



PLANNING DATE 1/26/2023
COUNCIL DATE N/A

P&Z STAFF REPORT

PREPARED BY:
Phillip Trocquet, Asst. Town Manager | Community Development
ptrocquet@tyrone.org | (770) 881-8322

DOCKET/APPLICATION #	APPLICANT	ADDRESS/PARCEL #
PC 01262023	Sharon Griffies - Debeer Granite	145 Mallory Court

SUMMARY & HISTORY

Applicant Debeers Granite has submitted a site plan and landscape plan for the purposes of constructing a 24,000 s.f. structure to cover their current material yard.

The property currently has a 21,000 s.f. facility for DeBeer's current operations.

STAFF DETERMINATION

Staff has worked with the owner on specifically addressing stormwater and environmental management items to accommodate the new structure and existing site.

The landscape plan reflects adequate site density for tree coverage and staff is satisfied with DeBeers aiming to preserve existing landscaping as opposed to any modifications that would require uprooting of existing trees.



EXISTING ZONING	PROPOSED ZONING	EXISTING LAND USE	SURROUNDING ZONING	PROPERTY ACREAGE
O-I Office-Institutional	C-2 Highway Commercial	Vacant Office-Institutional	North: C-1 South: C-1 & C-2 East: C-2 West: M-2	072604009 - 3.5 Acres 072604010 - 6.3 Acres

COMPREHENSIVE PLAN & FUTURE DEVELOPMENT MAP COMPATABILITY

This petition is consistent with the Town's Comprehensive Plan and Future Development strategy. This property falls within the Production & Employment Character area which encourages industrial and manufacturing facilities with sensitivity to environmental concerns and economic development expansion.

ZONING ORDINANCE COMPATABILITY & IMPACT ASSESSMENT

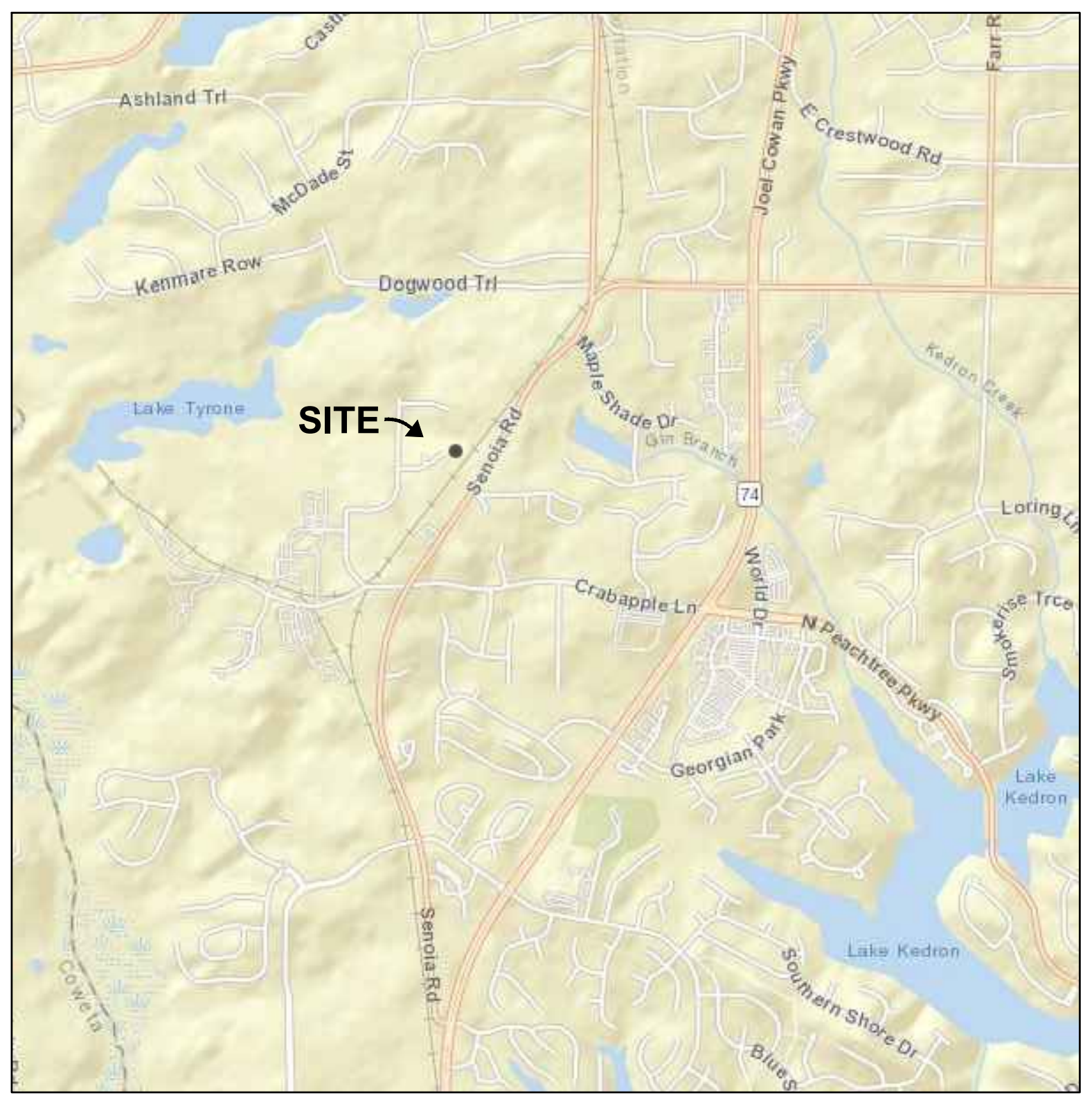
This site plan and landscape plan are both consistent with the town's M-2 Heavy Industrial requirements.

DeBEEER GRANITE

145 MALLORY COURT, TYRONE, GA.

NOTES:

1. ALL WORK SHALL COMPLY WITH TOWN OF TYRONE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
3. PROPERTY IS ZONED M-2 HEAVY INDUSTRIAL.
4. PROPOSED BUILDING TO BE: 25,250 SF SHED ROOF (NO SIDES).
5. TOTAL SITE AREA - LOT 9 & 10: 3.93 Acres.
6. TOTAL DISTURBED AREA- 0.82 Acres.
7. PROPOSED USE FOR FACILITY: SHED ROOF FOR OUTDOOR MATERIAL STORAGE.
8. CONTRACTOR WILL BE RESPONSIBLE TO CALL UTILITY PROTECTION CENTER PRIOR TO ANY EXCAVATION: 811.
9. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND EXISTENCE OF ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
10. FILL MATERIAL IS TO BE PLACED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY.
11. WATER SERVICE PROVIDED BY FAYETTE COUNTY WATER DEPT.
12. SEWER SERVICE PROVIDED BY AN ON-SITE SEPTIC AND DRAIN FIELD SYSTEM.
13. MAXIMUM CUT/FILL 2.0H:1V.
14. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC MATERIAL PRIOR TO FILLING.
15. "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."
16. "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."
17. TEMPORARY VEGETATION WILL BEGIN TWO WEEKS FROM THE INITIAL DISTURBANCE.
18. ANY AREAS ON SITE LEFT INACTIVE FOR MORE THAN TWO WEEKS MUST BE STABILIZED WITH GRASS.
19. BOUNDARY BY DELTA SURVEYING INC., P.C. DATE: 05-03-2022 & TOPOGRAPHY BY DOUGLAS CONSULTING, LLC.
20. THERE ARE STATE WATERS LOCATED ON OR WITHIN 200' OF THE SITE.
21. THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THIS SITE.
22. NO BURIAL PITS WILL BE ALLOWED ON THIS SITE.
23. TAX MAP NO. 073616009
24. SETBACKS: FRONT - 55' (MINOR RD), SIDE - 20', REAR - 30' (UNLESS OTHERWISE NOTED).
25. ALL RADII ARE MEASURED TO THE FACE OF CURB.5
26. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
27. CONTRACTOR IS RESPONSIBLE FOR ALL TIE-INS TO THE BUILDINGS INCLUDING BUT NOT LIMITED TO DOWNSPOUTS, UNLESS OTHERWISE SPECIFIED.
28. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONSTRUCTING ALL UTILITY RELOCATIONS AS NECESSARY.
29. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WORK ALL APPLICABLE DRAWINGS AND APPROPRIATE SPECIFICATIONS AS A UNIT, ANY OMISSIONS, DELETIONS, OR CONFLICTS WITH ARISING AS A RESULT OF FAILURE TO INCORPORATE ALL DRAWINGS AND SPECIFICATIONS WHICH APPLY SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND/OR ENGINEER.
30. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING AND PROPOSED STRUCTURES.
31. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR THE CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL APPLICABLE CODES, FIRE MARSHAL, AND HANDICAP REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FEDERAL FAIR HOUSING ACT, LOCAL AND STATE ACCESSIBILITY, DEPT. OF COMMUNITY AFFAIRS AND ALL LENDING INSTITUTION REQUIREMENTS, THE AMERICANS WITH DISABILITIES ACT AND ALL AMENDMENTS THERETO.
32. THIS PROJECT WILL BE PRIVATELY FUNDED.
33. THIS PROJECT IS LOCATED WITH A GROUNDWATER RECHARGE AREA.



Location Map N.T.S.

MUD AND SILT ARE STRICTLY PROHIBITED FROM LEAVING THIS SITE.

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com

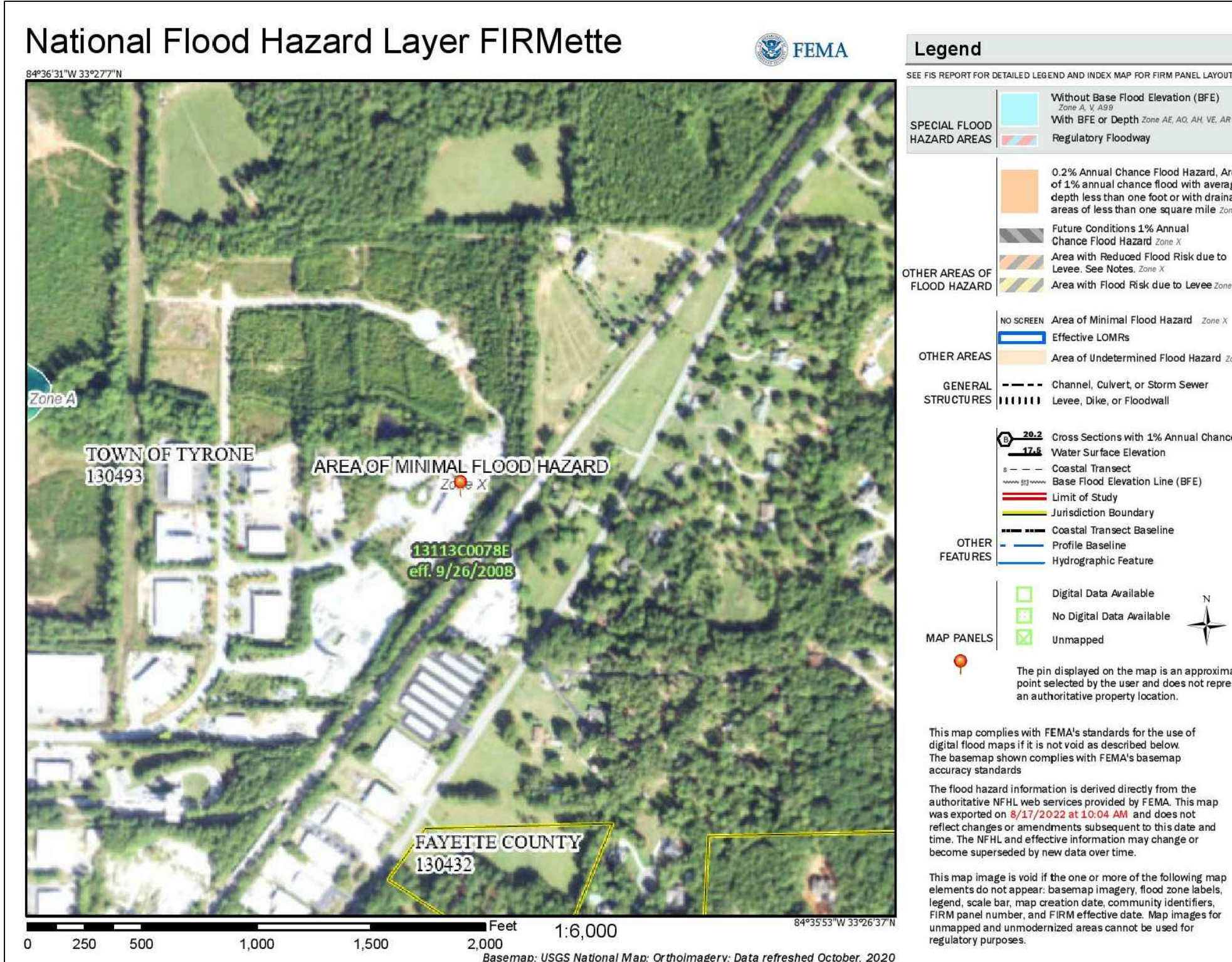
BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS
FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE
PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

COMMUNITY PANEL 13113C 0078E

DATED: SEPTEMBER 26, 2008

INDEX

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- C2. EX. CONDITIONS/ DEMOLITION PLAN.
- C3. SITE PLAN.
- C4. GRADING & DRAINAGE PLAN.
- C5. INITIAL PERIMETER ES&PC PLAN.
- C6. INTERMEDIATE ES&PC PLAN.
- C7. FINAL ES&PC PLAN.
- C8. EROSION CONTROL DETAILS.
- C9. DET. POND/INFILTRATION TRENCH PLAN
& DETAILS.
- C10. NPDES NOTES.



CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



PH: (770)-473-9576
george@paramountengineering.com

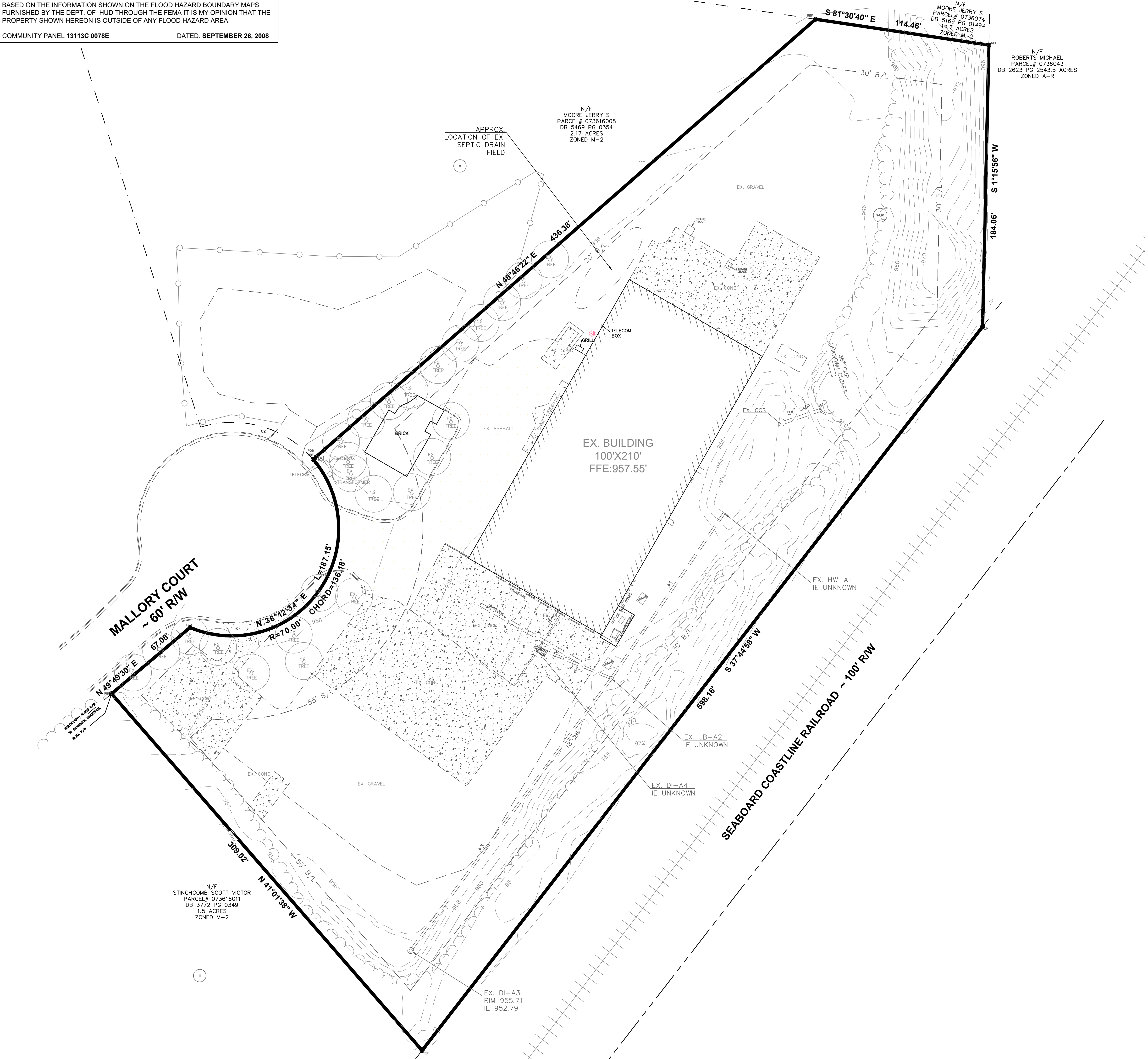


<div> <div>C1</div> <div>SHEET</div> </div>	PROJECT: DeBEER GRANITE		REV. 1	DATE: 01-06-23	DESCRIPTION: ADDRESSED CITY COMMENTS
	SHEET: COVER SHEET				
	LL 153				
	7TH DISTRICT				
	TOWN OF TYRONE				
DATE: 08/22/22		DRAWN BY: GPH	SCALE: NTS	DRAWING NO: 220513 - DEBEER GRANITE	

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS
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ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

DEMOLITION NOTES:

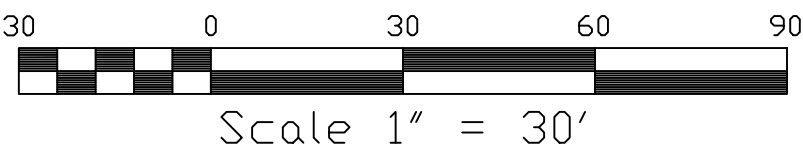
1. CONTRACTOR SHALL OBTAIN PERMITS FROM THE TOWN OF TYRONE, UTILITY COMPANIES AND ALL OTHER ENTITIES AS REQUIRED BEFORE COMMENCING ANY WORK ON SITE.
2. NO WORK SHALL BE DONE IN RIGHT-OF-WAY WITHOUT OBTAINING PROPER PERMITS AND NOTIFYING THE APPROPRIATE DEPARTMENTS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
3. PRIOR TO DISPOSAL OF WASTE MATERIALS OFF-SITE, ALL PERMITTING AND ANY AUTHORIZATIONS REQUIRED, SHALL BE IN PLACE.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES THE REMOVAL AND RELOCATION OF ANY EXISTING LINES, POLES, LIGHTS, ETC. (SHOWN OR NOT SHOWN ON PLANS).
5. NO BURNING OF MATERIAL ON-SITE SHALL BE PERFORMED WITHOUT OBTAINING PROPER PERMITS FROM LOCAL AND/OR STATE AUTHORITIES.
6. UTILITIES TO REMAIN ON-SITE SHALL BE SAFEGUARDED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. (NOT ALL UTILITIES MAY BE SHOWN ON PLANS).
7. THE CONTRACTOR SHALL TAKE PRECAUTIONS SO AS NOT TO DISTURB ADJOINING PROPERTIES DURING DEMOLITION AND CONSTRUCTION. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY FOR THE COST OF ANY DAMAGES TO EXISTING STRUCTURES, ASPHALT, BUILDINGS, ETC. ON THE ADJOINING PROPERTIES IF DAMAGED DURING CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING ALL UNDERGROUND UTILITIES WITHIN PROJECT AREA. CONTRACTOR SHALL REMOVE OR RELOCATED AS REQUIRED.

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com

LEGEND

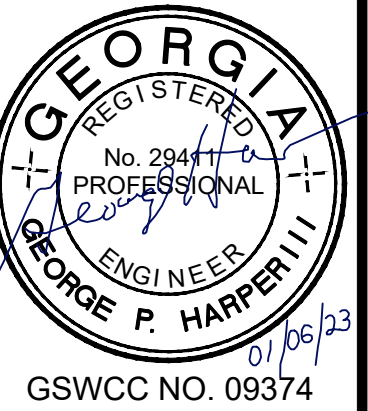
P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
I.P.F.	IRON PIN FOUND	PR. FIRE HYDRANT	PR.
I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	EX.
P.L.	PROPERTY LINE	EX. WATER VALVE	EX.
C.M.F.	CONCRETE MONUMENT FOUND	PR. WATER VALVE	PR.
L.L.L.	LAND LOT LINE	WATER METER	WM
B.O.C.	BACK OF CURB	ELECTRIC BOX	EB
E.O.P.	EDGE OF PAVEMENT	FLARED END SECTION	SES
T.W.	TOP OF WALL	DOUBLE-WING CATCHBASIN (DWCB)	SS
B.W.	BOTTOM OF WALL	SINGLE-WING CATCHBASIN (SWCB)	W
D.E.	DRAINAGE EASEMENT	DROP INLET (DI)	DI
S	SANITARY SEWER MANHOLE - SA	HEADWALL	H
J.B.	JUNCTION BOX (JB)	DRAINAGE FLOW	DF
D.W.C.B.	DOUBLE-WING CATCHBASIN (DWCB)	LIGHT POLE (LP)	LP
S.W.C.B.	SINGLE-WING CATCHBASIN (SWCB)	POWER POLE (PP)	PP
DI	DROP INLET (DI)		
H	HEADWALL		
DF	DRAINAGE FLOW		
LP	LIGHT POLE (LP)		
PP	POWER POLE (PP)		



Paramount ENGINEERING, LLC

11 E. BROAD ST.
NEWNAN, GA. 30263

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REV.	DATE	DESCRIPTION
1	01-06-23	ADDRESSED CITY COMMENTS

DRAWING NO: 220513 - DEBEER GRANITE

PROJECT:	DeBEER GRANITE
SHEET:	EX. CONDITIONS / DEMOLITION PLAN
LL 153	7TH DISTRICT
DATE:	08/22/22
DRAWN BY:	GPH
SCALE:	1" = 30'

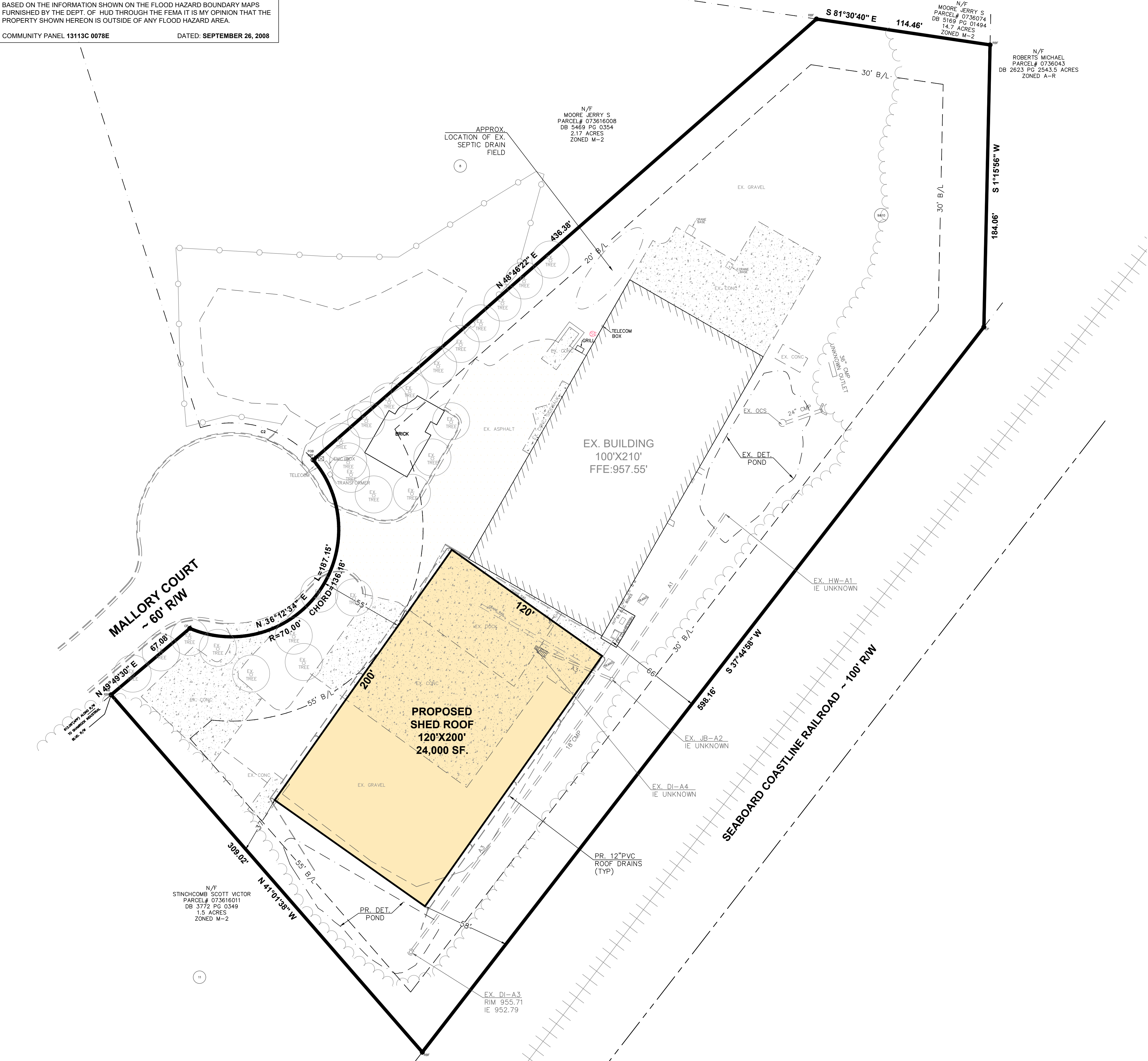
SHEET

C2

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS
FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE
PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

COMMUNITY PANEL 13113C 0078E

DATED: SEPTEMBER 26, 2008



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GENERAL NOTES:

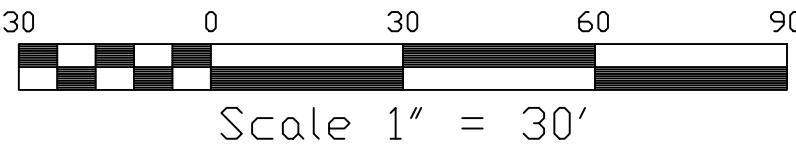
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTENCE OF ALL UTILITIES SHOWN AND NOT SHOWN PRIOR TO THE START OF ANY WORK.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY CONFORMANCE.
3. AS-BUILT CERTIFICATION WILL BE REQUIRED BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
4. FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL AND HAVE A MINIMUM DENSITY OF 100 PCF.
5. FILL MATERIAL SHALL BE PLACED IN 6" LIFTS (LOOSE) AND COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
6. FILL OPERATIONS SHOULD BE OBSERVED BY A SOILS ENGINEER AND IN-PLACE DENSITY TESTS SHOULD BE PERFORMED BY THE SOILS ENGINEER TO CHECK COMPACTION.
7. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC OR DELETERIOUS MATERIAL PRIOR TO FILLING OPERATIONS.
8. SUBGRADE CONDITIONS SHOULD BE INVESTIGATED BY A SOILS ENGINEER PRIOR TO CONSTRUCTION.
9. THE PROPERTY IS CURRENTLY GRADED WITH HEAVY GRASSED VEGETATION.
10. THIS PLAN TO COMPLY WITH ALL ZONING, VARIANCE, & DRI CONDITIONS.
11. ALL PAVEMENT MARKINGS, STRIPING & SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF TOWN OF TYRONE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12. ALL HANDICAP PARKING SPACES REQUIRE HANDICAP PARKING SIGNS.
13. CONTRACTOR TO ENSURE THE HANDICAP PARKING SPACES HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS.
14. SIGHT LIGHTING TO BE PREPARED BY OTHERS.
15. THIS PROJECT IS LOCATED WITHIN A GROUNDWATER RECHARGE AREA.

OWNER/DEVELOPER:

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PRIMARY PERMITTEE
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LEGEND

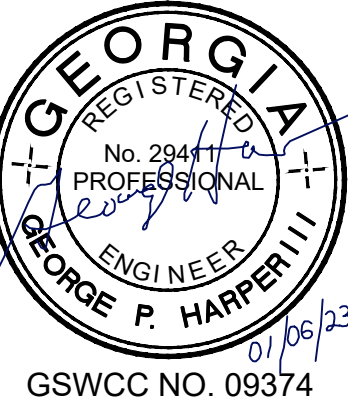
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B.W.	BOTTOM OF WALL	DOUBLE-WING CATCHBASIN (DWCB)	DWCB
D.E.	DRAINAGE EASEMENT	SINGLE-WING CATCHBASIN (SWCB)	SWCB
PR. 12" PVC ROOF DRAINS (TYP)		DROP INLET (DI)	DI
PR. DET. POND		HEADWALL	HW
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REV.	DATE	DESCRIPTION
1	01-06-23	ADDRESSED CITY COMMENTS

PROJECT:	DeBEER GRANITE
SHEET:	SITE PLAN
LL 153	7TH DISTRICT
DATE:	08/22/22
TOWN OF TYRONE	
DRAWN BY:	GPH
SCALE:	1" = 30'
DRAWING NO:	220513 - DEBEER GRANITE

SHEET

C3

COMMUNITY PANEL 13113C 0078E DATED: SEPTEMBER 26, 2008

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1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTENCE OF ALL UTILITIES SHOWN AND NOT SHOWN PRIOR TO THE START OF ANY WORK.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY CONFORMANCE.
3. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SURVEILLANCE OR INSPECTION OF THE PROPOSED IMPROVEMENTS.
4. FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL AND HAVE A MINIMUM DENSITY OF 100 PCF.
5. FILL MATERIAL SHALL BE PLACED IN 6" LIFTS (LOOSE) AND COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
6. FILL OPERATIONS SHOULD BE OBSERVED BY A SOILS ENGINEER AND IN-PLACE DENSITY TESTS SHOULD BE PERFORMED BY THE SOILS ENGINEER TO CHECK COMPACTION.
7. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION AND ANY ORGANIC OR DELETERIOUS MATERIAL PRIOR TO FILLING OPERATIONS.
8. SUBGRADE CONDITIONS SHOULD BE INVESTIGATED BY A SOILS ENGINEER PRIOR TO CONSTRUCTION.
9. THE PROPERTY IS CURRENTLY WOODED WITH MOSTLY SMALL SCRUB TREES. THIS PLAN TO COMPLY WITH ALL ZONING, VARIANCE, & DRI CONDITIONS.
11. ALL PAVEMENT MARKINGS, STRIPING & SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF TOWN OF TYRONE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12. ALL HANDICAP PARKING SPACES REQUIRE HANDICAP PARKING SIGNS.
13. CONTRACTOR TO ENSURE THE HANDICAP PARKING SPACES HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS.
14. NIGHT LIGHTING TO BE PREPARED BY OTHERS.
15. THIS PROJECT IS LOCATED WITHIN A GROUNDWATER RECHARGE AREA.

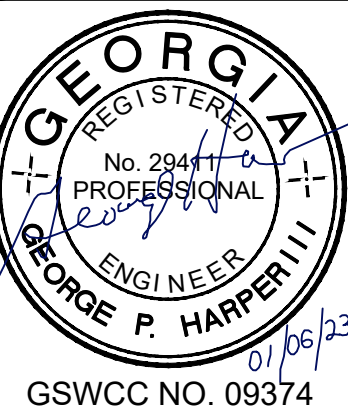
1. CMP STORM DRAINAGE PIPES, WHERE REQUIRED, SHALL BE ASPHALT COATED
2. MINIMUM COVER ON ALL STORM DRAINAGE PIPE IS PER GA. D.O.T. STD. 1030D, UNLESS OTHERWISE NOTED.
3. ALL STORM DRAINAGE PIPES WILL BE CENTERED WITHIN A 20' DRAINAGE EASEMENT UNLESS IT IS LOCATED WITHIN A ROAD RIGHT-OF-WAY.
4. DRAINAGE SWALES AND DITCHES ARE TO BE WITHIN A 20' DRAINAGE EASEMENT UNLESS OTHERWISE NOTED.
5. ALL GRADING & DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH GA. D.O.T. CONSTRUCTION STANDARDS.
6. ALL STORM DRAINAGE PIPE SHALL BE IN ACCORDANCE WITH GA. D.O.T. STD. 1030D, UNLESS OTHERWISE NOTED.
7. CATCH BASINS (C.B.) SHALL BE AS PER GA. D.O.T. STD. 10330 ON GRADE & 1034D IN SAG.
8. JUNCTION BOXES (J.B.) SHALL BE AS PER GA. D.O.T. STD. 9031U.
9. DROP INLETS (D.I.) SHALL BE AS PER GA. D.O.T. STD. 1019A.
10. HDPE WALLS (H.W.) SHALL BE AS PER GA. D.O.T. STD. 1122.
11. JOINTS WHERE REQUIRED, SHALL BE INSTALLED IN LENGTHS TO PREVENT CMPS UNDER THE PAVEMENT.

24 HOUR CONTACT
PRIMARY PERMITTEE
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PH: 770-486-5687
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Station		Len	Drng Area		Rnoff coeff	Area x C		Tc		Rain (l)	Total flow	Cap full	Vel	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr	Total		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
		(ft)	(ac)	(ac)	(C)			(min)	(min)	(in/hr)	(cfs)	(cfs)	(ft/s)	(in)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	
1	End	131.000	0.00	0.63	0.00	0.00	0.54	5.0	6.2	8.0	9.83	2.98	5.56	18	0.25	952.00	952.33	953.50	957.10	954.00	957.50	A1
2	1	221.000	0.00	0.00	0.00	0.00	0.00	5.0	5.0	0.0	5.55	2.71	3.14	18	0.21	952.33	952.79	957.58	959.51	957.50	955.71	A2
3	1	53.000	0.63	0.63	0.85	0.54	0.54	5.0	5.0	8.4	4.49	4.24	2.54	18	0.51	952.33	952.60	957.58	957.88	957.50	954.50	A3

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1	01-06-23	ADDRESSED CITY COMMENTS

DRAWING NO: 220513 - DEBEER GRANITE

PROJECT:	DeBEER GRANITE
SHEET:	GRADING & DRAINAGE PLAN

SHEET

C4

ACTIVITY SCHEDULE	MONTH	1	2	3	4
1. Installation of Erosion Control Measures					
2. Clearing & Grading Operations					
3. Shed Construction					
4. Grassing-Mulching, Temp. & Perm. Vegetation					
5. Maintenance of Erosion Control Measures					
6. Installation of Water Quality Device					
7. Final landscaping & grassing					

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

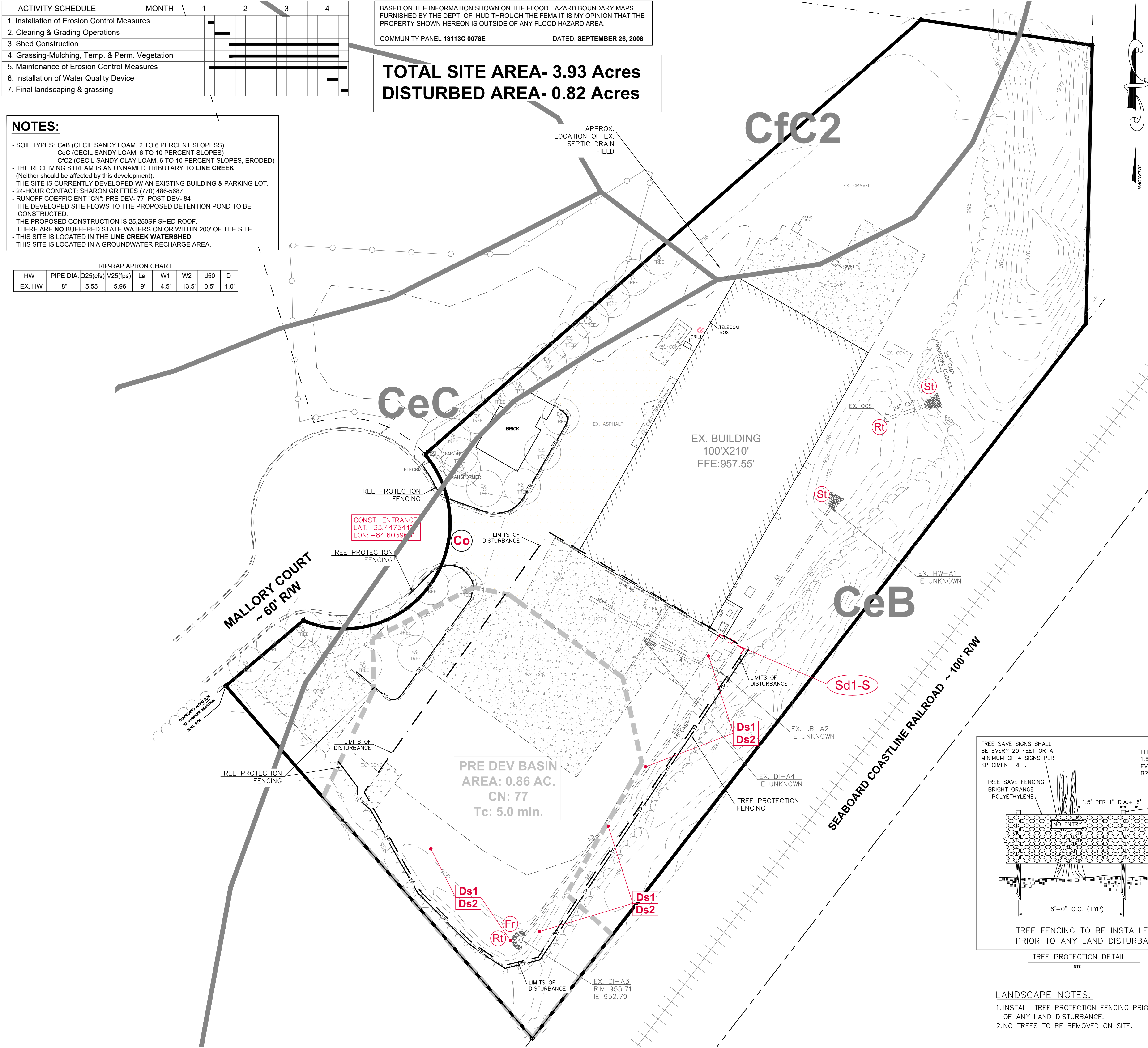
COMMUNITY PANEL 13113C 0078E DATED: SEPTEMBER 26, 2008

TOTAL SITE AREA- 3.93 Acres
DISTURBED AREA- 0.82 Acres

NOTES:

- SOIL TYPES: CeB (CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES)
CeC (CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES)
CIC2 (CECIL SANDY CLAY LOAM, 6 TO 10 PERCENT SLOPES, ERODED)
- THE RECEIVING STREAM IS AN UNNAMED TRIBUTARY TO LINE CREEK.
(Neither should be affected by this development).
- THE SITE IS CURRENTLY DEVELOPED W/ AN EXISTING BUILDING & PARKING LOT.
- 24-HOUR CONTACT: SHARON GRIFFIES (770) 486-5687
- RUNOFF COEFFICIENT "CN": PRE DEV- 77, POST DEV- 84
- THE DEVELOPED SITE FLOWS TO THE PROPOSED DETENTION POND TO BE CONSTRUCTED.
- THE PROPOSED CONSTRUCTION IS 25,250SF SHED ROOF.
- THERE ARE NO BUFFERED STATE WATERS ON OR WITHIN 200' OF THE SITE.
- THIS SITE IS LOCATED IN THE LINE CREEK WATERSHED.
- THIS SITE IS LOCATED IN A GROUNDWATER RECHARGE AREA.

RIP-RAP APRON CHART								
HW	PIPE DIA.	Q25(cfs)	V25(fps)	La	W1	W2	d50	D
EX. HW	18"	5.55	5.96	9'	4.5'	13.5'	0.5'	1.0'



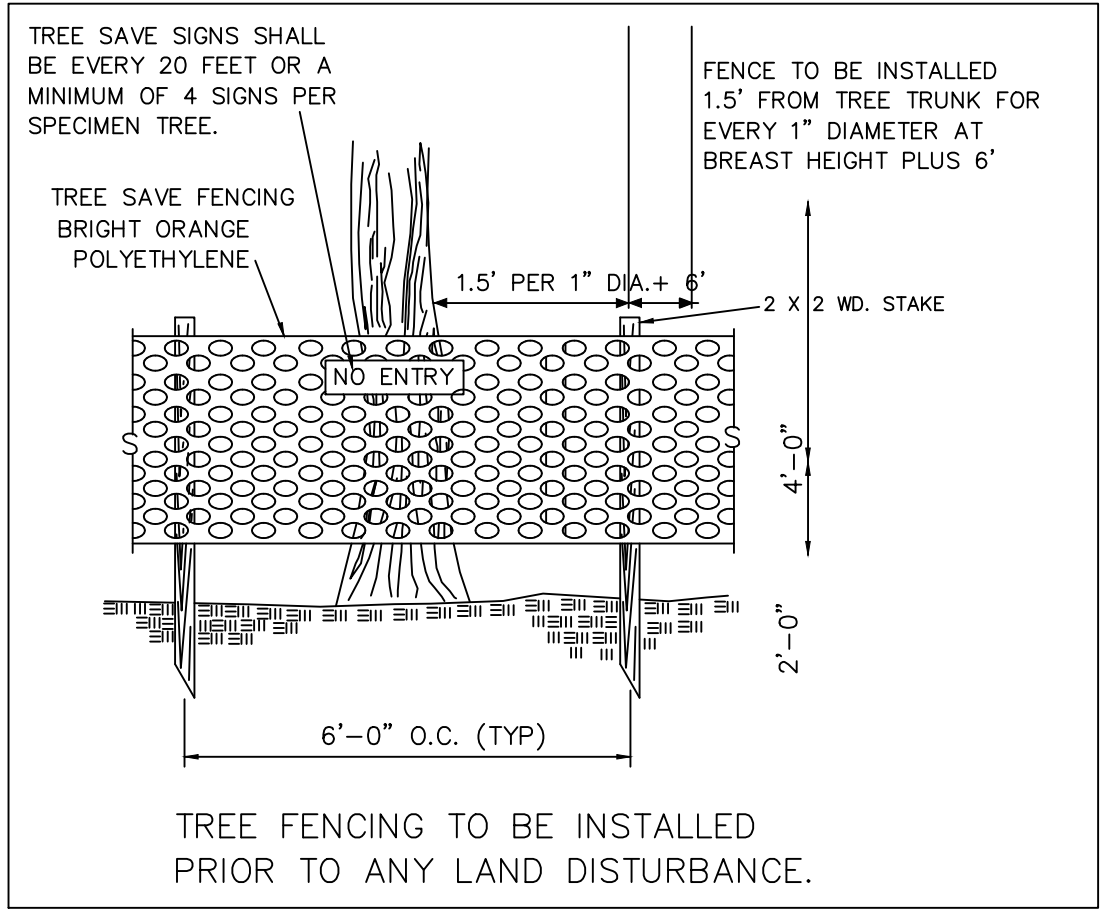
EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
4. CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V ON ALL SLOPES.
5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
6. AMENDMENTS/ REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
7. INSPECTIONS BY CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100001.
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11. THIS ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL & SANITARY SEWER REGULATIONS DURING AND AFTER CONSTRUCTION.
12. THIS PROJECT DOES NOT DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED, AS ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT.
13. 67 CY/AC. SEDIMENT STORAGE SUBSTANTIALLY HANDLED BY SILT FENCE PLACED ALONG THE TOE OF SLOPES AND A RETROFIT ON THE EXISTING POND OCS.
14. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO, AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED.
15. CONTRACTOR MUST Haul OFF ALL SOLID WASTE TO AN APPROVED LANDFILL. SOLID WASTE BURNING ON SITE IS PROHIBITED.
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17. CONTRACTOR MUST ADHERE TO CITY OF TYRONE EROSION AND SEDIMENT CONTROL REGULATIONS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
18. SEDIMENT / EROSION CONTROL FACILITIES AND STORM DRAINAGE FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
19. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A FAST- GROWING COVER AND/OR MULCH.
20. OWNER/ DEVELOPER AND CONTRACTOR SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR THE CONTINUOUS MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES AS CALLED FOR ON DRAWINGS AND SPECIFICATIONS.
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22. SILT FENCE SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROPERTY LIMITS.
23. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER.
24. BUILDING MATERIALS AND PRODUCTS STORED ON SITE TO BE COVERED BY A TARPULIN.
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26. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES AND THE INSPECTIONS AND REPAIRS WILL BE MADE BY:

24 HOUR CONTACT
DEBEER GRANITE
SHARON GRIFFIES
145 MALLORY CT.
TYRONE, GA. 30290
PH: 770-486-5687
E: SHARON@DEBEERGRANITE.COM

OWNER/DEVELOPER:

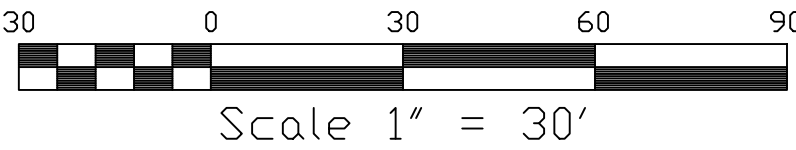
24 HOUR CONTACT
PRIMARY PERMITTEE
DeBeer Granite
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com



LANDSCAPE NOTES:

1. INSTALL TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
2. NO TREES TO BE REMOVED ON SITE.

LEGEND		
P.O.B. POINT OF BEGINNING	EXISTING	EX.
P.O.R. POINT OF REFERENCE	PROPOSED	PR.
O.T.P. OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
I.P.F. IRON PIN FOUND	PR. FIRE HYDRANT	
I.P.S. IRON PIN SET	EX. FIRE HYDRANT	
P.L. PROPERTY LINE	PR. WATER VALVE	
C.M.F. CONCRETE MONUMENT FOUND	EX. WATER VALVE	
L.L.L. LAND LOT LINE	PR. WATER VALVE	
B.O.C. BACK OF CURB	WATER METER	
E.O.P. EDGE OF PAVEMENT	ELECTRIC BOX	
T.W. TOP OF WALL	FLARED END SECTION	
B.W. BOTTOM OF WALL	SANITARY SEWER LINE	SS
D.E. DRAINAGE EASEMENT	SINGLE-WING CATCHBASIN (SWCB)	
⊙ SANITARY SEWER MANHOLE - SA	WATER LINE	w
JUNCTION BOX (JB)	SIGN	
DOUBLE-WING CATCHBASIN (DWCB)	FENCE	
SINGLE-WING CATCHBASIN (SWCB)	LT-DUTY ASPHALT PAVING	
DROP INLET (DI)	HEAVY-DUTY ASPHALT PAVING	
HEADWALL		
→ DRAINAGE FLOW		
★ LIGHT POLE (LP)		
⊙ POWER POLE (PP)		



Paramount ENGINEERING, LLC

REGISTERED PROFESSIONAL ENGINEER
No. 29474
GEORGE P. HARPER III
01/26/23
GSWCC NO. 09374

PROJECT: **DeBeer Granite**

SHEET: **INITIAL PERIMETER ES & PC PLAN**

LL 153

DATE: 08/22/22

DESCRIPTION: **ADDRESS CITY COMMENTS**

1 01-06-23

TOWN OF TYRONE

7TH DISTRICT

DRAWN BY: GPH

SCALE: 1" = 30'

DRAWING NO: 220513 - DEBEER GRANITE

SHEET

C5

PH: (770)-473-9576
george@paramountengineering.com
11 E. BROAD ST.
NEWNAN, GA. 30263

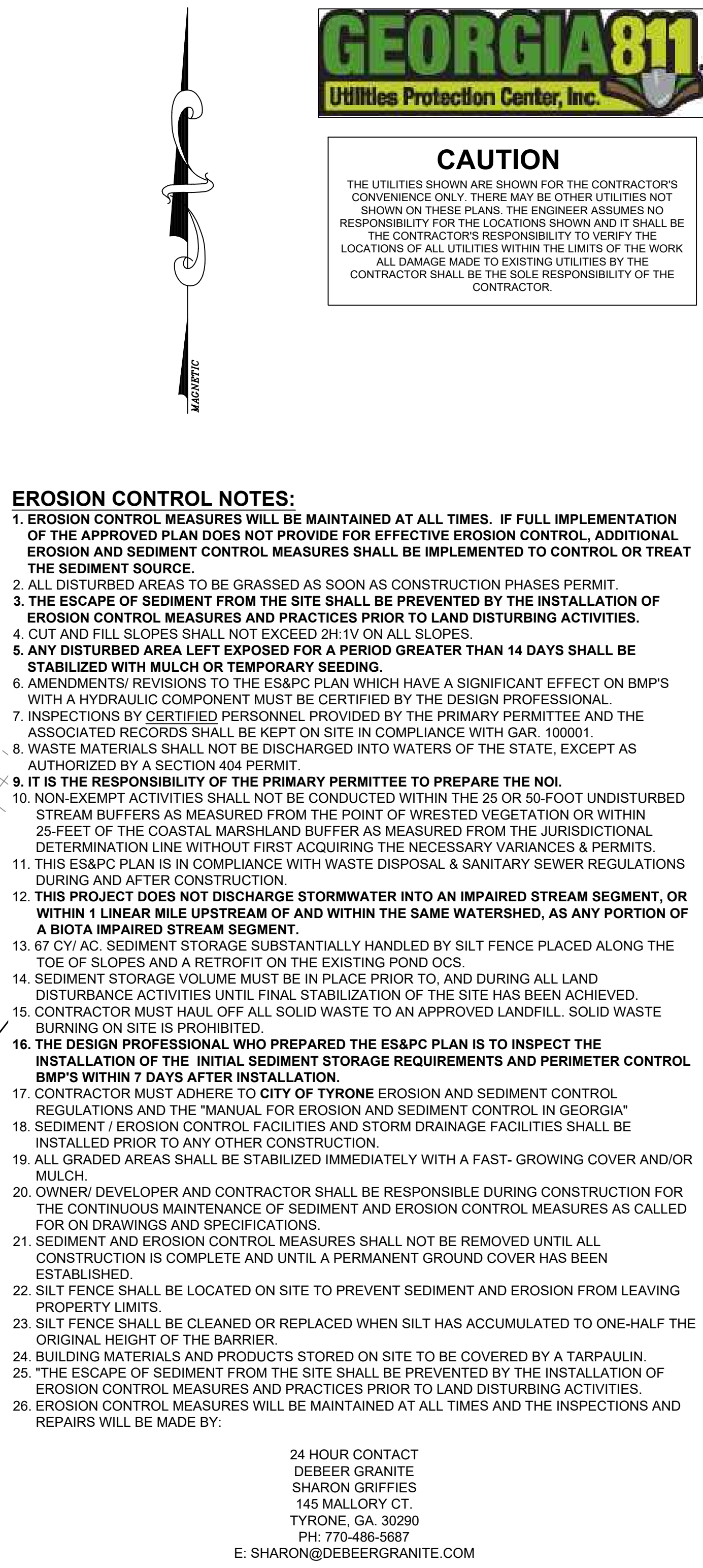
BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS
FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE
PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

COMMUNITY PANEL 13113C 0078E DATED: SEPTEMBER 26, 2008





















NOTES:

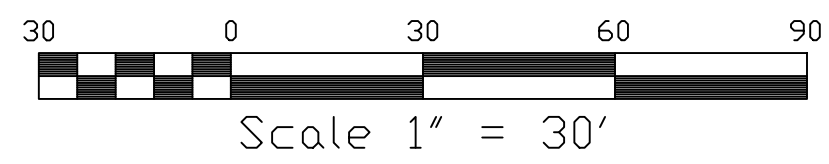
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(Neither should be affected by this development).
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424-HOUR CONTACT: SHARON GRIFFIES (770) 466-5687
- RUNOFF COEFFICIENT "CN": PRE DEV- 77, POST DEV- 84
- THE DEVELOPED SITE FLOWS TO THE PROPOSED DETENTION POND TO BE CONSTRUCTED.
- THE PROPOSED CONSTRUCTION IS 25,250SF SHED ROOF.
- THERE ARE **NO** BUFFERED STATE WATERS ON OR WITHIN 200' OF THE SITE.
- THIS SITE IS LOCATED IN THE **LINE CREEK WATERSHED**.
- THIS SITE IS LOCATED IN A GROUNDWATER RECHARGE AREA.

HW	PIPE DIA.	Q25(cfs)	V25(fps)	La	W1	W2	d50	D
EX. HW	18"	5.55	5.96	9'	4.5'	13.5'	0.5'	1.0'




LEGEND


P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TFF
I.P.F.	IRON PIN FOUND	PR. FIRE HYDRANT	
I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	
PL	PROPERTY LINE		
C.M.F.	CONCRETE MONUMENT FOUND		
L.L.L.	LAND LOT LINE	EX. WATER VALVE	
B.O.C.	BACK OF CURB		
E.O.P.	EDGE OF PAVEMENT	PR. WATER VALVE	
T.W.	TOP OF WALL	WATER METER	
B.W.	BOTTOM OF WALL		
D.E.	DRAINAGE EASEMENT	ELECTRIC BOX	
	SANITARY SEWER MANHOLE - SA	FLARED END SECTION	
	JUNCTION BOX (JB)	SANITARY SEWER LINE	— SS —
	DOUBLE-WING CATCHBASIN (DWCB)	WATER LINE	— W —
	SINGLE-WING CATCHBASIN (SWCB)	SIGN	
	DROP INLET (DI)	FENCE	
	HEADWALL	LT-DUTY ASPHALT PAVING	
	DRAINAGE FLOW	HEAVY-DUTY ASPHALT PAVING	
	LIGHT POLE (LP)		
	POWER POLE (PP)		



SHEET	PROJECT: DeBEER GRANITE		REV.	DATE:	DESCRIPTION:
	SHEET: INTERMEDIATE ES & PC PLAN		1	01-06-23	ADDRESSED CITY COMMENTS
	LL 153				
	TOWN OF TYRONE				
	DATE: 08/22/22	DRAWN BY: GPH	SCALE: 1" = 30'		DRAWING NO: 220513 - DEBEER GRANITE



GSWCC NO. 09374



PH: (770)-473-9576
george@paramountengineering.com

ACTIVITY SCHEDULE	MONTH	1	2	3	4
1. Installation of Erosion Control Measures					
2. Clearing & Grading Operations					
3. Shed Construction					
4. Grassing-Mulching, Temp. & Perm. Vegetation					
5. Maintenance of Erosion Control Measures					
6. Installation of Water Quality Device					
7. Final landscaping & grassing					

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

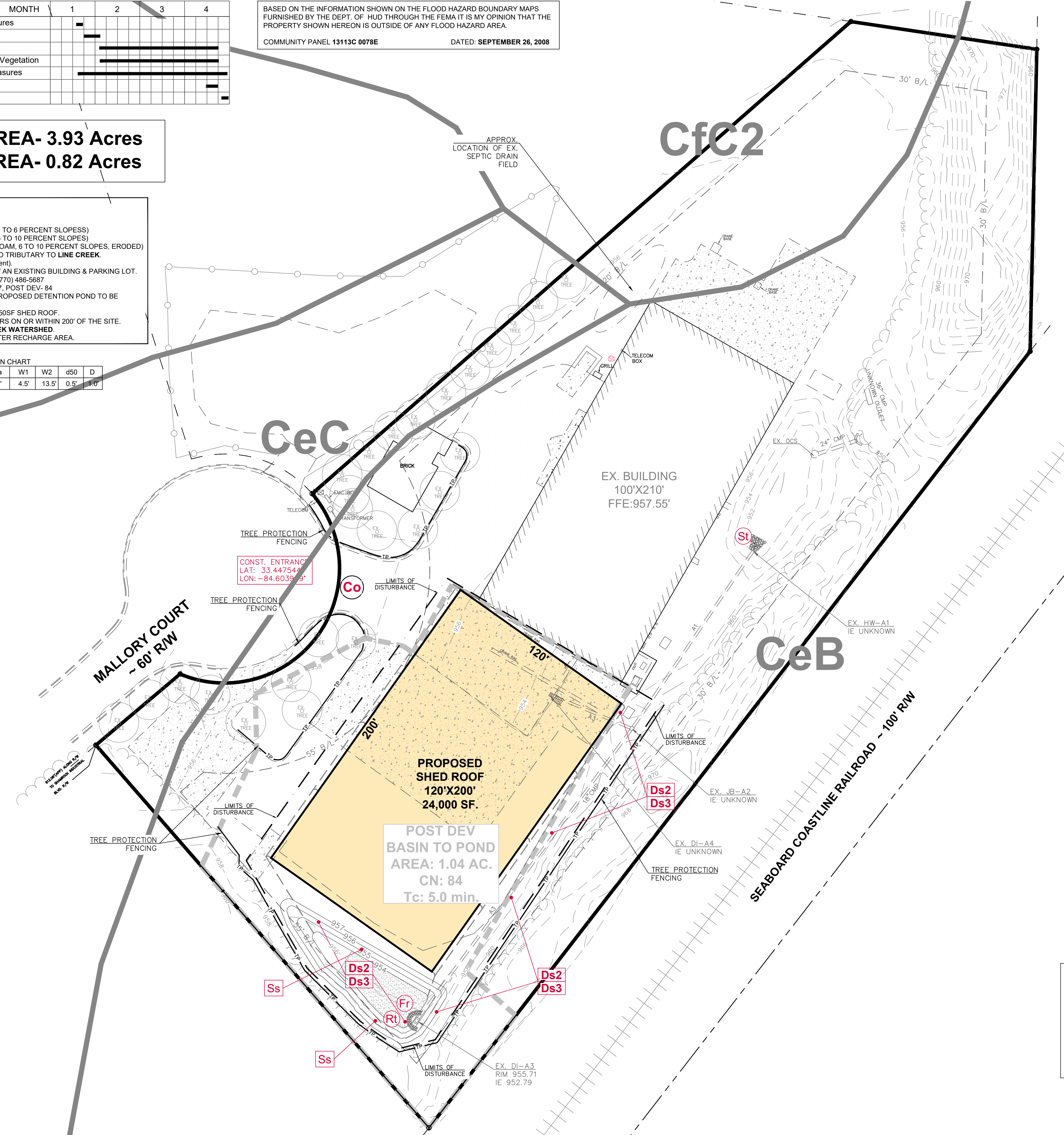
COMMUNITY PANEL 13113C 0078E DATED: SEPTEMBER 26, 2008

TOTAL SITE AREA- 3.93 Acres
DISTURBED AREA- 0.82 Acres

NOTES:

- SOIL TYPES: CcB (CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES)
CcC (CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES)
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EX. HW	18"	5.55	5.96	9'	4.5'	13.5'	0.5'



EROSION CONTROL NOTES:

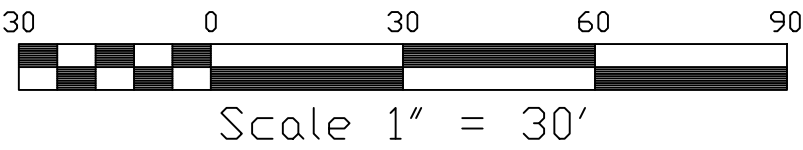
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145 MALLORY CT.
TYRONE, GA. 30290
PH: 770-486-5687
E: SHARON@DEBEERGRANITE.COM

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com

LEGEND			
P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
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I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	EX.
P.L.	PROPERTY LINE	EX. WATER VALVE	EX.
C.M.F.	CONCRETE MONUMENT FOUND	PR. WATER VALVE	PR.
L.L.L.	LAND LOT LINE	WATER METER	WM
B.O.C.	BACK OF CURB	ELECTRIC BOX	EB
E.O.P.	EDGE OF PAVEMENT	FLARED END SECTION	ES
T.W.	TOP OF WALL	SANITARY SEWER LINE	SS
B.W.	BOTTOM OF WALL	WATER LINE	W
D.E.	DRAINAGE EASEMENT	SIGN	S
S	SANITARY SEWER MANHOLE - SA	FENCE	F
J.B.	JUNCTION BOX (JB)	LT-DUTY ASPHALT PAVING	LT
D.W.C.B.	DOUBLE-WING CATCHBASIN (DWCB)	HEAVY-DUTY ASPHALT PAVING	HD
S.W.C.B.	SINGLE-WING CATCHBASIN (SWCB)		
D.I.	DROP INLET (DI)		
H.	HEADWALL		
D.F.	DRAINAGE FLOW		
L.P.	LIGHT POLE (LP)		
P.P.	POWER POLE (PP)		



CAUTION
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

Paramount ENGINEERING, LLC
11 E. BROAD ST.
NEWNAN, GA. 30263
PH: (770)-473-9576
george@paramountengineering.com

REGISTERED PROFESSIONAL ENGINEER
No. 29474
GEORGE P. HARPER III
01/26/23
GSWCC NO. 09374

REV.	DATE:	DESCRIPTION:
1	01-06-23	ADDRESSED CITY COMMENTS

PROJECT: DeBEER GRANITE
SHEET: FINAL ES & PC PLAN
LL 153
TOWN OF TYRONE
DATE: 08/22/22
DRAWN BY: GPH
SCALE: 1" = 30'

SHEET

C7

EROSION AND SEDIMENT CONTROL NOTES:

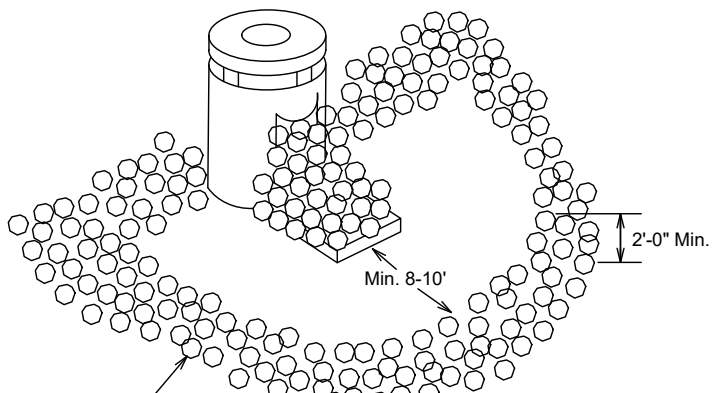
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6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED & RIP RAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. A MINIMUM OF 10 SQUARE YARDS OF 50 POUND STONE SHALL BE PLACED AT ALL DOWNSTREAM HEADWALLS, OR AS SHOWN.
8. SILT FENCE SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT & EROSION FROM LEAVING PROPERTY LIMITS.
9. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER.
10. "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES & PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES & THE INSPECTIONS & REPAIRS WILL BE MADE BY:

NAME: SHARON GRIFFIES- DeBEER GRANITE
ADDRESS: 145 Mallory Ct.
Tyrone, GA. 30290
PHONE (24HR.): (770) 486-5687
EMAIL: sharon@debeergranite.com

11. "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."
12. **THIS PROJECT DOES NOT DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF & WITHIN THE SAME WATERSHED, AS ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT.**
13. 67 CY/AC. SEDIMENT STORAGE ESSENTIALLY HANDLED BY SILT FENCE PLACED ALONG THE TOE OF SLOPES & A RETROFIT ON THE EXISTING POLE AND C.O.S.
14. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO, & DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED.

DUST CONTROL ON DISTURBED AREAS

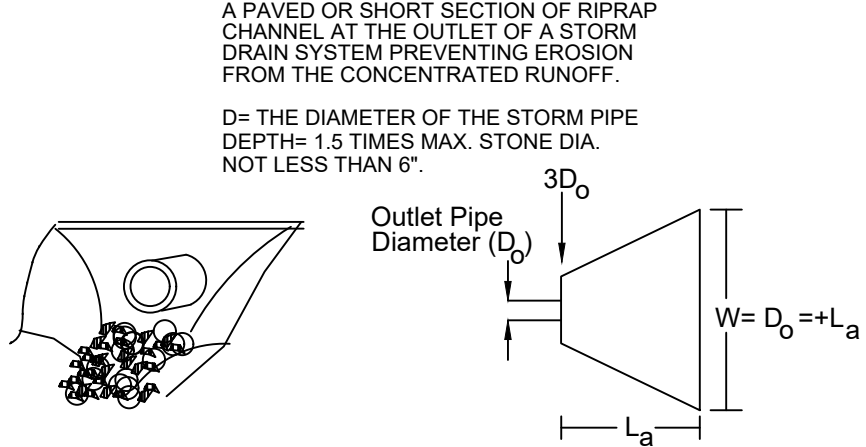
- MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL, OR TERRATACK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
- IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
- COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
- APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.



STONE FILTER RING

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

MATERIAL	RATE	DEPTH
STRAW OR HAY	2.5 TON/ACRES	6"-10"
WOOD WASTE CHIPS, SAWDUST, BARK	6 TO 9 TON/AC	2'-3"
CUTBACK ASPHALT	1200 GAL/AC	---
POLYETHYLENE FILM	SEE MANUFACTURER'S RECOMMENDATION	---
GEOTEXTILE JUTE MATTING	SEE MANUFACTURER'S RECOMMENDATION	---



OUTLET PROTECTION

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
RYEGRASS (ANNUAL)	40 LBS/ACRE	AUGUST - APRIL
MILLET, PEARL	50 LBS/ACRE	APRIL - AUGUST
RYE	168 LBS/ACRE	AUGUST - DECEMBER

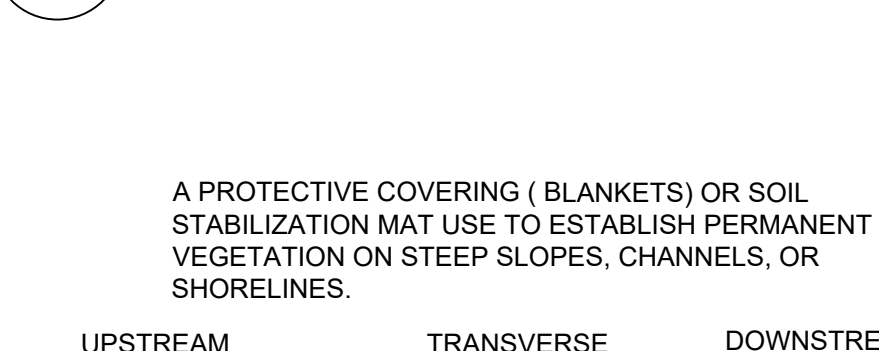
- NOTES:
1. OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
2. AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY LIME AT A RATE DETERMINED BY SOIL TEST FOR pH.
3. MULCHING SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER USING DRY STRAW OR HAY AT A RATE OF 2.5 TONS/ACRE.

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
BERMUDA, COMMON (HULLED)	6-10 LBS/ACRE	MARCH - JUNE
BERMUDA, COMMON (UN-HULLED)	6-10 LBS/ACRE	OCTOBER - FEBRUARY
FESCUE, TALL	30 -50 LBS/ACRE	AUGUST - OCTOBER
LESPEDEZA	60 - 75 LBS/ACRE	MARCH - APRIL
		JANUARY - DECEMBER

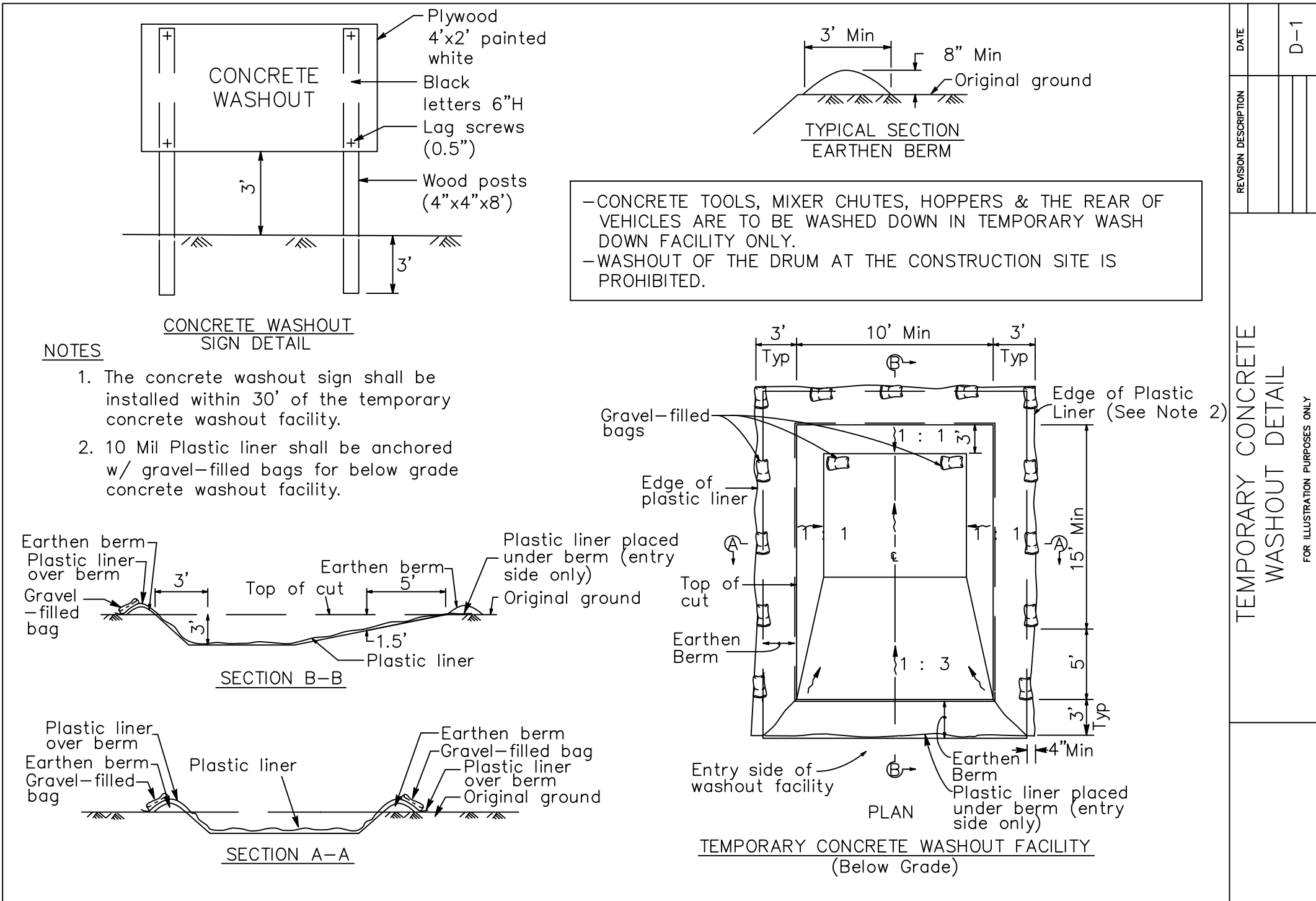
- NOTES:
1. OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
2. MULCHING, LIME AND FERTILIZATION ARE REQUIRED. CONVENTIONAL PLANTING SHALL UTILIZE RECOMMENDED RATES DESCRIBED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
3. HYDRAULIC SEEDING MIXTURES SHALL CONSIST OF APPROPRIATE AMOUNTS OF SEED, MULCH AND FERTILIZER AS DIRECTED BY THE ENGINEER.
4. SPECIES MAY BE MIXED TO OBTAIN OPTIMUM RESULTS.
5. APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1 TO 2 TONS PER ACRE.

Co TEMP. CONSTRUCTION EXIT



Ss -SLOPE STABILIZATION

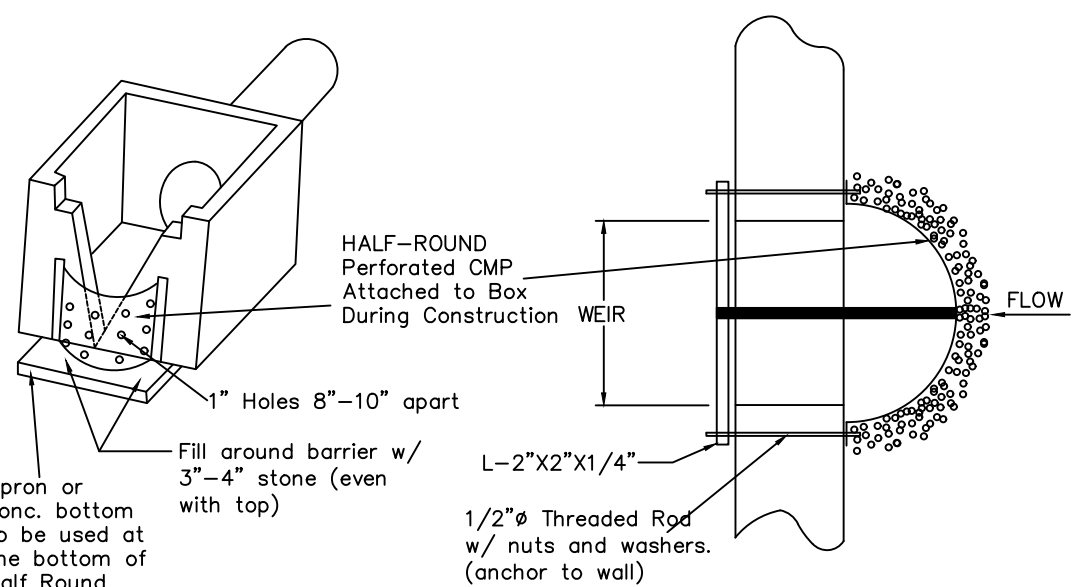
SPECIES	RATES / SPACING		PLANTING DATES			YEARS TO APPLY FERTILIZER	FERTILIZER RATES - POUNDS PER ACRE			
	1000 S.F.	ACRES	MTS. - L'STONE	PIEDMONT	COASTAL		N	P	K	N TOP-DRESSING
MIDLAND OR COMMON BERMUDAGRASS	1 CU. FT.	25-40 CU. FT.	3/15 - 8/1	---	---	FIRST	60 - 90	120 - 180	120 - 180	50 - 100
SPRIG OR SOD PLUGS	3' X 3'	3' X 3'	3/15 - 8/1	---	---	SECOND	48	96	96	50 - 100
HULLED COMMON BERMUDAGRASS	0.25 LB.	8-10 LB.	4/10 - 6/15	4/1 - 6/15	2/15 - 6/15	FIRST	60 - 90	120 - 180	120 - 180	50 - 100
						SECOND	48	96	96	50 - 100
TALL FESCUEGRASS AND CLEAN COMBINE RUN VIRGATA OR SERICEA LESPEDEZA	1 LB.	30-40 LB.	8/1 - 10/15	9/1 - 11/1	9/15 - 11/15	FIRST	60 - 90	120 - 180	120 - 180	0-50 IN SPRING
	1.5 LB.	60-75 LB.				SECOND	0	70 - 100	70 - 100	---



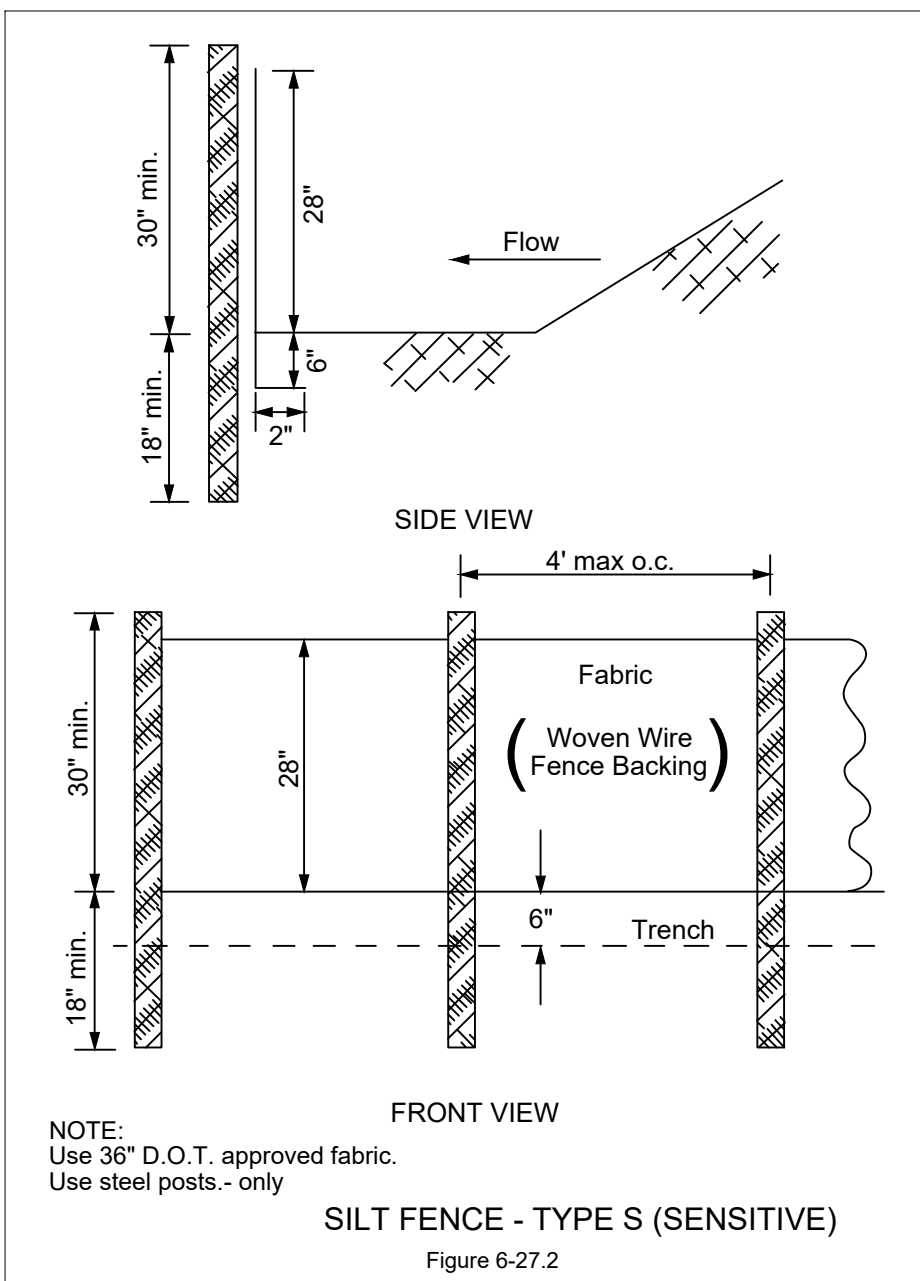
Rt- MAINTENANCE
Retrofit structures shall be kept clear of trash and debris. This will require continuous monitoring and maintenance, which includes sediment removal when one third of the sediment storage capacity has been lost. Structures are temporary and shall be removed when disturbed areas have been permanently stabilized.

RETROFIT CALCULATIONS

TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN
Rt- Storage Calculations
1. Required stormwater storage = 169 cy (as determined by local ordinance)
2. Required sediment storage = 55 cy (67 cy/ac * 0.82 ac disturbed area)
3. Total required storage = (1) + (2) = cy
4. Available storage = 224 cy
5. Is the available storage (4) greater than the total required storage (3)?
X yes no
6. If "no", the sediment storage capacity of the pond must be increased. Choose the method to be used:
N/A Raise the invert of the outlet structure inches
Undercut the pond feet
Other _____
7. Clean-out elevation = 954.00 ft (Elevation corresponding to 22 cy/ac * 0.82 ac disturbed area)
8. Is the length-width ratio 2:1 or greater?
X yes no
9. If "no", the length of flow must be increased. Choose the method to be used:
Baffles (Type of baffle: _____)
Other _____
Note the CMP diameter and height if a half-round CMP retrofit is to be used.
Diameter = 36 inches Height = 3 feet

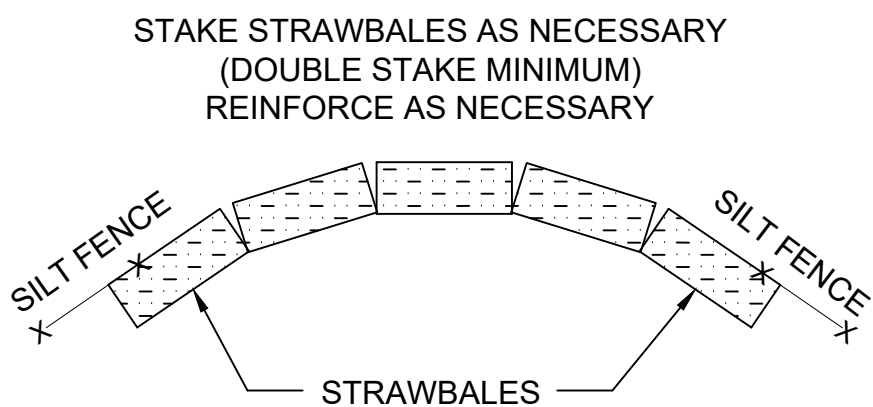


Rt-P RETROFIT



TEMPORARY SEDIMENT BARRIER

Sd1-S



Sd1 SEDIMENT BARRIER WITH STRAWBALES

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST

SWCD: MOUNTAIN DISTRICT - ATLANTA SATELLITE
Project Name: DeBEER GRANITE Address: 145 MALLORY COURT
City/Country: CITY OF TYRONE Date on Plans: 8/22/2022
Name & email of person filling out checklist: George Harper george@paramountengineering.com

TO BE SHOWN ON ES&PC PLAN
1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
(The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed.)
2 Level I certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and level I number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed.)
3 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. *
(A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.)
4 The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.
5 Provide the name, address, email address, and phone number of primary permittee.
6 Note total and disturbed acreages of the project or phase under construction.
7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
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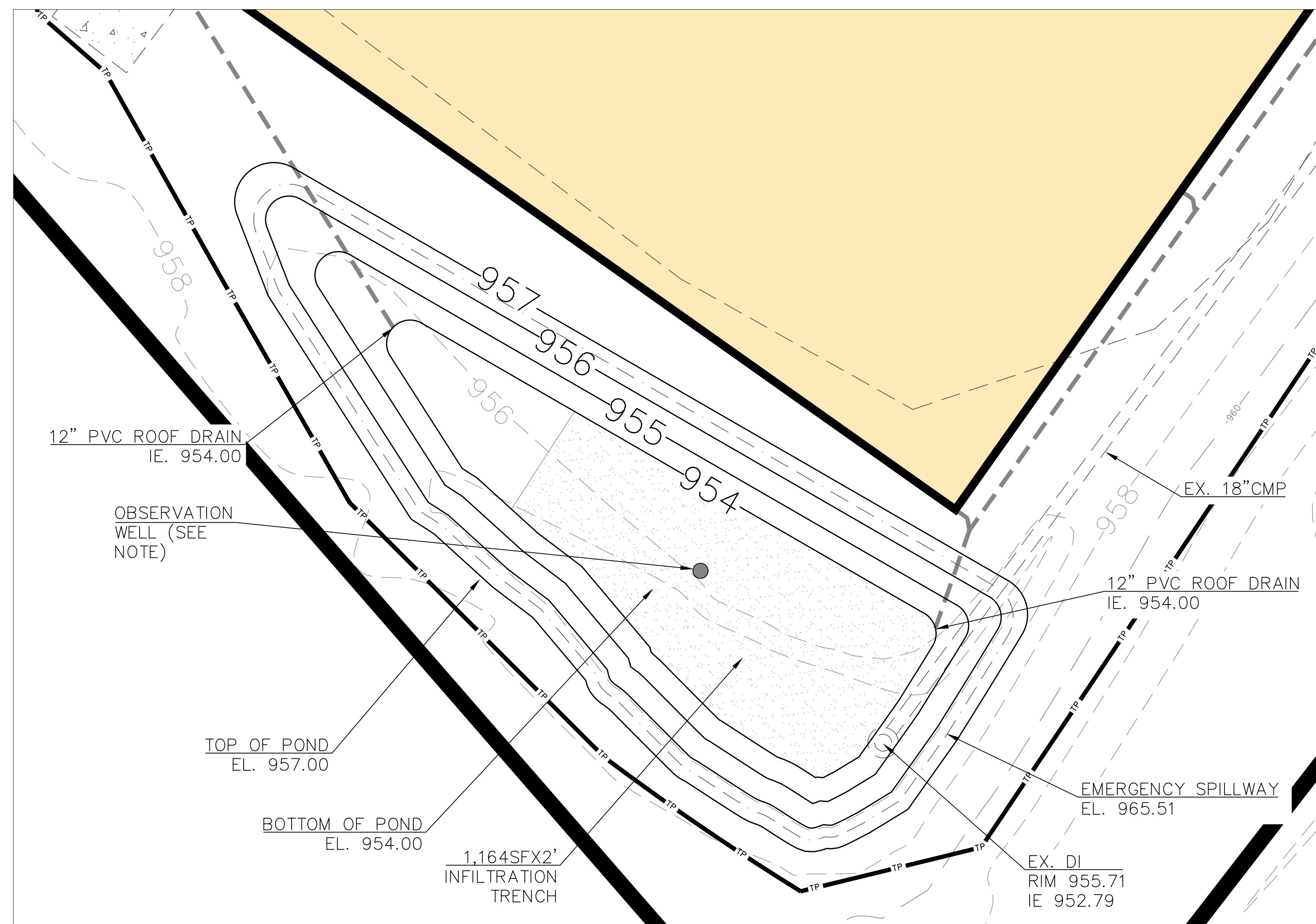
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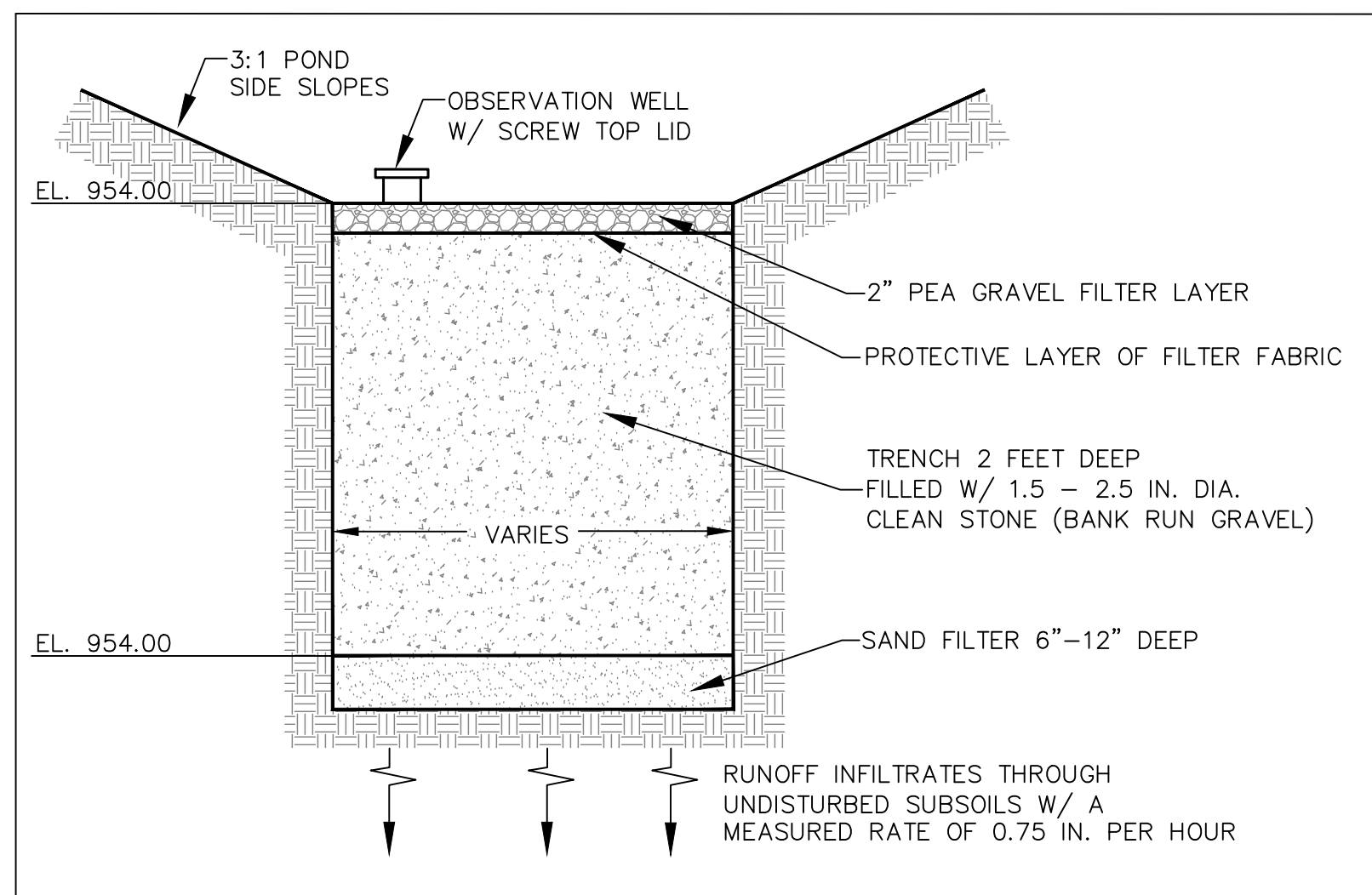
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10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
11 Identify the project receiving water and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.
12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.
13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit.
14 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
15 Clearly note the statement that "Non-survey activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of eroded vegetation or within 25 feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
17 Clearly note the statement that "Any encroachments to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."
18 Clearly note the statement that "Hazardous materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit."
19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
20 Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
22 Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Block Impaired Stream Segment must comply with Part III, C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. *

13 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. *
(A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.)
4 The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.
5 Provide the name, address, email address, and phone number of primary permittee.
6 Note total and disturbed acreages of the project or phase under construction.
7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
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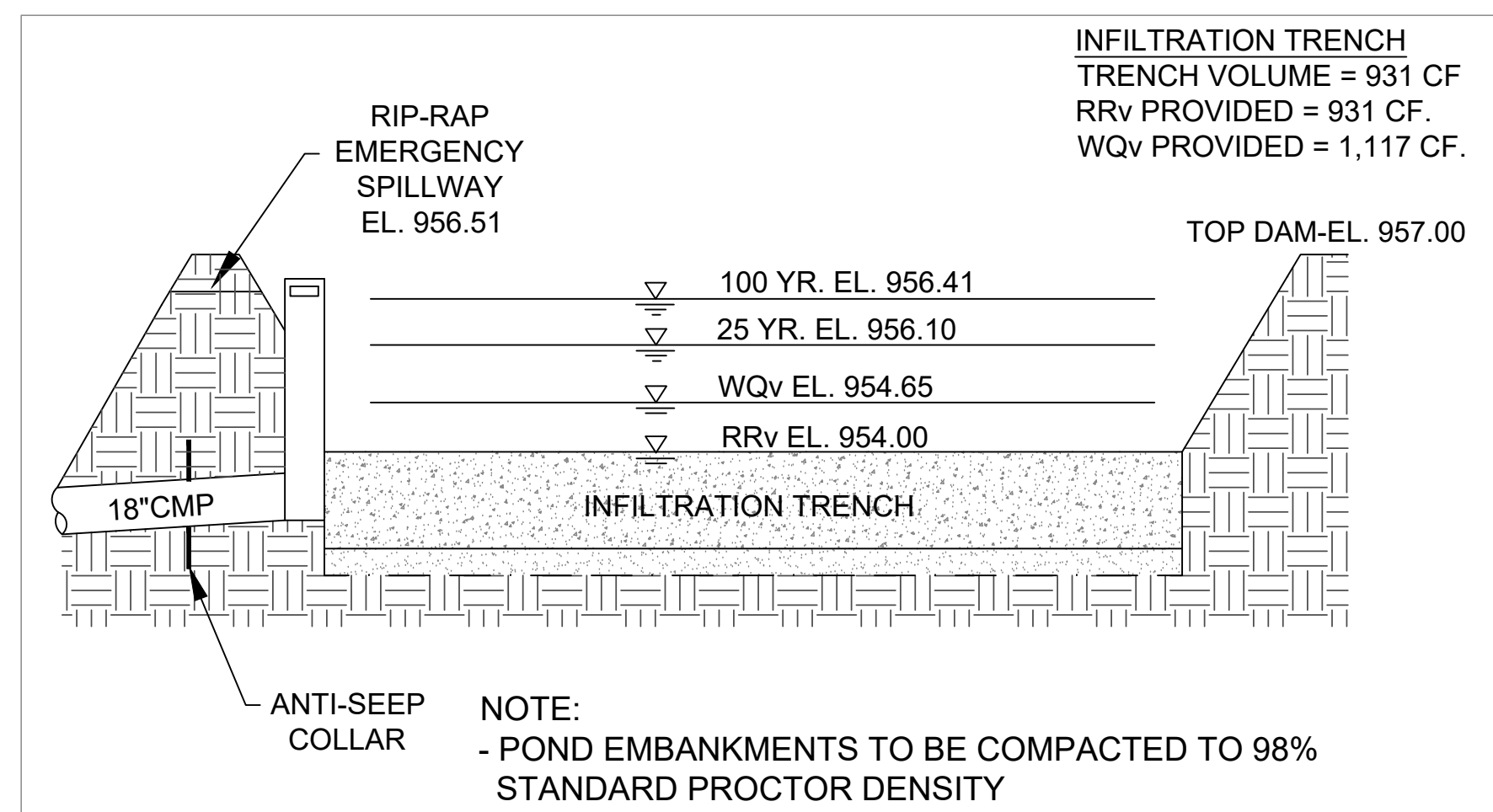
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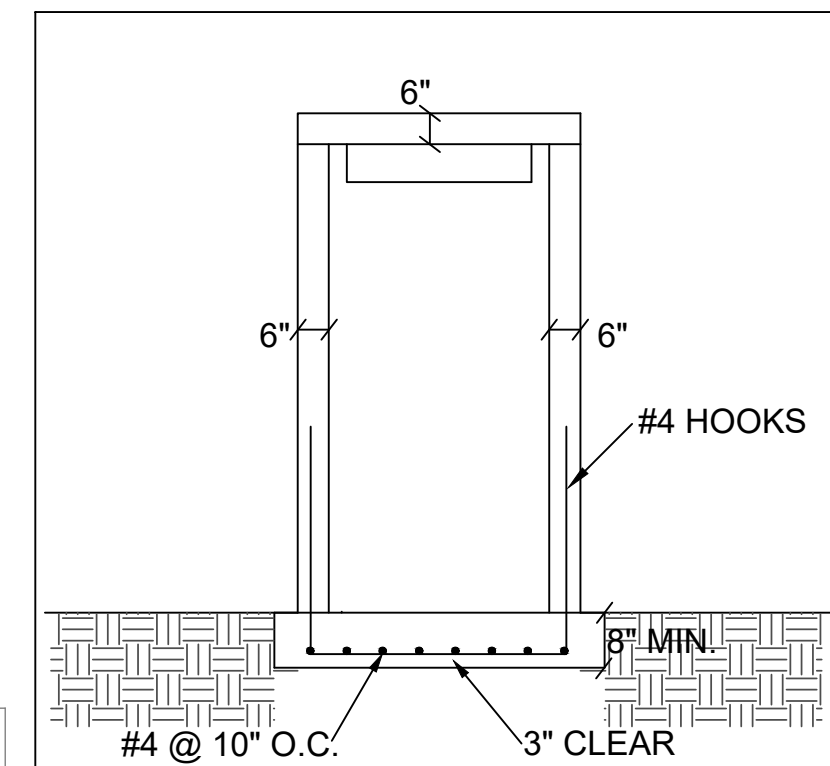
DRY DETENTION POND W/ INFILTRATION TRENCH DETAIL



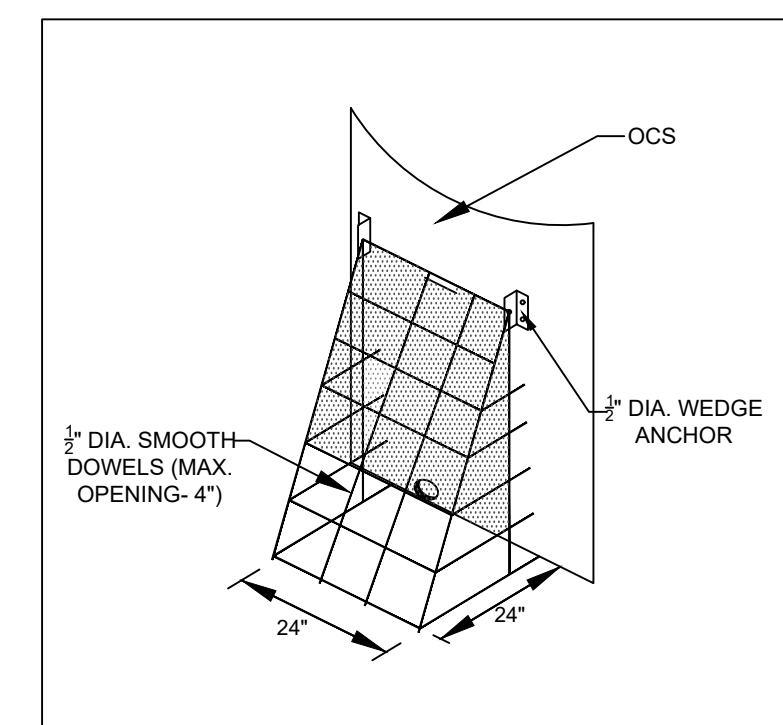
INFILTRATION TRENCH CROSS SECTION
N.T.S.



POND SECTION



TYPICAL OCS DETAIL
(N.T.S.)



PREFABRICATED TRASH RACK DETAIL
(N.T.S.)

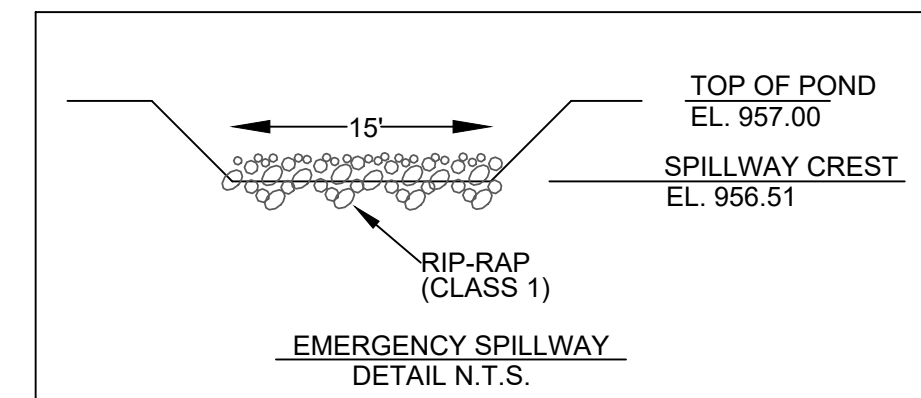
INFILTRATION TRENCH NOTE:
ALL DISTURBED AREAS THAT ARE CONTRIBUTING RUNOFF TO THE POND SHALL BE PERMANENTLY STABILIZED PRIOR TO INFILTRATION TRENCH INSTALLATION.

Typical Maintenance Activities for Stormwater Ponds		
Activity		Schedule
<ul style="list-style-type: none"> Clean and remove debris from inlet and outlet structures. Mow side slopes and pond bottom. 		Monthly
<ul style="list-style-type: none"> Inspect for damage, paying particular attention to the control structure. Remove trash and debris accumulated in the inflow forebay. Check for signs of eutrophic conditions. Note signs of hydrocarbon build-up, and remove appropriately. Monitor for sediment accumulation in the facility and forebay. Examine to ensure that outlet device is free of debris and operational. Check all control gates, valves or other mechanical devices. 		Annual Inspection
<ul style="list-style-type: none"> Repair undercut or eroded areas. 		As Needed
<ul style="list-style-type: none"> Monitor sediment accumulations, and remove sediment when the pool volume has become reduced significantly, or the pond becomes eutrophic. 		10 to 20 years or after 25% of the permanent pool volume has been lost

Typical Maintenance Activities for Infiltration Trench	
Maintenance Activity	Schedule
<ul style="list-style-type: none"> Inspect to ensure that contributing drainage area and infiltration practice are clear of sediment, trash and debris. Remove any accumulated sediment and debris. Ensure that the contributing drainage area is stabilized. Plant replacement vegetation as needed. Check observation well to ensure that infiltration practice is properly dewatering after storm events. 	Monthly
<ul style="list-style-type: none"> Inspect pretreatment devices for sediment accumulation. Remove accumulated sediment, trash and debris. Inspect top layer of filter fabric and pea gravel or landscaping for sediment accumulation. Remove and replace if clogged. Inspect the practice for damage, paying particular attention to inlets, outlets and overflow spillways. Repair or replace any damaged components as needed. Inspect the practice following rainfall events (specifically large rainfall events). Check observation well to ensure that complete drawdown has occurred within 72 hours after the end of a rainfall event. Failure to drawdown within this timeframe may indicate infiltration practice failure. 	(Semi-annually the first year & Annually thereafter)
<ul style="list-style-type: none"> Remove aggregate and install clean, washed trench aggregate It may be necessary to replace piping, filter fabric, etc. 	Upon Failure
<p>REFERENCE: Georgia Stormwater Management Manual 2016 Edition / Volume 2: Technical Handbook</p>	
<p>APPENDIX E: Best Management Practice Operations & Maintenance</p>	
Infiltration Practice	P. 51
Typical Routine Maintenance Activities & Schedule	P. 52
Infiltration Trench Inspection Checklist	P. 53-54

NOTES:

- DURING CONSTRUCTION - LEAVE 6" ORIFICE OPEN AND USE A RETROFIT DEVICE IN FRONT OF THE OUTLET STRUCTURE TO CONTROL SEDIMENT. AFTER THE SITE IS STABILIZED, REMOVE SKIMMER.
- CONTRACTOR TO INSTALL A SEDIMENT CLEANOUT MARKER.
- TCS TRAP/RACK TO BE INSTALLED AFTER THE SITE HAS BEEN STABILIZED AND THE SKIMMER HAS BEEN REMOVED.
- OBSERVATION WELL: SHALL CONSIST OF A 6" PERFORATED PVC (AASHTO M 252) THAT EXTENDS TO THE BOTTOM OF THE TRENCH. IT IS TO BE INSTALLED FLUSH WITH THE SURFACE OF THE INFILTRATION PRACTICE. A VISIBLE FLOATING MARKER SHOULD BE PROVIDED WITHIN THE WELL AND THE TOP OF THE WELL SHOULD BE CAPPED AND LOCKED.

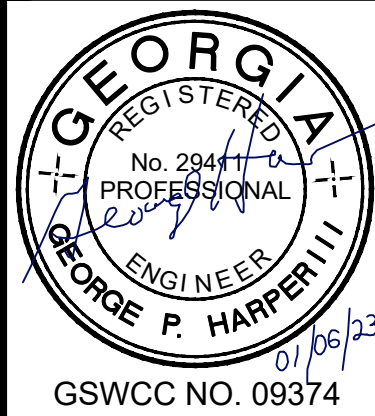


CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com



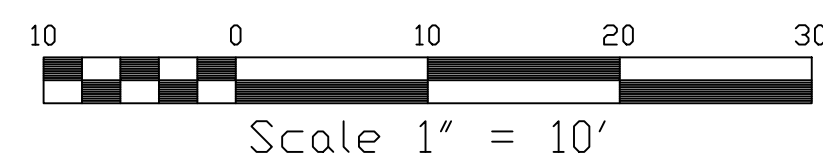
REV.	DATE:	DESCRIPTION:
1	01-06-23	ADDRESSED CITY COMMENTS

DRAWING NO: 220513 - DEBEER GRANITE

PROJECT: DeBEER GRANITE	
SHEET: DET. POND/ INFIL. TRENCH PLAN & DETAILS	
LLL 153	7TH DISTRICT TOWN OF TYRONE
DATE: 08/22/22	DRAWN BY: GPH SCALE: 1" = 10'

SHEET

C9



Primary Permittee	Operator	Qualified Personnel
OWNER/DEVELOPER: DEBEER GRANITE SHARON GRIFFIES 145 MALLORY CT. TYRONE, GA. 30290 PH: 770-486-5687 E: SHARON@DEBEERGRANITE.COM	CONTRACTOR: 24 Hour Contact: SHARON GRIFFIES PH: 770-486-5687	CIVIL ENGINEER (NPDES): PARAMOUNT ENGINEERING, LLC. 11 E. BROAD ST. NEWNAN, GEORGIA 30263 (770)-473-9576
Description of Existing Land Use: Site Purpose and Construction Activity: INDUSTRIAL MANUFACTURING FACILITY Site Description and Location: LOCATION: LANDLOT 153, 7th DISTRICT, CITY OF TYRONE, FAYETTE COUNTY, GEORGIA SITE AREA: 3.93 ACRES TOTAL AREA OF DISTURBANCE: 0.82 ACRES SOIL TYPES: CeB (CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES) CcC (CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES) CfC2 (CECIL SANDY CLAY LOAM, 6 TO 10 PERCENT SLOPES, ERODED) Wetlands: THERE ARE NO WETLANDS ON OR WITHIN 200' OF THE SITE. Receiving Waters UNNAMED TRIBUTARY TO LINE CREEK. State Waters THERE ARE NO BUFFERED STATE WATERS ON OR WITHIN 200' OF THE SITE. Drainage Description Please refer to the grading plan, prepared by PARAMOUNT ENG. for more specific information concerning proposed drainage patterns & slopes, & stormwater discharge locations. Slopes After Grading Maximum Slope is 2:1 Erosion Control Measures Structural & nonstructural controls will be used onsite to prevent erosion during construction including temporary & permanent grassing, storm drain outlet protection, silt fencing, & a retrofit on the existing detention pond OCS. NTU Value An NTU value of 50 was selected from Appendix B based on the site size and the surface water drainage area.		

1. Site Description
The proposed site will be used for an shed roof over an outdoor storage area.

Approximately 0.82 acres of disturbed land will be utilized for this development. Silt fencing as well as a retrofit on the existing pond OCS will be the main component of erosion control measures. However numerous structural and nonstructural controls will be implemented throughout the site. Temporary vegetation as well as permanent vegetation will be strongly utilized and are essential for the development of this complex.

2. Controls

- The following controls will be implemented at the construction site:
- 1. Initial perimeter controls will include silt fencing, a retrofit on the existing pond OCS & a crushed stone pad to be used at the construction exit.
 - 2. Intermediate grading & drainage BMP's will include inlet & outlet protection, silt fencing, a retrofit on the OCS & temporary grassing.
 - 3. Final BMP's will include permanent grassing, & landscaping.
 - 4. Post Construction: A stormwater detention pond/ infiltration trench will be installed to control pollutants in storm water after construction operations have been completed. This facility will control runoff's to at or below pre developed rates. Also, the use of a rip-rap apron at the pond outfall will reduce velocities to non-erosive rates.

Stabilization measures will be initiated as soon as practical in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site that has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover or other adverse weather conditions, stabilization measures shall be initiated as soon as practical. Where construction activity will resume on a portion of the site within 21 days from when activities ceased, (i.e., the total time period that construction activity is temporarily ceased is less than 21 days) then stabilization measures do not have to be initiated on that portion of the site by the 14h day after construction activity temporarily ceased.

- Other Controls
- 1. Waste disposal. Solid materials, including building materials, will not be discharged to waters of the state, except as authorized by a Section 404 permit.
 - 2. Off-site vehicle tracking of dirt, solids, and sediments and the generation of dust will be minimized or eliminated to the maximum extent practical. A construction exit consisting of a crushed stone pad to minimize off-site vehicle tracking of dirt.
 - 3. The permittee may use any approved facility for waste disposal that he chooses.
 - 4. Petroleum Spills and Leaks
- SPILL CLEANUP AND CONTROL PRACTICES

- 1. Local, state and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
- 2. Materials and equipment necessary for spill cleanup shall be kept in material storage area onsite. (typical materials and equipment includes, but is not limited to, brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust and properly labeled plastic and metal waste containers).
- 3. Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
- 4. All spills shall be cleaned up immediately after discovery. spills of toxic or hazardous material shall be reported to the appropriate federal, state, or local government agency, regardless of the size.
- 5. The spill prevention plan shall be adjusted to include measures to prevent spills from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the clean up measures shall also be included. The site superintendent responsible for the day-to-day operations shall be the spill prevention and cleanup coordinator.
- 6. For spills that impact surface water (leave a sheen on surface water), the National Response Center (NRC) will be contacted within 24 hours at1-800-424-8802.
- 7. For spills of an unknown amount, the National Response Center (NRC) will be contacted with 24 hours at 1-800-424-8802.
- 8. For spills greater than 25 gallons and no surface water impacts, the Georgia EPD will be contacted within 24 hours.
- 9. For spills less than 25 gallons and no surface water impacts, the spill will be cleaned up and local agencies will be contacted as required.

- 4. Inspections**
- a. Permittee requirements.
- (1). Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted.
 - (2). Measure and record rainfall within disturbed areas of the site that have not met final stabilization once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The data collected for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
 - (3). Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4). These inspections must be conducted until a Notice of Termination is submitted.
 - (4). Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is received by EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).
 - (5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.
 - (6). A report of each inspection that includes the name(s) of personnel making each inspection, the date(s) of each inspection, major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(4). A copy of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall identify any incidents of non-compliance. Where the report does not identify any incidents of non-compliance, the report shall contain a certification that the construction site is in compliance with the Erosion, Sedimentation and Pollution Control Plan and this permit. The report shall be signed in accordance with Part V.G.2. of this permit.

- 5. Maintenance**
- a. Inspections of erosion control measures will be performed and corrective action taken when needed as required by the plan.
 - b. The permittee shall maintain all erosion control measures until permanent vegetation has been established.
 - c. The permittee shall clean out all sediment ponds when required by the engineer.
 - d. Accumulated silt shall be removed when the silt is two-thirds full. See sediment pond design for clean-out elevations of ponds.
- 6. Sampling Requirements**
- This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit. This paragraph shall not apply to any land disturbance associated with the construction of single-family homes which are not part of a subdivision or planned common development unless five (5) acres or more will be disturbed. The following procedures constitute EPD's guidelines for sampling turbidity.

- a. Sampling Requirements shall include the following:
- (1) A USGS topographic map, a topographic map or a drawing (referred to as a topographic map) that is a scale equal to or more detailed than a 1:24000 map showing the location of the site or the stand alone construction; (a) the location of all perennial and intermittent streams and other water bodies as shown on a USGS topographic map, and all other perennial and intermittent streams and other water bodies located during mandatory field verification, into which the storm water is discharged and (b) the receiving water and/or outfall sampling locations. When the permittee has chosen to use a USGS topographic map and the receiving water(s) is not shown on the USGS topographic map, the location of the receiving water(s) must be hand-drawn on the USGS topographic map from where the storm water(s) enters the receiving water(s) to the point where the receiving water(s) combines with the first blue line stream shown on the USGS topographic map;
 - (2). A written narrative of site specific analytical methods used to collect, handle and analyze the samples including quality control/quality assurance procedures. This narrative must include precise sampling methodology for each sampling location;
 - (3) . When the permittee has determined that some or all outfalls will be sampled, a rationale must be included on the Plan for the NTU limit(s) selected from Appendix B. This rationale must include the size of the construction site, the calculation of the size of the surface water drainage area, and the type of receiving water(s) (i.e., trout stream or supporting warm water fisheries) ; and
 - (4). Any additional information EPD determines necessary to be part of the Plan. EPD will provide written notice to the permittee of the information necessary and the time line for submittal.

- b. Sample Type. All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001" and guidance documents that may be prepared by the EPD.
- (1). Sample containers should be labeled prior to collecting the samples.
 - (2). Samples should be well mixed before transferring to a secondary container.
 - (3). Large mouth, well cleaned and rinsed glass or plastic jars should be used for collecting samples. The jars should be cleaned thoroughly to avoid contamination.
 - (4). Manual, automatic or rising stage sampling may be utilized. Samples required by this permit should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed directly with a properly calibrated turbidimeter. Samples are not required to be cooled.
 - (5). Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IV.E.

- c. Sampling Points.
- (1). For construction activities the primary permittee must sample all receiving water(s), or all outfall(s), or a combination of receiving water(s) and outfall(s). Samples taken for the purpose of compliance with this permit shall be representative of the monitored activity and representative of the water quality of the receiving water(s) and/or the storm water outfalls using the following minimum guidelines:
 - (a). The upstream sample for each receiving water(s) must be taken immediately upstream of the confluence of the first storm water discharge from the permitted activity (i.e., the discharge farthest upstream at the site) but downstream of any other storm water discharges not associated with the permitted activity. Where appropriate, several upstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the upstream turbidity value.
 - (b). The downstream sample for each receiving water(s) must be taken downstream of the confluence of the last storm water discharge from the permitted activity (i.e., the discharge farthest downstream at the site) but upstream of any other storm water discharge not associated with the permitted activity. Where appropriate, several downstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the downstream turbidity value.
 - (c). Ideally the samples should be taken from the horizontal and vertical center of the receiving water(s) or the storm water outfall channel(s).
 - (d). Care should be taken to avoid stirring the bottom sediments in the receiving water(s) or in the outfall storm water channel.
 - (e). The sampling container should be held so that the opening faces upstream.
 - (f). The samples should be kept free from floating debris.
 - (g). Permittee's do not have to sample sheet-flow that flows onto undisturbed natural areas or areas stabilized by the project. For purposes of this section, stabilized shall mean, for unpaved areas and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPO for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas), or equivalent permanent stabilization measures as defined in the Manual (excluding a crop of annual vegetation and a seeding of target crop perennials appropriate for the region) .
 - (h). All sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations, timing, and frequency) as to accurately reflect whether storm water runoff from the construction site is in compliance with the standard set forth in Parts 111.D.3. or 111.D.4 . . . , whichever is applicable.

- d. Sampling Frequency.
- (1). The primary permittee must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any storm water discharge to a monitored receiving water and/or from a monitored outfall location within in forty-five (45) minutes or as soon as possible.
 - (2) . However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittee's control, the permittee shall take samples as soon as possible, but in no case more than twelve (12) hours after the beginning of the storm water discharge.
 - (3). Sampling by the permittee shall occur for the following qualifying events:
 - (a). For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;
 - (b). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a NOT, in the drainage area of the location selected as the sampling location, whichever comes first;
 - (c). At the time of sampling performed pursuant to (a) and (b) above, if BMP's in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours* until the selected turbidity standard is attained, or until post-storm event inspections determine that BMP's are properly designed, installed and maintained;
 - (d). Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the permittee, in accordance with Part IV.D.4.a.(6), must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and
 - (e). Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (a) above shall sample in accordance with (b) . Those existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.

- *Note that the permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.
- 7. Non-storm water discharges**

Except for flows from fire fighting activities, sources of non-storm water listed in Part 111.A.2. of this permit that are combined with storm water discharges associated with construction activity must be identified in the Plan. The Plan shall identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.

E. Reporting

- 1. The applicable permittee's are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.
- 2. All sampling reports shall include the following information:
 - a. The rainfall amount, date, exact place and time of sampling or measurements;
 - b. The name(s) of the certified personnel who performed the sampling and measurements;
 - c. The date(s) analyses were performed;
 - d. The time(s) analyses were initiated;
 - e. The name(s) of the certified personnel who performed the analyses;
 - f. References and written procedures, when available, for the analytical techniques or methods used;
 - g. The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine these results;
 - h. Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and
 - i. Certification statement that sampling was conducted as per the Plan.
- 3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The permittee shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI. If an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a paper copy must also be submitted by return receipt certified mail or similar service.

Submit sampling reports for this project to:

Address: Mountain District - Atlanta Satellite
Georgia Environmental Protection Division
4244 International Parkway, Suite 114
Atlanta, Georgia 30354-3906
(404) 362-2671

F. Retention of Records

- 1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
 - a. A copy of all Notices of Intent submitted to EPD;
 - b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
 - c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5 of this permit;
 - d. A copy of all sampling information, results, and reports required by this permit;
 - e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
 - f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of this permit; and
 - g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.
- 2. Copies of all Notices of Intent, Notices of Termination , inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI. of this permit. These records must be maintained at the permittee's primary place of business or at a designated alternative location once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

8. Plan Preparation and Compliance

IV.A(5) For stand alone projects that begin construction activity after the effective date of this permit, the primary permittee must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, except when the primary permittee has requested in writing and EPD has agreed to an alternate design professional, to inspect the installation of the initial sediment storage requirements and perimeter control BMP's which the design professional designed within seven (7) days after installation. The design professional shall determine if these BMP's have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the primary permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is required.

Certification

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

George P. Harper, PE. 08/22/22
GEORGE P. HARPER, PE. DATE

Certification

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the Georgia Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100001."

George P. Harper 08/22/22
Georgia Licensed Professional Date

Certification

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Primary Permittee Date

Product Specific Practices

Petroleum Based Products -Containers for products such as fuels, lubricants, and tars will be inspected daily for leaks and spills. This includes onsite vehicles and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from State Waters, natural drains, and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination. Discharge of oils, fuels, and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations.

Paints/Finishes/Solvents -All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products, and product containers will be disposed of according to manufacturer's specifications and recommendations.

Concrete Truck Washing -NO concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.

Fertilizer/Herbicides -These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the GSWCC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers.

Building Materials -No building or construction materials will be buried or disposed of onsite. All such material will be disposed of in proper waste disposal procedures.

Hazardous Wastes

All hazardous waste materials will be disposed of in the manner specified by local, state, and/or federal regulations and by the manufacturer of such products. The job site superintendent, who will also be responsible for seeing that these practices are followed, will instruct site personnel in these practices. Material Safety Data Sheets (MSDS's) for each substance with hazardous properties that is used on the job site will be obtained and used for the proper management of potential wastes that may result from these products. An MSDS will be posted in the immediate area where such product is stored and/or used and another copy of each MSDS will be maintained in the ESPCP file at the job site construction trailer office. Each employee who must handle a substance with hazardous properties will be instructed on the use of MSDS sheets and the specific information in the applicable MSDS for the product he/she is using, particularly regarding spill control techniques.

The contractor will implement the Spill Prevention Control and Countermeasures (SPCC) Plan found within this ESPCP and will train all personnel in the proper cleanup and handling of spilled materials. No spilled hazardous materials or hazardous wastes will be allowed to come in contact with stormwater discharges. If such contact occurs, the stormwater discharge will be contained on site until appropriate measures in compliance with state and federal regulations are taken to dispose of such contaminated stormwater. It shall be the responsibility of the job site superintendent to properly train all personnel in the use of the SPCC plan.

Sanitary Wastes

A minimum of one portable sanitary unit will be provided for every ten (10) workers on the site. All sanitary waste will be collected from the portable units a minimum of one time per week by a licensed portable facility provider in complete compliance with local and state regulations.

All sanitary waste units will be located in one area where the likelihood of the unit contributing to storm water discharge is negligible. Additional containment BMP's must be implemented, such as gravel bags or specially designed plastic skid containers around the base to prevent wastes from contributing to storm water discharges. The location of sanitary waste units must be identified on the ES&PC Plan by the contractor once the locations have been determined.

Sanitary Sewer will be provided by Municipal Authority at the completion of this Project.

Storm Water Pollution

The main source of storm water pollution during construction will be sediment washing from the site. BMP's installed on site will provide control and treatment of the sediment. The main source of storm water pollution after construction will be oil & grease washing from the parking lot. Grassed areas (filter strips) will be the main source of treatment.

PROJECT: DeBEER GRANITE		REV.		DATE:		DESCRIPTION:	
SHEET: NPDES NOTES		1		01-06-23		ADDRESSED CITY COMMENTS	
LL 153		7TH DISTRICT		TOWN OF TYRONE		DRAWING NO: 220513 - DEBEER GRANITE	
DATE: 08/22/22		DRAWN BY: GPH		SCALE: NTS			
SHEET							
C10							

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REGISTERED
No. 2347
PROFESSIONAL
ENGINEER
GEORGE P. HARPER III
01/26/23

GSWCC NO. 09374