE ID	TRUNK DIAMETER	TYPE	CANOPY DIAMETER
T1	8"	PINE	7.7'
T2	8"	DECIDUOUS	8.7'
T3	8"	DECIDUOUS	8.6'
T4	8"	DECIDUOUS	10.9'
T5	8"	DECIDUOUS	7.6'
T6	8"	DECIDUOUS	11.5'
T7	8"	DECIDUOUS	13.9'
T8	8"	DECIDUOUS	10.9'
T9	8"	DECIDUOUS	10.9'
T10	8"	DECIDUOUS	10.9'
T11	8"	DECIDUOUS	10.9'
T12	8"	DECIDUOUS	10.9'
T13	8"	DECIDUOUS	10.9'
T14	8"	DECIDUOUS	10.9'
T15	8"	DECIDUOUS	10.9'
T16	8"	DECIDUOUS	10.9'
T17	8"	DECIDUOUS	10.9'
T18	8"	DECIDUOUS	10.9'



DEMOLITION LEGEND

THE TO REMAIN & BE PROTECTED ARE SHOWN AS FOLLOWS:

TO BE REMOVED & PROPERLY DISPOSED

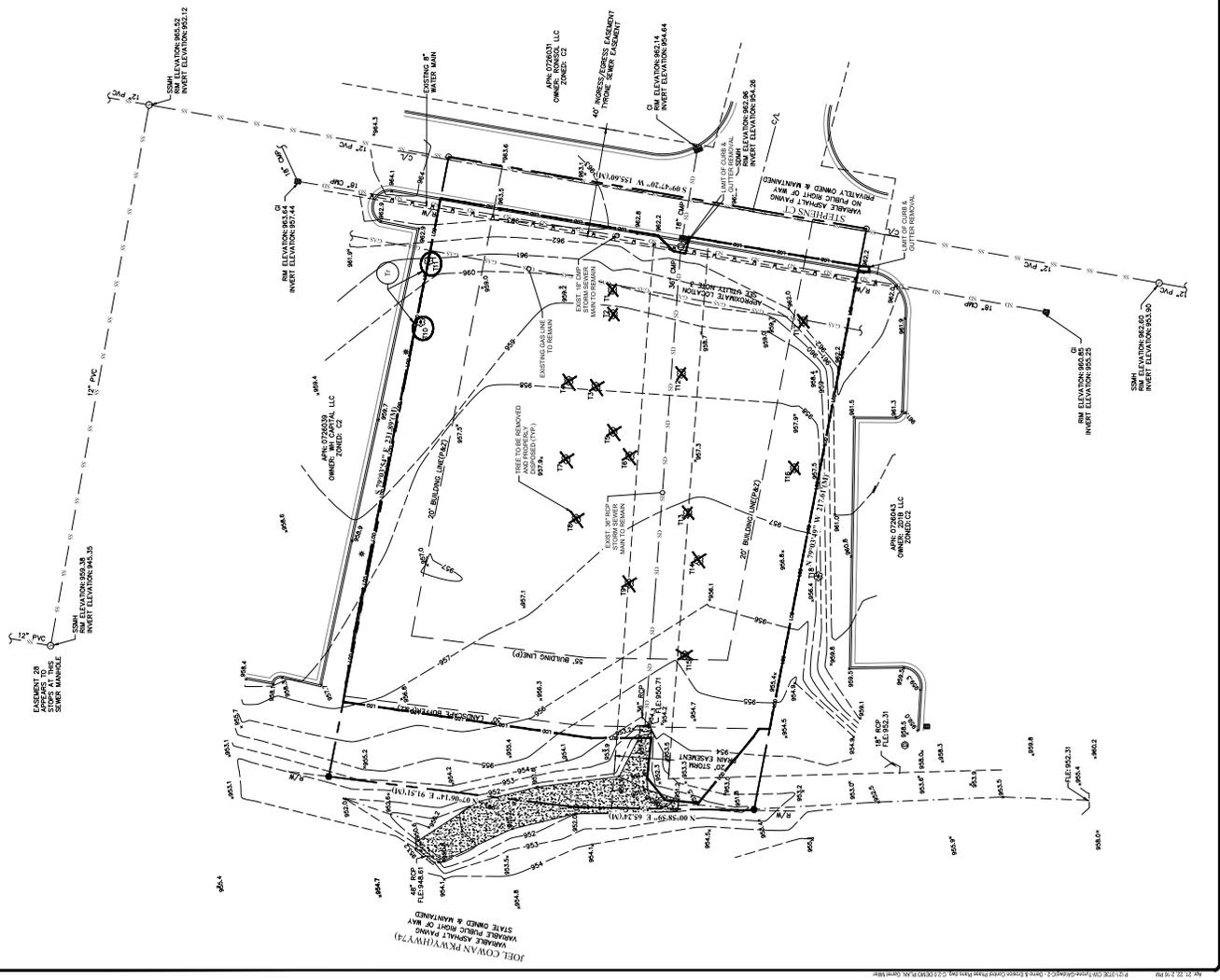
LIMITS OF DEVELOPMENT (DISTURBANCE - 1 (R) (A))

NOTE: LOWER SHOWN DISTURBANCE LIMITS SHALL BE USED FOR THE DEMOLITION OF THE SUBJECT PROPERTY.

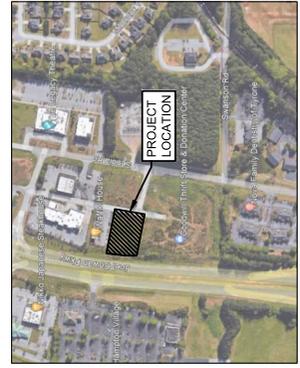
SURVEY/EX. FEATURES LEGEND

BOUNDARY LINE
 EASEMENT LINE
 TRACK LINE
 BUILDING OVERLAP
 CENTERLINE OF ROAD (C/A)
 FENCE LINE (F/F)
 STORM SEWER LINE
 GAS LINE
 WATER METER
 ELECTRIC METER
 LIGHT POLE
 EASEMENT
 TREE T/

FOUND MONUMENT (AS NOTED)
 CONCRETE POINT (AS NOTED)
 IRON PIPE POINT
 WOOD POST
 DIRTED WALK (D)
 STORM SEWER MANHOLE
 STORM SEWER MANHOLE
 GAS MANHOLE (SHOWN FOR REFERENCE ONLY)
 GAS METER
 ELECTRICAL METER
 ELECTRICAL BOX
 LIGHT POLE
 EASEMENT
 TREE T/



NO.	REVISION	DATE
1	REVISIONS FOR THE TOWN OF TYRONE	11-11-22
2	REVISIONS FOR THE TOWN OF TYRONE	11-08-22
3	REVISIONS FOR THE TOWN OF TYRONE	10-11-22



VICINITY MAP
 SCALE: 1" = 200'

EROSION CONTROL LEGEND

RETENANCE (TYPE 'S')	INLET SEDIMENT TRAP - FILTER FABRIC
TEMPORARY SEDIMENT TRAP - OTHER INLET PROTECTION	TEMPORARY SEDIMENT TRAP - A - OTHER LOW OUTLET
STORM OUTLET PROTECTION	CONCRETE WASH OUT AREA
TREE PROTECTION	CONSTRUCTION ENTRANCE BERT
CHANNEL STABILIZATION	DUST CONTROL ON DISTURBED AREAS
DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
SOIL TYPE	LIMITS OF DEVELOPMENT (DISTURBANCE - 1:800-642)
SOIL TYPE DELINEATION	

SOIL TYPES
 C&B: CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES, FREQUENTLY FLOODED
 WH: WEHAWKEE SOILS, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED

NOTES & DETAILS
 -REFER TO SHEETS C-2.4 THROUGH C-2.7 FOR EROSION CONTROL NOTES & DETAILS

CAUTION!
 CONTINUATION TO COMPLETE THE UTILITIES PROTECTION. FOR ALL UTILITIES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION.

GENERAL CONTRACTOR: BOING US HOLDCO, INC.
 DESIGNER: GREGORY S. STEBENS, P.E.
 LICENSE NO. 35074
 STATE OF GEORGIA

SITE DATA

PROJECT NAME: TAKE 5 EXPRESS CAR WASH
 SITE ADDRESS: TRACT 5 OF ST. STEPHENS
 JURISDICTION: TOWN OF TYRONE
 ZONING: C-2 (COMMERCIAL)
 EXISTING USE: VARIANT
 FLOOD ZONE: UNDEVELOPED

TERTIARY PERMITEE

BOING US HOLDCO, INC.
 337 297 167 N
 CHARLOTTE, NC 28202
 PHONE: 980-258-0701
 PROJECT PERMIT NUMBER: 22-0022
 MATTHEW AUSTIN (BOINGUS@BOINGUS.COM)

OWNER

GRIMALDI, LLC
 1000 W. 10TH STREET
 TYRONE, GA 30080
 CONTACT: AMY WHELU

WETLAND NOTE

NO WETLANDS WERE IDENTIFIED ON THE PER REPORT OF ATLANTIC ECOSYSTEMS CONSULTANTS, INC. DATED 01-14-2022, COMPLETED BY [REDACTED]

CONSTRUCTION EXIT GPS LOCATION

337 297 167 N
 64° 35' 03" W

DISTURBED AREA

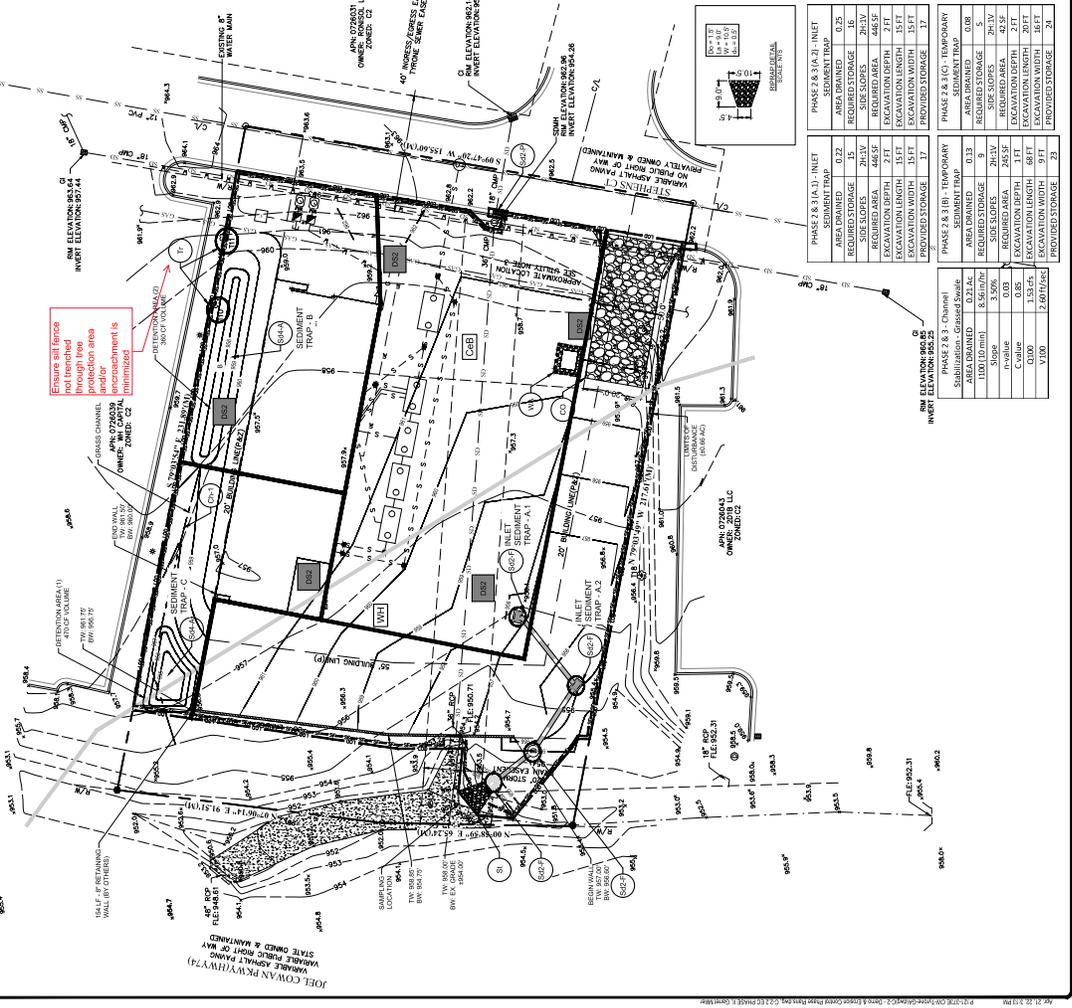
28,485 SF
 0.68 ACRES

TOTAL SITE AREA

35,282 SF
 0.810 ACRES

- ### GENERAL EROSION CONTROL NOTES
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDEVELOPED STREAM BUFFER AS MEASURED FROM THE POINT OF WHEDEST MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACCORDING THE NECESSARY VARIANCES AND PERMITS.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE IMPLEMENTATION OF THE APPROVED EROSION CONTROL, INSURANCE AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FILL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF EROSION CONTROL MEASURES TO PREVENT EROSION.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 - ENSURE BEST MANAGEMENT PRACTICES FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE TRUCKS, HOPPERS AND THE REAR OF VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
 - CONCRETE INSTALLATION SHALL BE MAINTAINED ON THE PLANS FOR WASH DOWN OF TOOLS FOR TANKS AND PUMPS SHALL BE PERFORMED TO REDUCE THE RISK OF PETROLEUM SPILLS.
 - PETROLEUM SPILLS SHALL BE IMMEDIATELY CONTAINED. ALL INLETS MUST BE CLEANED AND MAINTAINED. ALL SPILLS MUST BE CLEANED UP IMMEDIATELY BUT IS NOT LIMITED TO SWEEPING, SHOVELING, AND VACUUMING ALONG WITH THE USE OF SORBENTS AND OILS.
 - ALL SPILLS MUST BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED WITH SOIL OF SIMILAR PROPERTIES.

APPROVED
 By Devon Baulliant at 5:20 am, Apr. 26, 2022



Ensure all fence not touched by construction equipment is protected by a fence or other barrier.

State Waters Determination Note: no state waters are present on the site. A report shall be filed in wetland note and wet LIA location.

46' WETLANDS ZONE C2
 OWNER: BOING US HOLDCO, INC.
 337 297 167 N
 CHARLOTTE, NC 28202

46' WETLANDS ZONE C2
 OWNER: BOING US HOLDCO, INC.
 337 297 167 N
 CHARLOTTE, NC 28202

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 337 297 167 N
 CHARLOTTE, NC 28202

46' WETLANDS ZONE C2
 OWNER: BOING US HOLDCO, INC.
 337 297 167 N
 CHARLOTTE, NC 28202

NO.	REVISION	DATE
1	REVISIONS FOR THE TOWN OF TYRONE	04-11-22
2	REVISIONS FOR THE TOWN OF TYRONE	04-18-22
3	REVISIONS FOR THE TOWN OF TYRONE	04-19-22



VICINITY MAP
 1" = 200'

EROSION CONTROL LEGEND

(S-1)	RETENANCE (TYPE 'S')
(S-2)	INLET SEDIMENT TRAP - FILTER FABRIC
(S-3)	INLET SEDIMENT TRAP - COARSE INLET PROTECTION
(S-4)	TEMPORARY SEDIMENT TRAP A - OTHER LOW OUTLET
(S-5)	STORM OUTLET PROTECTION
(S-6)	CONCRETE WASH OUT AREA
(S-7)	CONSTRUCTION ENTRANCE EXIT
(S-8)	TREE PROTECTION
(S-9)	CHANNEL STABILIZATION
(S-10)	DUST CONTROL ON DISTURBED AREAS
(S-11)	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
(S-12)	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
(S-13)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
(S-14)	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
(S-15)	SOIL TYPE
(S-16)	LIMITS OF DEVELOPMENT (DISTURBANCE - 1:800 AC)
(S-17)	SOIL TYPE DELINEATION

SOIL TYPES
 C&B: CECIL SANDY LOAM, 2 TO 8 PERCENT SLOPES, FREQUENTLY FLOODED
 WH: WEHAKEE SOILS, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED

NOTES & DETAILS
 -REFER TO SHEETS C-2.4 THROUGH C-2.7 FOR EROSION CONTROL NOTES & DETAILS

CAUTION!
 CONTINUATION TO COMPLETE THE UTILITY PROTECTION. FOR ALL UTILITIES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION.

NO.	REVISION	DATE
1	REVISIONS FOR THE TOWN OF TYRONE	04-11-22
2	REVISIONS FOR THE TOWN OF TYRONE	04-18-22
3	REVISIONS FOR THE TOWN OF TYRONE	04-19-22

SITE DATA

PROJECT NAME: TAKE 5 EXPRESS CAR WASH
 PROJECT ADDRESS: TRACT 5 OF ST. STEPHENS
 JURISDICTION: TOWN OF TYRONE
 ZONING: C-2 (COMMERCIAL)
 EXISTING USE: VARIANT
 FLOOD ZONE: MAP 131.000077E DATED 06/25/2018

TERTIARY PERMITEE

BOING US HOLDCO, INC.
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO 80015
 PHONE: (980) 258-0701
 PROJECT PERMIT NUMBER: 20220000000000000000
 MATTHEW AUBREY (BOINGUS@BOINGUS.COM)

OWNER

GRIMALDI, LLC
 337 297 167 N
 TYRONE, GA 30080
 CONTACT: ANN WHELU

WETLAND NOTE

NO WETLANDS WERE IDENTIFIED ON THIS AREA REPORT OF ATLANTIC COASTAL ENVIRONMENTAL, LLC DATED 01/14/2022, COMPLETED BY:

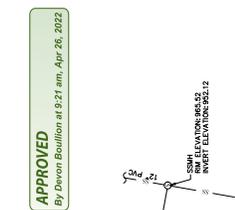
CONSTRUCTION EXIT GPS LOCATION

337 297 167 N
 84° 35' 03" W

DISTURBED AREA
 28,495 SF
 0.68 ACRES

TOTAL SITE AREA
 35,282 SF
 0.810 ACRES

- GENERAL EROSION CONTROL NOTES**
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFER AS MEASURED FROM THE POINT OF WETTED MEASUREMENT FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACCORDING THE NECESSARY VARIANCES AND PERMITS.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE IMPLEMENTATION OF THE APPROVED EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FILL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NECESSARY MEASURES TO BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 - ENSURE BEST MANAGEMENT PRACTICES FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE TRUCK CHUTES, HOPPERS AND THE REAR OF VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
 - CONCRETE INSTALLATION ON THE PLANS FOR WASH DOWN OF TOOLS FOR PRESENTATION MAINTENANCE SUCH AS TIMELY INSPECTIONS OF FUEL STORAGE TANKS AND PUMPS SHALL BE PERFORMED TO REDUCE THE RISK OF PETROLEUM SPILLS.
 - PETROLEUM SPILLS SHALL BE IMMEDIATELY CONTAINED. ALL INLETS MUST BE CLEANED AND MAINTAINED. ALL SPILLS MUST BE CLEANED UP IMMEDIATELY. CLEANUP IS NOT LIMITED TO SWEEPING, SHOVELING, AND VACUUMING ALONG WITH THE USE OF SORBENTS AND OILS.
 - ALL SPILLS MUST BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED WITH SOIL OF SIMILAR PROPERTIES.



PHASE 2.8.1 (A) - INLET SEDIMENT TRAP	PHASE 2.8.1 (B) - TEMPORARY AREA DRAINAGE	PHASE 2.8.1 (C) - CHANNEL PROTECTION
AREA DRAINAGE: 0.22	AREA DRAINAGE: 0.35	AREA DRAINAGE: 0.35
REQUIRED STORAGE: 15	REQUIRED STORAGE: 9	REQUIRED STORAGE: 9
EXCAVATION DEPTH: 2.0 FT	EXCAVATION DEPTH: 2.0 FT	EXCAVATION DEPTH: 2.0 FT
EXCAVATION WIDTH: 15 FT	EXCAVATION WIDTH: 9 FT	EXCAVATION WIDTH: 9 FT
PROVIDED STORAGE: 24	PROVIDED STORAGE: 24	PROVIDED STORAGE: 24

APPROVED
 By Devon Bortillon at 9:21 am, Apr 26, 2022

Ensure silt fence not trenched, protection area and/or encirclement is maintained.

Silt traps Note: no silt water requiring a buffer outside per wetland note and per LIA verification.

Table with 2 columns: NO. and REVISIONS FOR THE TOWN OF THIRSON. Includes revision numbers 1 through 12.



19. Clearly note statement that the scope of sediment from the site shall be provided by the installation of erosion and sediment control measures and practices prior to final discharging practices.

20. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

21. Clearly note that the erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

22. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

23. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

24. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

Table with 2 columns: BASIN NO. and PEAK FLOW (MGD). Lists basins 1 through 12 with their respective peak flow values.

25. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

26. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

27. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

28. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

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46. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

47. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan and specifications for the entire duration of construction.

COMMON DEVELOPMENT NOTES - CONTINUED

1. ALL DESIGN REQUIREMENTS SHALL INCLUDE THE FOLLOWING: A. DESIGN TOPOGRAPHIC MAP: A TOPOGRAPHIC MAP OR DRAWING REFERRED TO AS A TOPOGRAPHIC MAP THAT IS A SCALE OF 1"=40' SHALL BE PROVIDED FOR THE ENTIRE PROJECT AREA.

2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS FOR THE ENTIRE DURATION OF CONSTRUCTION.

3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS FOR THE ENTIRE DURATION OF CONSTRUCTION.

4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS FOR THE ENTIRE DURATION OF CONSTRUCTION.

5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS FOR THE ENTIRE DURATION OF CONSTRUCTION.

6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SPECIFICATIONS FOR THE ENTIRE DURATION OF CONSTRUCTION.

DESIGN PROFESSIONAL 7-DAY VISIT

THE DESIGN PROFESSIONAL SHALL CONDUCT A 7-DAY VISIT TO THE PROJECT SITE TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED IN THE PERMIT APPLICATION.

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CONSTRUCTION ACTIVITIES SCHEDULE

Table with 2 columns: ACTIVITY and WEEKS. Lists construction activities such as site preparation, foundation work, and framing, mapped against a 26-week schedule.

1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE AVAILABLE AT AN APPROPRIATE ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS NOT IS SUBMITTED IN ACCORDANCE WITH PART IV. C. 2. OF THIS PERMIT.

2. THE DESIGN PROFESSIONAL SHALL CONDUCT A 7-DAY VISIT TO THE PROJECT SITE TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED IN THE PERMIT APPLICATION.

3. THE DESIGN PROFESSIONAL SHALL CONDUCT A 7-DAY VISIT TO THE PROJECT SITE TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED IN THE PERMIT APPLICATION.

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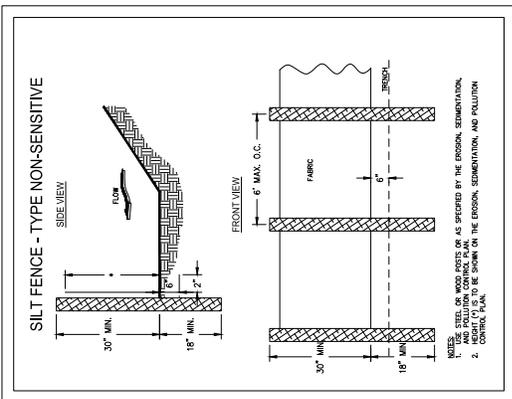
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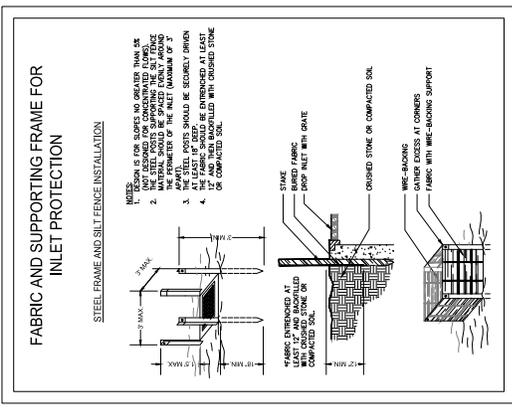
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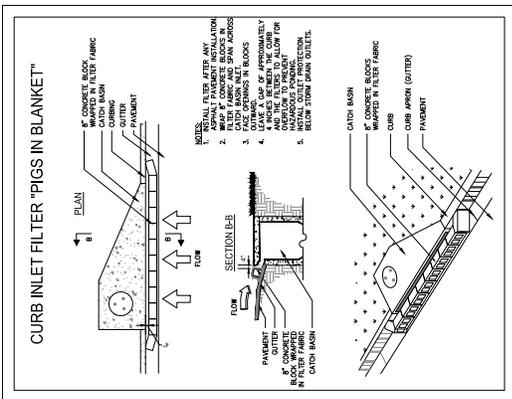
NO.	REVISION	DATE
1	ISSUES FOR THE TOWN OF TYRONE	04-11-22
2	ISSUES FOR THE TOWN OF TYRONE	04-08-22
3	ISSUES FOR THE TOWN OF TYRONE	04-13-22



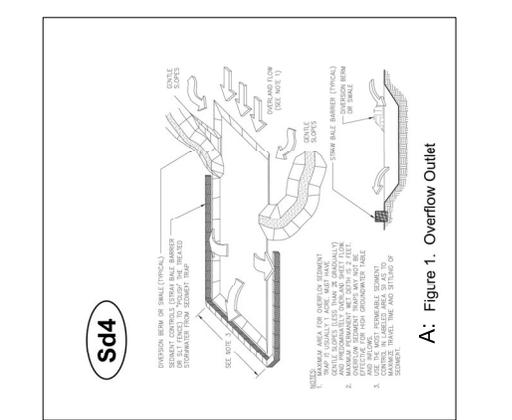
Sd1-S SILT FENCE (TYPE 'S')



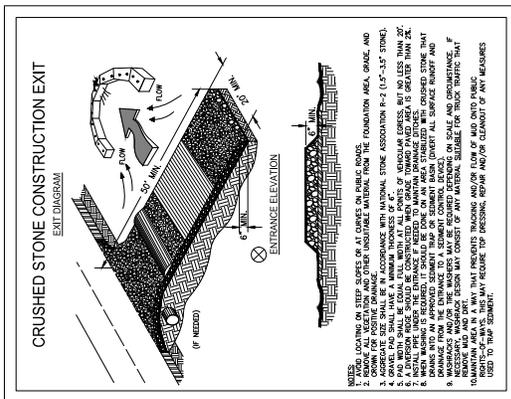
Sd2-F INLET SEDIMENT TRAP - FILTER FABRIC



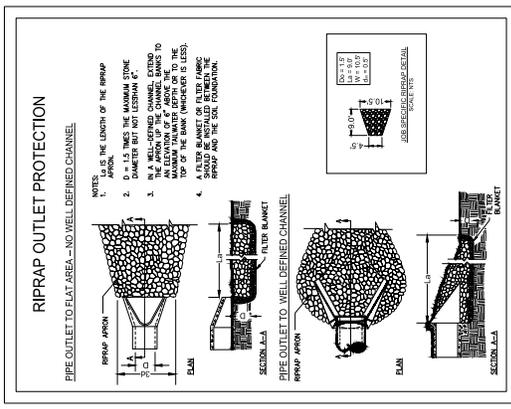
Sd2-P INLET SEDIMENT TRAP - CURB INLET PROTECTION



Sd4-A TEMPORARY SEDIMENT TRAP - A OVERFLOW OUTLET DETAIL



CO CONSTRUCTION ENTRANCE/EXIT



St STORM OUTLET PROTECTION

DEFINITION
 Improving, conserving or stabilizing an open channel for water conveyance.

CONDITIONS
 This standard applies to the improvement, construction or maintenance of an open channel for water conveyance. It applies only to channels conveying stormwater flow, not to channels conveying irrigation water, flood control, or other water.

GENERAL PRINCIPLES AND STRUCTURAL
 The channel structure shall be designed to resist erosion and scour. The structure shall be designed to resist erosion and scour. The structure shall be designed to resist erosion and scour.

CHANNEL STABILIZATION
 Channel stabilization shall be achieved by the use of vegetation, rock, concrete lining, or other methods. Channel stabilization shall be achieved by the use of vegetation, rock, concrete lining, or other methods.

VEGETATED LINING
 Vegetated lining shall be used for channels with slopes less than 1:1. Vegetated lining shall be used for channels with slopes less than 1:1.

CONCRETE LINING
 Concrete lining shall be used for channels with slopes greater than 1:1. Concrete lining shall be used for channels with slopes greater than 1:1.

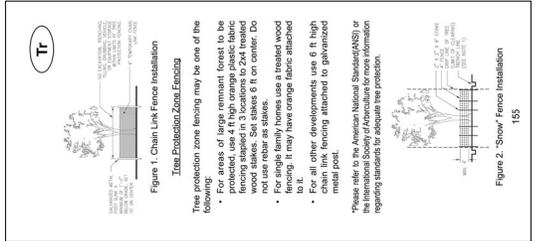
ROCK LINING
 Rock lining shall be used for channels with slopes greater than 1:1. Rock lining shall be used for channels with slopes greater than 1:1.

TEMPORARY SEDIMENT TRAP - A OVERFLOW OUTLET DETAIL
 The overflow outlet shall be designed to prevent erosion and scour. The overflow outlet shall be designed to prevent erosion and scour.

Ch CHANNEL STABILIZATION

APPROVED
 By Devon Boulton at 9:22 am, Apr 26, 2022

LEVEL: CERTIFIED DESIGN PROFESSIONAL
 STATE OF GEORGIA LICENSE NUMBER 000020028
 CONTRACT NUMBER 2022001



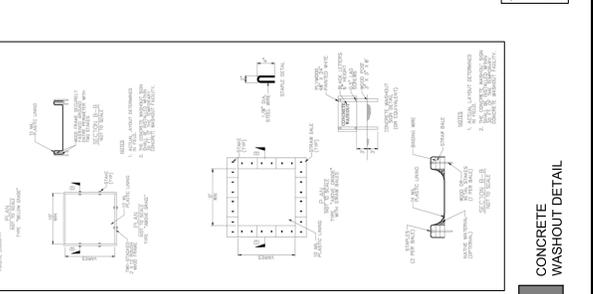
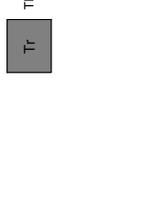
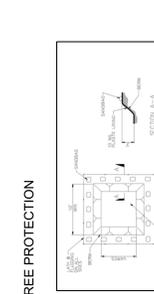
Tree Protection

DEFINITION
The protection of desirable trees from injury during construction activity.

PURPOSE
• Ensure the survival of desirable trees where they will be effective for erosion and sediment control, shade and other environmental beautification, and pollution control noise reduction.

SPECIFICATIONS
• Contact the local government to obtain information regarding local tree ordinances before ESPPC plans are designed.

Tree Protection Zones
(1) Measure the diameter of the tree trunk in inches 4.5 ft from the ground.
(2) Multiply this value by 1.5. This result is the radius of the root protection zone in ft. Also considered the critical root zone distance.



METHODS AND MATERIALS

A. TEMPORARY METHODS
• MULCHES: SEE STANDARD SPECIFICATIONS FOR MULCHING ONLY. SYNTHETIC MULCHES MAY BE USED TO PROTECT TREE TRUNKS AND ROOTS. MULCHES SHOULD BE APPLIED TO THE TRUNK AND ROOTS OF THE TREE TO BE PROTECTED. MULCHES SHOULD BE APPLIED TO THE TRUNK AND ROOTS OF THE TREE TO BE PROTECTED. MULCHES SHOULD BE APPLIED TO THE TRUNK AND ROOTS OF THE TREE TO BE PROTECTED.

B. PERMANENT METHODS
• PERMANENT VEGETATION: PERMANENT VEGETATION SHALL BE PLANTED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. PERMANENT VEGETATION SHALL BE PLANTED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. PERMANENT VEGETATION SHALL BE PLANTED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED.

APPROVED
By *Devon Robinson* at 9:23 am, Apr 26, 2022

CONSTRUCTION SPECIFICATIONS
• SITE PREPARATION: THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED.

SEEDING RATES FOR PERMANENT SEEDING

SPECIES	SEED RATE (LBS/1000 SQ FT)	SEED RATE (LBS/1000 SQ FT)	SEED RATE (LBS/1000 SQ FT)
RYE	1.00	1.00	1.00
PERFORANS	0.50	0.50	0.50
LEPIDEAZA	0.50	0.50	0.50
LEGUMINOSAE	0.50	0.50	0.50
GRASS	0.50	0.50	0.50
WHEAT	0.50	0.50	0.50

CONSTRUCTION SPECIFICATIONS
• SITE PREPARATION: THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED.

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SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	SEED RATE (LBS/1000 SQ FT)	SEED RATE (LBS/1000 SQ FT)	SEED RATE (LBS/1000 SQ FT)
RYE	1.00	1.00	1.00
PERFORANS	0.50	0.50	0.50
LEPIDEAZA	0.50	0.50	0.50
LEGUMINOSAE	0.50	0.50	0.50
GRASS	0.50	0.50	0.50
WHEAT	0.50	0.50	0.50

DS3 (WITH PERMANENT VEGETATION)

CONSTRUCTION SPECIFICATIONS
• SITE PREPARATION: THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED.

CONSTRUCTION SPECIFICATIONS
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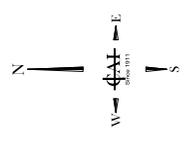
DS1 (WITH PERMANENT VEGETATION)

CONSTRUCTION SPECIFICATIONS
• SITE PREPARATION: THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED. THE DISTURBED AREA SHALL BE PREPARED WITHIN THE ROOT PROTECTION ZONE OF THE TREE TO BE PROTECTED.

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NO.	REVISION	DATE
1	REVISIONS FOR THE TOWN OF TYRONE	10-11-22
2	REVISIONS FOR THE TOWN OF TYRONE	11-08-22
3	REVISIONS FOR THE TOWN OF TYRONE	10-11-22



SIGN KEYNOTES

① TO BE DETERMINED
 ② TUNNEL EXIT LIGHT
 ③ 'COME BACK SOON' SIGN
 ④ 'ONE VACUUM' SIGN
 ⑤ STOP SIGN
 ⑥ NOTE: SIGN PACKAGE BY OTHERS SIGN PERMITTED UNDER SEPARATE PERMIT

SITE FEATURES KEYNOTES

① EXISTING PAVEMENT TO BE CONSTRUCTED OF THE SAME MATERIAL AS THE ORIGINAL STRUCTURE.
 ② CONCRETE CURB ENCLOSURE. REFERENCE ARCH PLAN FOR DETAILS.
 ③ VACUUM CANOPY. REFERENCE ARCH SITE DETAILS FOR DETAILS.
 ④ PAVEMENT MARKINGS. REFERENCE SHEET C-7 FOR DETAILS.
 ⑤ CURB AND TRANSFORMER. REFERENCE SHEET C-7 FOR DETAILS.
 ⑥ WHEEL STOP. REFERENCE SHEET C-7 FOR DETAILS.
 ⑦ ACCESSIBLE SIGN IN BOLLARD. REFERENCE SHEET C-7 FOR DETAILS.
 ⑧ 4" TYPICAL STRIPING. REFERENCE SHEET C-7 FOR DETAILS.
 ⑨ BOLLARD TYPE I. REFERENCE SHEET C-7 FOR DETAILS.
 ⑩ 4" TYPICAL STRIPING. REFERENCE SHEET C-7 FOR DETAILS.
 ⑪ ACCESSIBLE PARKING. REFERENCE SHEET C-7 FOR DETAILS.
 ⑫ 4" TYPICAL STRIPING. REFERENCE SHEET C-7 FOR DETAILS.
 ⑬ WATER RECLAMATION DUMP. REFERENCE MAP DETAILS.
 ⑭ 4" TYPICAL STRIPING. REFERENCE SHEET C-7 FOR DETAILS.
 ⑮ BOLLARD TYPE II. REFERENCE SHEET C-7 FOR DETAILS.
 ⑯ 4" TYPICAL STRIPING. REFERENCE SHEET C-7 FOR DETAILS.
 ⑰ VACUUM EQUIPMENT ROOM
 ⑱ 30" STOP BAR

PAY MISC KEYNOTES

① PAV. STATION/CANOPY. REFERENCE ARCH PLANS FOR DETAILS.
 ② 30" MEN BOARD. REFERENCE ARCH PLANS FOR DETAILS.
 ③ KIOSK. REFERENCE ARCH PLAN FOR DETAILS.
 ④ FAST PASS READER. REFERENCE ARCH PLAN FOR DETAILS.
 ⑤ GATE. REFERENCE ARCH PLAN FOR DETAILS.

SITE DATA

PROJECT NAME: TAKE 5 EXPRESS CAR WASH
 TRACT 5 OF ST. STEPHENS
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO 80015
 JURISDICTION: TYRONE, GA
 PROJECT TYPE: COMMERCIAL
 INTERESTED PARTY: BOING US HOLDCO, INC.
 ZONING: COMMERCIAL
 FLOOD ZONE: X-1
 DATE: 10/23/2022

RELIEFS:
 30" STOP BAR
 30" STOP BAR
 30" STOP BAR

PARKING REQUIREMENTS:
 12 SPACES
 12 SPACES
 12 SPACES

PARKING PROVIDED:
 12 SPACES
 12 SPACES
 12 SPACES

SITE PLAN LEGEND

PROPOSED CONCRETE PAVEMENT (SEE SHEET C-4)
 PROPOSED CONCRETE SIDEWALK (SEE SHEET C-4)
 BUILDING FOOTPRINT
 PROPERTY LINE

WETLAND NOTE

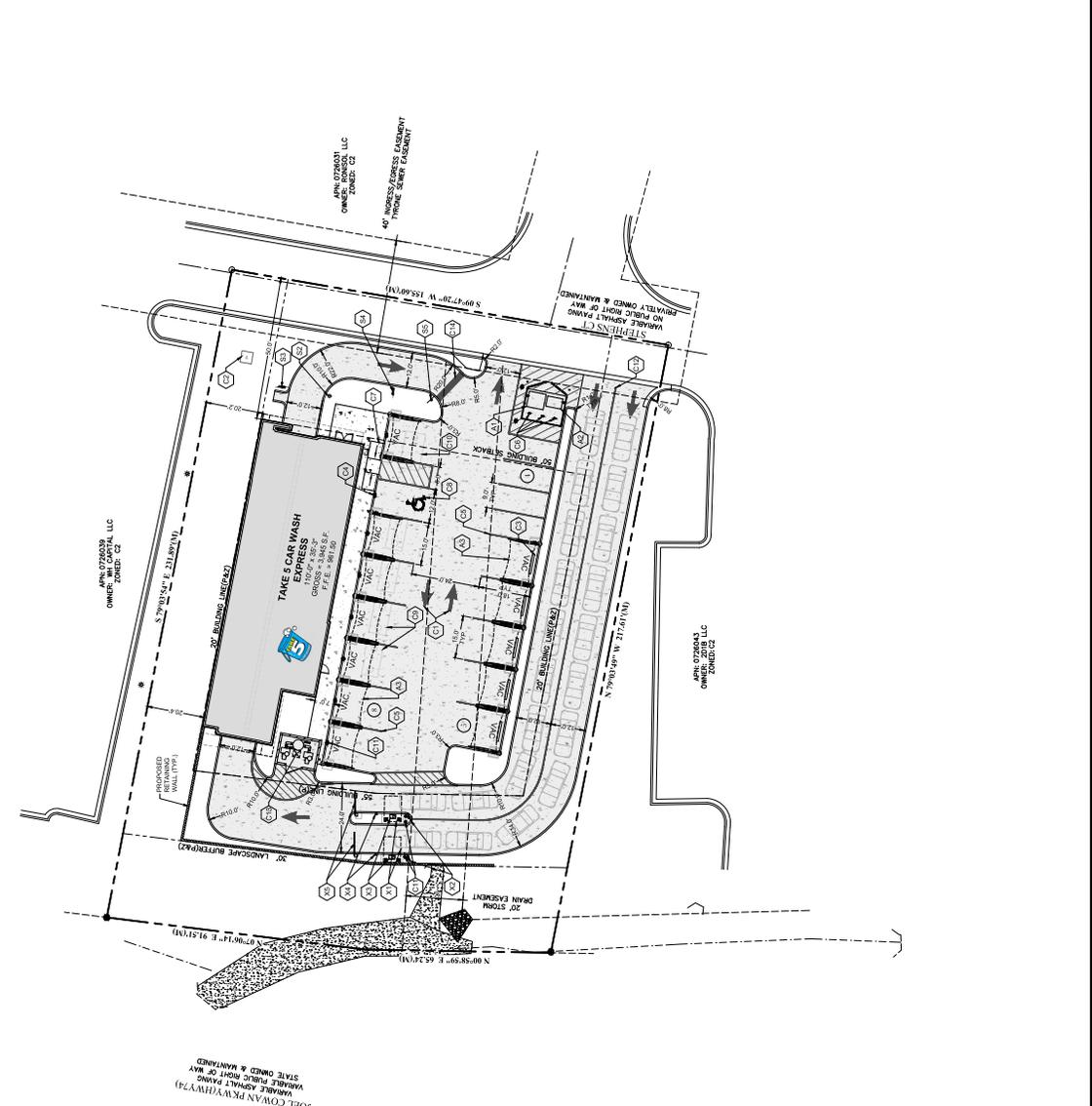
NO WETLANDS WERE IDENTIFIED ON SITE PER REPORT OF AQUATIC INVERTEBRATE SURVEY BY CONTOUR ENVIRONMENTAL, LLC.

GROUNDWATER RECHARGE NOTE

LOCATED IN A GROUNDWATER RECHARGE AREA OF RELATIVELY HIGH PERMEABILITY AS SHOWN ON THE GEORGINA DNR HYDROLOGICAL ATLAS 19 (1998 EDITION).

SITE PLAN NOTES

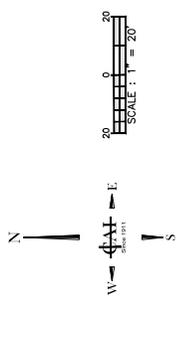
- THE CONTRACTOR SHALL REMOVE AND DISPOSURE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER OBSTACLES WITHIN THE LIMITS OF THE WORK FROM THE SITE. THE REMOVAL OF EXISTING IMPROVEMENTS SHALL BE PERMITTED BY THE LOCAL JURISDICTION. ALL GOVERNING JURISDICTIONS, STATE OF GEORGIA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- ALL MATERIALS SHALL BE USED UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
- ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION BUILDING DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- ALL DISTURBED AREAS WITHIN SIDEWALK CURB AND GUTTER ROAD PAVEMENT SHALL BE REPAIRED TO ORIGINAL OR BETTER CONDITION AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- ALL SIDEWALKS SHALL HAVE A WIDTH OF 5 FEET UNLESS OTHERWISE NOTED.



NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10-11-22
2	ISSUED FOR THE TOWN OF TYRONE	10-18-22
3	ISSUED FOR THE TOWN OF TYRONE	10-21-22



PROJECT: TAKE 5 EXPRESS CAR WASH
 CLIENT: BOING US HOLDCO, INC.
 DATE: 10/11/22



PAVING LEGEND

	STANDARD PAVING
	HEAVY PAVING
	CONCRETE PAVING
	ASPHALT PAVING
	EXPANSION JOINT
	CURB
	SLOPE

PAVEMENT JOINT NOTES

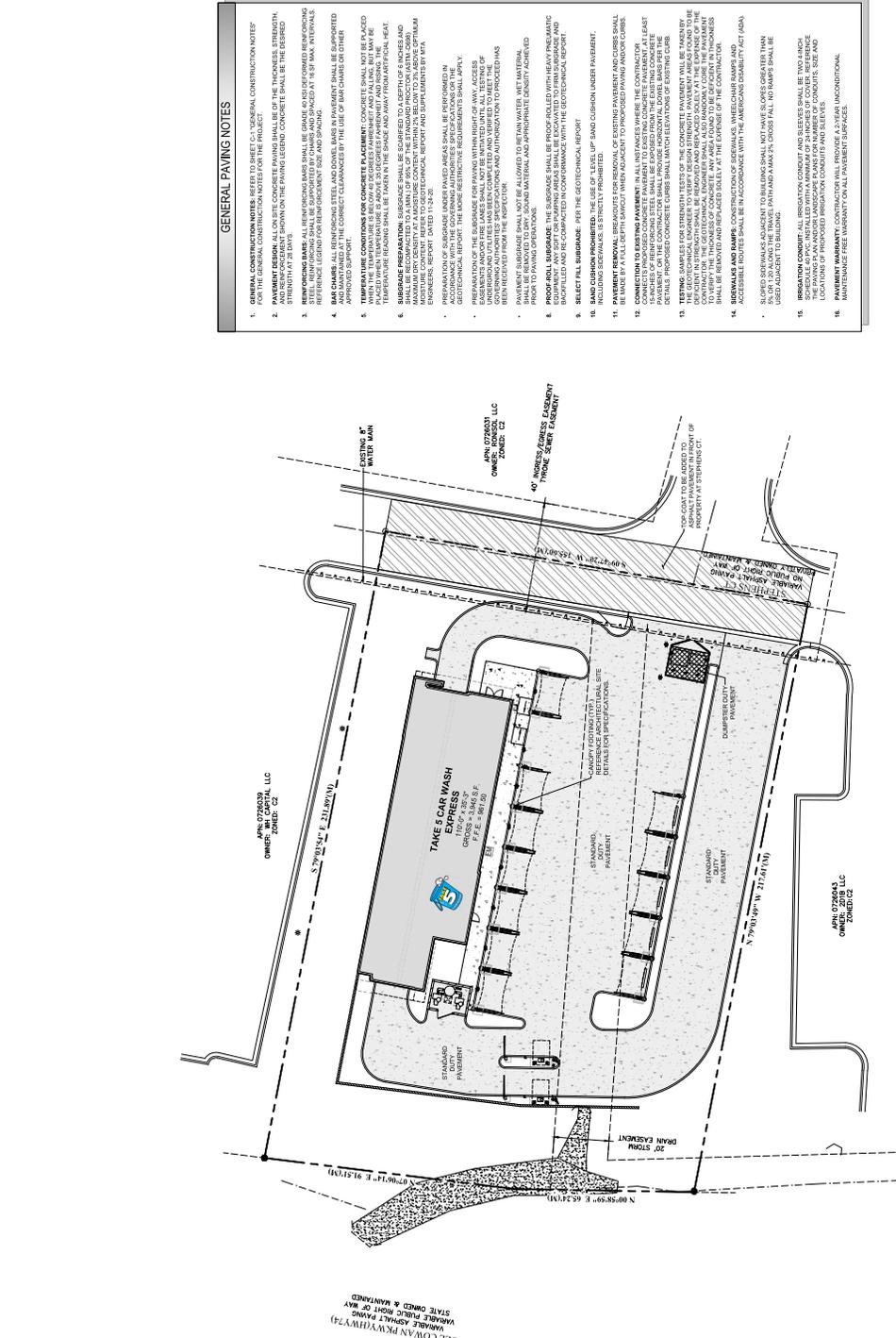
- PAVEMENT JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 12 FEET (12' 0"). JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 12 FEET (12' 0"). JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 12 FEET (12' 0").
- JOINT SEALING SHALL BE DONE WITHIN 24 HOURS OF POUR OR AS SOON AS THE JOINTS ARE EXPOSED TO WEATHER.
- JOINT SEALING SHALL BE DONE WITHIN 24 HOURS OF POUR OR AS SOON AS THE JOINTS ARE EXPOSED TO WEATHER.
- JOINT SEALING SHALL BE DONE WITHIN 24 HOURS OF POUR OR AS SOON AS THE JOINTS ARE EXPOSED TO WEATHER.
- JOINT SEALING SHALL BE DONE WITHIN 24 HOURS OF POUR OR AS SOON AS THE JOINTS ARE EXPOSED TO WEATHER.

GENERAL PAVING NOTES

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- PAVEMENT DESIGN: ALL PAVING SHALL BE DESIGNED TO WITHSTAND THE TRAFFIC LOADS AND WEAR AS SPECIFIED IN THE PAVING PLAN.
- REINFORCING BARS: ALL REINFORCING BARS SHALL BE GRADE 60 AND FORMED TO THE SPECIFICATIONS OF THE PAVING PLAN.
- BASE COURSE: ALL BASE COURSE SHALL BE 4" THICK AND SHALL BE COMPACTED TO THE SPECIFICATIONS OF THE PAVING PLAN.
- TEMPERATURE CORRECTIONS: ALL PAVING SHALL BE DONE AT A TEMPERATURE OF 40°F TO 80°F.
- SUBGRADE PREPARATION: ALL SUBGRADE SHALL BE PREPARED TO THE SPECIFICATIONS OF THE PAVING PLAN.
- PROOF ROLL: ALL PAVING SHALL BE PROOF ROLLED TO THE SPECIFICATIONS OF THE PAVING PLAN.
- ACCESSIBLE PAVEMENT: ALL PAVING SHALL BE ACCESSIBLE TO THE SPECIFICATIONS OF THE PAVING PLAN.
- IRREGULAR SURFACES: ALL IRREGULAR SURFACES SHALL BE GRADDED TO THE SPECIFICATIONS OF THE PAVING PLAN.
- PAVEMENT WARRANTY: ALL PAVING SHALL BE WARRANTED TO THE SPECIFICATIONS OF THE PAVING PLAN.

MISC. NOTES:
 REFERENCE SHEET C-1 FOR PAVING DETAILS

CAUTION!
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.





CATER ASSOCIATES, INC.
 1708 EAST STREET
 SUITE 200
 CHARLOTTE, NC 28203
 TEL: (704) 375-1100
 FAX: (704) 375-1101
 EMAIL: INFO@CAI-NC.COM

BOING US HOLDCO, INC.
 TAKE 5 EXPRESS CAR WASH
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO

NO.	REVISIONS FOR THE TOWN OF TYRONE	DATE
1	ISSUED FOR PERMITS	10-11-22
2	REVISED FOR THE TOWN OF TYRONE	10-18-22
3	REVISED FOR THE TOWN OF TYRONE	10-19-22

TAKE 5 EXPRESS CAR WASH
 OF TYRONE, GA
 OF TYRONE, GA
 PID. 0726 041



PROJECT NO. 24-0422
 DRAWN BY: J. H. HARRIS
 CHECKED BY: J. H. HARRIS
 DATE: 10/18/22

SHEET
 DRAINAGE PLAN
 C-5

GRADING NOTES

- GENERAL CONTRACTOR NOTES REFER TO SHEET C-1 - GENERAL CONSTRUCTION NOTES FOR THE GENERAL CONSTRUCTION NOTES FOR THE PROJECT.
- UNDISTURBED AREAS: PRIOR TO GRADING, BROWN REVISIONS, OR SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXISTING ELEVATIONS AND CONDITIONS OF ALL UNDISTURBED AREAS OF THE PROJECT SITE THAT ARE TO BE PROTECTED AND PRESERVED. THESE AREAS SHALL BE IDENTIFIED AND MARKED WITH RED LINES AND A RED 'X' ON THE GRADING PLAN. THE CONTRACTOR SHALL MAINTAIN THESE AREAS THROUGHOUT CONSTRUCTION IN THE VICINITY OF EXISTING TREES.
- EXISTING ALL UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (ELECTRIC, GAS, WATER, SEWER, AND TELEPHONE) PRIOR TO GRADING. THE CONTRACTOR SHALL MAINTAIN THESE UTILITIES THROUGHOUT CONSTRUCTION IN THE VICINITY OF EXISTING TREES.
- ATTENTION: THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.
- BURNING: BURNING SHALL NOT BE PERMITTED ON THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE GOVERNING AUTHORITIES AND THE DEVELOPER.
- REMOVAL OF EXISTING MATERIALS: THE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS (CONCRETE, BRICK, BLOCK, AND OTHER) THAT ARE TO BE REMOVED FROM THE PROJECT SITE. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.
- UNSATURATED MATERIALS: THE CONTRACTOR SHALL NOT PLACE UNSATURATED MATERIALS (CLAY, SILT, OR OTHER) IN ANY AREAS WHERE IT IS TO BE USED FOR GRADING. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.
- CONTROLLED FILL: ALL SOILS USED FOR CONTROLLED FILL SHALL BE FREE OF ROOTS, TWIGS, LIMBS, AND OTHER DEBRIS. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.
- PROPOSED GRADING: THE PROPOSED GRADING SHALL BE AS SHOWN ON THE GRADING PLAN. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.
- LANDSCAPE GRADING: THE PROPOSED GRADING SHALL BE AS SHOWN ON THE GRADING PLAN. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.
- UNCLASSIFIED EXCAVATION: ALL UNCLASSIFIED EXCAVATION, INCLUDING BUT NOT LIMITED TO, EXCAVATION FOR FOUNDATIONS, SHALL BE CLASSIFIED AS UNCLASSIFIED EXCAVATION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND DEPTH OF ALL UTILITIES THROUGHOUT CONSTRUCTION.



STORMWATER STRUCTURE TABLE

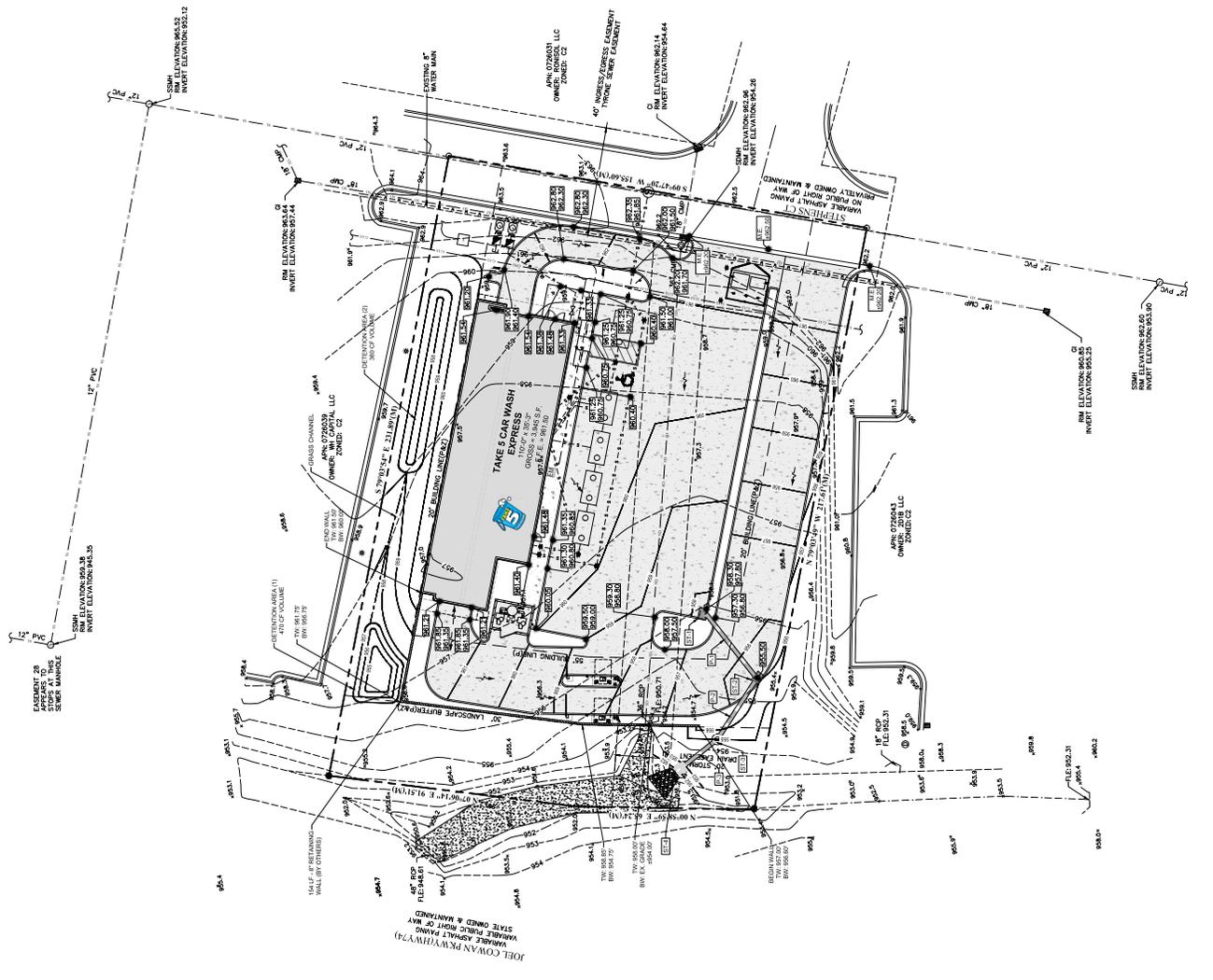
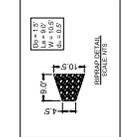
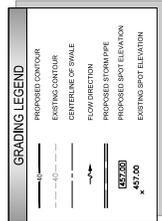
NO.	DESCRIPTION	LENGTH (L)	WIDTH (W)	DEPTH (D)
P1	18" IP STORM PIPE	150.00	30.00	3.00
P2	18" IP STORM PIPE	150.00	30.00	3.00
P3	18" IP STORM PIPE	150.00	30.00	3.00
S1	18" IP STORM PIPE	150.00	30.00	3.00
S2	18" IP STORM PIPE	150.00	30.00	3.00
S3	18" IP STORM PIPE	150.00	30.00	3.00
S4	18" IP STORM PIPE	150.00	30.00	3.00

STORMWATER NOTES

PROPOSED WEIGHTED CN VALUE: 0.25 AC X 81
 CN PERVIOUS: 0.25 AC X 81
 CN IMPERVIOUS: 0.25 AC X 81

ALLOWED CN VALUE FOR COMMERCIAL DEVELOPMENT IS 92
 BASIN B - FLOW 2 (PREPARED BY SOUTHEASTERN ENGINEERS, INC. DATED JULY 17, 1998)

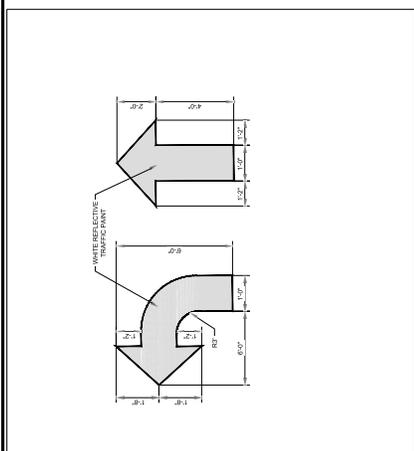
SMP & LID
 PROPOSED BMP FIRST DEFENSE BY HYDRO INTERNATIONAL THAT ANOTHER PORTION OF THE SITE WILL CONVEY STORMWATER RUNOFF TO A DETENTION AREA THAT OUTFALLS TO A GRASS FIELD. THE LID SHOULD BE THE LID TO BE INSTALLED PRIOR TO LEAVING THE SITE.



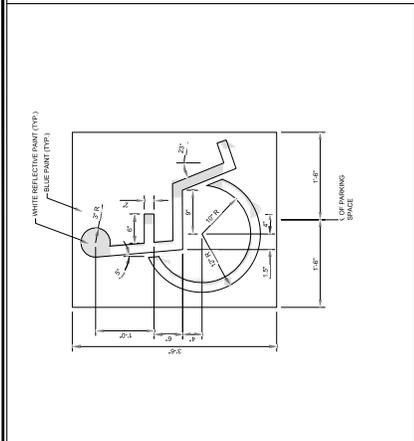
NO.	REVISION	DATE
1	REVISIONS FOR THE TOWN OF TYRONE	10-11-22
2	REVISIONS FOR THE TOWN OF TYRONE	10-18-22
3	REVISIONS FOR THE TOWN OF TYRONE	10-19-22



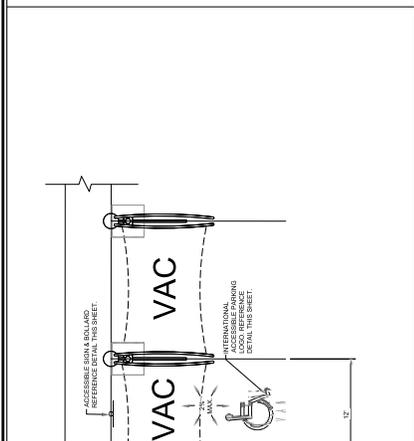
PROJECT: TAKE 5 EXPRESS CAR WASH
 CLIENT: BOING US HOLDCO, INC.
 DRAWING NO.: 22-0000
 DATE: 10/11/22



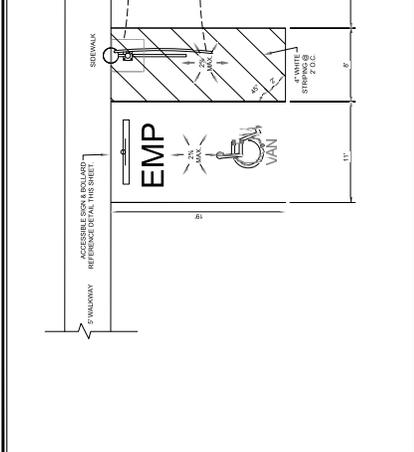
01 EMPLOYEE ACCESSIBLE VAN PARKING STRIPING



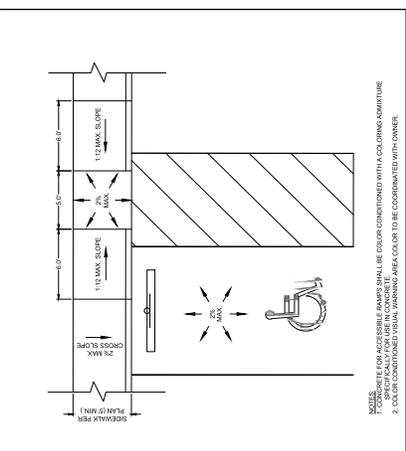
02 VACUUM PARKING STRIPING



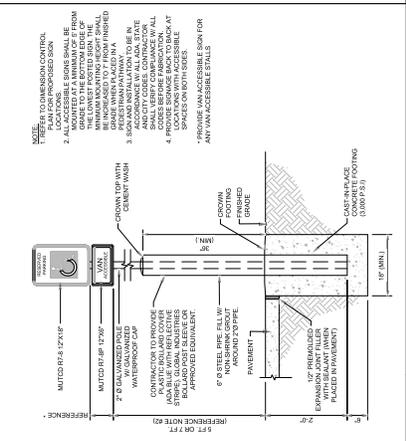
03 ACCESSIBLE PARKING LOGO



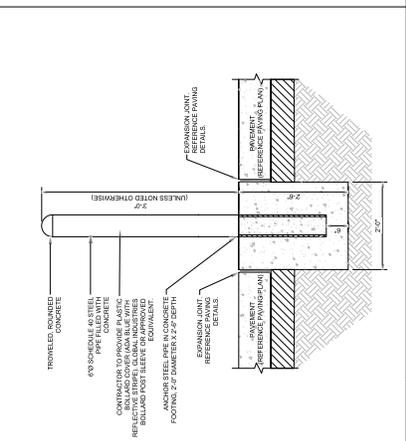
04 TRAFFIC FLOW ARROWS



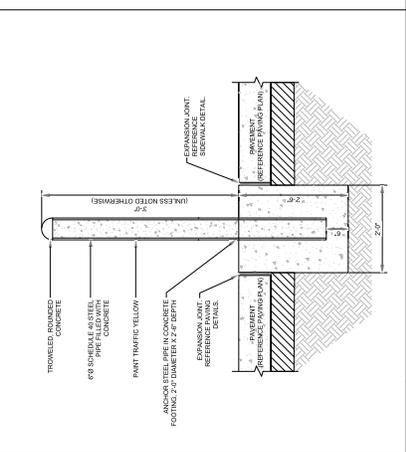
05 BOLLARD TYPE I



06 BOLLARD TYPE II (WITH PLASTIC CAP)



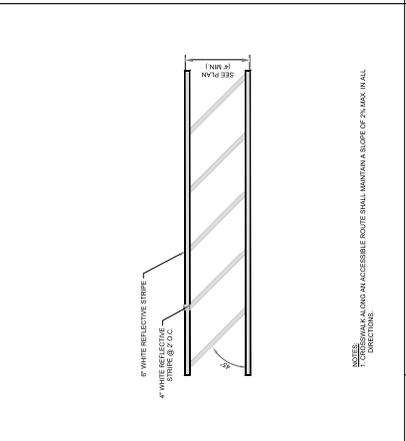
07 ACCESSIBLE SIGN IN BOLLARD



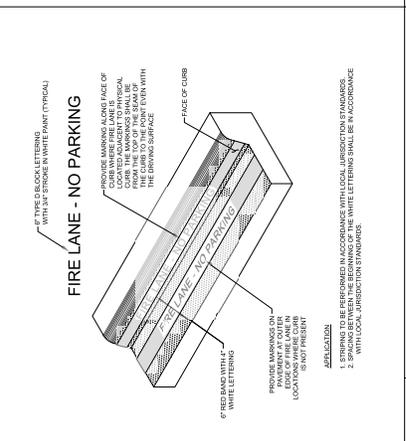
08 HANDICAP RAMP DETAIL



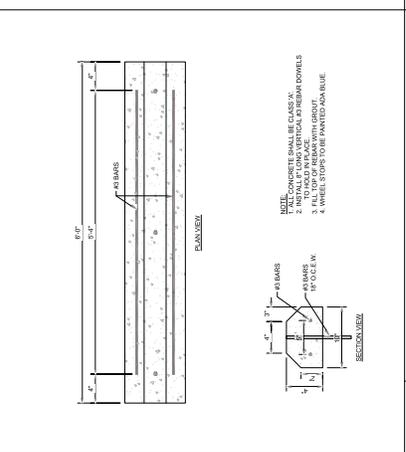
09 WHEEL STOP



10 FIRE LANE STRIPING



11 TYPICAL CROSSWALK



12 ACCESSIBLE RAMP DETAIL



CARTER ASSOCIATES, INC.
 1708 JANT STREET
 VERO BEACH, FL 32909
 (888) 259-7071
 FAX (888) 259-7071
 EMAIL: INFO@CAI-FL.COM
 WWW.CAI-FL.COM

BOING US HOLDG, INC.
 TAKE 5 EXPRESS CAR WASH
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO
 TEL: (980) 259-0701
 EMAIL: INFO@BOINGUS.COM

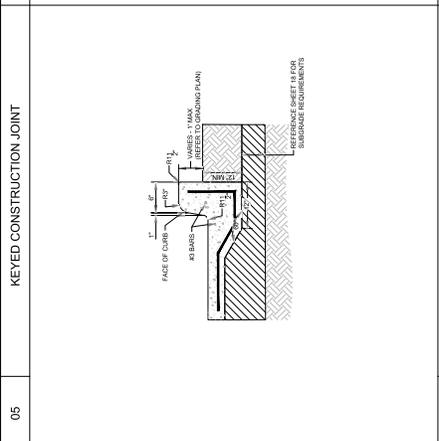
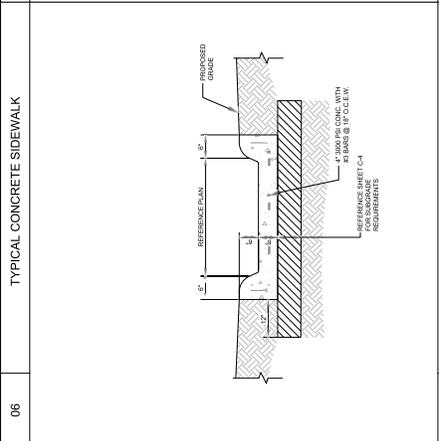
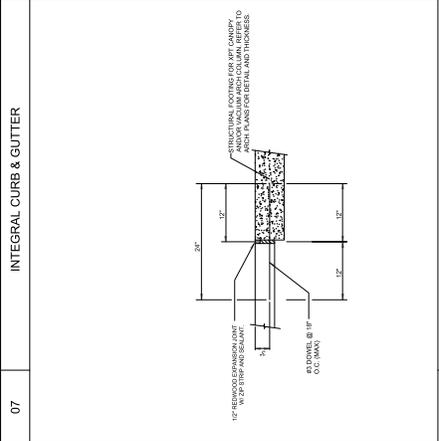
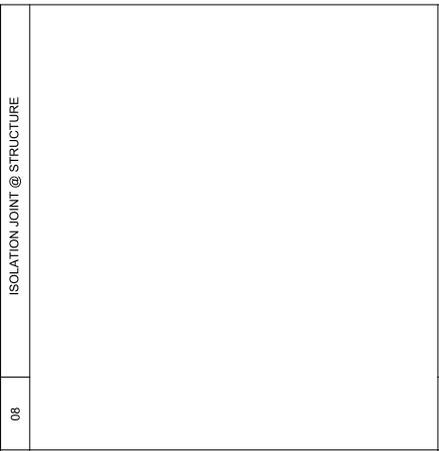
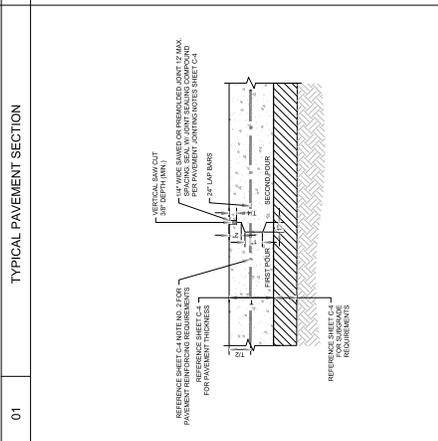
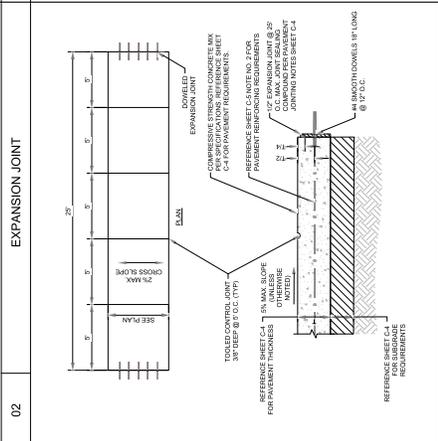
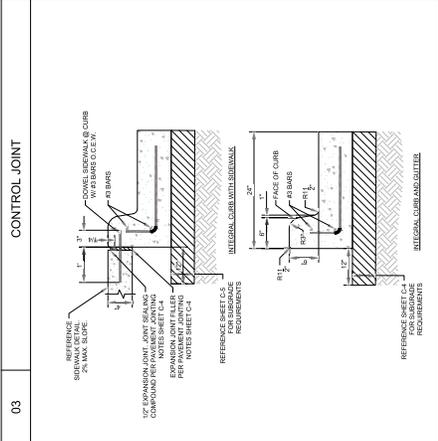
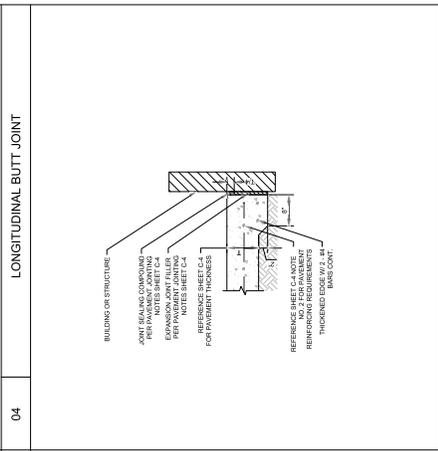
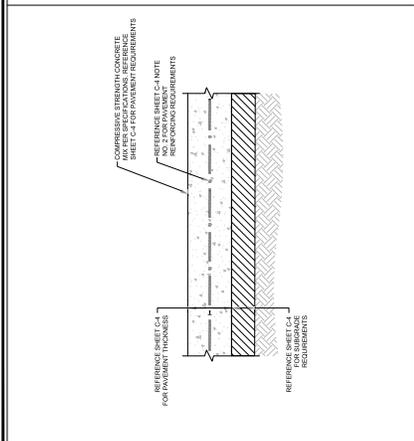
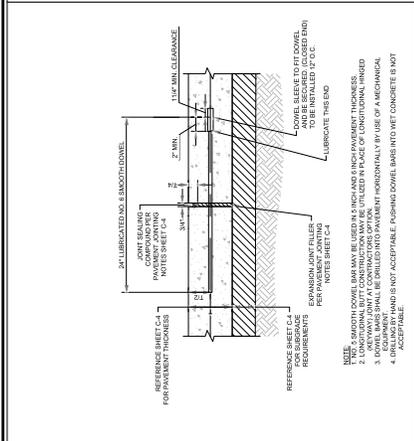
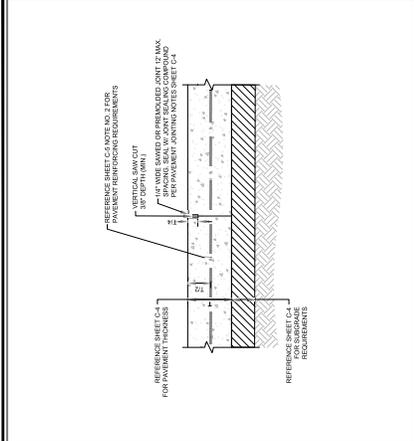
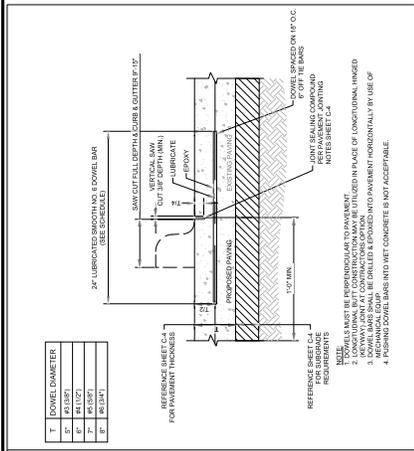
NO.	REVISION	DATE
1	REVISED FOR THE TOWN OF TYRONE	10-11-22
2	REVISED FOR THE TOWN OF TYRONE	10-11-22
3	REVISED FOR THE TOWN OF TYRONE	10-11-22

TAKE 5 EXPRESS CAR WASH
 OF TYRONE, GA
 OF ST. STEPHENS
 P.D. 0726 041



PROJECT: TAKE 5 EXPRESS CAR WASH
 CLIENT: BOING US HOLDG, INC.
 DRAWING NO.: 22-0000
 DATE: 10/11/22

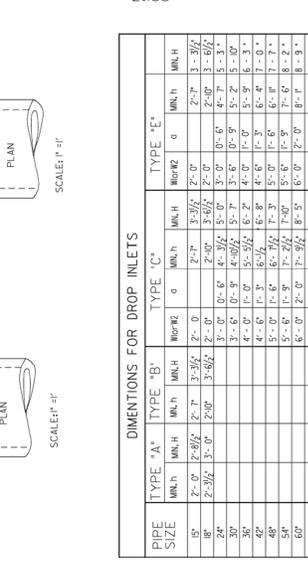
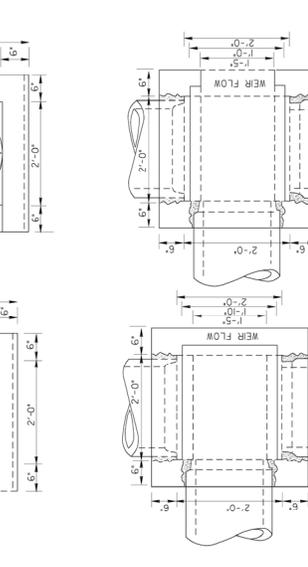
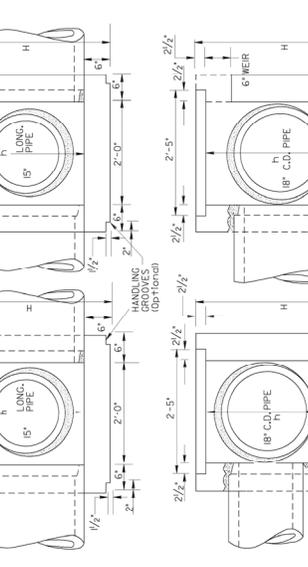
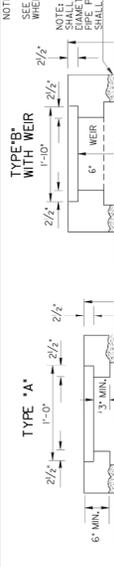
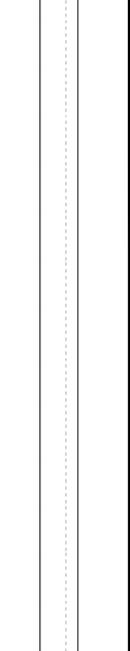
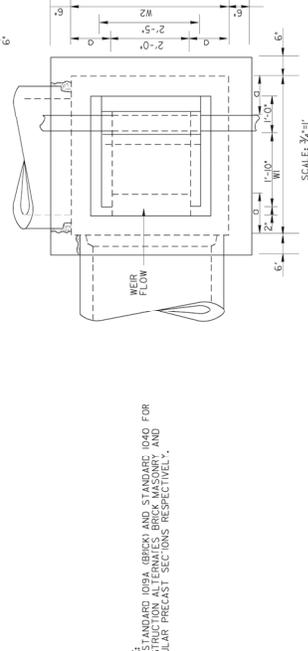
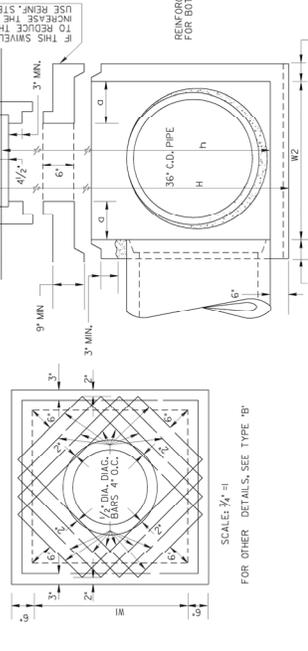
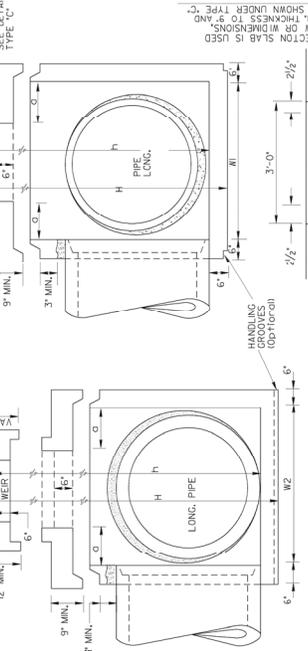
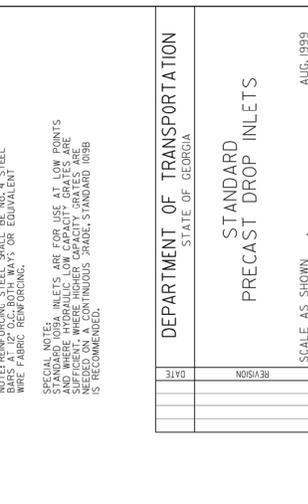
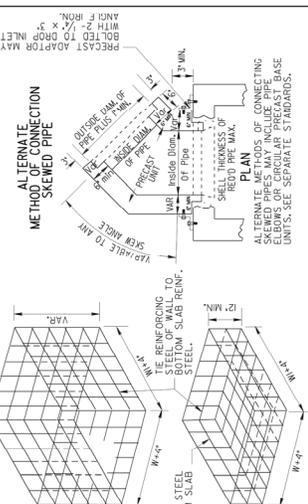
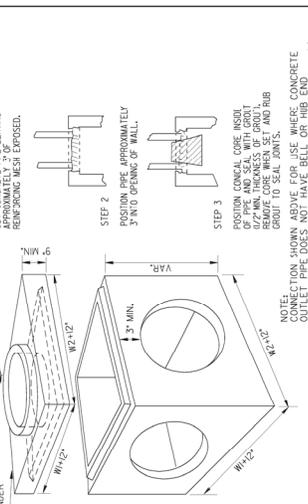
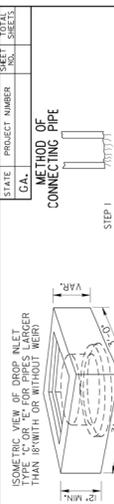
PAVING DETAILS
 SHEET
 C-8
 DWG. NO.



NO.	SECTION	NO.	SECTION	NO.	SECTION	NO.	SECTION
01	TYPICAL PAVEMENT SECTION	02	EXPANSION JOINT	03	CONTROL JOINT	04	LONGITUDINAL BUTT JOINT
05	KEYED CONSTRUCTION JOINT	06	TYPICAL CONCRETE SIDEWALK	07	INTEGRAL CURB & GUTTER	08	ISOLATION JOINT @ STRUCTURE
09	DROP CURB & GUTTER	10	CONCRETE FLUME	11	STRUCTURAL FOOTING PAVEMENT LEAVE OUT	12	NOT USED

NO.	REVISION
1	REVISED FOR THE TOWN OF TYONE
2	REVISED FOR THE TOWN OF TYONE
3	REVISED FOR THE TOWN OF TYONE
4	REVISED FOR THE TOWN OF TYONE
5	REVISED FOR THE TOWN OF TYONE

RECORDS & STUDIES, P.C.
 300 W. BROADWAY
 SUITE 1200
 NEW YORK, NY 10013
 TEL: (212) 512-2200
 FAX: (212) 512-2201
 E-MAIL: INFO@RECORDS-AND-STUDIES.COM



NOTE: SEE STANDARD D09-A - BRICK DROP INLETS - FOR DETAIL OF GRATING FRAMEHOOD ETC., WHERE NEEDED.

NOTE: OPENING FOR PIPE SHALL BE 1/2" TO 1" LARGER THAN PIPE DIAMETER. REINFORCING STEEL SHALL HAVE SERRATED SURFACES.

NOTE: REINFORCING STEEL SHALL BE NO. 4 STEEL BARS AT 12" O.C. BOTH WAYS OR EQUIVALENT WIRE FABRIC REINFORCING.

SPECIAL NOTE: INLETS ARE FOR USE AT LOW POINTS STANDARD CONSTRUCTION. WHERE SUFFICIENT WHERE HIGHER CAPACITY GRATES ARE REQUIRED, CONTINUOUS MODEL STANDARD D09B IS RECOMMENDED.

NOTE: REINFORCING STEEL SHALL BE NO. 4 STEEL BARS AT 12" O.C. BOTH WAYS OR EQUIVALENT WIRE FABRIC REINFORCING.

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CARTER ASSOCIATES, INC.
 6000 WOODBRIDGE AVENUE
 SUITE 200
 CHANTLERY CENTER
 AND LAND SURVEYORS
 1708 JUST STREET
 VERMONT, VT 05401
 TEL: (802) 256-0701
 FAX: (802) 256-0702
 E-MAIL: INFO@CARTERASSOCIATES.COM

BOING US HOLDING, INC.
 TAKE 5 EXPRESS CAR WASH
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO

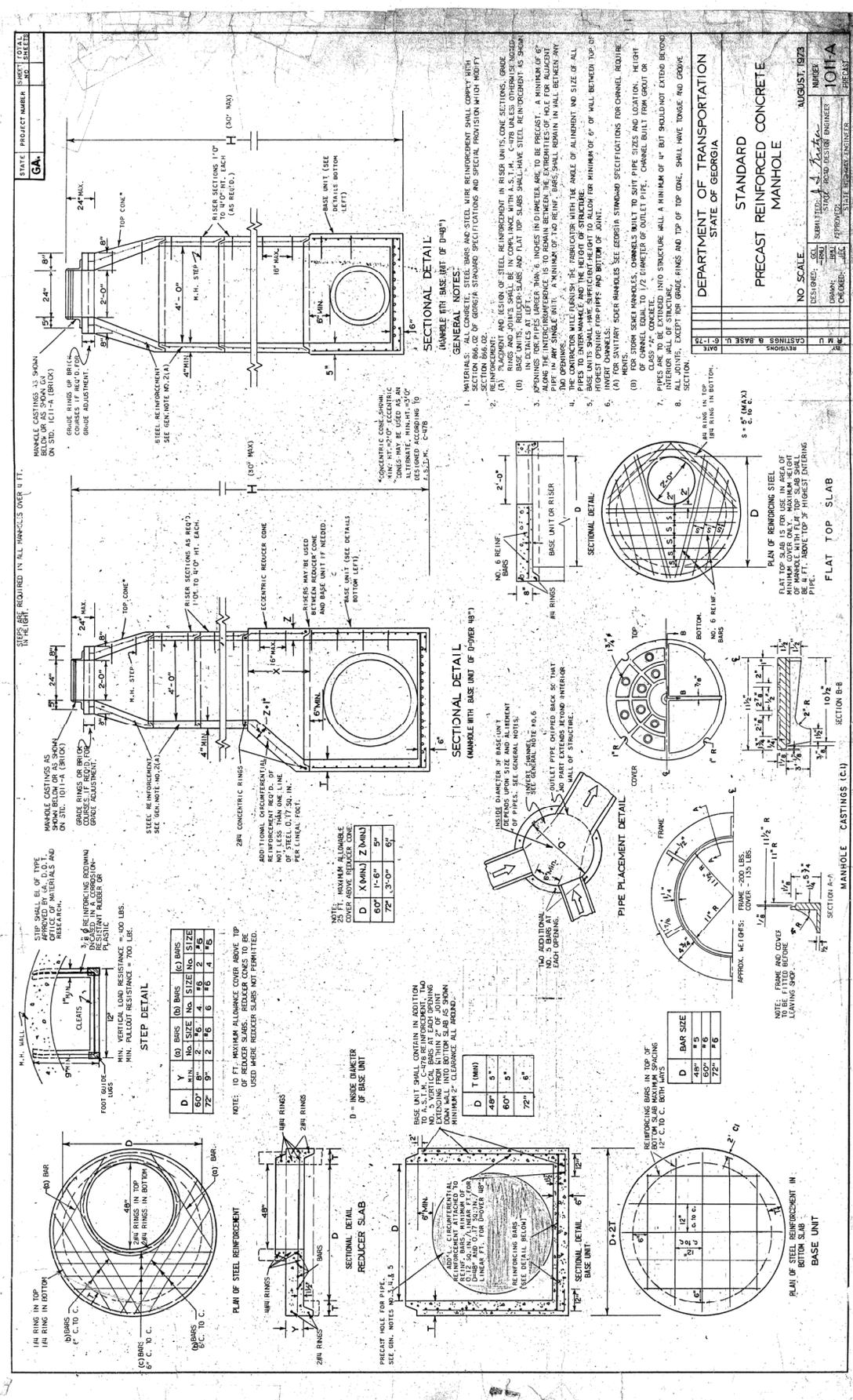
NO.	REVISION	DATE
1	ISSUED FOR THE TOWN OF TYONE	10-11-22
2	ISSUED FOR THE TOWN OF TYONE	10-18-22
3	ISSUED FOR THE TOWN OF TYONE	10-21-22

TAKE 5 EXPRESS CAR WASH
 OF TYONE, GA
 P.D. 0726 041



PREVIOUS STUBS: P.E.
 CALIC NO. 0000000000
 REGISTERED PROFESSIONAL ENGINEER
 IN THE STATE OF GEORGIA
 LICENSE NO. 10111-A
 DESIGNER: G. L. CARTER
 DRAWN: M. J. CARTER
 CHECKED: J. L. CARTER
 SHEET TITLE: STORM DETAILS

SHEET
 C-10
 DRAWING NO.



STATE	PROJECT NUMBER	SHEET	TOTAL SHEETS
GA.			

MANHOLE CASTINGS AS SHOWN
 HEREON ARE TO BE MADE OF
 BRICK OR AS SHOWN ON
 STD. C11-A (BRICK)
 GRADE RINGS UP BRICK
 COURSES IF REQUIRED FOR
 GRADE ADJUSTMENT

STEPS ARE REQUIRED IN ALL MANHOLES OVER 11 FT.
 IN HEIGHT

MANHOLE CASTINGS AS SHOWN
 HEREON ARE TO BE MADE OF
 BRICK OR AS SHOWN ON
 STD. C11-A (BRICK)
 GRADE RINGS UP BRICK
 COURSES IF REQUIRED FOR
 GRADE ADJUSTMENT

STIP SHALL BE USED TO
 INDICATE THE LOCATION OF
 OFFICE OF MATERIALS AND
 RESEARCH.
 3/4\"/>

MIN. VERTICAL LOAD RESISTANCE = 1400 LBS.
 MIN. PALLOUT RESISTANCE = 700 LBS.

D	Y	(A) BARS	(B) BARS	(C) BARS
60"	9"	2	4	6
72"	9"	2	6	10
		4	6	14
		6	10	16

NOTE: TO BE USED FOR LOWEST COVER ABOVE TOP
 OF REDUCER SLAB. REDUCER SLAB NOT PERMITTED
 USED WHERE REDUCER SLABS NOT PERMITTED.

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DEPARTMENT OF TRANSPORTATION
 STATE OF GEORGIA
 PRECAST REINFORCED CONCRETE
 MANHOLE
 NO SCALE
 DESIGNED: G. L. CARTER
 DRAWN: M. J. CARTER
 CHECKED: J. L. CARTER
 SUBMITTED: 10/11/22
 ROAD DESIGN ENGINEER
 10111-A
 APPROVED: [Signature]
 STATE REGISTERED ENGINEER

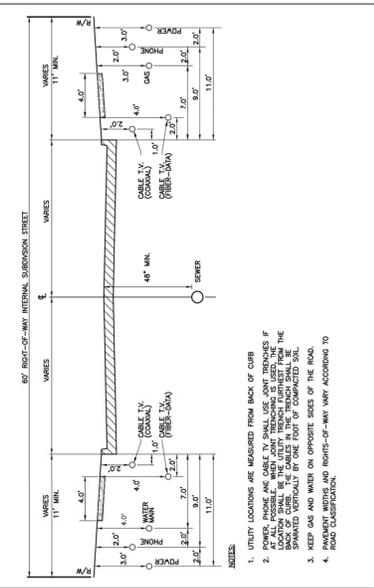
NO.	REVISION	DATE
1	REVISED FOR THE TOWN OF TYRONE	10-11-22
2	REVISED FOR THE TOWN OF TYRONE	10-18-22
3	REVISED FOR THE TOWN OF TYRONE	10-21-22



REGISTRATION NO. 14842
 STATE OF GEORGIA
 PROFESSIONAL ENGINEER
 GREGORY S. STURGES, P.E.

UTILITY DETAILS

SHEET
C-11
 DWG. NO.



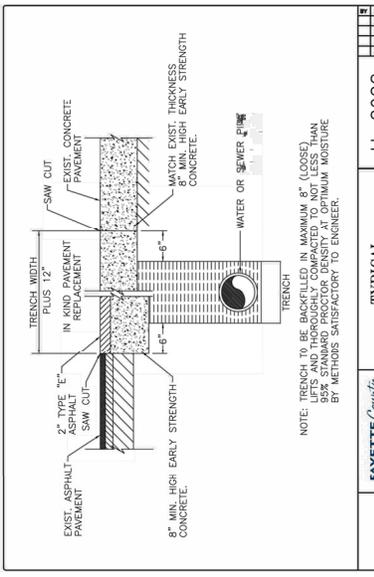
BY	REVISION	DATE

U-0005

TYPICAL UTILITY LOCATIONS
Public Streets

FAVETTE County Water System

1. UTILITY LOCATIONS ARE MEASURED FROM BACK OF CURB
 2. POWER, PHONE AND CABLE TV SHALL USE JOINT TRENCHES IF THE TRENCH IS TO BE OPENED IN THE FUTURE. THE LOCATION OF JOINTS SHALL BE THE SAME AS THE JOINTS IN THE SPRAWLED VERTICALLY BY ONE FOOT OF COMPACTED SOIL.
 3. KEEP GAS AND WATER ON OPPOSITE SIDES OF THE ROAD.
 4. ROAD CLASSIFICATION: ROUTE-OF-WAY ACCORDING TO ROAD CLASSIFICATION.



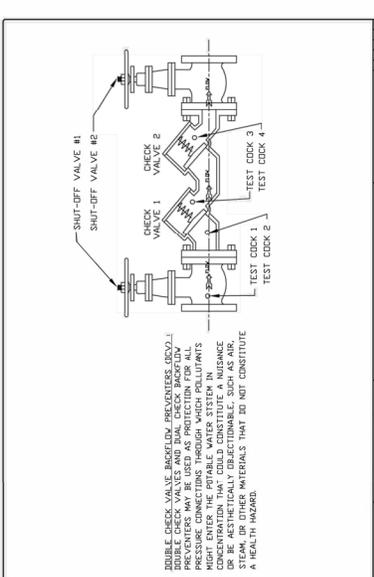
BY	REVISION	DATE

U-0002

TYPICAL PAVEMENT CUT

FAVETTE County Water System

NOTE: TRENCH TO BE BACKFILLED IN MAXIMUM 8" (LOOSE) LIFTS AND THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY METHODS SATISFACTORY TO ENGINEER.



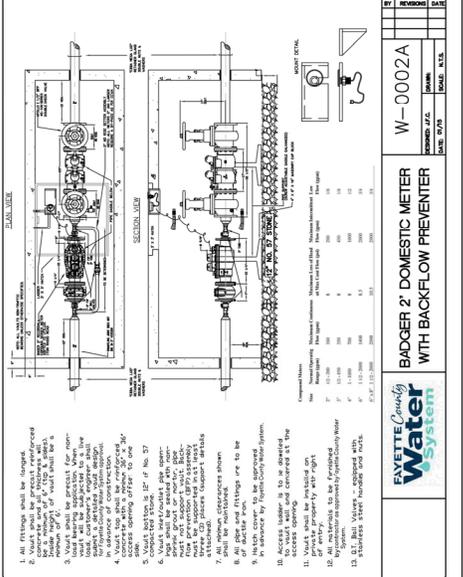
BY	REVISION	DATE

BFP-0004

DOUBLE CHECK VALVE BACKFLOW PREVENTERS

FAVETTE County Water System

DOUBLE CHECK VALVE BACKFLOW PREVENTERS (DCV) PREVENTERS MAY BE USED AS PROTECTION FOR ALL WATER SUPPLY SYSTEMS THAT ARE SUPPLIED BY A PUBLIC WATER SYSTEM. THE DCV MUST BE INSTALLED IN THE WATER MAIN, DOWNSTREAM FROM THE WATER MAIN, AND MUST BE INSTALLED IN A HEALTH HAZARDOUS AREA.



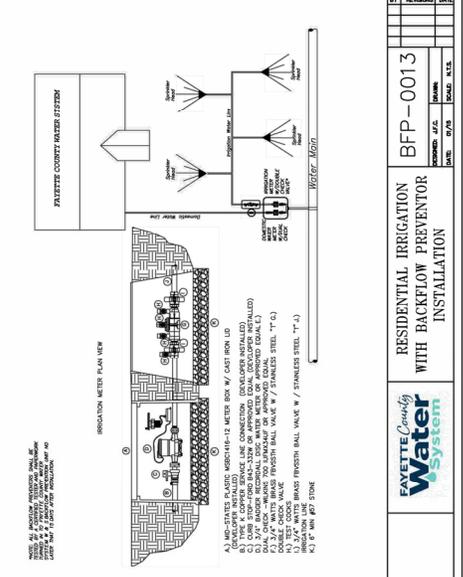
BY	REVISION	DATE

W-0002A

BADGER 2 DOMESTIC METER WITH BACKFLOW PREVENTER

FAVETTE County Water System

1. All materials shall be installed in accordance with the manufacturer's instructions.
 2. The meter shall be installed in a clean, dry, and well-ventilated area.
 3. The meter shall be installed in a location that is accessible for maintenance.
 4. The meter shall be installed in a location that is protected from physical damage.
 5. The meter shall be installed in a location that is protected from weather.
 6. The meter shall be installed in a location that is protected from fire.
 7. The meter shall be installed in a location that is protected from theft.
 8. The meter shall be installed in a location that is protected from vandalism.
 9. The meter shall be installed in a location that is protected from tampering.
 10. The meter shall be installed in a location that is protected from tampering.



BY	REVISION	DATE

BFP-0013

RESIDENTIAL IRRIGATION WITH BACKFLOW PREVENTOR INSTALLATION

FAVETTE County Water System

1. All materials shall be installed in accordance with the manufacturer's instructions.
 2. The backflow preventer shall be installed in a clean, dry, and well-ventilated area.
 3. The backflow preventer shall be installed in a location that is accessible for maintenance.
 4. The backflow preventer shall be installed in a location that is protected from physical damage.
 5. The backflow preventer shall be installed in a location that is protected from weather.
 6. The backflow preventer shall be installed in a location that is protected from fire.
 7. The backflow preventer shall be installed in a location that is protected from theft.
 8. The backflow preventer shall be installed in a location that is protected from vandalism.
 9. The backflow preventer shall be installed in a location that is protected from tampering.
 10. The backflow preventer shall be installed in a location that is protected from tampering.

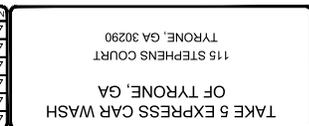


dba TAKE 5 EXPRESS CAR WASH
 6300 S SYRACUSE WAY #205
 CENTENNIAL, CO
 TEL: (980) 259-0701
 EMAIL: verobeach@evergreen-design.com

BOING US HOLDCO, INC.
 115 STEPHENS COURT
 TYRONE, GA 30290
 TAKE 5 EXPRESS CAR WASH
 OF TYRONE, GA

DATE: _____

REVISION: _____



PROJECT NO. 214376
 DRAWN BY: SEE SURVEY
 CHECKED BY: SEE SURVEY
 P.E. & P.L.: SEE SURVEY

SHEET TITLE
 TREE PROTECTION &
 REPLACEMENT PLAN

SHEET
 TP-1

DWG NO.

REPLACEMENT TREE SCHEDULE (REFER TO LP-1 FOR REMAINING PLANTS)

TREES	CODE	QTY	BOTANICAL/Common Name	SIZE	UNITS	TOTAL UNITS
	AO	6	Acer rubrum 'October Glory' / Red Maple	2.5' Cal.	2.5	15 UNITS
	LS	7	Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweet Gum	2.5' Cal.	2.5	17.5 UNITS
	QP	5	Quercus phellos - White Oak	2.5' Cal.	2.5	12.5 UNITS
45 TOTAL UNITS PROPOSED						

TREE DENSITY CALCULATIONS

100 DENSITY UNITS REQUIRED PER ACRE (70 UNITS REQUIRED)
 25 UNITS (DPD) / 2.5' = 10 X 3200' (32,000 CONTRIBUTION TO TREE BANK)
 46 REPLACEMENT UNITS PROVIDED
 45 UNITS (DPD) / 2.5' = 10 X 3200' (32,000 CONTRIBUTION TO TREE BANK)

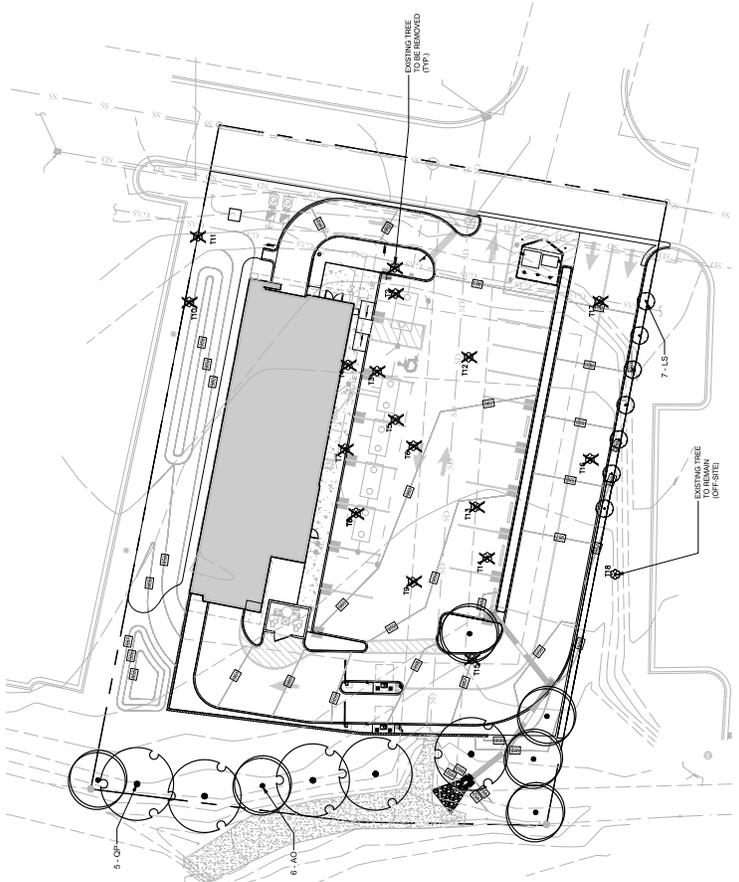
TREE TO BE REMOVED

Tree ID	Bank Diameter	Type	Length	Diameter
T11	8"	Pine	7'-7"	8"
T12	8"	Deciduous	8'	8"
T13	8"	Deciduous	8'-7"	8"
T14	8"	Deciduous	8'-7"	8"
T15	8"	Deciduous	10'	8"
T16	8"	Deciduous	7'-5"	8"
T17	8"	Deciduous	9'-5"	8"
T18	8"	Deciduous	11'-5"	8"
T19	8"	Deciduous	11'-7"	8"
T20	8"	Deciduous	11'-7"	8"
T21	8"	Pine	9'	8"
T22	8"	Deciduous	10'-7"	8"
T23	8"	Deciduous	10'-7"	8"
T24	8"	Pine	6'	8"
T25	8"	Deciduous	10'-7"	8"
T26	8"	Pine	6'	8"
T27	8"	Pine	10'	8"
T28	8"	Pine	10'	8"

TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO ANY EXCAVATION OR GRADING. CALL THE TOWN ENGINEER AT 770-867-4008 FOR AN INSPECTION.

TREE PROTECTION SHALL BE ENFORCED ACCORDING TO STANDARDS ESTABLISHED IN ARTICLE V OF THE TOWN OF TYRONE LAND DEVELOPMENT ORDINANCE.

COMPLIANCE WITH SITE DENSITY STANDARDS SHOWN ON THE PLANS MUST BE VERIFIED FROM THE DATE OF THE FINAL SITE INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.



EVERGREEN DESIGN GROUP
 8000 BRACERSON WAY
 SUITE 100
 MARIETTA, GA 30067
 www.evergreen-design.com

Scale 1" = 20'
 NOTE: PRINTED DRAWING SIZE DOES NOT REPRESENT ORIGINAL. VERIFY SCALE USING GRAPHICAL SCALE.

