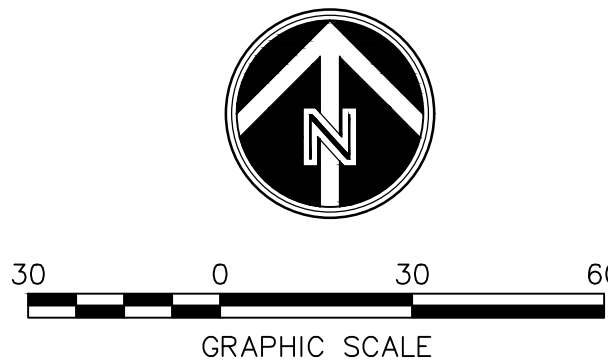




LOT 8
MILLBROOK VILLAGE
N/F
MARK SMITH & BETHANY PROPERTIES LLC
DB 3867 / PG 1
PB 39 / PG 20-23

LOT 9
MILLBROOK VILLAGE
N/F
THERESA MELOCCO
DB 4760 / PG 160
PB 39 / PG 20-23

LOT 10
MILLBROOK VILLAGE
N/F
EDDIE AND JOSEPHINE ZACARIAS
DB 4867 / PG 505
PB 39 / PG 20-23

LOT 11
MILLBROOK VILLAGE
N/F
EDWARD EASEON JR
DB 4455 / PG 639
PB 39 / PG 20-23

LOT 12
MILLBROOK VILLAGE
N/F
HPA BORROWER 2016-1 LLC
DB 4422 / PG 72
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
VINCENT AND TIFFANY JORDAN
DB 5039 / PG 32
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
MWM REALTY LLC
DB 5187 / PG 649
PB 39 / PG 20-23

LOT 15
MILLBROOK VILLAGE
N/F
PRASHANT AND NISHA DESAI
DB 4917 / PG 1
PB 39 / PG 20-23

LOT 16
MILLBROOK VILLAGE
N/F
WILLIAMS WARDELL T JR
DB 4467 / PG 283
PB 39 / PG 20-23

LOT 17
MILLBROOK VILLAGE
N/F
TEWODROS AYALEW KASSA
SOSINA GIRMA MULUWORK
DB 5339 / PG 178
PB 39 / PG 20-23

LOT 4
POWERS COURT
N/F
TEMPLE MOTORSPORTS INC
JT COMPOSITES INC
DB 4694 / PG 726
PB 42 / PG 10

LOT 7
POWERS COURT
N/F
PINNACLE THREE HOLDINGS LLC
DB 2927 / PG 199
PB 42 / PG 10

LOT 5
150,178 FT2
3.448 AC.

75' BUFFER

SENOIA ROAD
(60' ROW)

PLAN VIEW

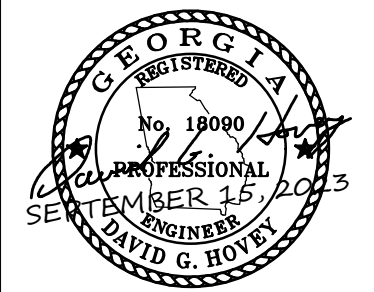
HORZ: SCALE: 1" = 30'

CONSTRUCTION NOTES:

- SEE SHEET C1.2 (PAGE NO. 2) FOR GENERAL SITE NOTES / SURVEY AND FLOOD NOTES / LEGEND / SYMBOLS / ABBREVIATIONS

H &
HOVEY & ASSOCIATES INC.
ENGINEERING CONSULTANTS
130 HOWARD LANE SUITE B
FAYETTEVILLE, GA 30215
PHONE: 770-460-2200
EMAIL: dghovey@bellsouth.net

PREPARED FOR:
NORTH GEORGIA COMMERCIAL
HOLDINGS, LLC
131 BETHEA ROAD SUITE 603
FAYETTEVILLE, GA 30214
OFFICE: 770-461-3817
CELL: 678-300-8176
JCL@THELEECCENTER.COM
24 HOUR CONTACT:
NAME: TJ CHITWOOD
PHONE: 678-221-1079
EMAIL: TJ@BCBUILD.US



HOVEY & ASSOCIATES, INC.
LIC. #PEF003647 ACTIVE
SCALE: HORIZONTAL 1" = 30'
VERTICAL N/A

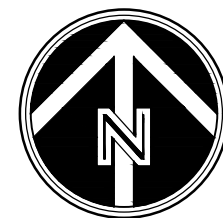
NO.	DATE	DESCRIPTION	REVISED BY
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6			
5			
4			
3			
2			
1			

DRAWN BY:
M. GRAY
DESIGNED BY:
D. HOVEY
CHECKED BY:
D. HOVEY
ISSUE DATE
10/12/2023
PROJECT NUMBER
2023-XX



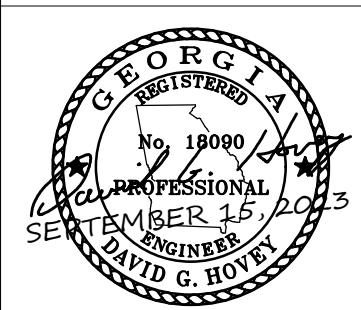
EXISTING CONDITIONS / DEMOLITION PLAN
FOR
NORTH GEORGIA COMMERCIAL HOLDINGS, LLC
1525 SENOIA RD
LAND LOT 116 ~ 7TH DISTRICT
TOWN OF TYRONE - FAYETTE COUNTY

SHEET
C1.3



H &
HOVEY & ASSOCIATES, INC.
ENGINEERING CONSULTANTS
130 HOWARD LANE SUITE B
FAYETTEVILLE, GA 30215
PHONE: 770-460-2200
EMAIL: ghovey@bellsouth.net

PREPARED FOR:
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HOVEY & ASSOCIATES, INC.
LIC. #PEF003647 ACTIVE
SCALE: HORIZONTAL 1" = 30'
VERTICAL N/A

REVISED BY	DATE	DESCRIPTION
NO.	7	
6		
5		
4		
3		
2		
1		

DRAWN BY:
M. GRAY
DESIGNED BY:
D. HOVEY
CHECKED BY:
D. HOVEY
ISSUE DATE
10/12/2023
PROJECT NUMBER
2023-XX



EROSION, SEDIMENT & POLLUTION
CONTROL PHASE 1-3
FOR
NORTH GEORGIA COMMERCIAL HOLDINGS, LLC
1525 SENOA RD
LAND LOT 116 ~ 7TH DISTRICT
TOWN OF TYRONE - FAYETTE COUNTY

SHEET
C2.1

LOT 8
MILLBROOK VILLAGE
N/F
MARK SMITH & BETHANY PROPERTIES LLC
DB 3867 / PG 1
PB 39 / PG 20-23

LOT 9
MILLBROOK VILLAGE
N/F
THERESA MELOCCO
DB 4760 / PG 160
PB 39 / PG 20-23

LOT 10
MILLBROOK VILLAGE
N/F
EDDIE AND JOSEPHINE ZACARIAS
DB 4867 / PG 505
PB 39 / PG 20-23

LOT 11
MILLBROOK VILLAGE
N/F
EDWARD EASEON JR
DB 4455 / PG 639
PB 39 / PG 20-23

LOT 12
MILLBROOK VILLAGE
N/F
HPA BORROWER 2016-1 LLC
DB 4422 / PG 72
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
VINCENT AND TIFFANY JORDAN
DB 5039 / PG 32
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
MWM REALTY LLC
DB 5187 / PG 649
PB 39 / PG 20-23

LOT 15
MILLBROOK VILLAGE
N/F
PRASHANT AND NISHA DESAI
DB 4917 / PG 1
PB 39 / PG 20-23

LOT 16
MILLBROOK VILLAGE
N/F
WILLIAMS WARDELL T JR
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PB 39 / PG 20-23

LOT 17
MILLBROOK VILLAGE
N/F
TEWODROS AYALEW KASSA
SOSINA GIRMA MULUWORK
DB 5339 / PG 178
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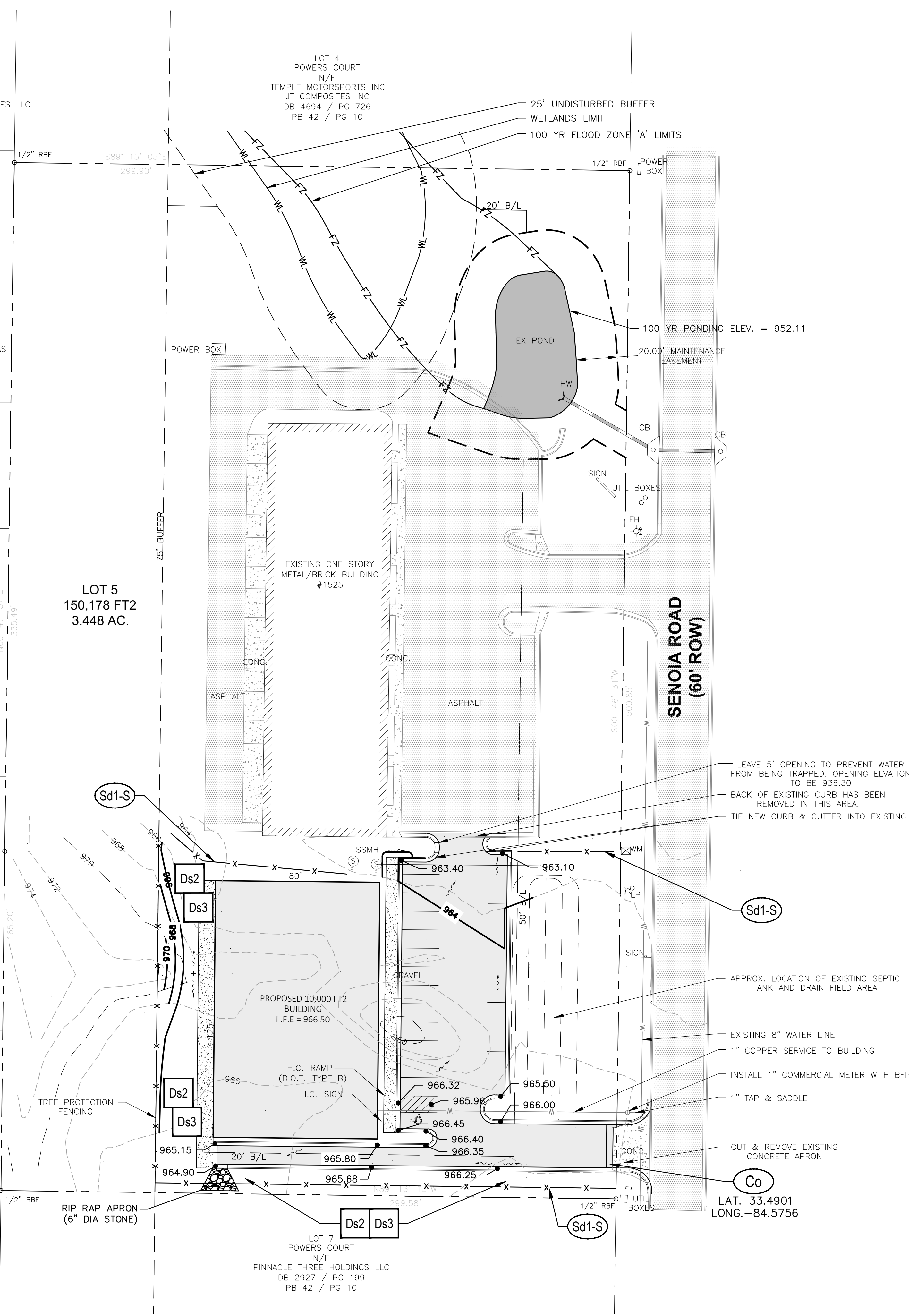
LOT 4
POWERS COURT
N/F
TEMPLE MOTORSPORTS INC
JT COMPOSITES INC
DB 4694 / PG 726
PB 42 / PG 10

LOT 7
POWERS COURT
N/F
PINNACLE THREE HOLDINGS LLC
DB 2927 / PG 199
PB 42 / PG 10

LOT 5
150,178 FT2
3.448 AC.

PLAN VIEW

HORZ: SCALE: 1" = 30'



TOTAL SITE AREA = ±3.448 ACRES
TOTAL DISTURBED AREA (PHASE 1-3) = ±0.75 ACRES
INITIAL DISTURBED AREA (PHASE 1) = ±0.32 ACRES
INTERMEDIATE DISTURBED AREA (PHASE 2) = ±0.43 ACRES

CONSTRUCTION NOTES:

- SEE SHEET C1.2 (PAGE NO. 2) FOR GENERAL SITE NOTES / SURVEY AND FLOOD NOTES / LEGEND / SYMBOLS / ABBREVIATIONS

EROSION CONTROL NOTES

- SEE ADDITIONAL EROSION CONTROL NOTES ON SHEET C2.4.
- ALL SILT FENCE (Sd1) SHOWN HEREON SHALL BE TYPE "C" ONLY OR APPROVED ALTERNATIVE.
- SEE ES&PC DETAIL SHEETS (C2.6-C2.8) FOR ALL SEEDING RATES, SCHEDULES AND PLANTING REQUIREMENTS. DISTURBED AREAS TO BE GRASSSED ONCE CONSTRUCTION PERMITS.
- SOIL SERIES FOR THIS SITE: CECIL (Ce8)
- THE NEAREST PROJECT RECEIVING WATERS ACCEPTING STORM DRAINAGE RUNOFF IS AN UN-NAMED TRIBUTARY OF FLAT CREEK.
- ALL CUT AND FILL TIE-IN SLOPES ARE 2'H:1V UNLESS OTHERWISE SPECIFIED
- MONITORING STATIONS FOR THIS PROJECT: 0
- THE INITIAL PHASE SHOWN IS FOR THE INSTALLATION OF SD-1, AND CO
- THERE ARE NO STATE WATERS AND/OR WETLANDS LOCATED ON OR WITHIN 200 FEET OF THIS SITE.
- THERE ARE NO ALTERNATIVE TECHNOLOGIES PROPOSED FOR THIS SITE.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
David G. Hovey 18090 0000023424 08/28/2023
DESIGN PROFESSIONAL GA PE# LEVEL II # DATE

LOT 8
MILLBROOK VILLAGE
N/F
MARK SMITH & BETHANY PROPERTIES LLC
DB 3867 / PG 1
PB 39 / PG 20-23

LOT 9
MILLBROOK VILLAGE
N/F
THERESA MELOCCO
DB 4760 / PG 160
PB 39 / PG 20-23

LOT 10
MILLBROOK VILLAGE
N/F
EDDIE AND JOSEPHINE ZACARIAS
DB 4887 / PG 505
PB 39 / PG 20-23

LOT 11
MILLBROOK VILLAGE
N/F
EDWARD EASEON JR
DB 4455 / PG 639
PB 39 / PG 20-23

LOT 12
MILLBROOK VILLAGE
N/F
HPA BORROWER 2016-1 LLC
DB 4422 / PG 72
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
VINCENT AND TIFFANY JORDAN
DB 5039 / PG 32
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
MWM REALTY LLC
DB 5187 / PG 649
PB 39 / PG 20-23

LOT 15
MILLBROOK VILLAGE
N/F
PRASHANT AND NISHA DESAI
DB 4917 / PG 1
PB 39 / PG 20-23

LOT 16
MILLBROOK VILLAGE
N/F
WILLIAMS WARDELL T JR
DB 4467 / PG 283
PB 39 / PG 20-23

LOT 17
MILLBROOK VILLAGE
N/F
TEWODROS AYALEW KASSA
SOSINA GIRMA MULUWOK
DB 5339 / PG 178
PB 39 / PG 20-23

LOT 4
POWERS COURT
N/F
TEMPLE MOTORSPORTS INC
JT COMPOSITES INC
DB 4694 / PG 726
PB 42 / PG 10

LOT 7
POWERS COURT
N/F
PINNACLE THREE HOLDINGS LLC
DB 2927 / PG 199
PB 42 / PG 10

LOT 5
150,178 FT²
3.448 AC.

PLAN VIEW

HORZ: SCALE: 1" = 30'

PROPERTY ZONED C-2

MIN FRONT SETBACK = 50'
MIN REAR SETBACK = 30' (UNLESS BUFFER APPLIES)
MIN SIDE SETBACK = 20'
MIN LOT SIZE = 1 AC.
MIN LOT WIDTH = 100'

CONSTRUCTION NOTES:

- SEE SHEET C1.2 (PAGE NO. 2) FOR GENERAL SITE NOTES / SURVEY AND FLOOD NOTES / LEGEND / SYMBOLS / ABBREVIATIONS
- ALL RADII ARE MEASURED FROM BACK OF CURB
- PARKING LOT / PARKING SPACE / ROADWAY DIMENSIONS ARE MEASURED FROM FACE OF CURB
- SPOT ELEVATIONS SHOWN ARE GUTTER LINE ELEVATIONS OR FINISHED PAVEMENT ELEVATIONS.
- STORM WATER DETENTION FOR THIS SITE WAS PREVIOUSLY ADDRESSED AS PART OF THE OVERALL HYDROLOGY STUDY FOR THE ENTIRE "POWERS COURT COMMERCIAL PARK," ACROSS THE STREET ON LOTS.
- WATER QUALITY RUNOFF REDUCTION MEASURES CANNOT BE ACCOMPLISHED DUE TO SEPTIC DRAIN FIELD LINE AND REPLACEMENT AREAS.

FLOOD NOTES:

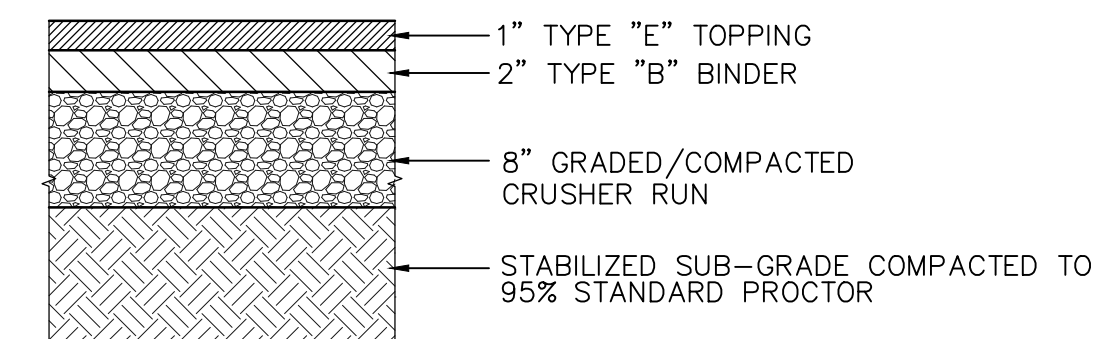
- PORTIONS OF THIS SITE LIE WITHIN AN UNIDENTIFIED FLOOD ZONE AS PER THE FLOOD RATE MAPS FAYETTE COUNTY, GA. COMMUNITY PANEL NO.13113 C0077E EFFECTIVE DATE 9/26/2008
- BOUNDARY AND TOPOGRAPHIC INFORMATION SUPPLIED BY S.A. GASKINS LAND SURVEYORS. LLC.

PARKING SPACE REQUIREMENTS:

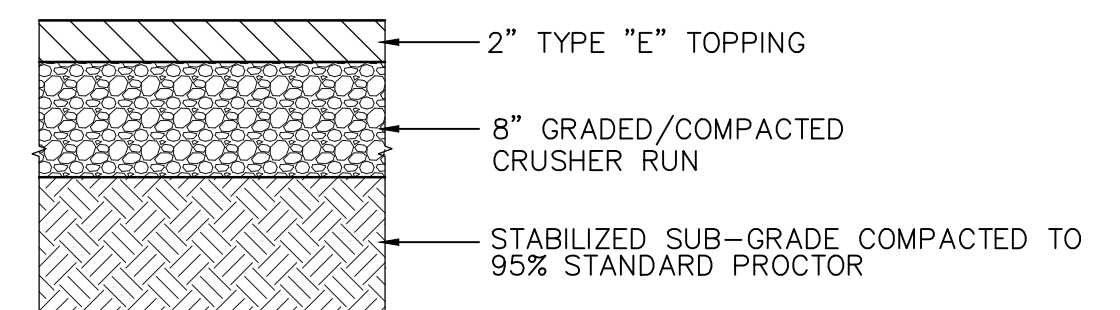
- OFFICE SPACE: 2,000 SQ. FT. @ 5.5 SPACES/1,000 SQ. FT. = 11 SPACES
- WAREHOUSE SPACE: 8,000 SQ. FT. @ 1 SPACE/2,000 SQ. FT. = 4 SPACES

TOTAL REQUIRED SPACES: 15
TOTAL PARKING SPACES PROVIDED: 19
(INCLUDING 1 H.C. SPACE)

HDP HEAVY DUTY PAVEMENT

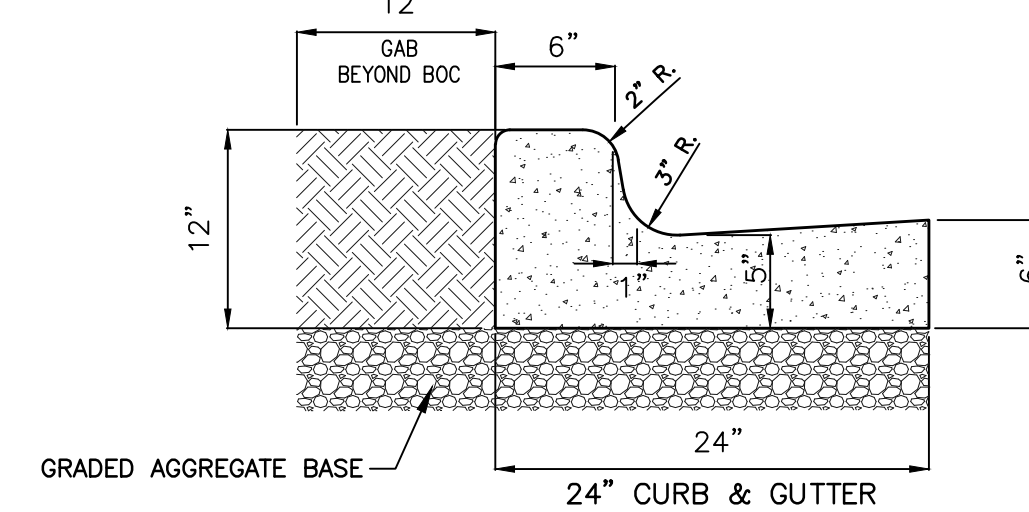
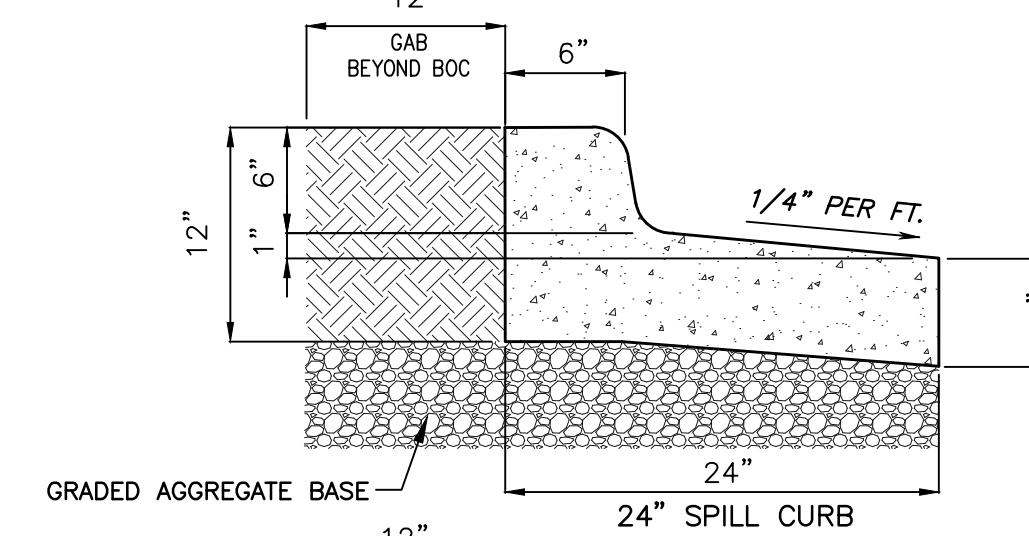
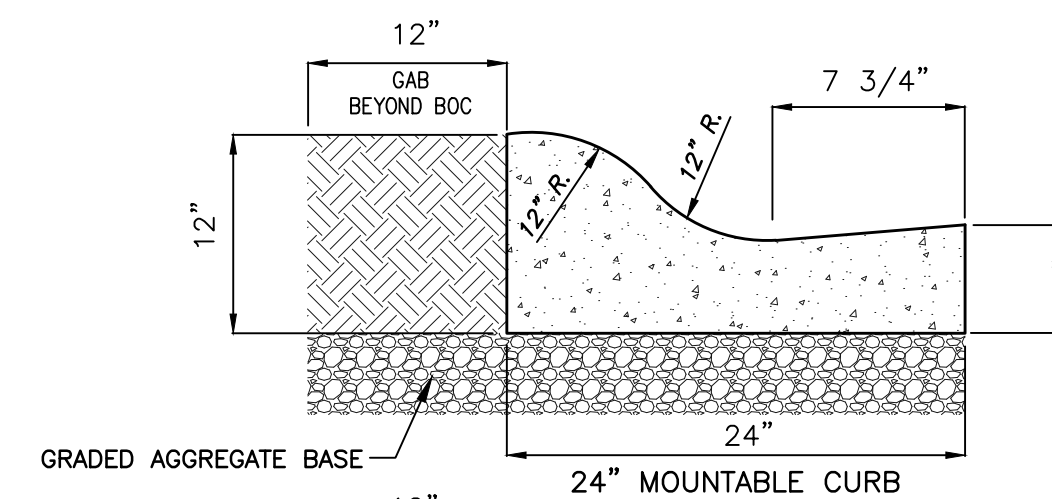


LDP LIGHT DUTY PAVEMENT



PAVEMENT SECTION

SCALE: = N.T.S.



CURB & GUTTER

SCALE: = N.T.S.

- 1/2" PREFORMED EXPANSION JOINTS REQUIRED AT ALL STRUCTURES & CURB RETURNS.
- MAXIMUM DISTANCE BETWEEN JOINTS = 40'
- DISTANCE BETWEEN DUMMY JOINTS = 10'
- CONCRETE STRENGTH = 3000 P.S.I. SLUMP = 2". FINISH SHALL BE SMOOTHED & EVENED WITH A WOODEN FLOAT.
- OTHER CURB & GUTTER SECTIONS WILL BE EVALUATED AS APPROPRIATE BY THE COUNTY ENGINEER.
- CONCRETE SHALL BE GDOT CLASS A MIX.

SITE PLAN

FOR
NORTH GEORGIA COMMERCIAL HOLDINGS, LLC
1525 SENOIA RD
LAND LOT 116 ~ 7TH DISTRICT
TOWN OF TYRONE - FAYETTE COUNTY

SHEET

C3.1

PLAN VIEW

HORZ: SCALE: 1" = 30'

LOT 8
MILLBROOK VILLAGE
N/F
MARK SMITH & BETHANY PROPERTIES LLC
DB 3867 / PG 1
PB 39 / PG 20-23

LOT 9
MILLBROOK VILLAGE
N/F
THERESA MELOCCO
DB 4760 / PG 160
PB 39 / PG 20-23

LOT 10
MILLBROOK VILLAGE
N/F
EDDIE AND JOSEPHINE ZACARIAS
DB 4867 / PG 505
PB 39 / PG 20-23

LOT 11
MILLBROOK VILLAGE
N/F
EDWARD EASEON JR
DB 4455 / PG 639
PB 39 / PG 20-23

LOT 12
MILLBROOK VILLAGE
N/F
HPA BORROWER 2016-1 LLC
DB 4422 / PG 72
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
VINCENT AND TIFFANY JORDAN
DB 5039 / PG 32
PB 39 / PG 20-23

LOT 13
MILLBROOK VILLAGE
N/F
MWM REALTY LLC
DB 5187 / PG 649
PB 39 / PG 20-23

LOT 15
MILLBROOK VILLAGE
N/F
PRASHANT AND NISHA DESAI
DB 4917 / PG 1
PB 39 / PG 20-23

LOT 16
MILLBROOK VILLAGE
N/F
WILLIAMS WARDELL T JR
DB 4467 / PG 283
PB 39 / PG 20-23

LOT 17
MILLBROOK VILLAGE
N/F
TEWODROS AYALEW KASSA
SOSINA GIRMA MULUWORK
DB 5339 / PG 178
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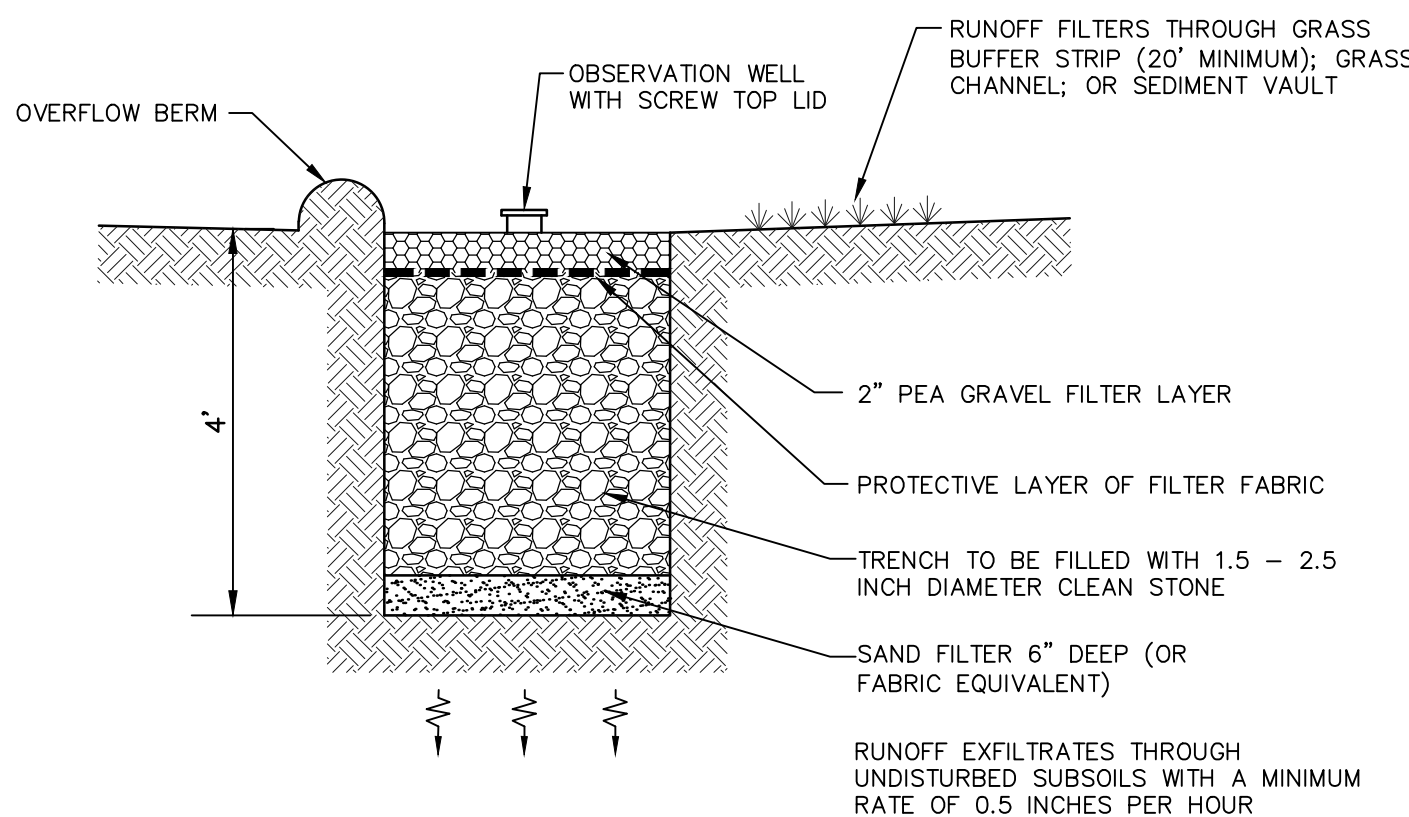
LOT 4
POWERS COURT
N/F
TEMPLE MOTORSPORTS INC
JT COMPOSITES INC
DB 4694 / PG 726
PB 42 / PG 10

LOT 7
POWERS COURT
N/F
PINNACLE THREE HOLDINGS LLC
DB 2927 / PG 199
PB 42 / PG 10

LOT 5
150,178 FT2
3.448 AC.

CONSTRUCTION NOTES:

- SEE SHEET C1.2 (PAGE NO. 2) FOR GENERAL SITE NOTES / SURVEY AND FLOOD NOTES / LEGEND / SYMBOLS / ABBREVIATIONS
- ALL RADII ARE MEASURED FROM BACK OF CURB
- PARKING LOT / PARKING SPACE / ROADWAY DIMENSIONS ARE MEASURED FROM FACE OF CURB



NOTE:
INFILTRATION TRENCH TO BE
CONSTRUCTED AS PART OF THE
FINAL LANDSCAPING ACTIVITIES.

3 INFILTRATION TRENCH

SCALE: = N.T.S.

WATER QUALITY & RUNOFF REDUCTION VOLUME CALCS.

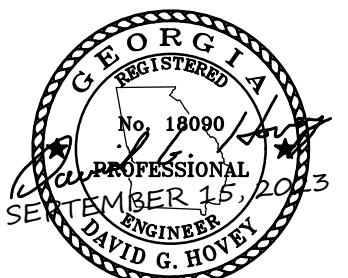
- TOTAL DRAINAGE AREA CONSIDERED: +/-0.62 AC.
- TOTAL NEW IMPERVIOUS AREA: 17,830 SQ. FT. (0.41 AC.)
- REQUIRED WATER QUALITY VOLUME:
 $WQv = 1.2RvA/12$ WHERE A = DRAINAGE AREA (ACERS)
 $Rv = 0.05 + 0.009(I)$; WHERE I = % IMPERVIOUS COVER
 $I = 66.1\%$
 $Rv = 0.05 + 0.009(66.1) = 0.6449$ SO,
 $WQv = 1.2(0.6449)(0.62 AC.) / 12 = 0.040$ ACRE- FEET = 1,742 CFT.
- SOULUTION:
UTILIZE AN INFILTRATION TRENCH
- SIZE FILTRATION TRENCH:
 $A = WQv / (nd = kt/12)$
WHERE A = SURFACE AREA
 WQv = WATER QUALITY VOLUM
 n = POROSITY
 d = TRENCH DEPTH (FEET); USE 4 FEET
 k = SINCE THIS SITE LIES WITHING THE CECIL TYPE SOILS (C6B), AN
AVERAGE PERCOLATION RATE OF 0.50"/HR. SHOULD BE USED.
 T = FILL TIME (USE 2 HRS)
SO, THE REQUIRED AREA = $1.742 CFT / (0.32 \times 4 + 0.50 \times 4) = 1.278$ SQ.FT.
USE AN AVERAGE WIDTH= 20 FEET SO, $L = 1.278 / 0.20 = 63.9$ FEET
MAKE SURFACE TRENCH ARE = 20 FEET X 65 FEET = 1,300 SQ.FT.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE
LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT
SUPERVISION."

David L. Hovey 18080 0000023424 08/28/2023
DESIGN PROFESSIONAL GA PR# LEVEL II # DATE

H &
HOVEY & ASSOCIATES INC.
ENGINEERING CONSULTANTS
130 HOWARD LANE SUITE B
FAYETTEVILLE, GA 30215
PHONE: 770-460-2200
EMAIL: dghovey@bellsouth.net

PREPARED FOR:
NORTH GEORGIA COMMERCIAL
HOLDINGS, LLC
131 BETHEA ROAD SUITE 603
FAYETTEVILLE, GA 30214
OFFICE: 770-461-3817
CELL: 678-300-8176
JCL@THELEECENTER.COM
24 HOUR CONTACT:
NAME: TJ CHITWOOD
PHONE: 678-221-1079
EMAIL: TJ@BCBUILD.US



HOVEY & ASSOCIATES, INC.
LIC. #PEF003647 ACTIVE
SCALE: HORIZONTAL 1" = 30'
VERTICAL N/A

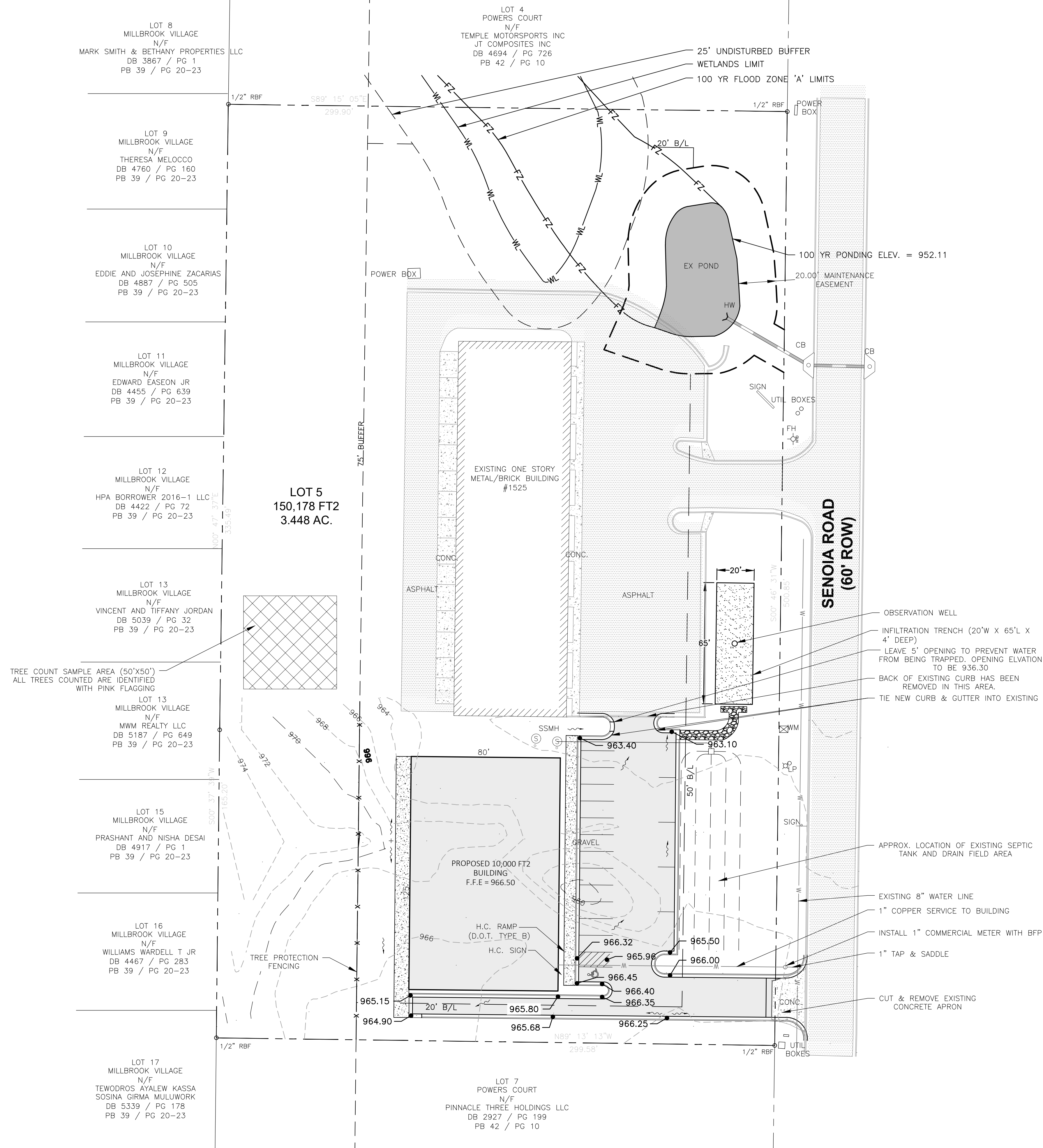
REVISED BY	DATE	NO.	DESCRIPTION
		7	
		6	
		5	
		4	
		3	
		2	
		1	

DRAWN BY:
M. GRAY
DESIGNED BY:
D. HOVEY
CHECKED BY:
D. HOVEY
ISSUE DATE
10/12/2023
PROJECT NUMBER
2023-XX



GRADING PLAN
FOR
NORTH GEORGIA COMMERCIAL HOLDINGS, LLC
1525 SENOIA RD
LAND LOT 116 ~ 7TH DISTRICT
TOWN OF TYRONE - FAYETTE COUNTY

SHEET
C3.1



PLAN VIEW

HORZ: SCALE: 1" = 30'

NOTE:

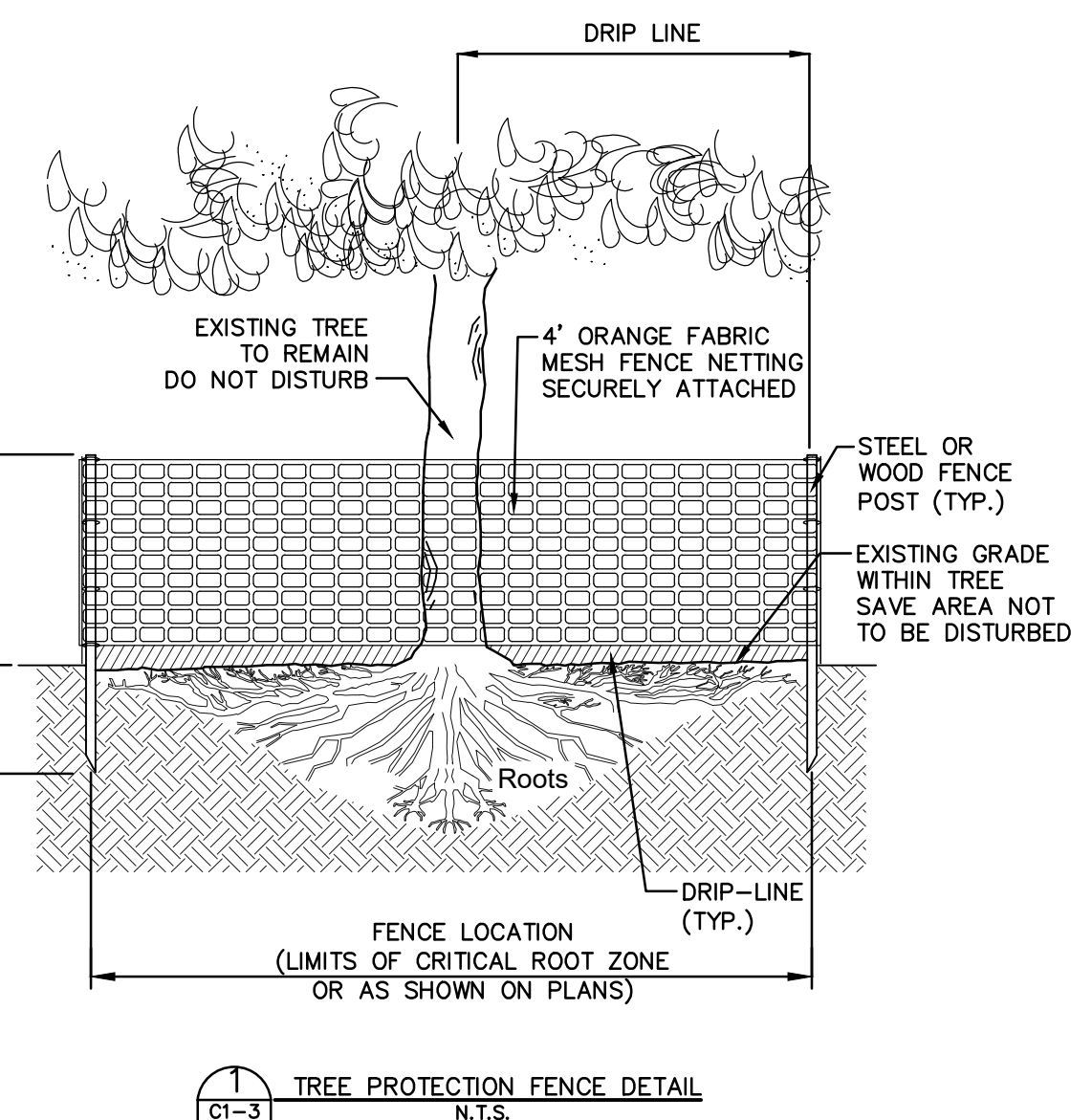
TREE PROTECTION AREA (TPA): ANY PORTION OF A SITE LOCATED WITHIN TREE PROTECTION BOUNDARY AREA WITH EXISTING TREES TO BE PRESERVED IN COMPLIANCE TO REQUIREMENTS OF THE CITY ORDINANCE. THE TREE PROTECTION AREA SHALL INCLUDE NO LESS THAN THE TOTAL AREA BENEATH THE TREE CANOPY AS DEFINED BY THE DRIP LINE OF THE TREE OR GROUP OF TREES COLLECTIVELY.

THERE SHALL BE NO INDISCRIMINATE REMOVAL OF TREES FROM THIS SITE. AN ASSERTED EFFORT TO PRESERVE AND RETAIN SPECIMEN EXISTING TREES WILL BE MADE.

BEING DEVELOPED SHALL MAINTAIN A MINIMUM TREE DENSITY BASED UPON THE MAXIMUM NUMBER OF TREES THAT CAN BE MAINTAINED IN ACCORDS WITH THE ORDINANCE FOR TREE SIZE AND DENSITY.

THE CLEANING OF EQUIPMENT, STORAGE OF MATERIALS OR DIRT, DISPOSAL OF WASTE MATERIAL SUCH AS PAINT, OIL SOLVENT OR OTHER HARMFUL SUBSTANCES, OR ANY OTHER SUCH ACT WHICH MAY BE HARMFUL TO THE CONTINUED VITALITY OF THE TREE(S) WITHIN THE TREE PROTECTION AREA, IS PROHIBITED.

PRIOR TO COMMENCEMENT OF ANY GRADING, CONSTRUCTION OR TREE REMOVAL, A TREE PROTECTION AREA FOR ANY TREE LOCATED WITHIN TWENTY FIVE FEET (25') OF ANY PROPOSED GRADING, CONSTRUCTION OR TREE REMOVAL MUST BE ESTABLISHED BY PHYSICAL BARRIER AND MAINTAINED UNTIL SUCH WORK IS COMPLETED.



TREE PROTECTION NOTES:

- TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING. CALL THE TOWN ENGINEER AT 770-487-4038 FOR INSPECTION.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO STANDARDS ESTABLISHED IN ARTICLE V OF THE TOWN OF THRYNE LAND DEVELOPMENT ORDINANCE.
- COMPLIANCE WITH THE TOWN OF THRYNE LAND DEVELOPMENT ORDINANCE MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF ACCOUNTANCY OR ACCEPTANCE OF THE FINAL PLAN. CALL THE TOWN ENGINEER AT 770-487-4038 FOR AN INSPECTION.
- EXCEPT AS SPECIFIED OTHERWISE, THE TOWN OF THRYNE LAND DEVELOPMENT MAINTENANCE INSPECTION WILL BE PERFORMED AFTER ONE FULL GROWING SEASON FROM THE DATE OF THE ISSUANCE OF THE FINAL PLAN. THE TOWN OF THRYNE LAND DEVELOPMENT MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.

REQUIRED SITE STANDARD:
TOTAL SITE AREA = 3.45 ACRES
SDS = 3.45 AC. X 100 UNITS/AC. = 345 UNITS

SAMPLE AREA TREE COUNT (50'X50')
(WITHIN 75 FT. UNDISTURBED BUFFER)

- 15" OAK
20" OAK
14" OAK
7" OAK
26" PINE
8" OAK
18" OAK
6" OAK
18" OAK
11" OAK
TOTAL = 143 CALIPER INCHES PER 2,500 SQ. FT.

TOTAL AREA WITHIN BUFFER = 24,830 SQ. FT.
 $SO, 24,830 / 2,500 = 9.93$
 $9.93 \times 143" = 1,420 \text{ CAL. INCHES: THEREFORE THE SITE HAS THE REQUIRED}$
 $SDU'S \text{ WITHOUT ANY CONVERSIONS TO EXISTING TREE DENSITY UNITS.}$

REQUIRED LANDSCAPE PLANTING BASED ON DISTURBED AREA:
0.75 AC DISTURBED (32,670 SQ FT) @
1 CANOPY TREE PER 1,000 SQ FT = 32.7 TREES
1 UNDER-STORY TREE PER 1,000 SQ FT = 32.7 TREES

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

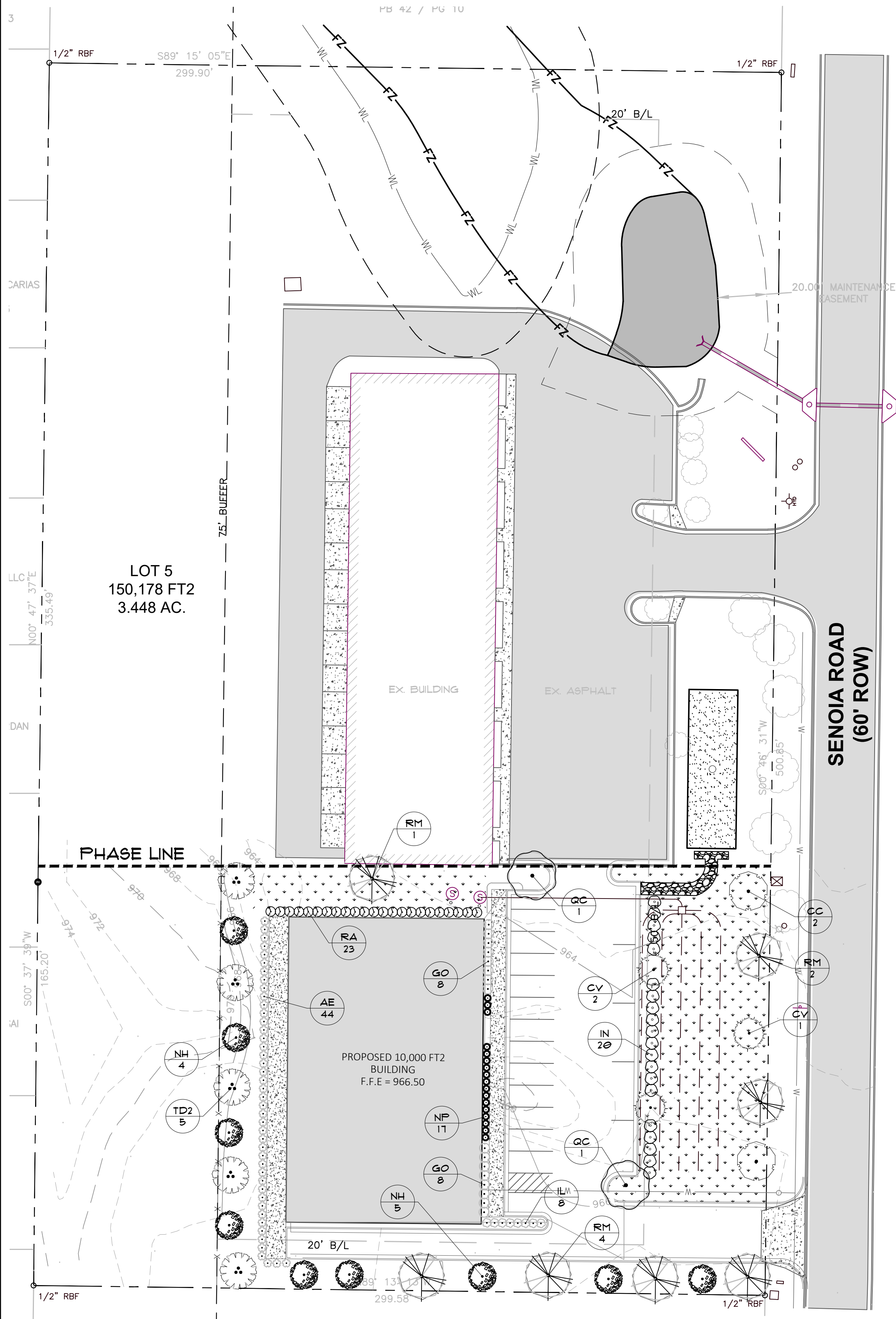
	18090	0000023424	08/28/2023
DESIGN PROFESSIONAL	GA PE#	LEVEL II #	DATE

TREE PROTECTION PLAN
FOR
NORTH GEORGIA COMMERCIAL HOLDINGS, LLC
1525 SENOIA RD
LAND LOT 116 ~ 7TH DISTRICT
TOWN OF TYRONE - FAYETTE COUNTY

SHEET

C3.2

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PLANT SCHEDULE										
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	CLASSIFICATION	RDF	POINTS
	RM	1	ACER RUBRUM	OCTOBER GLORY MAPLE	2" CAL	B4B	MIN 8' HT	OVERSTORY	1 X Ø.4 = 2.8	1 X 5 = 5
	CC	2	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL	B4B	MIN 8' HT	UNDERSTORY	2 X Ø.4 = 0.8	2 X 2.5 = 5
	CV	3	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	2" CAL	B4B	MIN 8' HT	UNDERSTORY	3 X Ø.4 = 1.2	3 X 2.5 = 7
	NH	9	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	2" CAL	B4B	MIN 8' HT	UNDERSTORY	9 X Ø.4 = 3.6	9 X 2.5 = 22.5
	QC	2	QUERCUS COCCINEA	SCARLET OAK	2" CAL	B4B	MIN 8' HT	OVERSTORY	2 X Ø.4 = 0.8	2 X 5 = 10
	TD2	5	TAXODIUM DISTICHUM	BALD CYPRESS	2" CAL	B4B	MIN 8' HT	OVERSTORY	5 X .4 = 2.0	5 X 5 = 25
	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS		TOTAL RDF: 11.2	TOTAL POINTS: 104.5
	AE	44	AZALEA ENCORE TM	ENCORE AZALEA	3 GAL	POT	MIN 18" HT			44 POINTS
	GO	16	GARDENIA JASMINOIDES 'LEETWO' TM	SCENTAMAZING GARDENIA	3 GAL	POT	MIN 18" HT			16 POINTS
	IN	20	ILEX VOMITORIA 'NANA'	DWARF YAUPOH HOLLY	3 GAL	POT	MIN 18" HT			20 POINTS
	IL	8	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	3 GAL	POT	MIN 18" HT			8 POINTS
	NP	11	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER NANDINA	3 GAL	POT	MIN 18" HT			11 POINTS
	RA	23	RHAPHIOLEPIS INDICA 'ALBA'	WHITE INDIAN HAWTHORN	3 GAL	POT	MIN 18" HT			23 POINTS
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS			TOTAL SHRUB POINTS: 128
	CT2	8,105 SF	CYNODON DACTYLON 'TIF 419'	TIF 419 BERMUDA GRASS	80D					8100 / 500 = 11 POINTS
										TOTAL POINTS: 249.5

TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING. CALL THE TOWN ENGINEER AT 770.481.4038 FOR AN INSPECTION.

TREE PROTECTION SHALL BE ENFORCED ACCORDING TO STANDARDS ESTABLISHED IN ARTICLE V OF THE TOWN OF TYRONE LAND DEVELOPMENT ORDINANCE.

COMPLIANCE WITH SITE DENSITY STANDARDS SHOWN ON THE PLAN(S) MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF THE FINAL PLAT. CALL THE TOWN ENGINEER AT 770.481.4038 FOR AN INSPECTION.

WITH THE EXCEPTION OF SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS, A TREE MAINTENANCE INSPECTION WILL BE PERFORMED AFTER ONE FULL GROWING SEASON FROM THE DATE OF THE FINAL SITE INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.

COMPLIANCE WITH SITE DENSITY STANDARDS SHOWN ON THE TREE REPLACEMENT PLAN MUST BE VERIFIED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF THE PROJECT. CALL THE TOWN ENGINEER AT 770.481.4038 FOR AN INSPECTION.

WITH THE EXCEPTION OF SINGLE-FAMILY RESIDENTIAL PLATTED LOTS, A TREE MAINTENANCE INSPECTION WILL BE PERFORMED AFTER ONE FULL GROWING SEASON FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.

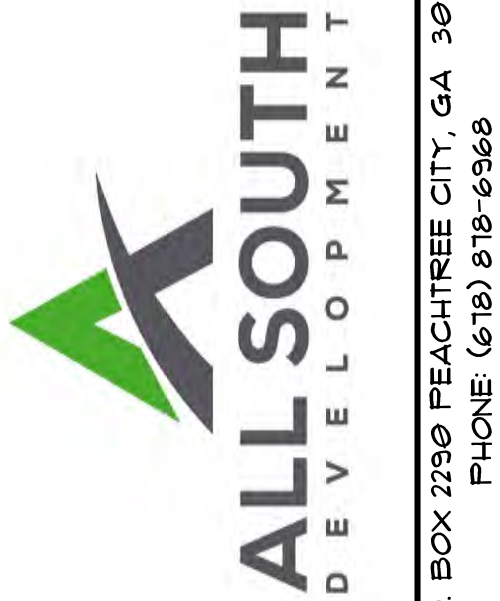
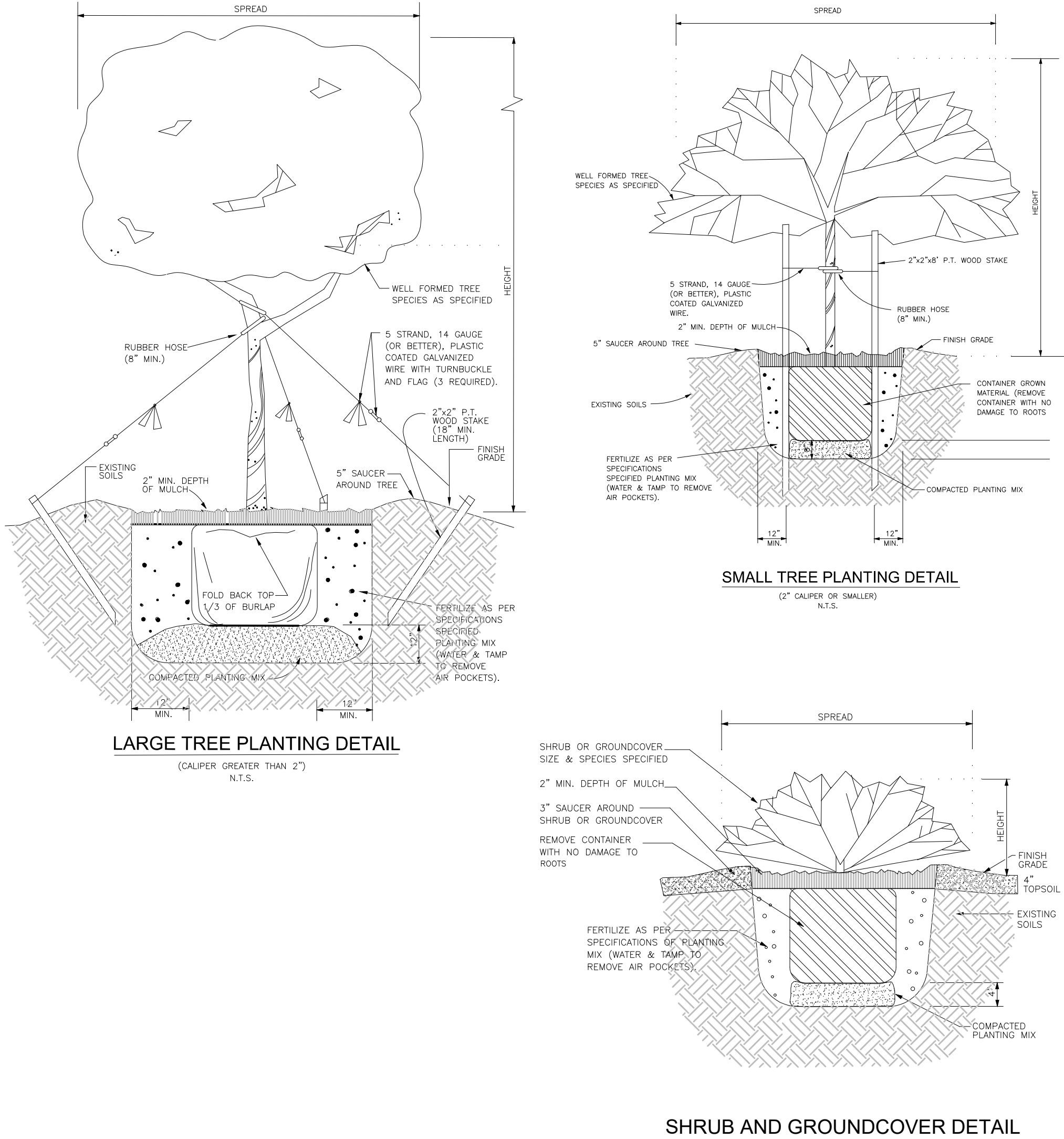
ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK 1980 EDITION AMERICAN ASSOCIATION OF NURSERYMEN.

LANDSCAPE NOTES

- ALL PLANT BEDS TO BE FINESTRAW 2-3" THICK
- 80D OR HYDROSEED ALL DISTURBED AREAS WITH TIFWAY 419 BERMUDA UNLESS OTHERWISE IDENTIFIED ON PLAN & PERMANENT GRASSING SCHEDULE
- IRRIGATION TO BE INSTALLED PER OWNER REQUEST AND CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALL
- ALL QUANTITIES TO BE VERIFIED BY CONTRACTOR

TREE DENSITY UNITS
REQUIRED 20 UNITS PER ACRE
PHASED PROJECT THIS PHASE : 1.13 AC
1.13 X 20 = 23.6 SDF REQUIRED
EDF = 12.4 (SEE TABLE)
23.6 + 12.4 = 11.4 RDF
11.2 RDF PLANTED SEE PLANT SCHEDULE

LANDSCAPE POINT CALCULATIONS
50,000 - 60,000 SF LOT: 140 + 1 PER 200 SF OF PAVED AREA
PAVED AREA = 21,462 / 200 = 107 POINTS
140 + 107 = 247 POINTS REQUIRED
249.5 PROVIDED SEE PLANT SCHEDULE



NORTH GEORGIA COMMERCIAL HOLDINGS, LLC
1525 SENOIA RD TYRONE, GA
TOWN OF TYRONE
LAND LOT 116 of the 7th DISTRICT

LANDSCAPE PLAN

REVISIONS

- | | |
|----|--|
| 1. | |
| 2. | |
| 3. | |
| 4. | |

DATE: 10/10/2023
SCALE: 1"=30'
FILE NUMBER:
DRAWN BY: WRE
REVIEWED BY: WRE



THIS DOCUMENT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

SHEET NUMBER

L100