



APPLICATION NO.	PLANNING COMMISSION DATE	TOWN COUNCIL DATE
PC 07252024	July 25, 2024	N/A

ADDRESS	OWNER	PARCEL NO.	EX. ZONING	PROPOSED ZONING	FUTURE LAND USE	SURROUNDING ZONING	SITE IMPROVEMENTS	ACREAGE
1500 Senoia Road	Brian Selleck	072604009	C-2	N/A	Commercial Corridor	North: O-I South: C-2 East: C-2 West: C-1	N/A	1.46

SUMMARY & HISTORY

Applicant Brian Selleck has submitted an application for Site Plan approval for an approximately 10,600 s.f. multi-flex office/highway commercial building. The applicant’s submission includes a parking plan, bioretention area, and building area. The Town’s Technical Review Committee has substantively completed their review with no major outstanding items.

Staff recommends approval of this submission with the condition that all remaining minor TRC comments be resolved.



COMPREHENSIVE PLAN & FUTURE DEVELOPMENT MAP COMPATABILITY

This petition is consistent with the Town’s comprehensive plan and future development map. The Future Land Use designation for this property is **Commercial Corridor** which encourages high quality commercial development with higher architectural considerations particularly for properties near SR-74. This property does not lie within the Quality Growth Overlay.

ZONING ORDINANCE COMPATABILITY & IMPACT ASSESSMENT

The proposal is consistent with the Town’s zoning ordinance and site standards for C-2 zoning. No illegal or non-conforming issues are noted regarding the proposed site plan.

PROJECT NAME:

NEW STORAGE / OFFICE BUILDING

PROJECT SCOPE/DESCRIPTION:

NEW BUILDING 1 STORY IN OFFICE AREA
THE FINISHES ARE IN ACCORDANCE WITH NFPA 101 CODE

PROJECT OWNER

Brian Selleck
Boss Construction
1415 Senoia Rd. Suite B
Tyrone, GA 30290

TEL: (770)-652-6996

24 HOUR CONTACT:

Brian Selleck
TEL: (770)-652-6996

PROJECT ADDRESS

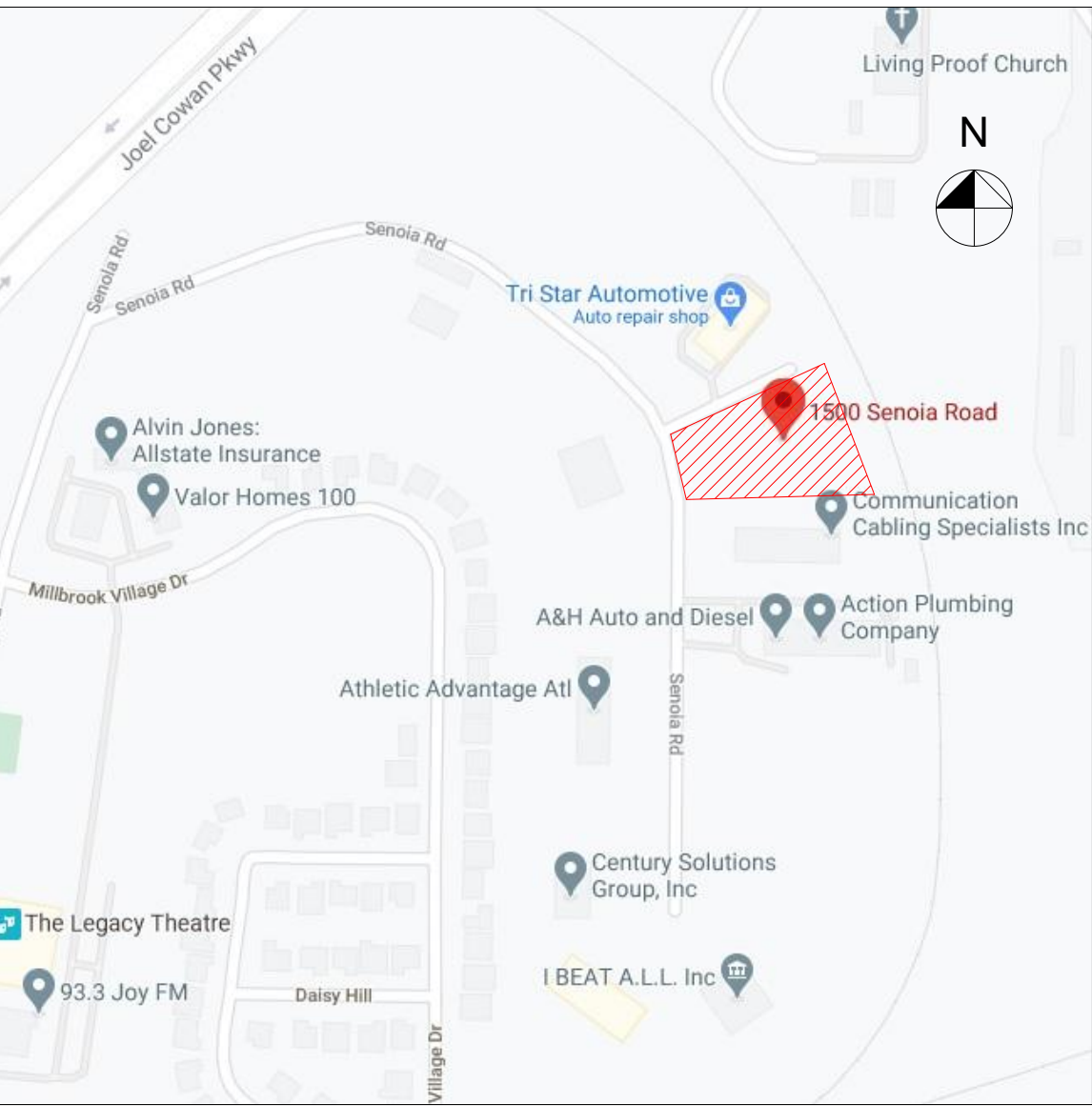
1500 Senoia Rd, Tyrone, GA 30213
Lot 14

ENGINEER:

Vest Engineering Inc.
Stephan Tremblay, PE
227 Sumac Trl, Woodstock, GA 30188

TEL: (404)-218-9579
stephan@vestengineering.com
www.vestengineering.com

VICINITY MAP



VEST

ENGINEERING INC.

227 SUMAC TRL,
WOODSTOCK, GA 30188
404-218-9579
www.vestengineering.com

THIS DRAWING IS AN INSTRUMENT
OF THE ENGINEER'S SERVICE FOR
USE SOLELY WITH RESPECT TO THE
PROJECT SHOWN AND MAY NOT BE
DUPLICATED OR USED WITHOUT
THE CONSENT OF ENGINEER.

ISSUES & REVISIONS

REV.01 7-9-24
Plan Review - Tyrone

GENERAL NOTES

SITE DATA:

EXISTING ZONING:
C-2 HIGHWAY COMMERCIAL DISTRICT

PROPERTY AREA = 63,844 sq ft OR 1.466 ac

TOTAL DISTURBED AREA = 54,685 OR 1.25 ac

LOT COVERAGE:

C-2 MAXIMUM HEIGHT OF STRUCTURE =35 ft / MAXIMUM BUILDING
SIZE FOOTPRINT= 30,000 sq ft :

IMPERVIOUS SURFACES PROPOSED:

OFFICE AREA: 2,292 sq ft
OPEN SHOP AREA: 8,401 sq ft
TOTAL FOOTPRINT BUILDING= 10,693 sq ft<30,000 sq ft OK

INTERIOR STREETS / SIDEWALK= 15,031 sq ft
GRAVEL REAR BUILDING= 6,276 sq ft
TOTAL PROPOSED IMPERVIOUS= 21,307 sq ft

CALCULATE LOT COVERAGE= 32,000 sq ft / 63,844 sq ft =0.50; 50%

CALCULATED OCCUPANT LOAD
(NFPA 101/TABLE 7.3.1.2)

BUSINESS USE: 150 GROSS
STORAGE USE: 300 GROSS

FINISHED INTERIOR AREAS:

OFFICE AREA:	2,292 sq ft/150=	16
OPEN SHOP AREA:	8,401 sq ft/300=	28
TOTAL:	10,693 sq ft	= 44 PERSONS

CALCULATED PARKING

ARTICLE VIII. - TRAFFIC AND PARKING REQUIREMENTS, ORDINANCES
TYRONE

Sec. 113-211. - Off-street automobile parking

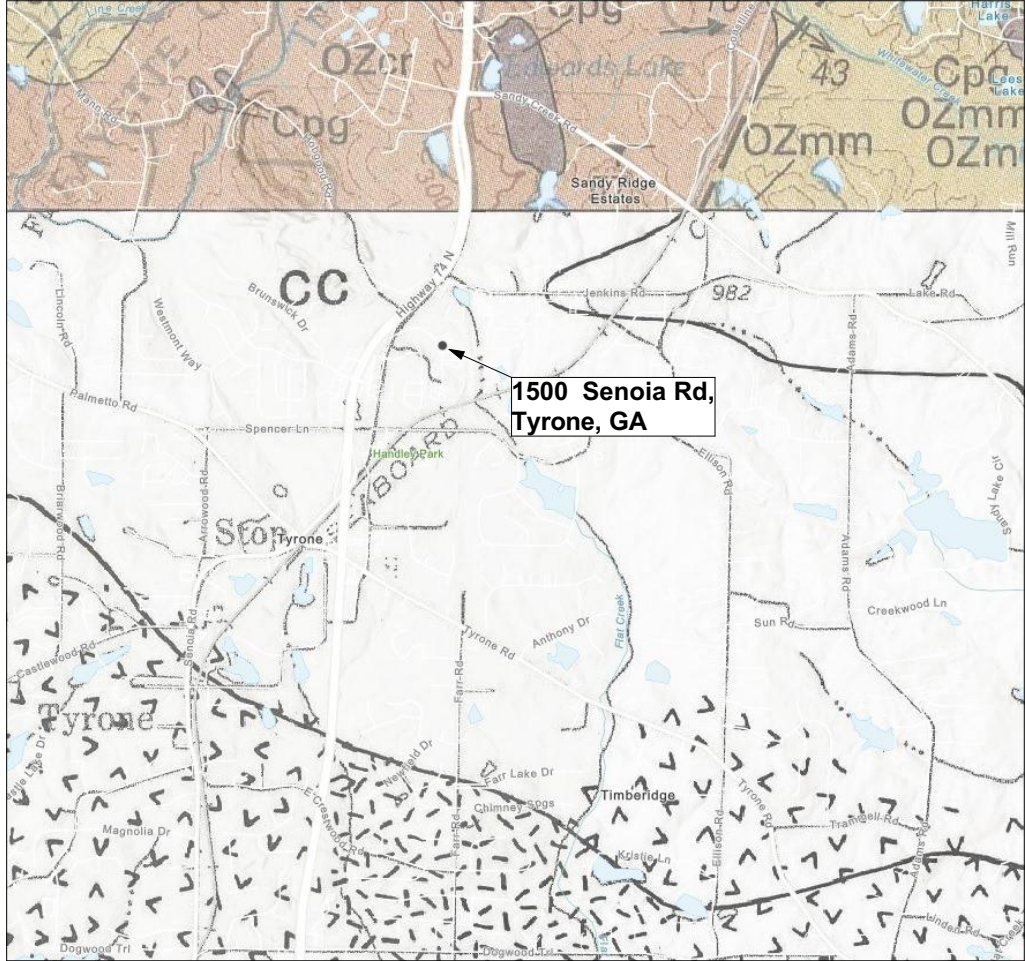
(i)(3) Business, professional offices and clinics. One space per 250 square
feet of gross floor area

(i)(23)Wholesale establishments or other similar uses. One space per 200
square feet of gross floor area devoted to sales or display plus two spaces per
2,000 square feet of gross storage area

OFFICE AREA=	2,292 sq ft/250=	9.17
OPEN SHOP AREA=	8,401 sq ft/2000=	4.20
TOTAL REQUIRED SPACE PARKING=		13.37 = 14

PROVIDED 21 + 1 ADA space= TOTAL 22 spaces

SIGNICANT GROUND-WATER RECHARGE AREAS OF GEORGIA



CALCULATED CONSUMPTION PER OCCUPANT

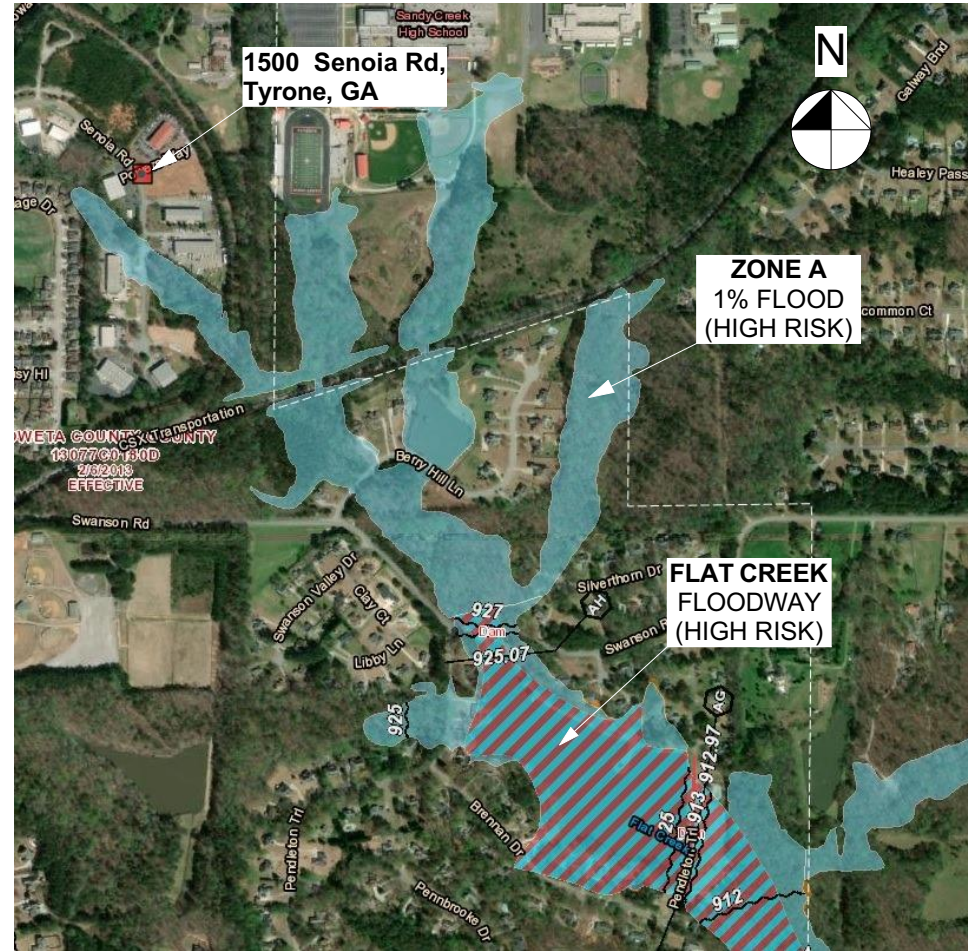
BUSINESS USE: 15 GPD
44 PERSONS X 15 GPD= 720 GPD

CHAPTER 16 ORDINANCES TYRONE
SEC. 16-28 GENERAL PROVISIONS
(h) Design limits on conventional septic tank systems.
MIN. SEPTIC TANK 750 GALLONS

CALCULATED SEPTIC:

ASSUME 1.55 PEAK RATE (VERIFY)
(1.55 x 720) / 3 ft WIDE TRENCH = 372 ft
30% REDUX (CHAMBERS) = 720 * .30 = 216R TRECH + 372 ft OF
RESERVE = 633 ft

FLOOD HAZARD MAP:



FLOOD HAZARD STATEMENT:
THE SITE IS LOCATED WITHIN A ZONE "X" AS DEFINED BY F.I.R.M
COMMUNITY PANEL NUMBER: 13113C0077E, Efective: 9/26/2008
FAYETTE COUNTY, GEORGIA.

DRAINAGE NOTES:

- THIS PARCEL IS PART OF A MASTER DEVELOPMENT THAT WAS DESIGNED, APPROVED AND
CONSTRUCTED IN THE PAST.
- THE PREVIOUS MASTER DEVELOPMENT INCLUDED A MASTER DETENTION FACILITY THAT
TREATED THE RUNOFF OF THE SITE IN THE FUTURE CONDITIONS.
- DUE TO THE DIFFICULTY OF OBTAINING OLD RECORDS, THE NEIGHBORING TRACTS WERE
USED TO PROVIDE AN IMPERVIOUS AREA USED FOR EACH TRACT TO COMPARE WITH THE
LOT COVERAGE USED ON THIS PROJECT.

PARCEL 1: PARCEL ID 072604005 LOCATED AT 1510 SENOIA ROAD IS APPROXIMATELY 1.43
ACRES WITH A LOT COVERAGE OF APPROXIMATELY 1.01 ACRES, LOT COVERAGE
COMPRISES APPROXIMATELY 70% OF THE TOTAL LOT AREA.

PARCEL 2: PARCEL ID 072605008 LOCATED AT 1520 SENOIS ROAD IS APPROXIMATELY 3.33
ACRES WITH A LOT COVERAGE OF APPROXIMATELY 1.82 ACRES, LOT COVERAGE
COMPRISES APPROXIMATELY 55% OF THE TOTAL AREA.

PARCEL 3: PARCEL ID 072605003 LOCATED AT 1545 SENOIA ROAD IS APPROXIMATELY 1.13
ACRES WITH A LOT COVERAGE OF APPROXIMATELY 0.54 ACRES, LOT COVERAGE
COMPRISES APPROXIMATELY 48% OF THE TOTAL LOT AREA.

- THIS PROPOSED DEVELOPMENT IS 1.466 ACRES AND PROPOSED IMPERVIOUS AREA OF 0.74
AC. LOT COVERAGE COMPRISES APPROXIMATELY 50% OF TOTAL LOT AREA.

SHEET INDEX:

- COVER SHEET
- EXISTING SURVEY FOUR CORNERS SURVEYING
- C-1.0 SITE PLAN
- C-1.1 GRADING PLAN
- C-1.2 BIORETENTION AREA PLAN
- C-1.3 BIORETENTION AREA AND DETAILS
- C-1.3.1 OVERFLOW STORM DRAIN INLET STANDARD DETAILS (NEW PLAN)
- C-1.4 PROPOSED TREE PLAN
- C-1.5 TREE PLANTING NOTES & STANDARD DETAILS (TYP.)
- ESC-0 SOIL AND VEGETATION PLAN
- ESC-1 EROSION & SEDIMENT CONTROL PLAN PHASE #1
- ESC-2 EROSION & SEDIMENT CONTROL PLAN PHASE #2
- ESC-3 PRE-DEVELOPMENT DRAINAGE AREA
- ESC-4 POST-DEVELOPMENT DRAINAGE AREA
- ESC-5 EROSION & SEDIMENT CONTROL GENERAL NOTES AND
NPDES NOTES
- ESC-6 NPDES NOTES AND NPDES CHECKLIST
- ESC-7 EROSION & SEDIMENT CONTROL STANDARD DETAILS
- ESC-8 EROSION & SEDIMENT CONTROL STANDARD NOTES
- ESC-9 SEDIMENT DETENTION POND CALCULATION AND DETAILS

APPLICABLE CODES:

ALL ALTERATIONS AND NEW EQUIPMENT INSTALLATIONS SHALL BE DONE IN CONFORMANCE WITH THE FOLLOWING CODES:

- International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022), (2024)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020), (2024)
- International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022), (2023), (2024)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020), (2024)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022), (2023)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)
- For information and questions regarding the Life Safety Code (NFPA 101), IFC Georgia Amendments or the Georgia Accessibility Code please contact the State Fire Marshal's Office.

PROJECT:

New Office Building
1500 Senoia Rd, Tyrone,
Land Lot 116 of the 7th Land District
Fayette County, GA 30213

CONTENTS:

COVER SHEET

DATE:

5-17-24

SHEET No:

COVER

OF:

SHEETS:

Legend

OTP=Open Top Pipe
RBF=Rebar Found
RBS=Rebar Set
R/W=Right of Way
IPF= Iron Pin Found
P.O.B.=Point of Beginning
B/L=Building Line
D.E.=Drainage Easement
N/F=Now or Formerly
F.W.P.D.=Field Work Performed Date
X=Gas Valve
W=Water Meter
U=Utility Pole
I=Drop Inlet
H=Fire Hydrant
L=Light Pole
F=Fence
M=Drainage Manhole
OHE=Over Head Electric Line

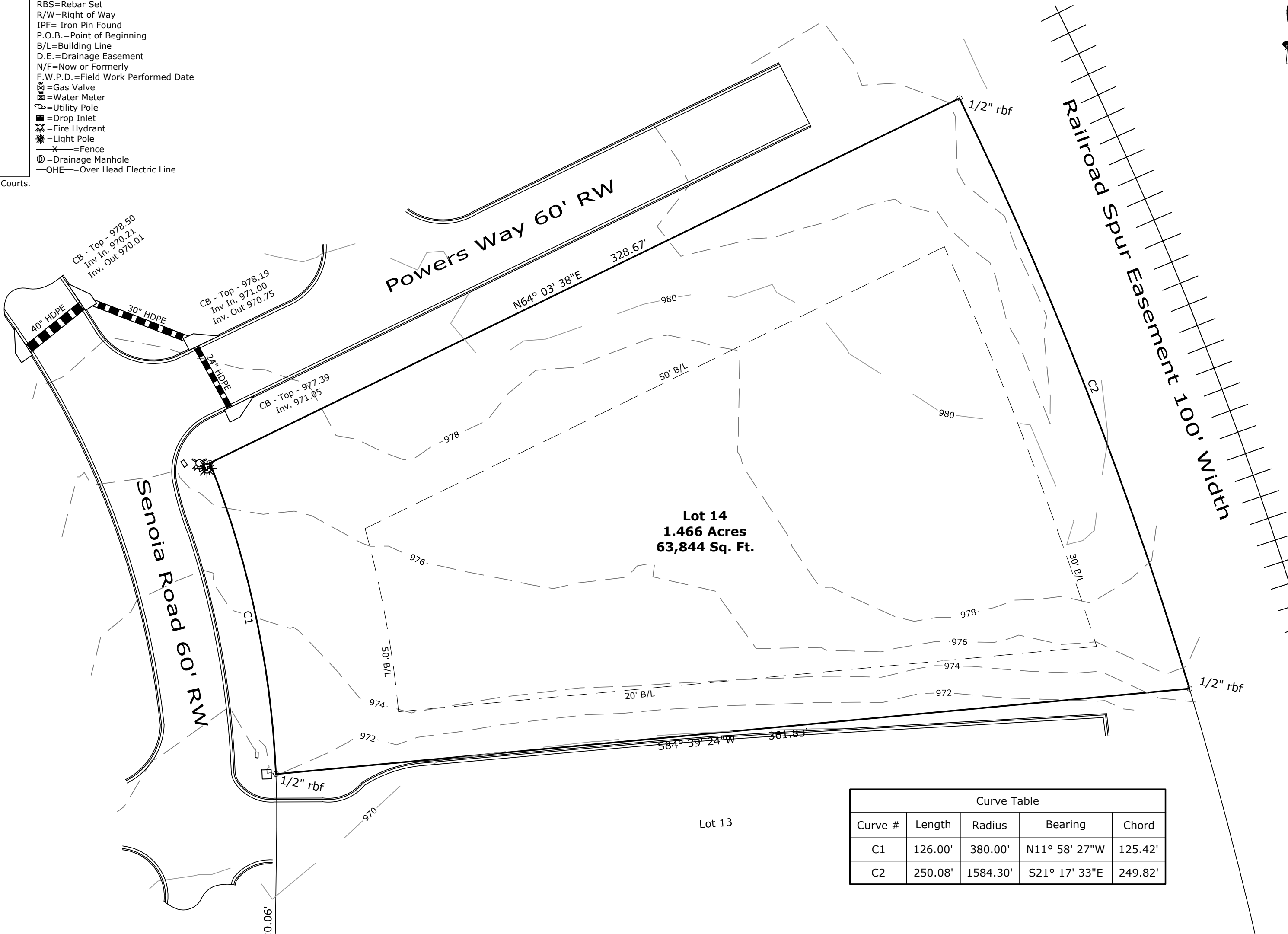
This Box reserved for the Clerk of the Superior Courts.

Note:
This document was prepared for permitting purposes only and Should NOT be used for transfer of title.

Note:
No new streets or roads are created or no new utility improvements are required or no new sanitary sewer or approval of a septic tank is required.

Building Lines

Front - 80'
Side - 20'
Rear - 30'



The term "Certification" as used in Rule "180-6-.09(2) and (3)" and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2(6) and(11), shall mean a signed statement based upon facts and knowledge known to the registrant and is not a guarantee or warranty, either expressed or implied.

This survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA)15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.

Closure Data

Field closure=1'IN 10,000+
Angle point error=< 20"
Equipment used=Topcon 3005W,
Sokkia SX, & Topcon hyper GA GPS System
adjustment method=Compass rule
Plat closure=1'IN 100,000+

In my opinion this property appears not to lie within a 100 year flood plain according to F.I.R.M. #00000000000 Dated 00/00/0000.

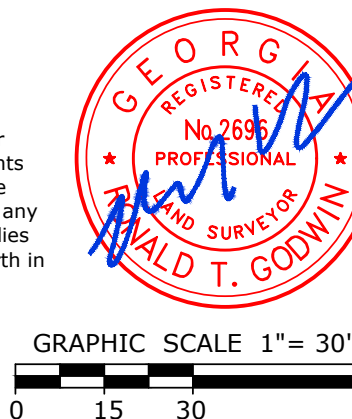
This survey does not constitute a title search by surveyor. All information regarding record easements, adjoiners and other documents that might affect the quality of title to tract shown were not supplied to this office.

Declaration is made to original purchaser of the survey. Any use by third parties is at their own risk. Survey is valid only if print has original seal and original signature of surveyor.

Surveyor's Certificate:

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

BY: *[Signature]*
GA R.L.S. Ronald T. Godwin
2696 License NO.
07/19/18 Date



Lot 14 Powers Court

1500 Senoia Road, Tyrone GA
Land Lot 116 Of The 7th Land District
Fayette County, Georgia

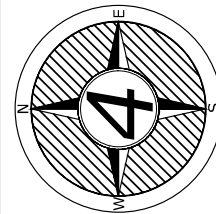
Nasser Srouji

Prepared For:

Job #:
20-131

Drawn By: RTG
Reviewed By: RTG
Date: 07/07/2020
F.W.P.D.: 07/07/20
Scale: 1" = 30'
Sheet: 1 of 1

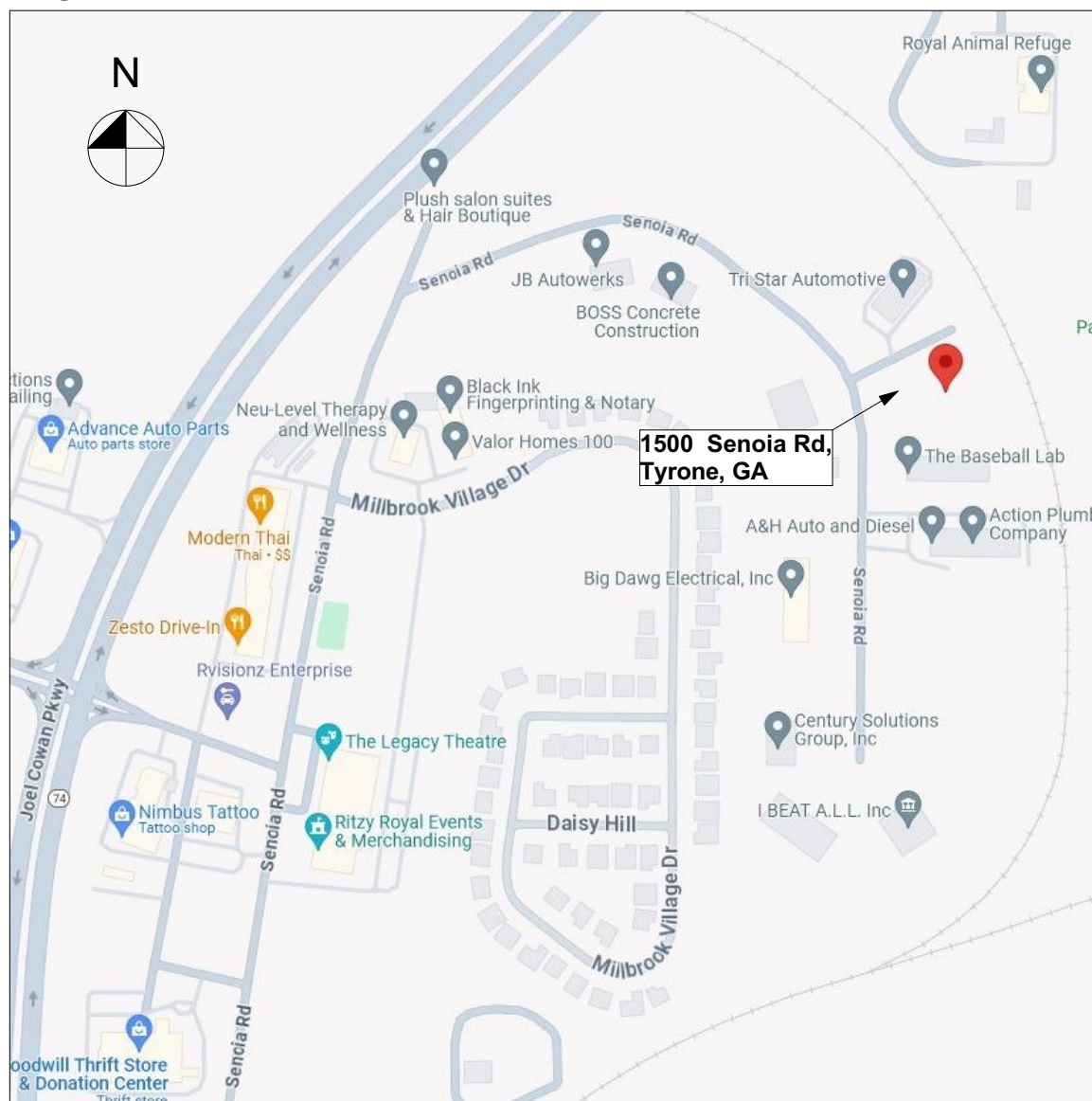
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P.B.	42	8-10
D.B.	2356	41



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VICINITY MAP



SITE DATA:

EXISTING ZONING:
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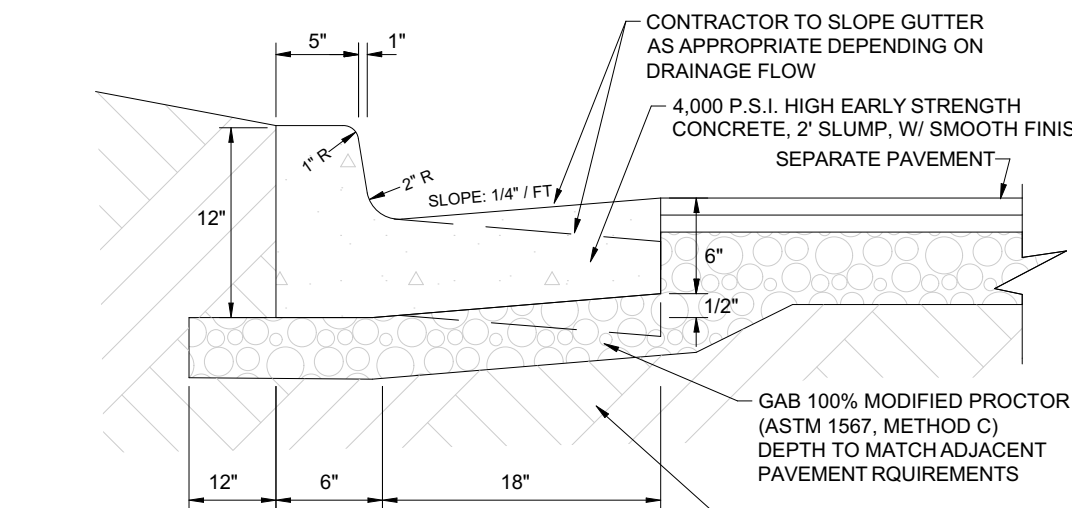
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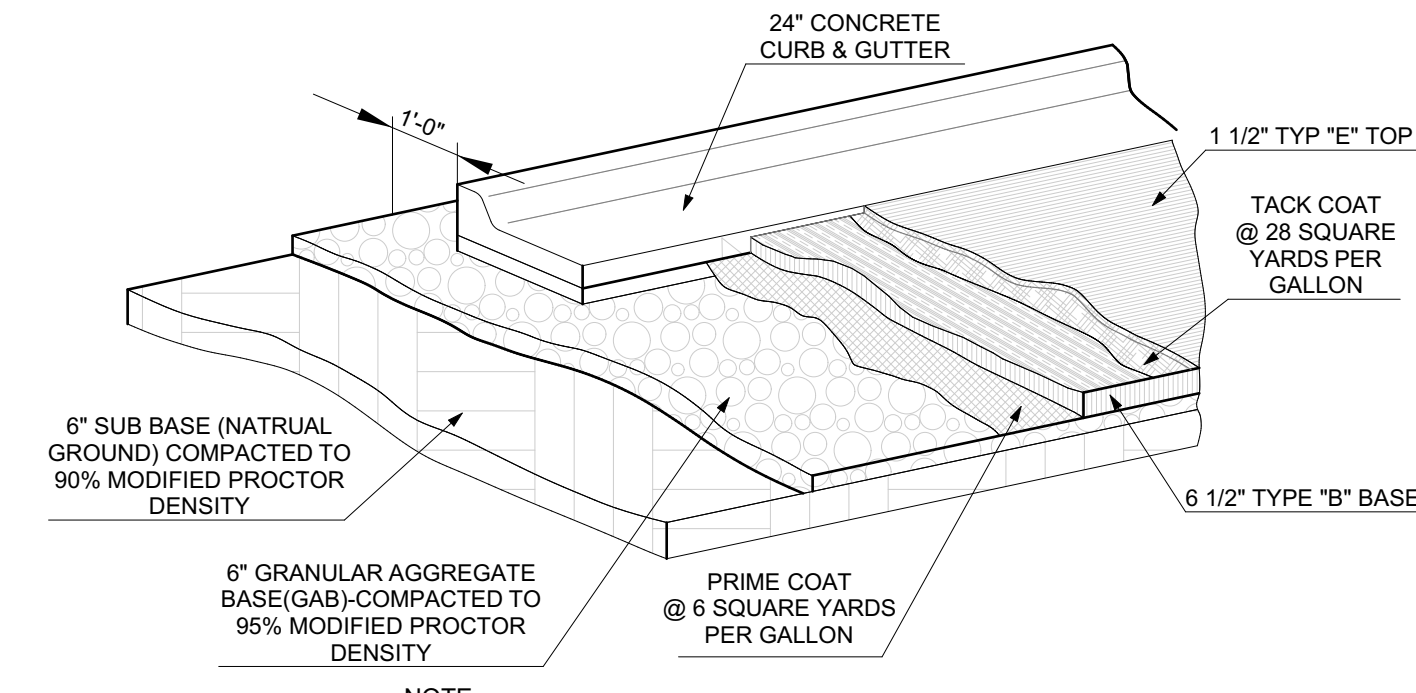
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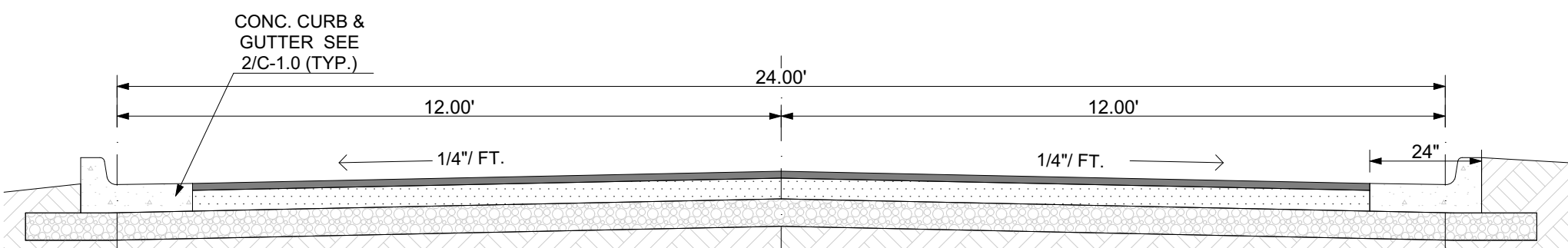
NOTES:
EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND CURB
RETURNS. MAX. DIST BETWEEN CONTROL JOINTS - 25 FT.



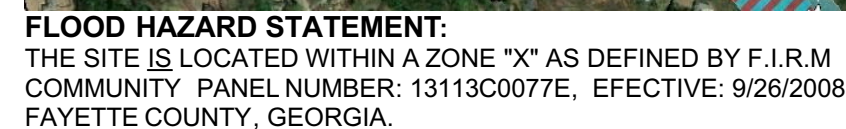
NOTE:
ASPHALTIC PAVEMENT SHALL BE INSTALLED IN ACCORDANCE
WITH GEORGIA DOT SPECIFICATIONS. ASPHALTIC TYPES AND
MIXES SHALL BE GEORGIA DOT APPROVED MIX TYPES.

PROPOSED SITE PLAN

C-1.0 1" = 20'



C-1.0 3/8" = 1'-0"



SURVEY LEGEND

rbf	=Rebar Found
R/W	=Right of Way
P.O.B.	=Point of Beginning
B/L	=Building Line
	=Fire Hydrant
	=Light Pole
	=Catch Basin Curb Inlet

LINETYPES:		
NEW	EXISTING	
		CONTOUR LINE
		EXIST. STORMWATER PIPE
		SEPTIC SYSTEM PIPES

NOTE:

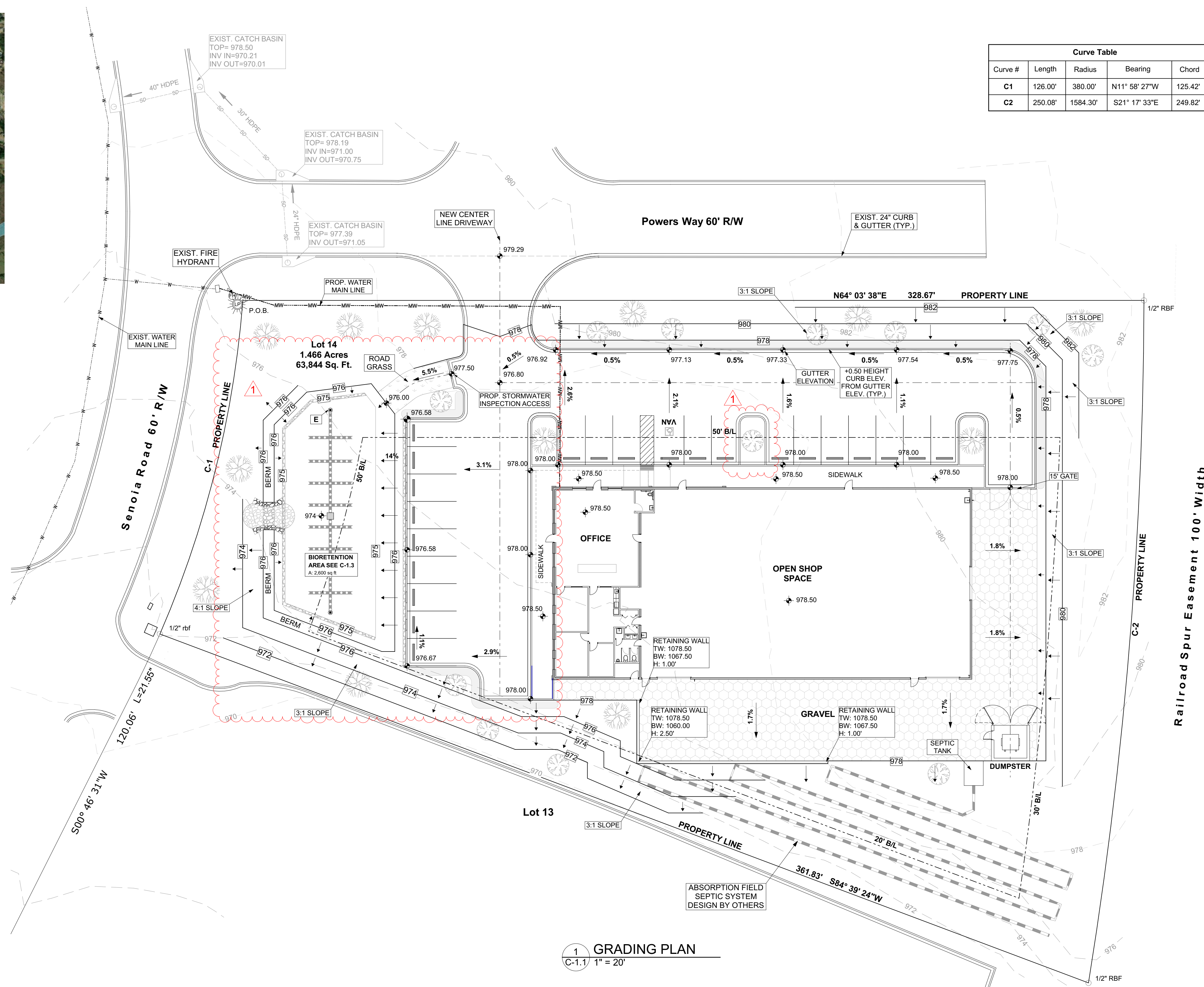
1. PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION AND NOTIFY ENGINEER IF THIS POINT IS HIGHER THAN SHOWN ON THE PLANS FOR A REDESIGN.

2. POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

NEW SOILS NOTE:

1. COMPACT ALL NEW SOILS @ 95% PROCTOR TEST. COMPACT IN MAXIMUM SOIL LAYER OF 4"-6" THICK BEFORE COMPACTION OR AS RECOMMENDED BY GEOTECHNICAL ENGINEER - PROVIDE ON SITE CONTINUOUS SOIL COMPACTION TESTING BY GEOTECHNICAL ENGINEER FOR EVERY LAYER DURING COMPACTION OPERATIONS

Curve Table				
Curve #	Length	Radius	Bearing	Chord
C1	126.00'	380.00'	N11° 58' 27"W	125.42'
C2	250.08'	1584.30'	S21° 17' 33"E	249.82'



1 GRADING PLAN

24 Hr CONTACT:
Brian Selleck
PHONE: (770)-652-6996

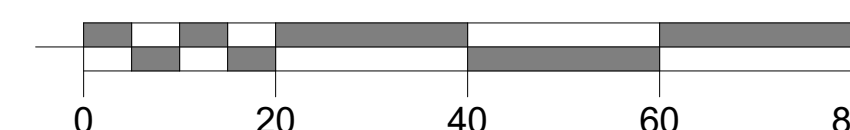
IMPORTANT NOTES:
1. ALL RETAINING WALLS
2. SEPTIC SYSTEM
WILL BE DESIGNED BY OTHERS

GEORGIA811
Utilities Protection Center, Inc.

Know what's below.
Call before you dig.

ABBREVIATIONS:
F.V. = FIELD VERIFY
H.P. = HIGH POINT

SCALE: 1" = 20'



PRELIMINARY

DRAWING TO BE PRINTED TO SCALE ON PAPER SIZE 24"X36" ONLY

VEST
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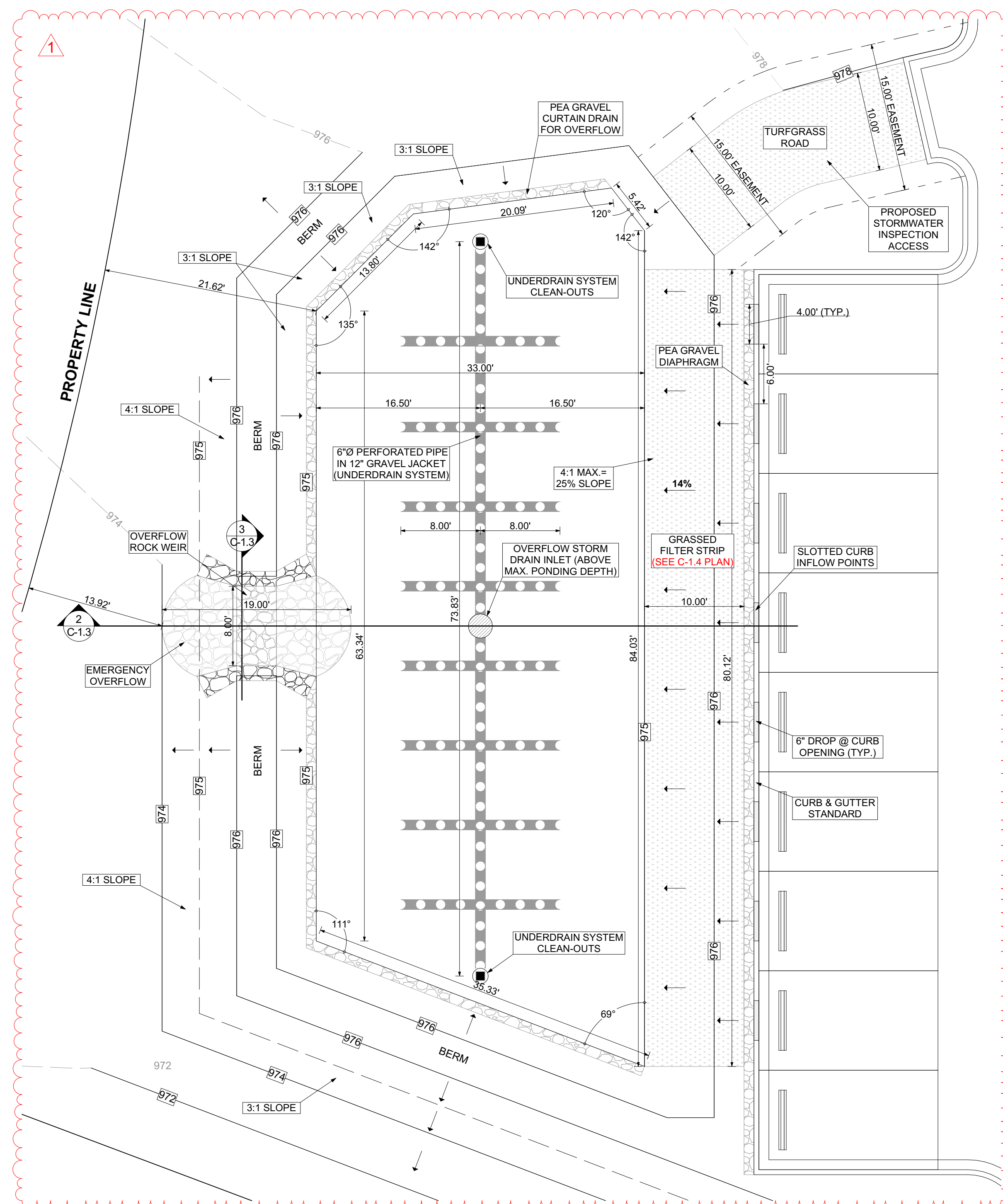
GRADING PLAN

DATE: 5-17-24

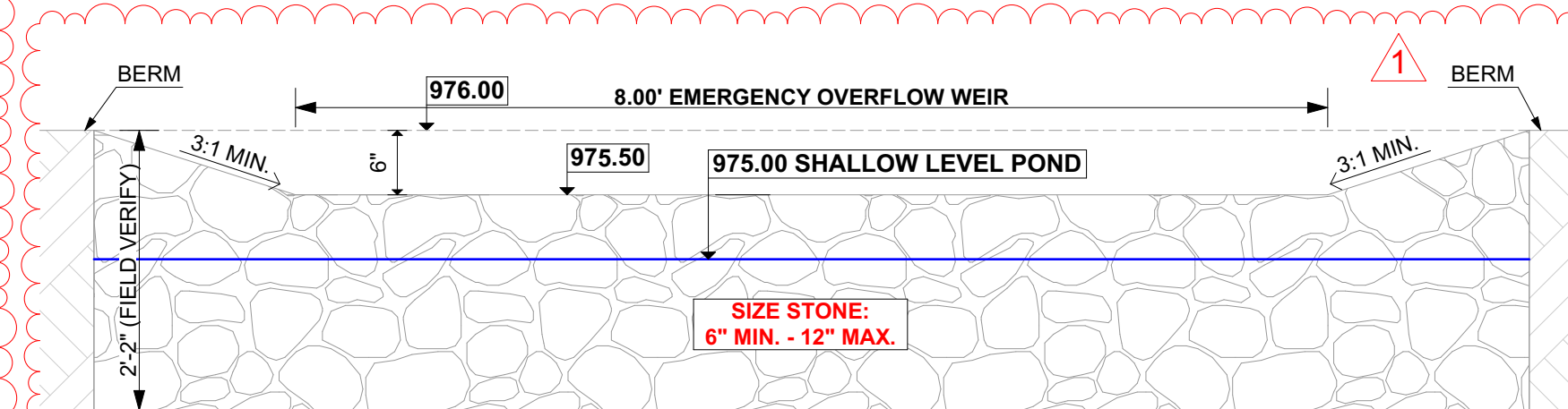
SHEET No:

C-1.1

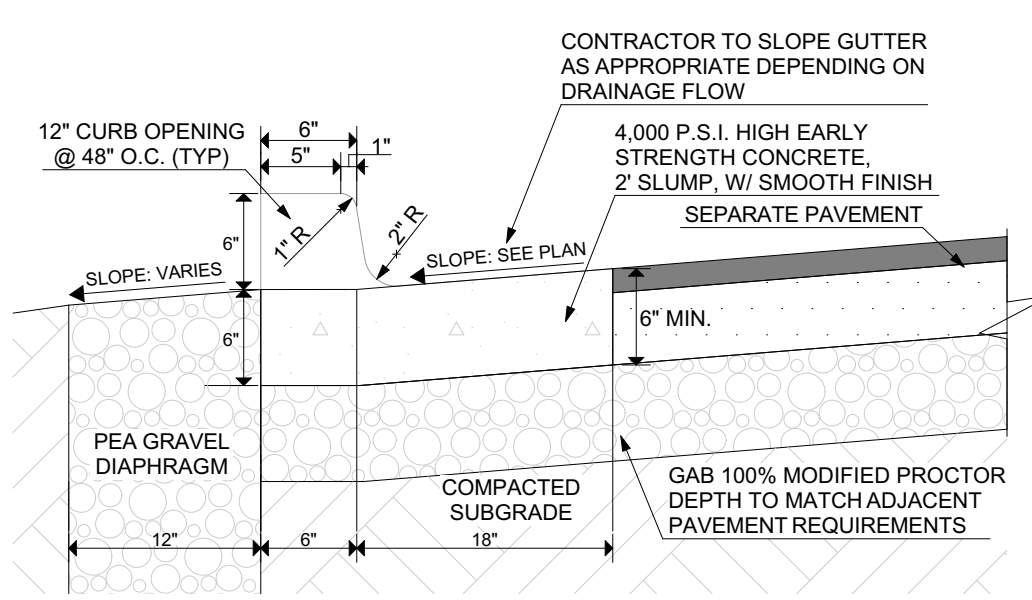
OF: SHEETS:



1	BIORETENTION AREA DETAIL
C-1.3	N.T.S.

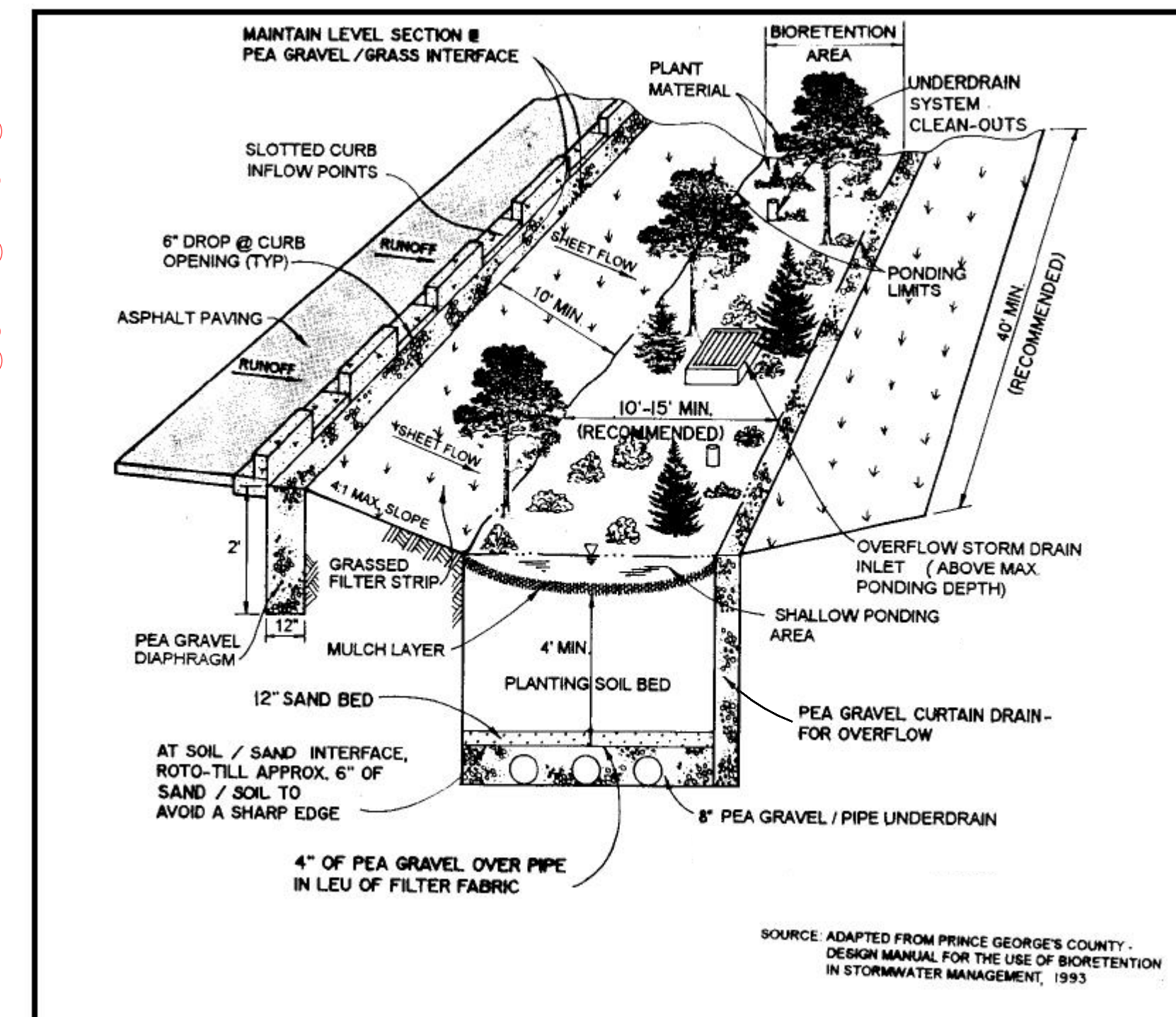


X-SECTION ROCK WEIR DETAIL (TYP.)



4
C-1.3

OPEN CURB & GUTTER DETAIL
DRAINAGE TO BIORETENTION
1" = 1'-0"



5	BIORETENTION AREA STANDARD DETAIL (TYP.)
C-1.3	N.T.S.

GREEN INFRASTRUCTURE/LOW IMPACT DEVELOPMENT (GI/LID) EVALUATION

FACILITY NAME:	BIORETENTION	ANALYSIS BY:	Stephan Tremblay P.E.
FACILITY LOCATION:	1500 Senola Rd, Tyrone, GA	FACILITY TYPE:	BIORETENTION
DATE OF ANALYSIS:	07 / 10 / 2024		

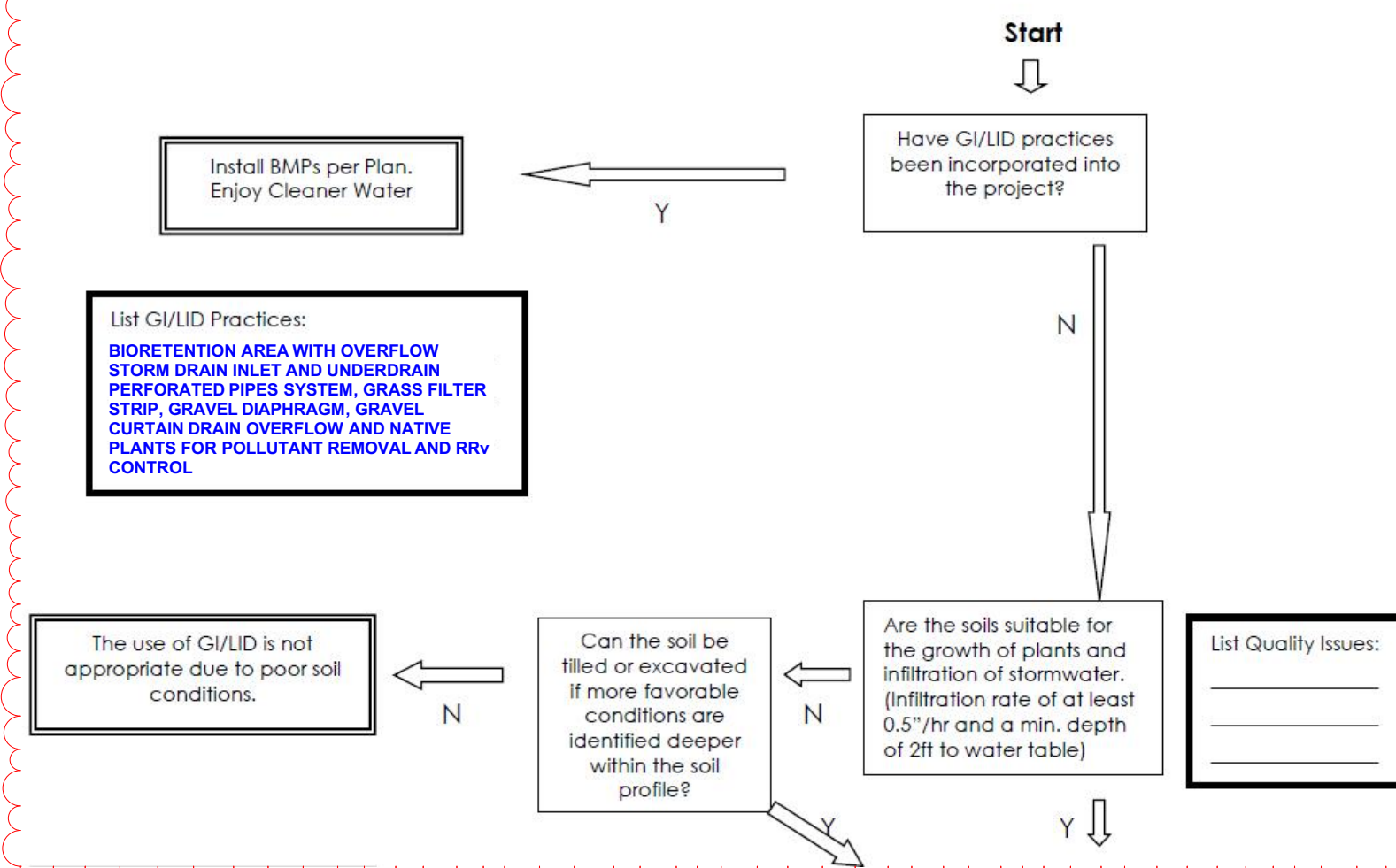


Table 4.3 GI/LID Maintenance Activities

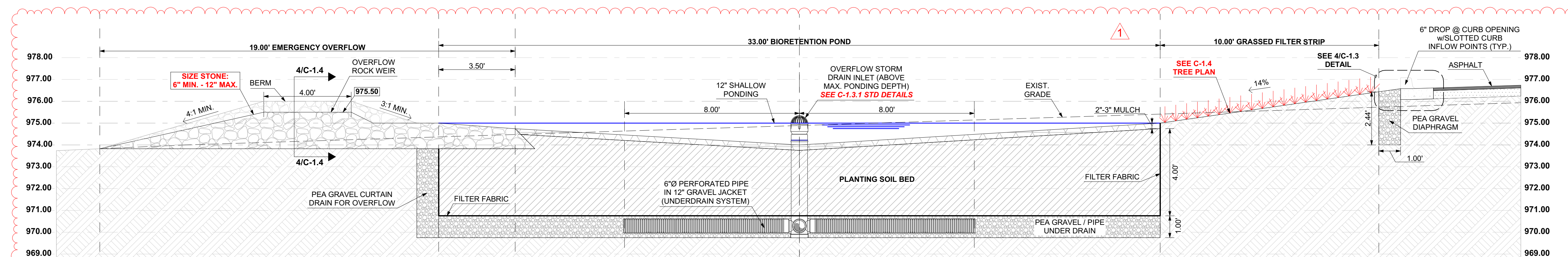
Strategy	Maintenance Activities	Frequency
Bioretention Areas	Remove trash and debris	As needed
	Remove and replace dead or damaged plants	As needed
	Mow area as necessary, ensuring grass clippings are not placed in the practice	As needed
	Observe infiltration rates after rain events. Bioretention areas should have no standing water within 24 hours of a storm event	As needed
	Check for bare areas, exposed roots, and cracks in soil	Semi-annually in spring and fall
	Trim planting material	As needed

Table 4.29-1 Vegetated Filter Strip Sizing Guidance

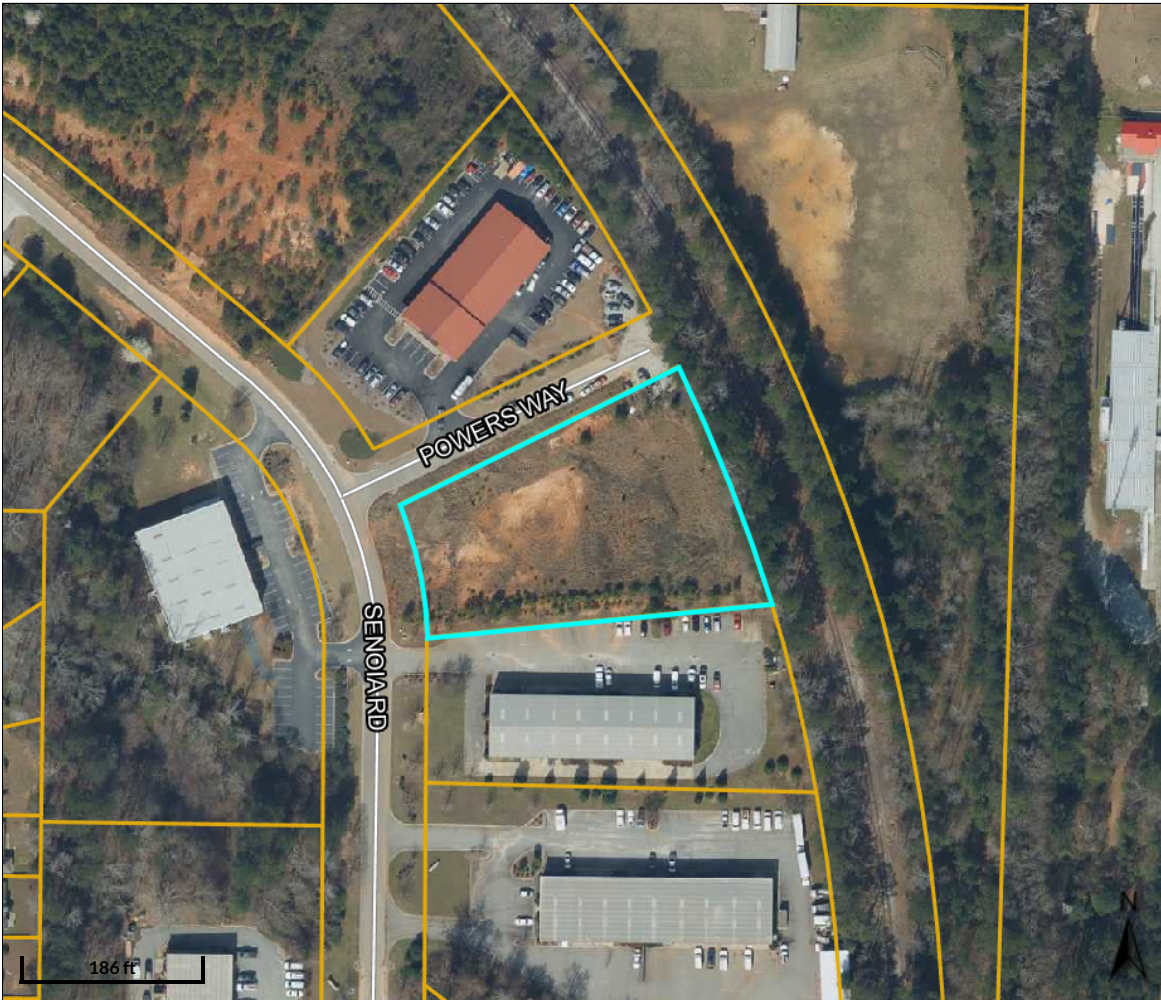
(Source: Clayton and Schueler, 1996)

Parameter	Impervious Areas		Pervious Areas (lawns, etc)	
Maximum inflow approach length (feet)	35	75	75	100
Filter strip minimum length (feet)	15	25	12	18

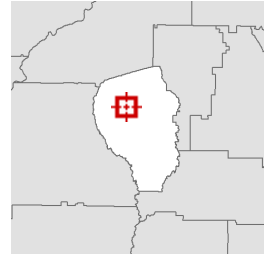
PROVIDED GRASSED FILTER STRIP: 80.12 ft LENGTH



2 X-SECTION BIORETENTION DETAIL (TYP.)
C-1.3 3/8" = 1'-0"



Overview



Legend

- Parcels
- Roads

Parcel ID 072604006
Sec/Twp/Rng 42-8-
Property Address 1500 SENOIA RD

Alternate ID n/a
Class C3
Acreage 1.46

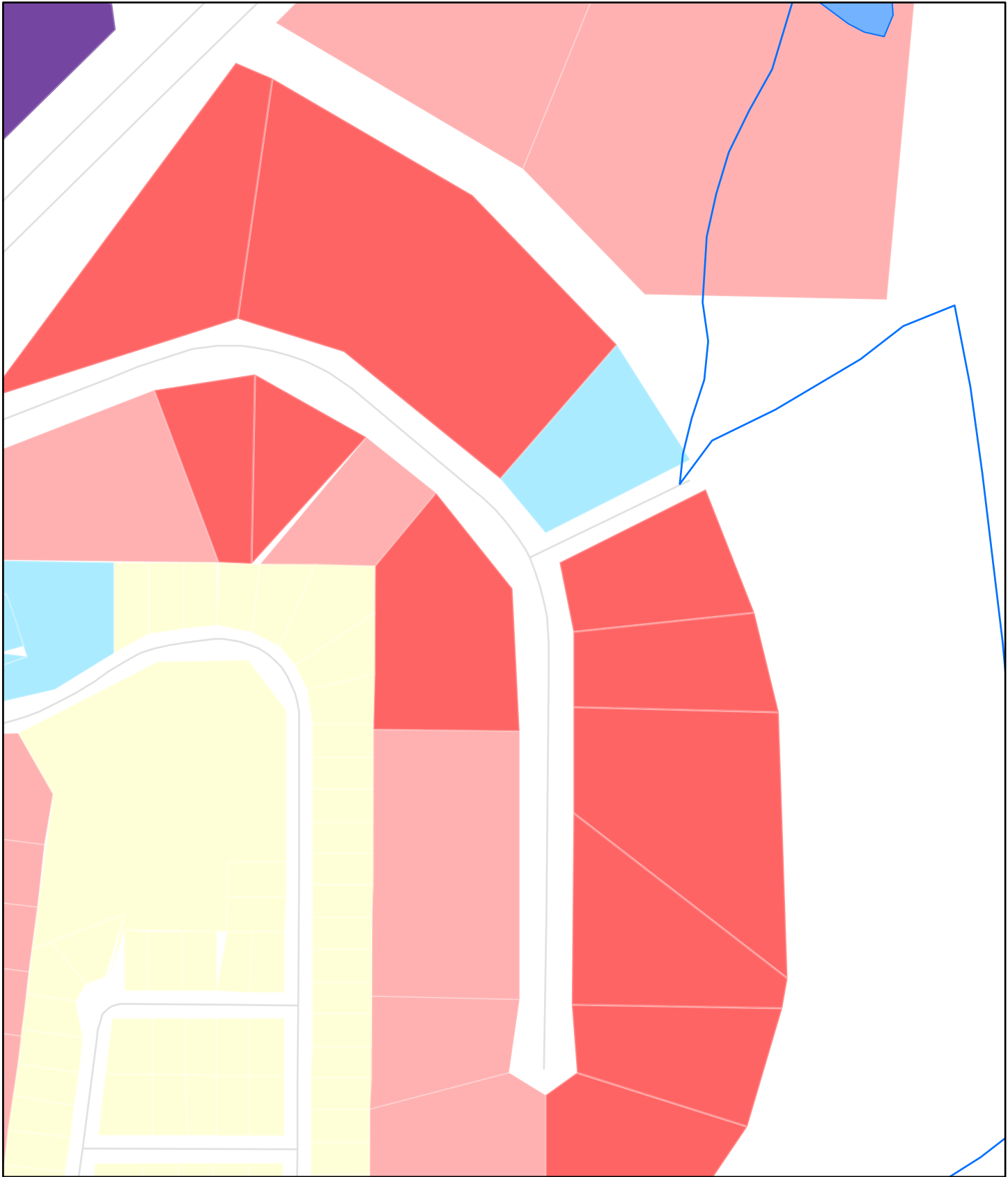
Owner Address SELLECK BRIAN
 1415 SENOIA RD.
 SUITE B
 TYRONE, GA 30290

District 03
Brief Tax Description LOT 14 POWERS COURT POWERS COURT
 (Note: Not to be used on legal documents)

Date created: 7/20/2024
 Last Data Uploaded: 7/19/2024 5:15:49 AM

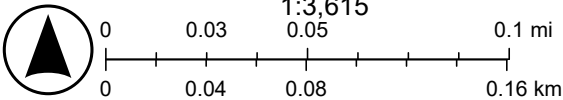
Developed by  **Schneider**
 GEOSPATIAL

Town of Tyrone Zoning Map



7/20/2024

- Tyrone Online Zoning Map_WFL1 - Ponds and Lakes
- Tyrone Online Zoning Map_WFL1 - Rivers and Streams
- R-12_Residential_1200sf_Min
- O-I_Office_Institutional
- C-1_Community_Commercial
- C-2_Highway_Commercial
- M-2_Heavy_Industrial
- Tyrone Online Zoning Map_WFL1 - Roads



Town of Tyrone

Future Development Map

Legend

Character Areas

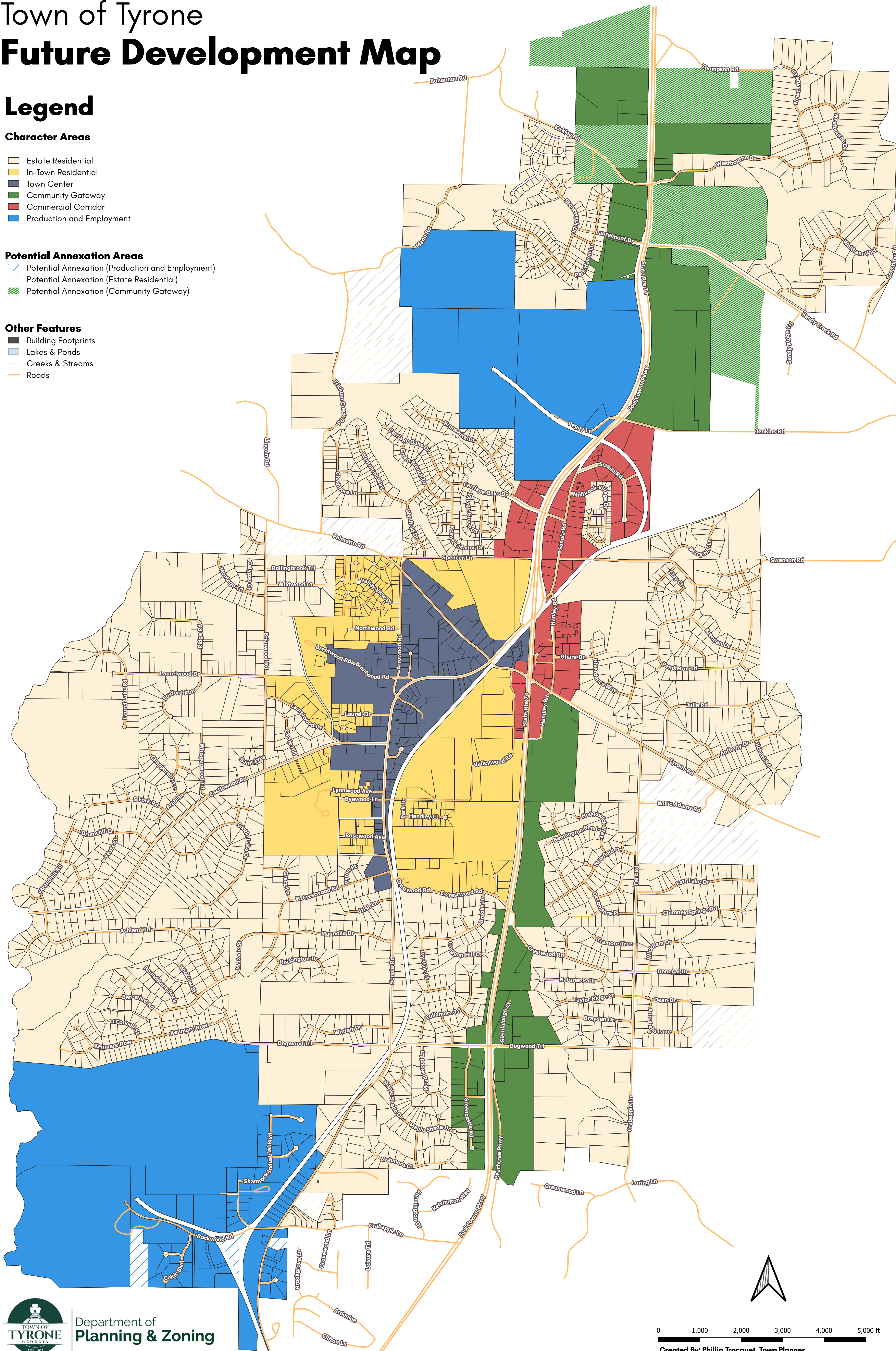
- Estate Residential
- In-Town Residential
- Town Center
- Community Gateway
- Commercial Corridor
- Production and Employment

Potential Annexation Areas

- Potential Annexation (Production and Employment)
- Potential Annexation (Estate Residential)
- Potential Annexation (Community Gateway)

Other Features

- Building Footprints
- Lakes & Ponds
- Creeks & Streams
- Roads



Commercial Corridor

Appropriate Zoning Classifications: SR-74 Quality Growth Overlay, CMU, C-1, C-2, O-I, and Commercial PUD.

Example Representative Development Patterns



Description

Designed with the automobile traveler in mind; the Commercial Corridor is the hub of Tyrone's highway commercial activity and supported largely by tens of thousands of commuters passing through each day. The growth of commercial service providers, point of sale retail shopping, and restaurants will likely happen within the established centers and outparcel developments throughout this district, however, there are tracts of undeveloped land that could easily be used to transition between the Town Center District and areas of Production and Employment.

Development Strategy

Provide a wide buffer along SR 74 to preserve the scenic nature of the highway. Screen commercial areas from view with berms and natural areas. Complete and integrate pedestrian improvements and crosswalks throughout. Connect commercial areas to nearby residential areas. The areas should promote pedestrian comfort, safety, and convenience. Promote high standards of architecture, landscaping, and sign controls to improve corridor appearance and maintain traffic speeds/capacity through access management and intermodal access. Restrict additional curb cuts onto SR 74 unless otherwise permitted by GDOT.