

APPLICATION NO.	PLANNING COMMISSION DATE	TOWN COUNCIL DATE
23TYR-CA0001	N/A	1/04/2024

STAFF REPORT

CERTIFICATE OF

APPROPRIATENESS

ADDRESS	OWNER	PARCEL NO.	EX. ZONING	PROPOSED ZONING	FUTURE LAND USE	SURROUNDING ZONING	SITE IMPROVEMENTS	ACREAGE
1400 Senoia Road	74-South LLC	072604009	C-2	N/A	Commercial Corridor	North: C-1 South: C-1 & C-2 East: OI West: SR-74 & M-2	N/A	9.45 ac

SUMMARY & HISTORY

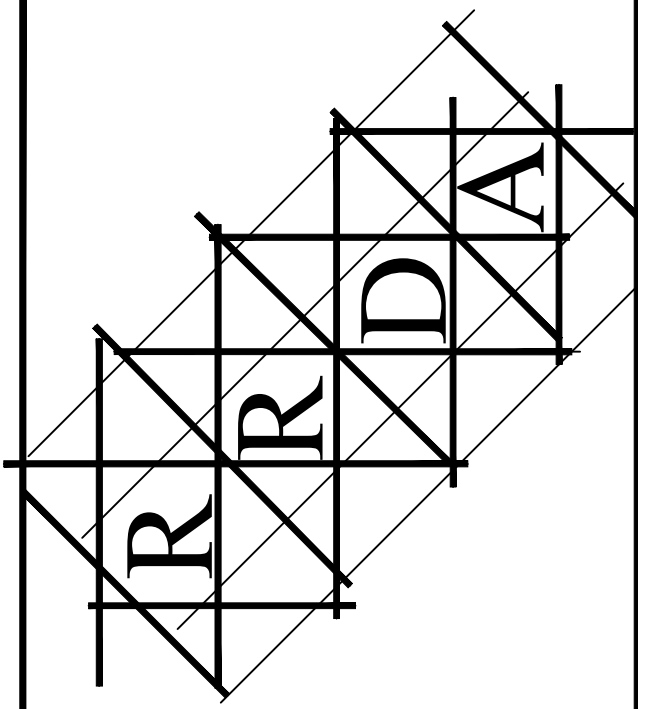
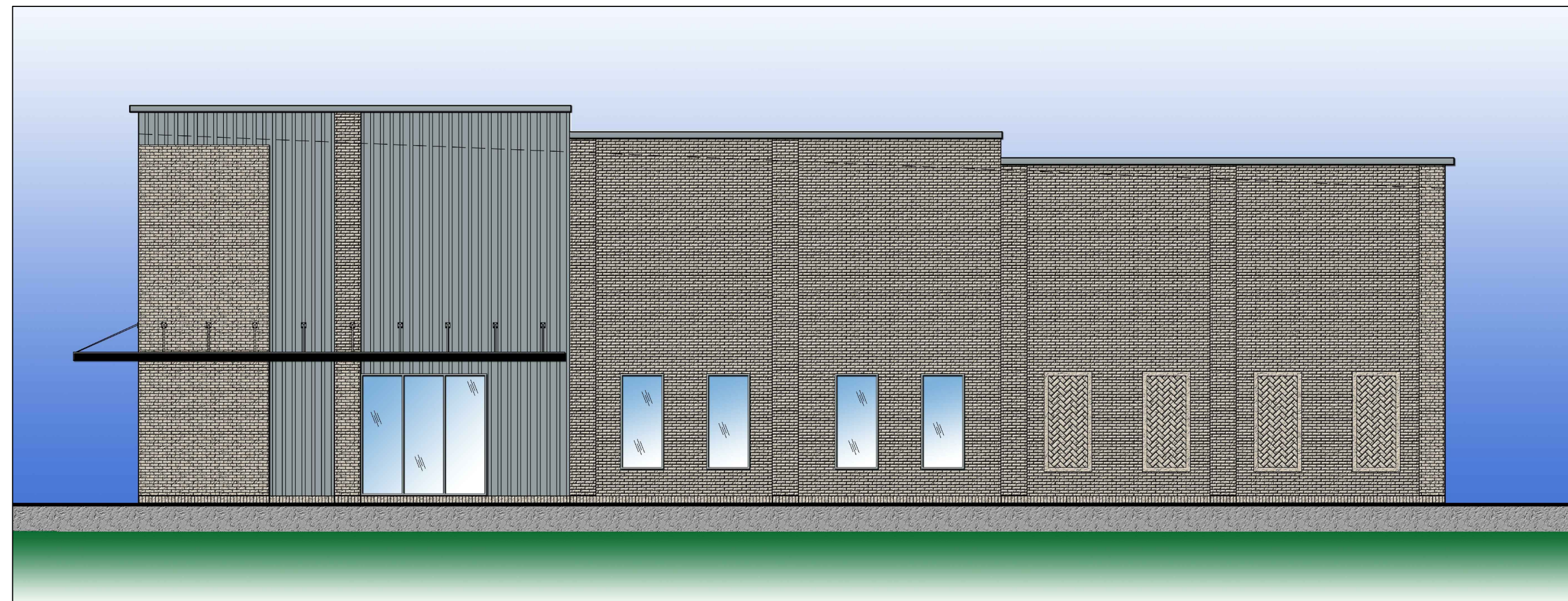
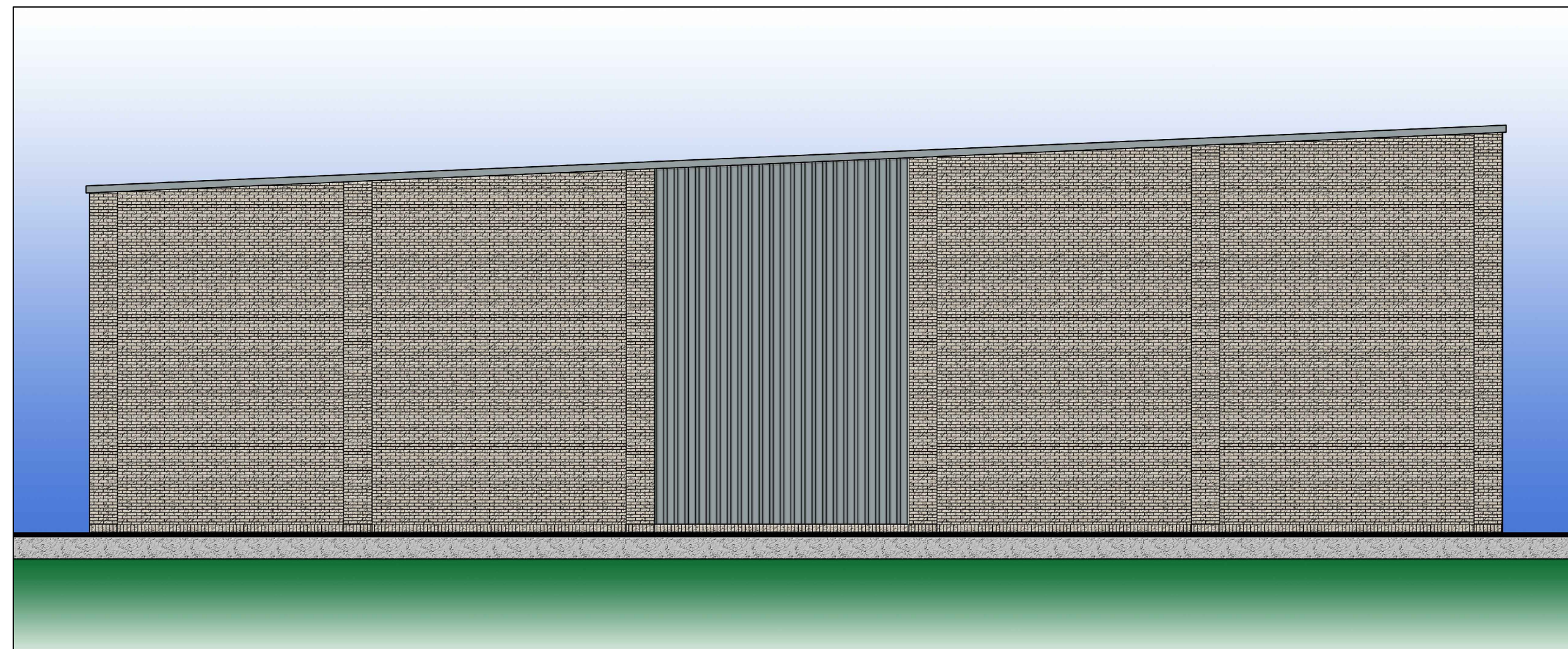
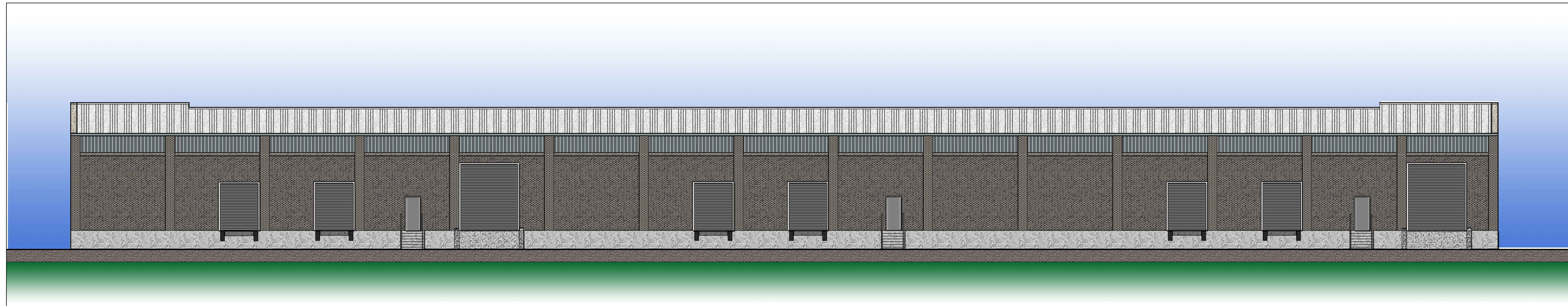
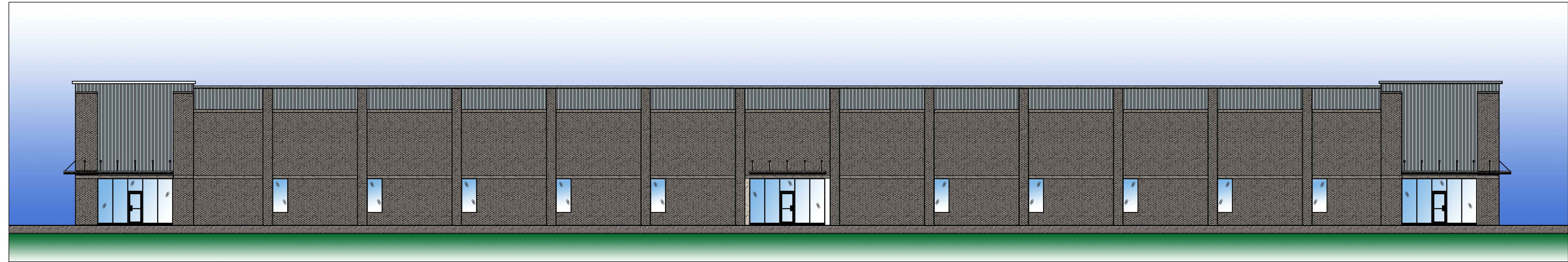
The applicant 74-South LLC has submitted an application for a certificate of appropriateness for 1400 Senoia Road to construct a 30,000 square foot Highway-Commercial flex building. This property began the application process prior to the revision of the SR-74 overlay and therefore the entire first building is required to meet the architectural requirements at that time. The other buildings on site would not have been required to meet the architectural requirements per the previous version of the ordinance. Those standards required buildings fronting SR-74 to be 80% brick, glass, or stone with no long flat walls providing visual relief every 20 feet.

Upon staff’s review of the proposed landscape plan, site plan, and architectural renderings, the property appears to meet all of the SR-74 Overlay Standards as written at the time of initial submission of their application. Staff recommends approval of this certificate of appropriateness with the condition that any remaining Technical Review Committee (TRC) comments be resolved.

COMPREHENSIVE PLAN & FUTURE DEVELOPMENT MAP COMPATABILITY

This petition is consistent with the Town’s comprehensive plan and future development map. The Future Land Use designation for this property is Commercial Corridor which encourages high-quality architectural buildings in commercial zoning classifications with special attention placed on limiting ingress/egress from SR-74.





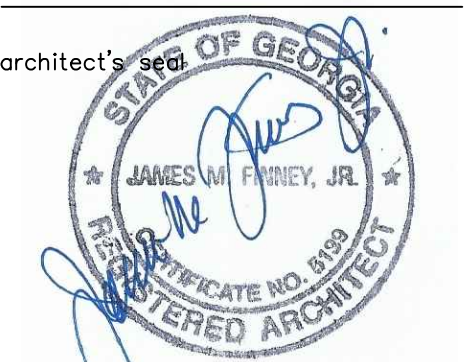
ROSE & REID DESIGN ASSOCIATES
404 STURDIVANT COURT
PEACHTREE CITY, GEORGIA
PHONE: 770-653-7732

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issue date\revisions

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A New Building at
TYRONE
BUSINESS PARK
1400 SENOIA ROAD, BUILDING 100
TYRONE, GEORGIA 30290



project name

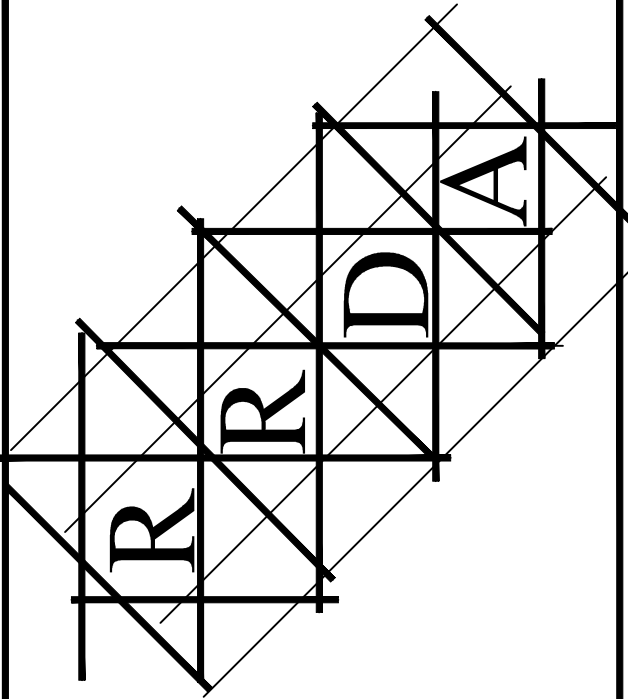
A NEW BUILDING AT
TYRONE
BUSINESS PARK
for
GOODMAN CONSTRUCTION,
INC.

sheet title

COLOR
RENDERINGS

drawn
JMF
checked
JMF
project no.
RRDA-22-030
date
02/25/2023

A-0
sheet no.



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A New Building at
SENOIA ROAD
BUSINESS PARK
SENOIA ROAD
TYRONE, GEORGIA 30233



project name

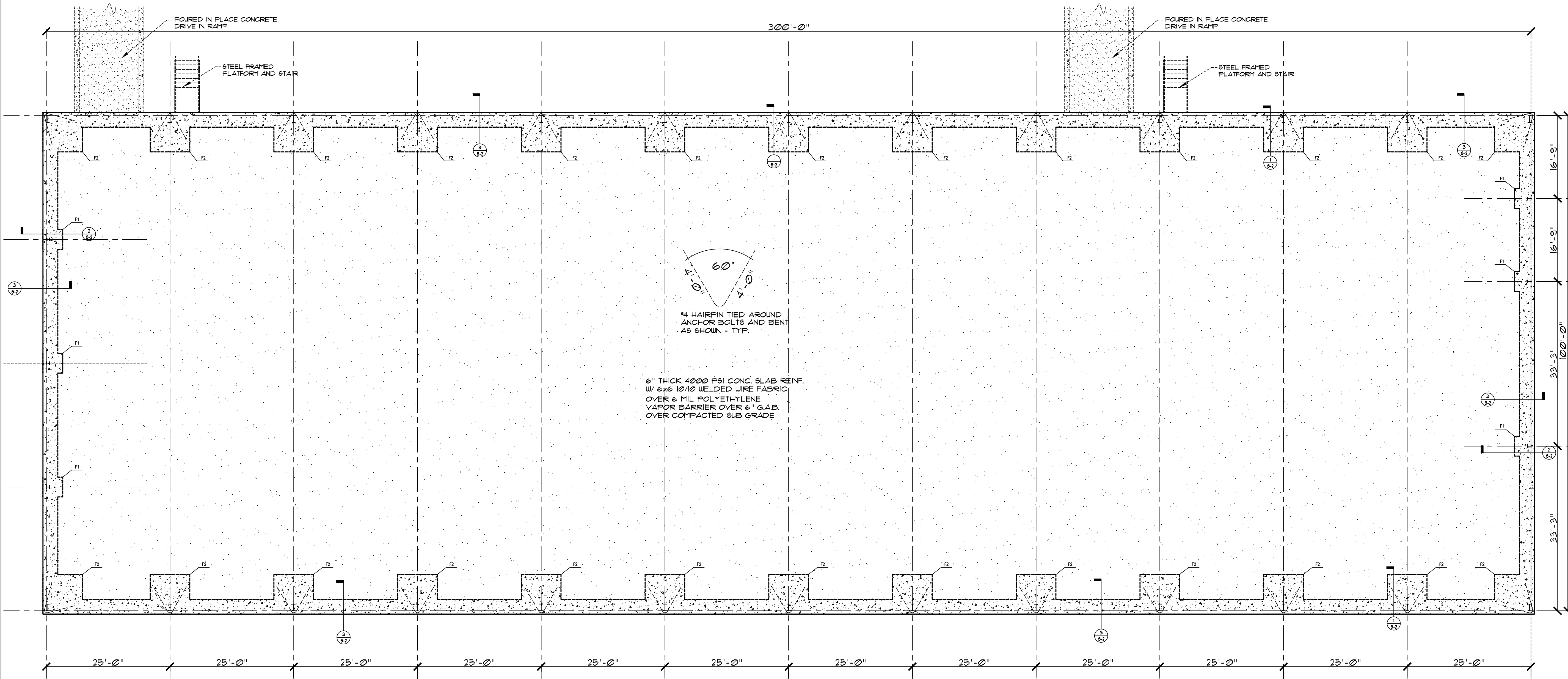
A NEW BUILDING AT
SENOIA ROAD
BUSINESS PARK
for
GOODMAN CONSTRUCTION,
INC.

sheet title

FOUNDATION
PLAN

drawn
JMF
checked
JMF
project no.
RRDA-22-030
date
02/25/2023

S-1
sheet no.



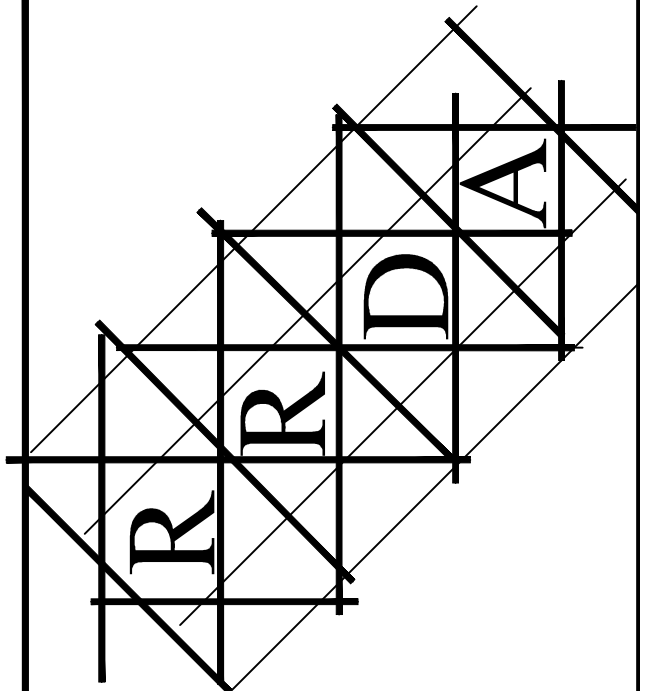
FOUNDATION PLAN NOTES:

- SEE SHEET S-2 FOR GENERAL NOTES AND TYPICAL DETAILS.
- SUBBASE TO CONSIST OF A MINIMUM 6" THICK COARSE AGGREGATE COMPACTED BASE COURSE, UNLESS OTHERWISE DIRECTED IN GEOTECHNICAL REPORT (IF AVAILABLE). CONCRETE SLABS-ON-GROUND SHALL BE 6" THICK, REINFORCED WITH 6x6 W2.9xW2.9 WELDED WIRE FABRIC, CHAIRED TO NOT LOWER THAN SLAB MID-HEIGHT. PROVIDE A 6 MIL VAPOR RETARDER DIRECTLY BENEATH INTERIOR SLABS WHERE MOISTURE-SENSITIVE FLOORING WILL BE APPLIED, OR WHERE OTHERWISE DIRECTED IN GEOTECHNICAL REPORT (IF AVAILABLE).
- PROVIDE NEW TROWEL BLADES FOR CONCRETE FINISHING OF FLOOR SLABS.
- JOINT FILLER SHALL BE PLACED IN CLEAN JOINTS, OVERFILLED, AND SHAVED FLUSH.
- C.J. = SLAB CONTRACTION OR CONSTRUCTION JOINT. SEE DETAILS ON SHEET S-2 FOR APPROPRIATE JOINT CONSTRUCTION.
- INTERIOR SLAB JOINTS SHALL BE AT A MAXIMUM CENTER SPACING OF 20 FEET. EXTERIOR SLAB JOINTS SHALL BE AT A MAXIMUM CENTER SPACING OF 15 FEET.
- CONTRACTOR TO PREPARE SUBGRADE FOR BUILDING PAD PER GEOTECHNICAL ENGINEER'S REPORT AND RECOMMENDATIONS. IN ABSENCE OF GEOTECHNICAL RECOMMENDATIONS, SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY ASTM D1557.
- PROVIDE (3) #4 x 4'-0" AT ALL SLAB RE-ENTRANT CORNERS, WHERE CONTRACTION OR CONSTRUCTION JOINTS ARE DISCONTINUOUS, AND AT SLAB PENETRATIONS SUCH AS DRAINS. REFER TO DETAILS ON SHEET S-2 FOR PROPER PLACEMENT.
- THE DIMENSIONS SHOWN ON THE FOUNDATION PLAN ARE PRELIMINARY AND SHALL BE REVISED ONCE PRE-ENGINEERED METAL BUILDING COMPANY PROVIDES REACTION CALCULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN PRE-ENGINEERED METAL BUILDING COMPANY DRAWINGS AND ARCHITECTURAL DRAWINGS.

FOOTING SCHEDULE

MARK	FOOTING SIZE (LENGTH x WIDTH x THICKNESS)	FOOTING REINFORCING
F1	4'-0" x 4'-0" x 2'-0"	(6) #5 EA. WAY BOTTOM
F2	8'-0" x 8'-0" x 2'-0"	(10) #5 EA. WAY BOTTOM

FOUNDATION PLAN
3/32"=1'-0"



ROSE & REID DESIGN ASSOCIATES
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TYRONE
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TYRONE, GEORGIA 30290



project name

A NEW BUILDING AT
TYRONE
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for
GOODMAN CONSTRUCTION,
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sheet title

EXTERIOR
ELEVATIONS

11/27/2023

drawn

JMF

checked

JMF

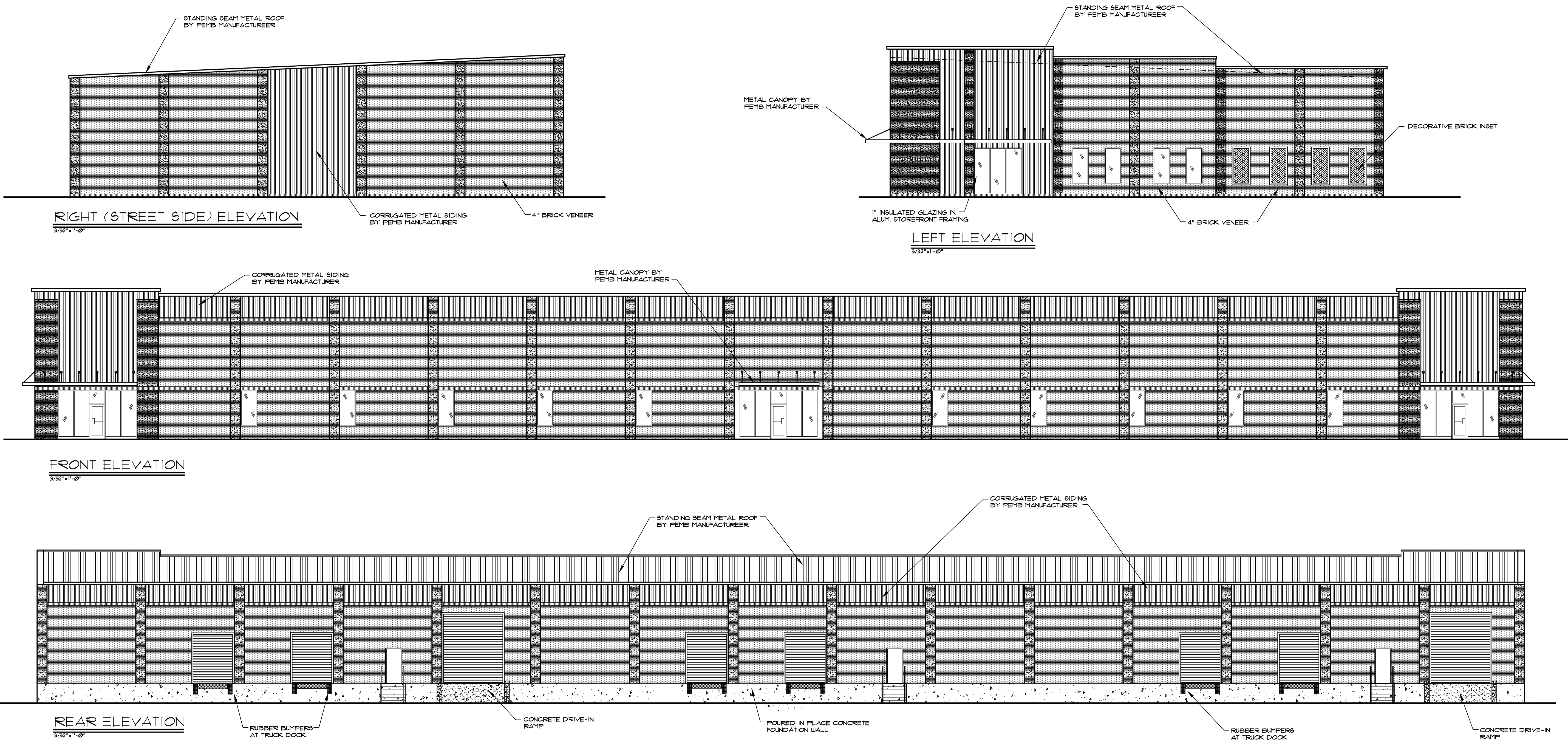
project no.

RRDA-22-030

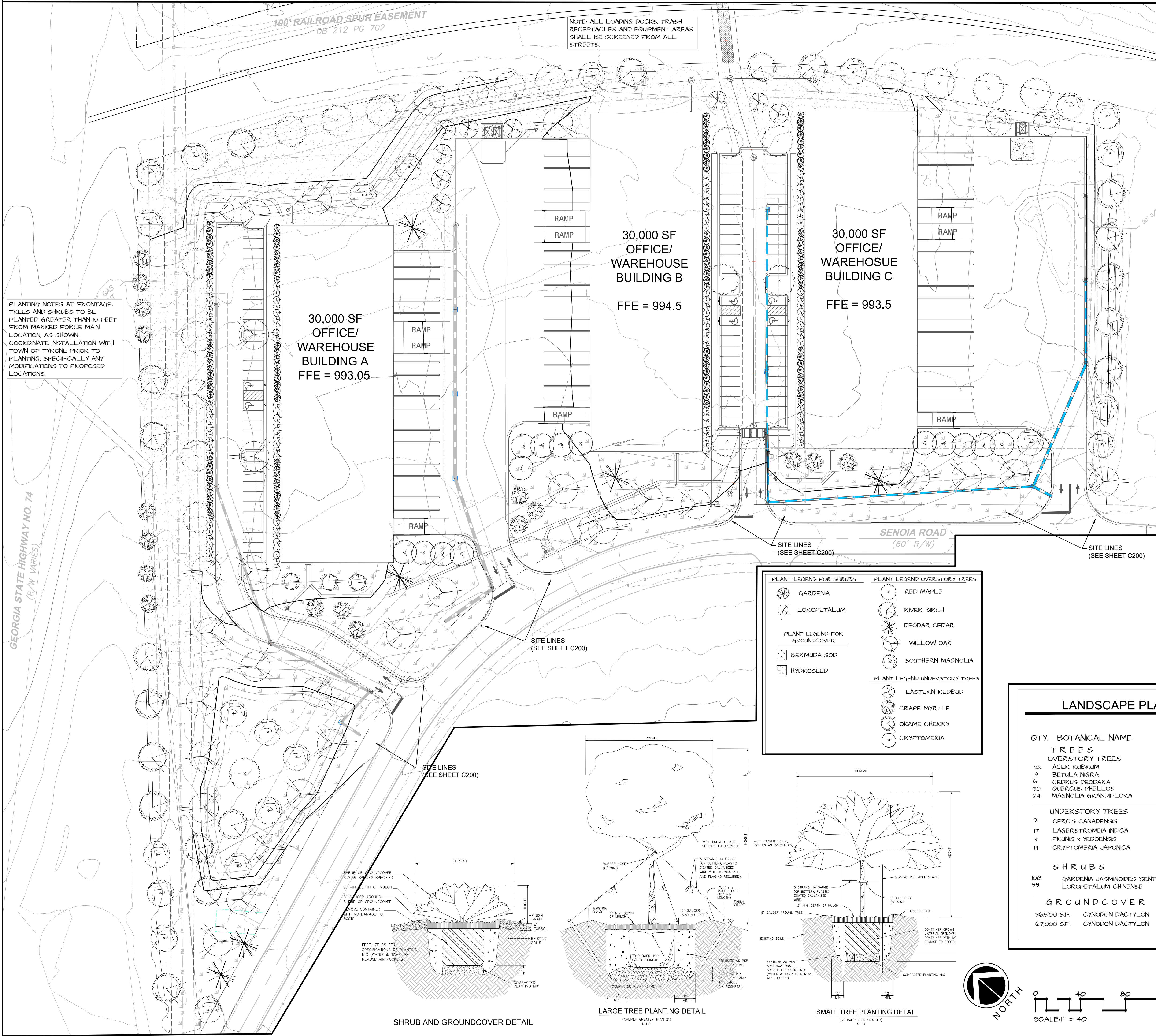
date

02/25/2023

A-2
sheet no.



EXTERIOR COLORS:
METAL SIDING: SLATE GRAY
METAL ROOF: REGAL WHITE
BRICK: CHEROKEE BRICK COMPANY
COLOR: FRENCH COUNTRY BUFF
<https://www.cherokeesbrick.com/georgia-handcrafted>



LANDSCAPE CALCULATIONS

REQUIRED 1 CANOPY TREE AND 1 UNDERSTORY TREE
PER 1000 SF OF IMPERVIOUS AREA
IMPERVIOUS AREA = 221,222 SF
226,493 SF / 1000 = 226
226 X 2.5 = 565 LDU FOR CANOPY TREES
226 X 1 = 226 LDU FOR UNDERSTORY TREES
565 + 226 = 791 LDU REQUIRED
791 LDU PLANTED SEE PLANT SCHEDULE

PROVIDED
104 CANOPY TREES
43 UNDERSTORY TREES

LANDSCAPE NOTES

- ALL PLANT BEDS TO BE PINESTRAW 2-3" THICK.
- SOD OR HYDROSEED ALL DISTURBED AREAS WITH TIFWAY 419 BERMUDA UNLESS OTHERWISE IDENTIFIED ON PLAN & PERMANENT GRASSING SCHEDULE.
- IRRIGATION TO BE INSTALLED PER OWNER REQUEST AND CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALL.
- ALL QUANTITIES TO BE VERIFIED BY CONTRACTOR.
- TREES SHALL NOT BE PLANTED WITHIN 20' OF ANY STRUCTURE OR WITHIN 10' OF ANY PAVED DRIVEWAY.

LANDSCAPE PLAN NOTES:

- TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING. CALL THE TOWN ENGINEER AT 770.481.4038 FOR AN INSPECTION.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO STANDARDS ESTABLISHED IN ARTICLE V OF THE TOWN OF TYRONE LAND DEVELOPMENT ORDINANCE.
- COMPLIANCE WITH SITE DENSITY STANDARDS SHOWN ON THE PLAN(S) MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF THE FINAL PLAT. CALL THE TOWN ENGINEER AT 770.481.4038 FOR AN INSPECTION.
- WITH THE EXCEPTION OF SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS, A TREE MAINTENANCE INSPECTION WILL BE PERFORMED AFTER ONE FULL GROWING SEASON FROM THE DATE OF THE FINAL SITE INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
- ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK 1980 EDITION AMERICAN ASSOCIATION OF NURSERYMEN.
- ANY TREE SPECIES NOT INCLUDED IN THE TOWN'S ORDINANCE ARE SUITABLE FOR THE SITE, EXPECTED TO THRIVE IN THE APPLICABLE USDA PLANT HARDINESS ZONE, AND WILL NOT HAVE A NEGATIVE ECOLOGICAL IMPACT ON LOCAL, NATIVE TREE SPECIES (I.E. THESE TREES THEY ARE NOT CONSIDERED INVASIVE SPECIES).
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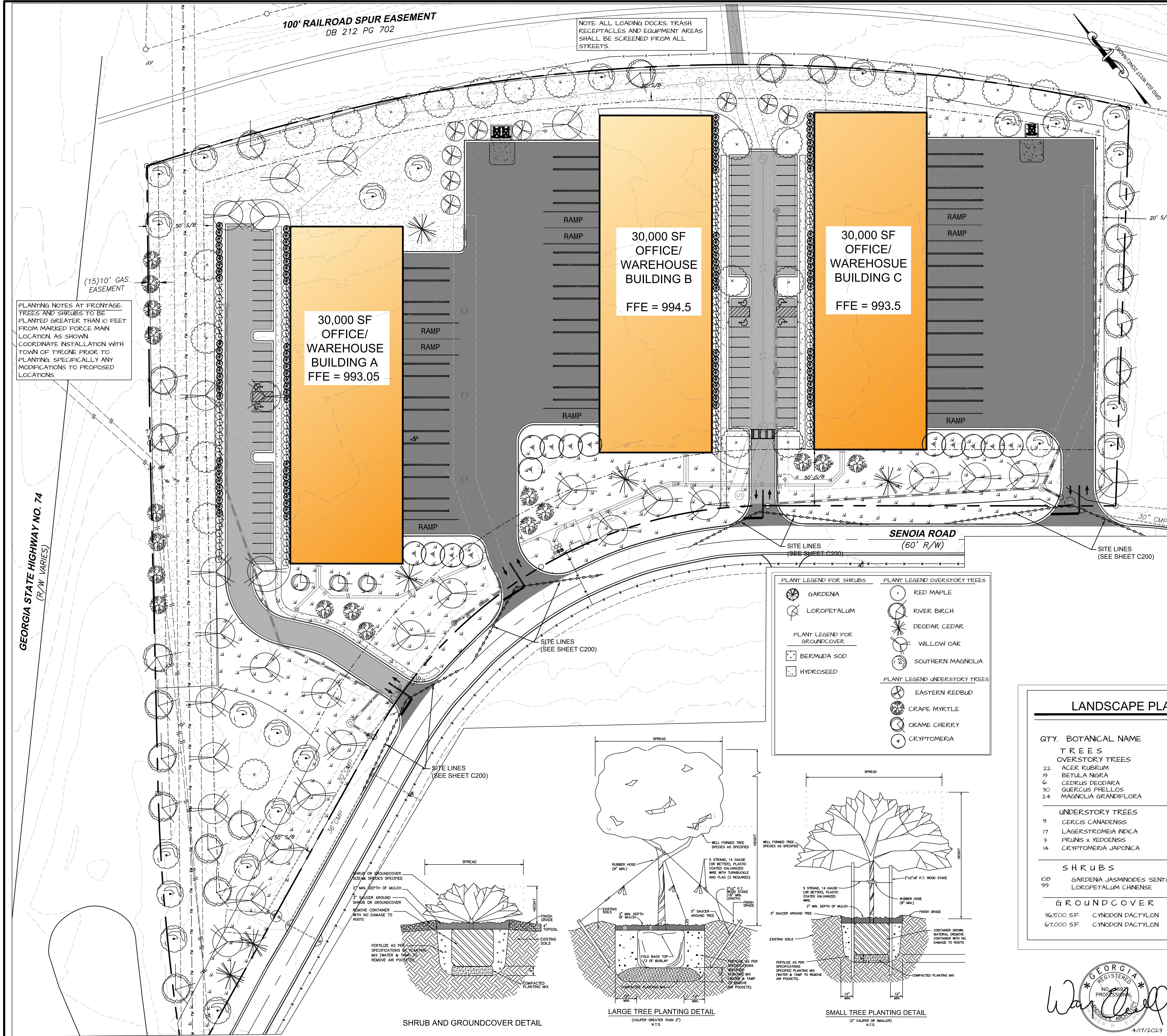
LANDSCAPE PLANTING SCHEDULE 1.0

QTY.	BOTANICAL NAME	COMMON NAME	SIZE / COMMENTS
TREES			
OVERSTORY TREES			
22	ACER RUBRUM	RED MAPLE	12'-14' HT. 4' CAL B&B 22X 6 = 132 RDU
19	BETULA NIGRA	RIVER BIRCH	12'-14' HT. 4' CAL B&B 19 X 6 = 114 RDU
6	CEDRUS DEODARA	DEODAR CEDAR	12'-14' HT. 4' CAL B&B 6 X 6 = 36 RDU
30	QUERCUS PHELLOS	WILLOW OAK	12'-14' HT. 4' CAL B&B 30 X 6 = 180 RDU
24	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	12'-14' HT. 4' CAL B&B 24 X 6 = 144 RDU
TOTAL LDU = 606			
UNDERSTORY TREES			
9	CERCIS CANADENSIS	EASTERN REDBUD	12' HT. 3' CAL B&B 9X 35 = 315 RDU
17	LAGERSTROMIA INDICA	CRAPE MYRTLE	12' HT. 3' CAL B&B 17 X 35 = 595 RDU
3	PRUNUS X YEDOENSIS	OKAME CHERRY	12' HT. 3' CAL B&B 3 X 35 = 105 RDU
14	CRYPTOMERIA JAPONICA	CRYPTOMERIA	12' HT. 3' CAL B&B 14X 35 = 49 RDU
TOTAL LDU = 1505			
SHRUBS			
108	GARDENIA JASMINOIDES 'SENTAMAZING'	SENTAMAZING GARDENIA	3 GAL
99	LOROPETALUM CHINENSE	BURGUNDY LORAPETALUM	3 GAL
GROUNDCOVER			
36,500 SF.	CYNODON DACTYLON	BERMUDA SOD	SOD ALL DISTURBED AREAS WITH THE EXCEPTION TO OTHER PLANT MATERIAL SOD TO BE 99% WEED FREE.
67,000 SF.	CYNODON DACTYLON	BERMUDA HYDROSEED	



0 40 80 120 feet
SCALE: 1" = 40'





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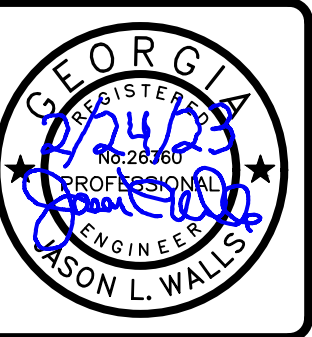
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LANDSCAPE PLANTING SCHEDULE 1.0

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67,000 SF.	CYNODON DACTYLON	BERMUDA HYDROSEED	



LANDSCAPE PLAN BY:
ALL SOUTH DEVELOPMENT
P.O. BOX 22-90
PEACHTREE CITY, GA 30249



Rev.	Description	Date
1.	ISSUED FOR PERMIT	5/5/23
2.	ISSUED FOR PERMIT	2/24/23
3.	ISSUED FOR REVIEW	5/20/23

Check by: JUL
Design by: JUL
Scale: 1" = 40'

SITE DEVELOPMENT PLANS
FOR
74 SOUTH BUSINESS PARK

LANDSCAPE PLAN

DRAWING NO.
L100

OWNER/DEVELOPER:
ISLAND INVESTORS
350 ALLISON DR. NE
ATLANTA, GA 30342
CONTACT: RANDY WRIGHT
EMAIL: RANDY@ISLANDINV.COM
PHONE: 404-316-1101

2. ARCHITECT:
ROSE AND REID DESIGN ASSOCIATES
OAK MANOR OFFICE PARK
PEACHTREE CITY, GA 30269
CONTACT: JIM FINNEY
PHONE: 770-632-6161

3. ENGINEER / SURVEYOR:
INTEGRATED SCIENCE & ENGINEERING, INC.
1039 SULLIVAN ROAD, STE. 200
NEWNAN, GA 30265
CONTACT: JASON L. WALLS, P.E.
EMAIL: JWALLS@INTSE.COM
PHONE: 678-552-2106

4. SITE DATA:
PARCEL: 16, 17, AND TRACT "B" POWERS COURT
TAX PARCEL ID NUMBER: 072604010, 072604009
ZONING: C-2 (HIGHWAY COMMERCIAL)
USE: COMMERCIAL BUSINESS PARK

5. SITE AREA: 9.454 ACRES
DISTURBED AREA: 9.5 ACRES

6. SETBACKS:
FRONT: 50 FEET (BUILDING)
SIDE: 20 FEET (BUILDING)
REAR: 30 FEET (BUILDING)

7. BUILDING AREA: 90,000 SF
3 BUILDINGS AT 30,000 SF EACH

8. IMPERVIOUS SURFACE CALCULATIONS:
PROPOSED: 4.97 AC (52.6%)
OPEN SPACE: 4.484 AC (47.4%)

9. PARKING SUMMARY:
- WAREHOUSE (81,000 SF) @ 1 SPACE PER 2000 SF = 41 SPACES
- OFFICE (9,000 SF) @ 1 SPACE PER 250 SF = 36 SPACES

TOTAL REQUIRED PARKING = 77 SPACES

TOTAL PROVIDED PARKING = 78 SPACES
(INCLUDING 6 ADA SPACES)

10. NO PORTIONS OF THIS PROPERTY LIE WITHIN A FLOOD ZONE OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #13113C0077E DATED SEPTEMBER 26, 2008.

11. WETLANDS AND STATE WATERS ARE NOT PRESENT ON SITE, OR WITHIN 200 FEET OF THE PROPOSED DEVELOPMENT. WETLAND INFORMATION TAKEN FROM THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.

12. UTILITIES: WATER SERVICES PROVIDED BY THE FAYETTE COUNTY WATER SYSTEM. SEWER SERVICE TO BE PROVIDED BY CONNECTION TO PUBLIC SEWER (FULTON COUNTY SEWER DEPARTMENT) THROUGH COORDINATION WITH THE TOWN OF TYRONE.

13. STORMWATER MANAGEMENT NARRATIVE: THE SITE CURRENTLY IS CURRENTLY WOODED WITH SMALL PINES AND UNDERGROWTH COVERING UP THE PARTIALLY DEVELOPED PROPERTY FROM PREVIOUSLY APPROVED PLANS FOR A MEDICAL OFFICE PARK. THE PARTIAL DEVELOPMENT INCLUDES FULL CLEARING AND GRADING OF THE PROPERTY, THE INSTALLATION OF WATER/SEWER/STORM UTILITIES, AND PARKING LOT CONSTRUCTION (LESS THE ASPHALT). THESE IMPROVEMENTS WILL BE FULLY REMOVED FROM THE SITE LESS PORTIONS OF THE UNDERGROUND UTILITIES THAT REMAIN FOR FUTURE DEVELOPMENT. STORMWATER MANAGEMENT FOR THE PROPERTY IS PROVIDED BY AN EXISTING REGIONAL DETENTION FACILITY BUILT AS PART OF THE ORIGINAL POWERS COURT COMMERCIAL SUBDIVISION AND THE ADJACENT MILLBROOK VILLAGE RESIDENTIAL DEVELOPMENT. WATER QUALITY IS CURRENTLY PROVIDED BY TWO EXISTING ONSITE PROPRIETARY STRUCTURES INSTALLED IN 2007 AS PART OF THE PREVIOUS PROJECT. THE WATER QUALITY STRUCTURES AS SIZED FOR THE PREVIOUS DEVELOPMENT ARE ALSO SIZED APPROPRIATELY FOR THE NEW DEVELOPMENT. EACH STRUCTURE SHALL BE INSPECTED AND CLEANED OUT PRIOR TO CONSTRUCTION OF THE NEW FACILITY. STORMWATER WILL THEN FLOW INTO THE EXISTING POWERS COURT MUNICIPAL STORM DRAIN SYSTEM WHICH THEN DISCHARGES INTO AN UN-NAMED TRIBUTARY TO FLAT CREEK, CARRYING THE STORMWATER TO A SERIES OF IN-GROUND DETENTION BASINS WHICH DETAIN THE WATERS WITHIN THE VOLUME OF THE BASINS AND REDUCE THE PEAK OUTFLOW BY THE USE OF OUTLET CONTROL ORIFICES AND RESTRICTION STRUCTURES. THE STORMWATER IS CONTINUES ALONG THE UN-NAMED TRIBUTARY TO FLAT CREEK AND A LARGER FLOOD PLAIN AREA DOWNSTREAM FROM THE PROPERTIES.

14.

15. THIS PROPERTY IS LOCATED IN GROUNDWATER RECHARGE AREA PER THE MAPS PROVIDED IN GA DNR'S HYDROLOGIC ATLAS 18 (1989 EDITION). THIS PLAN COMPLIES ACCORDINGLY WITH THE LOCAL ORDINANCE OF THE TOWN OF TYRONE, GA.

16. THIS PROPERTY HAS BEEN PREVIOUSLY CLEARED AND PARTIALLY DEVELOPED, THEREFORE THERE ARE NO SPECIMEN TREES ON THIS SITE FOR WHICH TO BE ACCOUNTED. EXISTING CURB AND GUTTER AND STORM TO BE REMOVED AS INDICATED ON SHEET C100 AND UNDERBRUSH TO BE CLEARED.

17. A STORMWATER FACILITY MAINTENANCE AGREEMENT IS REQUIRED FOR THE NEW DEVELOPMENT, TO BE PROVIDED AT TIME OF AS-BUILTS AND PROJECT CLOSE OUT PROCEDURES AND DUE BEFORE CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING. PROCESS INCLUDES RE-FILLING PLAT WITH ANY AND ALL EASEMENTS.

18. OWNER/DEVELOPER, OR THEIR SUCCESSORS, MUST MAINTAIN ALL STORMWATER CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO, STORMWATER MANAGEMENT FACILITIES, WATER QUALITY TREATMENT BMP'S, PROPRIETARY STRUCTURE, STORMWATER CONVEYANCES, LONG-TERM EROSION CONTROL BMP'S, ETC. AS NECESSARY AND IN ACCORDANCE WITH THE TOWN OF TYRONE'S STORMWATER MANAGEMENT ORDINANCES.

PREPARED FOR

GPS LOCATION OF
THE CONSTRUCTION EXIT
LAT: 33.293397°N
LONG: 84.344617°W

A circular professional engineer seal for the state of Georgia. The outer ring contains the text "GEORGIA" at the top and "ASON L. WALLS" at the bottom. Inside the ring, the words "REGISTERED", "PROFESSIONAL", and "ENGINEER" are arranged vertically. The seal number "No. 26760" is printed in the center. The seal is signed with a blue ink signature that appears to be "Jason L. Walls".

SITE DEVELOPMENT PLANS
FOR
74 SOUTH BUSINESS PARK

LAND LOT 116 OF THE 7TH DISTRICT, FAYETTE COUNTY, GEORGIA

COVER

DRAWING NO.
C000

GEORGIA STATE HIGHWAY NO. 74
(R/W VARIES)

100' RAILROAD SPUR EASEMENT
DB 212 PG 702

NOTE: ALL LOADING DOCKS, TRASH
RECEPTACLES AND EQUIPMENT AREAS
SHALL BE SCREENED FROM ALL
STREETS.

DOUBLE DUMPSTER ENCLOSURE
WITH CONCRETE APPROACH PAD
- SEE DETAIL C700

SINGLE DUMPSTER ENCLOSURE
WITH CONCRETE APPROACH PAD
- SEE DETAIL C700

SITE PLAN NOTES:

- OWNER / DEVELOPER:
ISLAND INVESTORS
350 ALLISON DR. NE
ATLANTA, GA 30342
CONTACT: RANDY WRIGHT
EMAIL: RANDY@ISLANDINV.COM
PHONE: 404-316-1101
- ARCHITECT:
ROSE AND REID DESIGN ASSOCIATES
OAK MANOR OFFICE PARK
PEACHTREE CITY, GA 30269
CONTACT: JIM FINNEY
PHONE: (770) 632-6161
- ENGINEER / SURVEYOR:
INTEGRATED SCIENCE & ENGINEERING, INC.
1039 SULLIVAN ROAD, SUITE 200
NEWNAN, GA 30265
CONTACT: JASON L. WALLS, P.E.
EMAIL: JWALLS@INTSE.COM
PHONE: 678-552-2106
- SITE DATA:
PARCEL: 16, 17, AND TRACT "B" POWERS COURT
TAX PARCEL ID NUMBER: 072604010, 072604009
ZONING: C-2 (HIGHWAY COMMERCIAL)
USE: COMMERCIAL BUSINESS PARK
- TOTAL SITE AREA = 9.454 ACRES
DISTURBED AREA = 9.5 ACRES
- SETBACKS:
FRONT: 50 FEET (BUILDING)
SIDE: 20 FEET (BUILDING)
REAR: 30 FEET (BUILDING)
- BUILDING AREA: 90,000 SF
3 BUILDINGS @ 30,000 SF EACH
- IMPERVIOUS SURFACE CALCULATIONS:
PROPOSED: 4.97 AC (52.6%)
OPEN SPACE: 4.484 AC (47.4%)
- PARKING SUMMARY:
- WAREHOUSE (81,000 SF) @ 1 SPACE PER 2000 SF = 41 SPACES
- OFFICE (9,000 SF) @ 1 SPACE PER 250 SF = 36 SPACES

TOTAL REQUIRED PARKING = 77 SPACES

TOTAL PROVIDED PARKING = 78 SPACES
(INCLUDING 6 ADA SPACES)
- NO PORTIONS OF THIS PROPERTY LIE WITHIN A FLOOD ZONE OF THE
FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #13113C0077E
DATED SEPTEMBER 26, 2008.
- WETLANDS AND STATE WATERS ARE NOT PRESENT ON SITE, OR
WITHIN 200 FEET OF THE PROPOSED DEVELOPMENT. WETLAND
INFORMATION TAKEN FROM THE U.S. FISH AND WILDLIFE SERVICE
NATIONAL WETLANDS INVENTORY.
- UTILITIES: WATER SERVICES PROVIDED BY THE FAYETTE COUNTY
WATER SYSTEM. SEWER SERVICE TO BE PROVIDED BY CONNECTION
TO PUBLIC SEWER THROUGH COORDINATION WITH THE TOWN OF
TYRONE.
- STORMWATER MANAGEMENT NARRATIVE: THE SITE CURRENTLY IS
CURRENTLY WOODED WITH SMALL PINES AND UNDERGROWTH
COVERING UP THE PARTIALLY DEVELOPED PROPERTY FROM
PREVIOUSLY APPROVED PLANS FOR A MEDICAL OFFICE PARK. THE
PARTIAL DEVELOPMENT INCLUDES FULL CLEARING AND GRADING OF
THE PROPERTY. THE INSTALLATION OF WATER/SEWER/STORM UTILITIES,
AND PARKING LOT CONSTRUCTION (LESS THE ASPHALT). THESE
IMPROVEMENTS WILL BE FULLY REMOVED FROM THE SITE LESS
PORTIONS OF THE UNDERGROUND UTILITIES THAT REMAIN FOR
FUTURE DEVELOPMENT. STORMWATER MANAGEMENT FOR THE
PROPERTY IS PROVIDED BY AN EXISTING REGIONAL DETENTION
FACILITY BUILT AS PART OF THE ORIGINAL POWERS COURT
COMMERCIAL SUBDIVISION AND THE ADJACENT MILLBROOK VILLAGE
RESIDENTIAL DEVELOPMENT. WATER QUALITY IS CURRENTLY
PROVIDED BY TWO EXISTING ONSITE PROPRIETARY STRUCTURES
INSTALLED IN 2007 AS PART OF THE PREVIOUS PROJECT. THE WATER
QUALITY STRUCTURES AS SIZED FOR THE PREVIOUS DEVELOPMENT
ARE ALSO SIZED APPROPRIATELY FOR THE NEW DEVELOPMENT. EACH
STRUCTURE SHALL BE INSPECTED AND CLEANED OUT PRIOR TO
CONSTRUCTION OF THE NEW FACILITY. STORMWATER WILL THEN
FLOW INTO THE EXISTING POWERS COURT MUNICIPAL STORM DRAIN
SYSTEM WHICH THEN DISCHARGES INTO AN UN-NAMED TRIBUTARY TO
FLAT CREEK, CARRYING THE STORMWATER TO A SERIES OF
IN-GROUND DETENTION BASINS WHICH DETAIN THE WATERS WITHIN
THE VOLUME OF THE BASINS AND REDUCE THE PEAK OUTFLOW BY THE
USE OF OUTLET CONTROL ORIFICES AND RESTRICTION STRUCTURES.
THE STORMWATER IS CONTINUES ALONG THE UN-NAMED TRIBUTARY
TO FLAT CREEK AND A LARGER FLOOD PLAIN AREA DOWNSTREAM
FROM THE PROPERTIES.
- THIS PROPERTY IS LOCATED IN GROUNDWATER RECHARGE AREA PER
THE MAPS PROVIDED IN GA DNR'S HYDROLOGIC ATLAS 18 (1989
EDITION). THIS PLAN COMPLIES ACCORDINGLY WITH THE LOCAL
ORDINANCE OF THE TOWN OF TYRONE, GA.
- THIS PROPERTY HAS BEEN PREVIOUSLY CLEARED AND PARTIALLY
DEVELOPED. THEREFORE THERE ARE NO SPECIMEN TREES ON THIS
SITE FOR WHICH TO BE ACCOUNTED. EXISTING CURB AND GUTTER AND
STORM TO BE REMOVED AS INDICATED ON SHEET C100 AND
UNDERBRUSH TO BE CLEARED.

SITE PLAN LEGEND :

- = PROPERTY LINE - SEE PLAT FOR DETAILS
- - - - - = SETBACK LINE
- [Medium Gray Box] = MEDIUM DUTY PAVEMENT SECTION - SEE DETAIL ON SHEET C700
- [Dark Gray Box] = HEAVY DUTY PAVEMENT SECTION - SEE DETAIL ON SHEET C700
- [Patterned Box] = CONCRETE SIDEWALK - SEE DETAIL ON SHEET C700
- [Circle with X] = SIGN POST

SIGHT DISTANCE SUMMARY

SPEED LIMIT: 25 MPH
MINIMUM SIGHT DISTANCE:
SDL = 280 FT
SDR = 240 FT

DRIVEWAY A:
SDL = 290+ FT
SDR = 450+ FT

DRIVEWAY A/B:
SDL = 370+ FT
SDR = 580+ FT

DRIVEWAY B/C:
SDL = 480+ FT
SDR = 300+ FT

DRIVEWAY C:
SDL = 300+ FT
SDR = 440+ FT

* ALL SIGHT LINES REMAIN WITHIN
THE ROADWAY

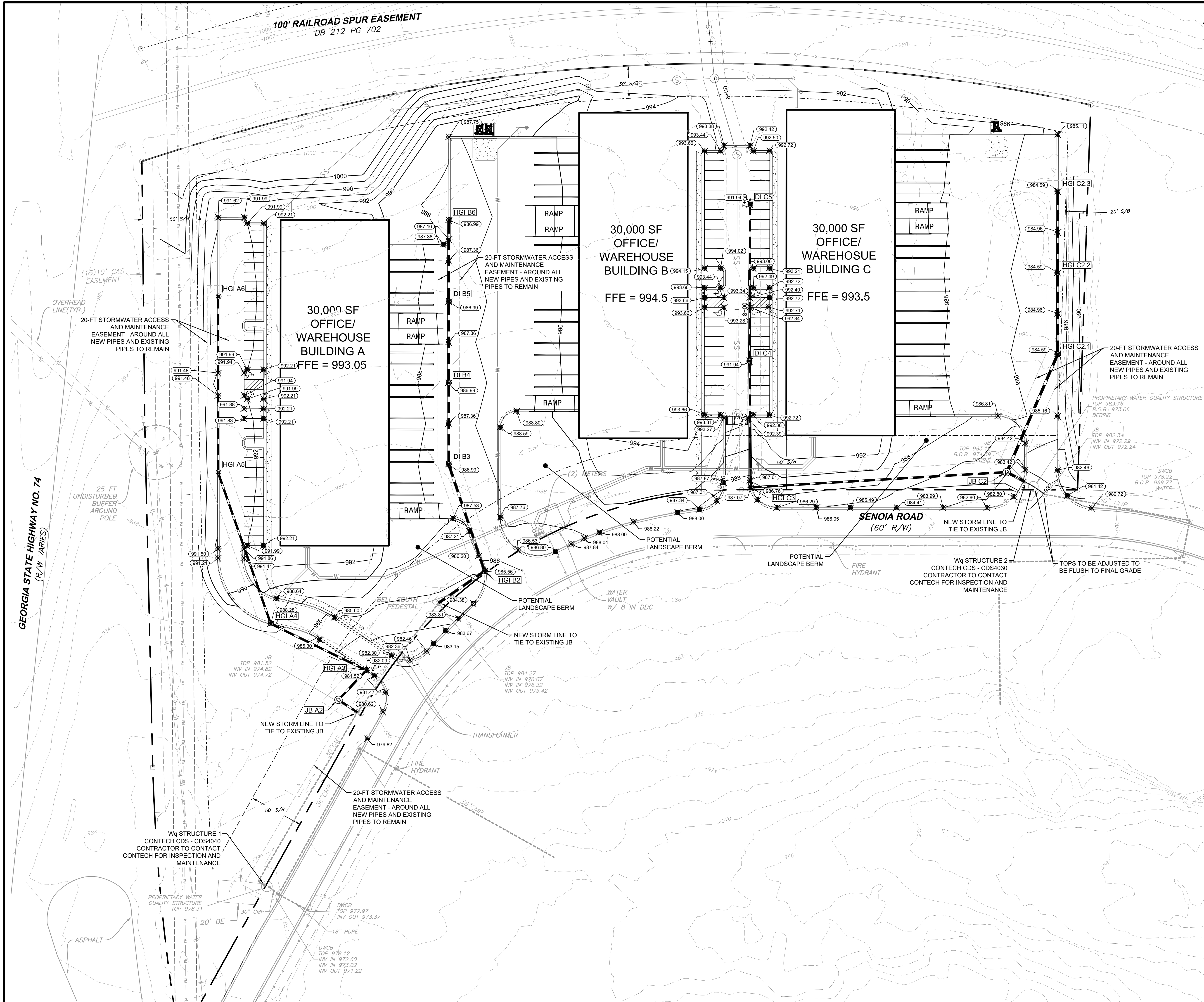
Rev.	Date	Description
1.	5/4/23	J.W.
2.	2/24/23	J.W.
3.	5/2/23	J.W.
4.	5/20/22	J.W.

Scale	Scale	Scale	Scale	Scale	Scale
1" = 40'	1" = 40'	1" = 40'	1" = 40'	1" = 40'	1" = 40'

SITE DEVELOPMENT PLANS
FOR
74 SOUTH BUSINESS PARK

LAND LOT 116 OF THE 7TH DISTRICT, FAYETTE COUNTY, GEORGIA

DRAWING NO.
C200



GRADING AND DRAINAGE NOTES:

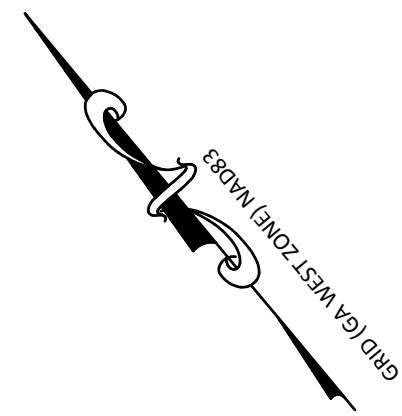
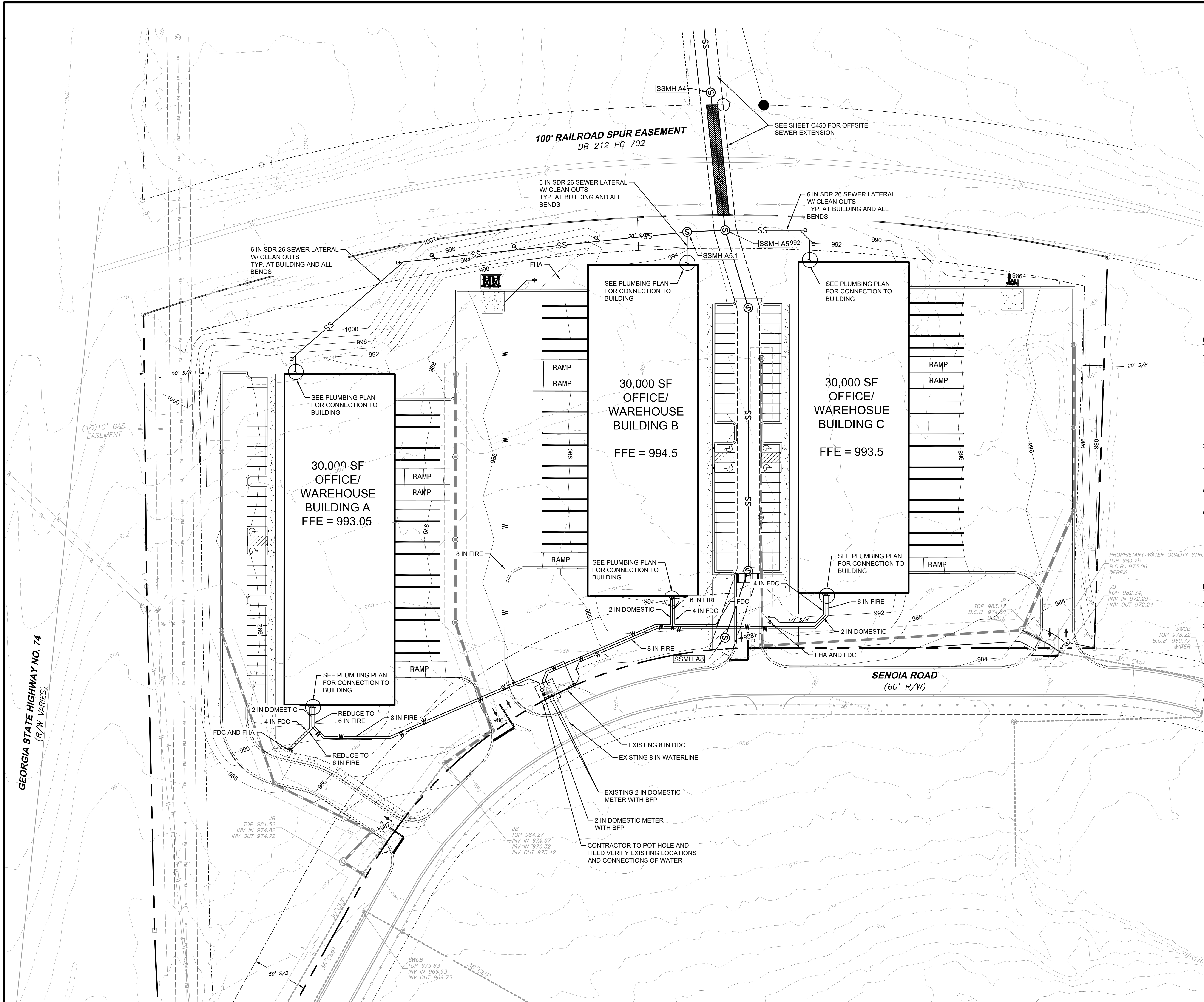
- NO PORTIONS OF THIS PROPERTY LIE WITHIN A FLOOD ZONE OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #13113C0077E DATED SEPTEMBER 26, 2008.
- STORMWATER MANAGEMENT NARRATIVE: STORMWATER PROVIDED BY EXISTING REGIONAL DETENTION FACILITY BUILT AS PART OF THE ORIGINAL POWERS COURT COMMERCIAL PARK DEVELOPMENT. WATER QUALITY PROVIDED BY TWO EXISTING ONSITE PROPRIETARY STRUCTURES INSTALLED AS PART OF THE PARTIAL DEVELOPMENT OF THIS PROPERTY IN 2007. PER THE APPROVED DESIGN PLANS FOR POWERS COURT PROFESSIONAL CENTER MEDICAL AND PROFESSIONAL BUILDINGS, THE WATER QUALITY DESIGN ACCOUNTED FOR THE SITE IN THE POST DEVELOPED CONDITION TO HAVE A RUNOFF COEFFICIENT (C VALUE) OF 0.74. THE PROPOSED DEVELOPMENT INCLUDING 5.09 ACRES OF NEW IMPERVIOUS SURFACES HAS A CALCULATED RUNOFF COEFFICIENT OF 0.63, THEREFORE THE EXISTING PROPRIETARY STRUCTURES ON-SITE ARE SUFFICIENT TO TREAT THE REQUIRED WATER QUALITY VOLUME FOR THE SITE. EACH STRUCTURE SHALL BE INSPECTED AND CLEANED OUT PRIOR TO CONNECTION.
- WHEREVER DRAINAGE FLOWS AWAY FROM CURB AND GUTTER USE THE "SPILLING CURB AND GUTTER". SEE SHEET C700.
- ROOF DRAINAGE: ROOF DRAINS TO SPILL OUT ON GRADE FROM DOWNSPOUTS ON SPLASH PADS AT REAR OF BUILDINGS.
- A STORMWATER FACILITY MAINTENANCE AGREEMENT IS REQUIRED FOR THE NEW DEVELOPMENT. TO BE PROVIDED AT TIME OF AS-BUILTS AND PROJECT CLOSE OUT PROCEDURES AND DUE BEFORE CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING.
- IN ADDITION TO FULL SURVEY ASBUILTS PREPARED BY A REGISTERED LAND SURVEYOR PER TOWN STANDARDS (SEC. 109-381 - AS-BUILT DRAWINGS), A STORMWATER AS-BUILT CERTIFICATION PREPARED BY A PROFESSIONAL ENGINEER IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY OF ANY BUILDING. THE TOWN WILL REQUIRE, AS PART OF THE STORMWATER AS-BUILTS, THAT CONFIRMATION IS PROVIDED THAT THE PIPES, INCLUDING THE IN-LINE PROPRIETARY STRUCTURES, ASSOCIATED WITH THE EXISTING SYSTEM HAVE BEEN CLEANED AND ARE FULLY FUNCTIONING.
- ALL EXISTING STORM PIPES, JUNCTION BOXES, DRAINAGE INLETS, PROPRIETARY STRUCTURES, ETC. TO REMAIN, SHALL BE FLUSHED AND CLEANED AFTER DEMOLITION OF THE ITEMS TO BE REMOVED AND PRIOR TO ISSUANCE OF ANY BUILDING INSPECTIONS. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR A VISUAL INSPECTION ONCE COMPLETE. ENGINEER SHALL CERTIFY TO THE TOWN THAT THE EXISTING STORM SYSTEM TO REMAIN IS CLEAN AND FUNCTIONING PROPERLY.

PLAN LEGEND :

- = JUNCTION BOX (JB)
- = STORM PIPE - SEE PROFILES ON SHEET C350 AND PIPE BEDDING DETAIL ON SHEET C703.
- = EXISTING CONTOURS
- = PROPOSED CONTOURS
- = PROPOSED LIGHT POLE
- = TOP OF PAVING/GUTTER

Rev.	Description	Date
1	ISSUED FOR PERMIT	5/5/23
2	ISSUED FOR PERMIT	2/24/23
3	ISSUED FOR REVIEW	5/20/22

Scale	Drawn by	Check by
1" = 40'	2/9/22	JLV
40' 20' 0'	Design by	Review by
1633.2.101	JLV	JLV



UTILITY PLAN NOTES:

- SEE SHEET C001 FOR ADDITIONAL UTILITY PLAN NOTES.
- EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OPERATIONS WITH ALL UTILITIES WHICH MAY BE IN CONFLICT WITH HIS WORK. THE CONTRACTOR MUST MAINTAIN AND PROTECT ALL SUCH UTILITIES, OR RELOCATE UTILITIES AS NEEDED.
- ALL WATER INFRASTRUCTURE TO BE CONSTRUCTED ACCORDING TO FAYETTE COUNTY WATER STANDARDS AND DETAILS.
- ALL SEWER INFRASTRUCTURE TO BE CONSTRUCTED ACCORDING TO FULTON COUNTY SEWER DEPARTMENT STANDARDS AND DETAILS.
- IF IRRIGATION SYSTEM IS TO BE INSTALLED, A LANDSCAPE DETAIL SHOWING RAIN SENSOR SHUT-OFF SWITCHES IS REQUIRED.
- CONTRACTOR SHALL FIELD LOCATE ASBUILT STUB OUT LOCATION. IF STUB OUT IS NOT PRESENT, INSTALL 8 X 8 IN TEE WITH 3 VALVES.

BACKFLOW PREVENTION NOTES:

- OWNER IS RESPONSIBLE FOR TESTING ALL BFP ASSEMBLIES AND SUBMITTING TEST RESULTS TO THE FAYETTE COUNTY WATER DEPARTMENT PRIOR TO OBTAINING C.O.
- ALL BFPs SHALL BE COMMENSURATE WITH THE DEGREE OF HAZARD.
- NO BFP SHALL BE INSTALLED VERTICALLY UNLESS SPECIFICALLY APPROVED FOR VERTICAL INSTALLATION BY FCCCHR.
- ANY FIRE SPRINKLER, LAWN IRRIGATION, OR PROCESS WATER SYSTEM SHALL BE CONTAINED BY A BFP ASSEMBLY APPROVED BY THE FAYETTE COUNTY WATER DEPARTMENT.
- ANY QUESTIONS CONCERNING BACKFLOW PREVENTION MAY BE DIRECTED TO THE FAYETTE COUNTY WATER DEPARTMENT.
- PROPERTY OWNER WILL BE REQUIRED TO SUBMIT BFP TEST ANNUALLY TO BACKFLOW@FAYETTECOUNTYGA.GOV.

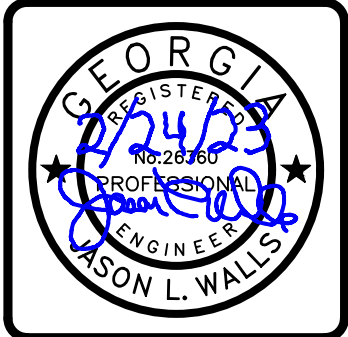
UTILITY PLAN LEGEND:

- = WATER METER - SEE DETAIL ON SHEET C702
- = GATE VALVE
- = WATERLINE
- = FIRE HYDRANT ASSEMBLY - SEE DETAIL ON SHEET C703
- = DENOTES FITTING
- = SANITARY SEWER LINE
- = SANITARY SEWER MANHOLE - SEE DETAILS ON SHEET C704
- = SEWER CLEANOUT - SEE DETAIL ON SHEET C704
- = THRUST BLOCK - SEE DETAIL ON SHEET C702



INTEGRATED
Science & Engineering

1039 SULLIVAN ROAD, SUITE 200, NEWNAN, GEORGIA 30565
(770) 678-5522 / (770) 678-5522 FAX
CDA No. 15-000025 Exp. 06/30/2024



Date	Rev.	Description
2/9/22	1	ISSUED FOR PERMIT
5/5/23	2	ISSUED FOR REVIEW
7/25/23	3	ISSUED FOR REVIEW
7/25/23	4	ISSUED FOR REVIEW
7/25/23	5	ISSUED FOR REVIEW
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7/25/23	100	ISSUED FOR REVIEW

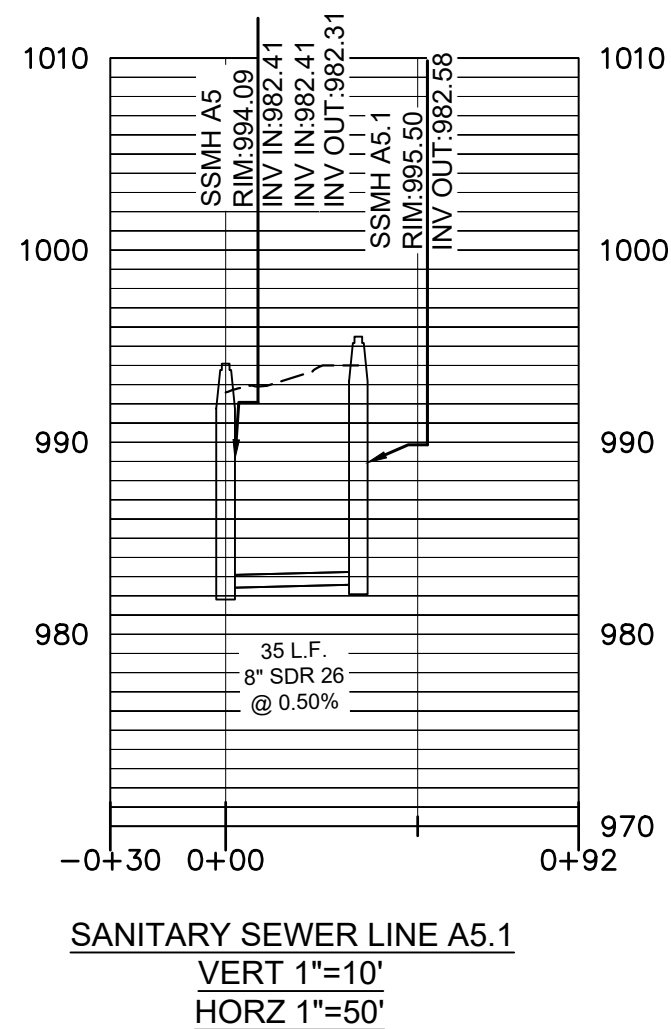
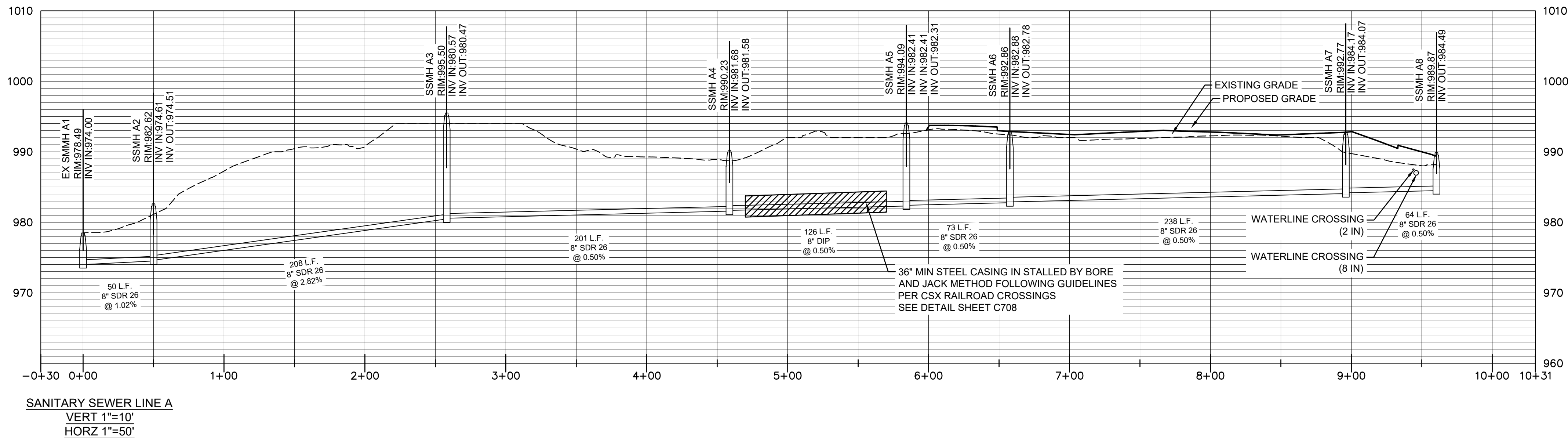
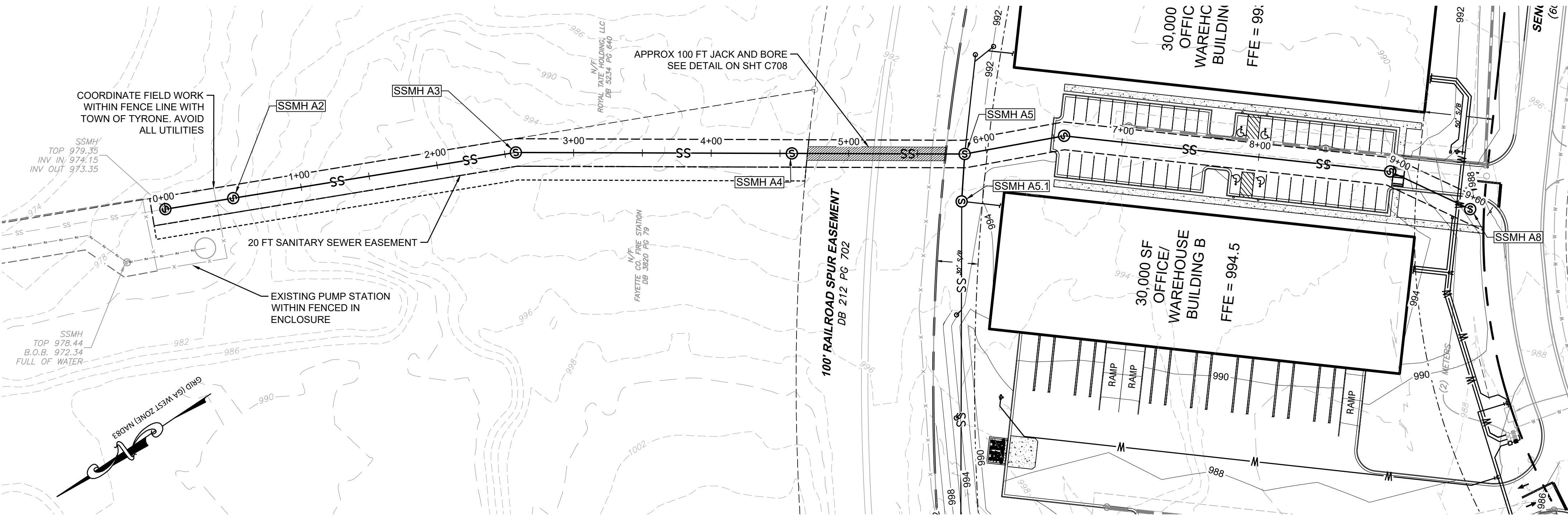
SITE DEVELOPMENT PLANS
FOR
74 SOUTH BUSINESS PARK

LAND LOT 116 OF THE 7TH DISTRICT, FAYETTE COUNTY, GEORGIA

UTILITY PLAN

DRAWING NO.
C400

CONTRACTOR TO COORDINATE WITH TOWN OF TYRONE WHEN TYING INTO SEWER MANHOLE AT PUMP STATION TO AVOID ANY CONFLICTS WITH GENERATOR, CONTROL PANEL, AND EXISTING UTILITIES.

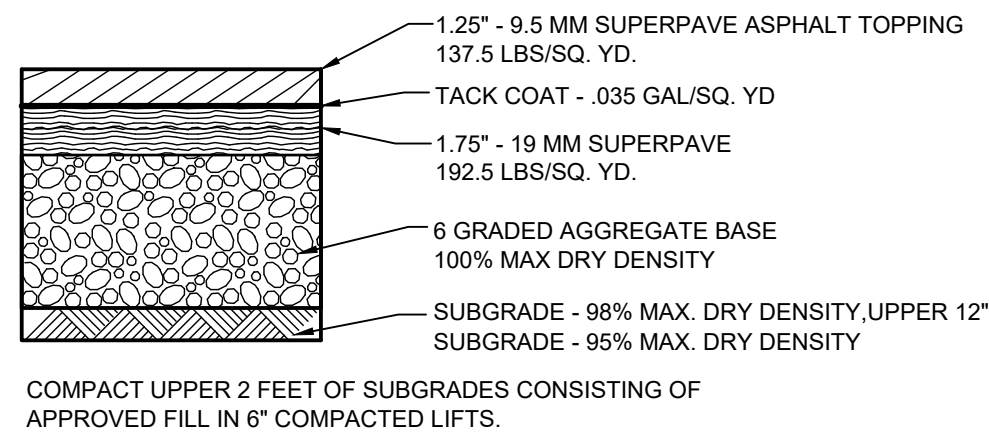


Sanitary Sewer Notes

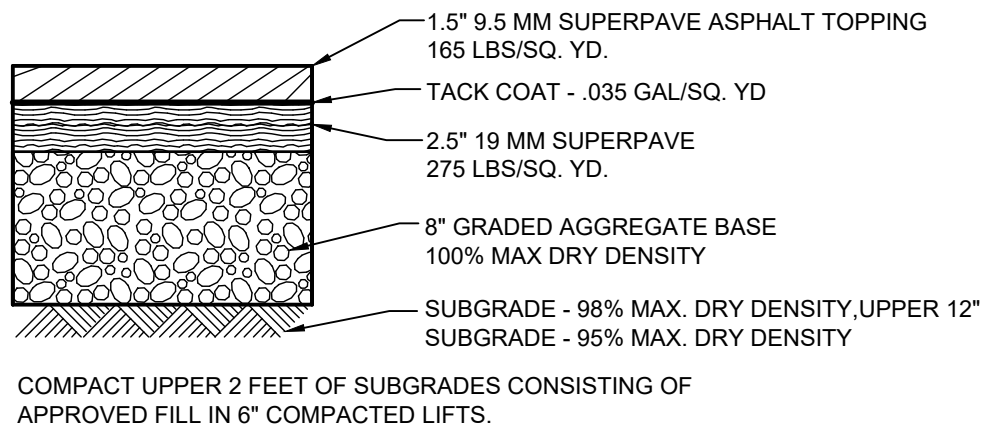
- All wastewater pipe construction shown on these plans must conform to Fulton County Standards and Specifications, including Sanitary Sewer Regulations latest copy.
- No sanitary sewer shall be accepted by the Town of Tyrone without an as-built drawing showing the horizontal and vertical alignment of the sewer system, the location of all manholes, sewer connections, piping materials, required easement limits and junctions, and property lines.
- Contractor must field verify the location and elevation of all known and unknown underground utilities.
- All temporary and permanent wastewater easements must be dressed and grassed to control erosion prior to acceptance. Trees shall not be planted in the permanent easement area, or within 10-feet of a Town of Tyrone sewer main.
- As-built drawings and maintenance bond(s) must be submitted and are required prior to inspection and acceptance. Digital as-built will be required. Note that digital as-builts will be required at the completion of the project.
- Neoprene couplings with stainless steel bands and shear rings are required for joining different types of sanitary sewer pipes.
- Pools shall not drain into wastewater pipe systems. Pools shall drain into an approved individual onsite wastewater management system.
- Low pressure air testing required for all wastewater pipe systems. This test must meet all requirements as outlined in UNI-B-06 or current revision. A Town of Tyrone Inspector must be present during testing.
- Contractor shall field verify the locations and invert elevations of wastewater pipes for a connection to existing wastewater systems.
- Contractor is to cut and remove the pipe only upon final approval by the Town of Tyrone Inspector.
- All wastewater lines and laterals with less than one-foot of clearance to another utility line shall be constructed with a concrete saddle to maintain separation.
- No fill shall be placed on a sanitary sewer easement without approval by the Director of PW. All sanitary manholes must extend to the ground surface.
- For all projects utilizing individual onsite wastewater management systems design and provisions shall be in conformance with Fayette County Public Health Department regulations.
- Eight-inches (8") or larger pipe lines shall be TV inspected. A virus free portable storage drive(USB Flash Drive) and written inspection log in compliance with NASSCO requirements and certified by a Georgia Registered Engineer or Registered Land Surveyor shall be provided when as-builts are submitted. All videos shall include PACP and MACP completed forms. A copy of the operator's current NASSCO certification shall be submitted.
- USF 7635 Box required for wastewater cleanouts in paved area per Fulton County Standard Detail 709.

- Compaction of the back fill of all trenches shall be compacted to at least 90% Standard Proctor density. Backfill material shall be free from roots, stumps, or other foreign debris, and shall be placed at or near optimum moisture content. Correction of any trench settlement within a year from the date of approval will be the responsibility of the contractor. Compaction of the back fill of all trenches located under pavement shall be compacted to at least 95% Standard Proctor density.
- Sanitary sewer laterals should be marked with 4"x4"post with min. 4-feet above ground. The top 1' should be painted green. Each lateral is to be brought to the ground surface in accordance with Fulton County Standard 909.
- All required off site easements shall be dedicated to Town of Tyrone prior to Utility permitting. All public on-site easements for other than single family residential projects that will be final platted shall be dedicated to Town of Tyrone prior to permit approval.
- For residential projects where onsite sanitary sewer easements are to be dedicated to Town of Tyrone, the following applies: Sanitary sewer easement inside property line to be shown in final plat for recording.
- For all projects containing PVC wastewater pipes, also include the following notes: (see attached condition for PVC).
 - Pipe shall be ASTM D3034, SDR26 in 14 foot laying lengths with elastomeric sealed joints in accordance with ASTM D3212.
 - Pipe bedding shall be #57, sharp, angular, crushed stone. Bedding shall extend a minimum of 4" below the pipe and extend to the top of the pipe. The bedding shall be compacted by "slicing with a flat shovel". The width of the ditch must be in accordance with OSHA Safety Standards.
 - Initial backfill: After bedding, complete initial backfill with #57 stone. If no rock is encountered, initial backfill shall extend to a height 611 above of the top of the pipe, otherwise initial backfill shall extend to 12" above the top of the pipe.
 - Fittings for lateral connections shall be 45° WYES and bends. Provide PVC pipe stoppers for each lateral. Provide special watertight connections at manholes and transitions to ductile iron pipe as recommended by the pipe manufacturer.
 - After installation, a deflection test is required. Initial deflection shall be limited to 3% of the undeflected diameter. A second test shall be made at least 8 months after the installation but before final acceptance. At that time deflection shall be limited to 5%of the undeflected diameter.
- All manholes located within a paved area shall have concentric cone sections and flange down frames and covers. All manholes located within an unpaved area shall have eccentric cone sections with bolt down flange up frame and covers, or hinged cast in place lockable covers. All manholes located within a flood prone area shall have eccentric cone sections with bolt down gasketed flange up frame and covers. Raise top of manholes in landscape areas to 0.5-feet above grade.
- Issuance of this permit does not in any way imply that wastewater taps for building permits will be issued. Contact the Department of Public Works, at (770) 487-4038 for further information.
- Any changes to the sewer drawings must be approved by Town of Tyrone.
- Notify Town of Tyrone Inspector 24-hours prior to construction.

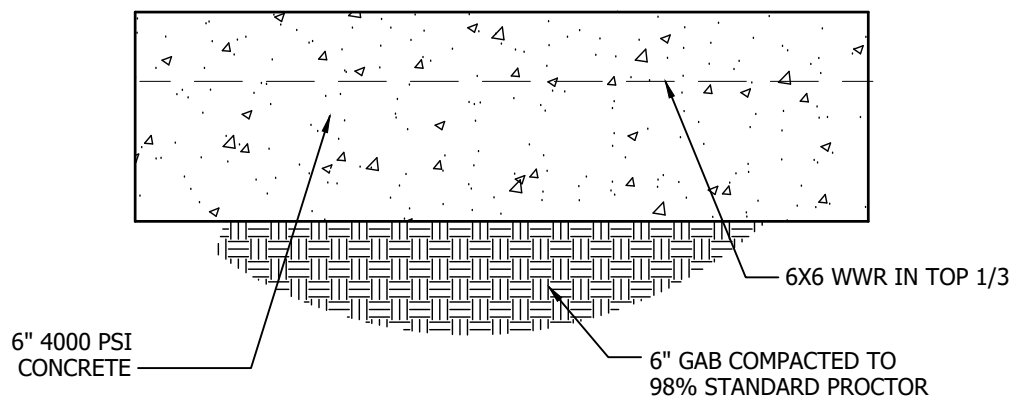
Rev.	Description	Date	Appr.
3.	ISSUED FOR PERMIT	5/5/23	JLW
2.	ISSUED FOR PERMIT	2/24/23	JLW
1.	ISSUED FOR REVIEW	5/20/22	JLW
SCALE: 1" = 50'			
50'	25'	0'	50'
Project #	Design by	Review by	Drawn by
1052101	JLW	JLW	JLW
Date:	2/19/22	Check by:	JLW



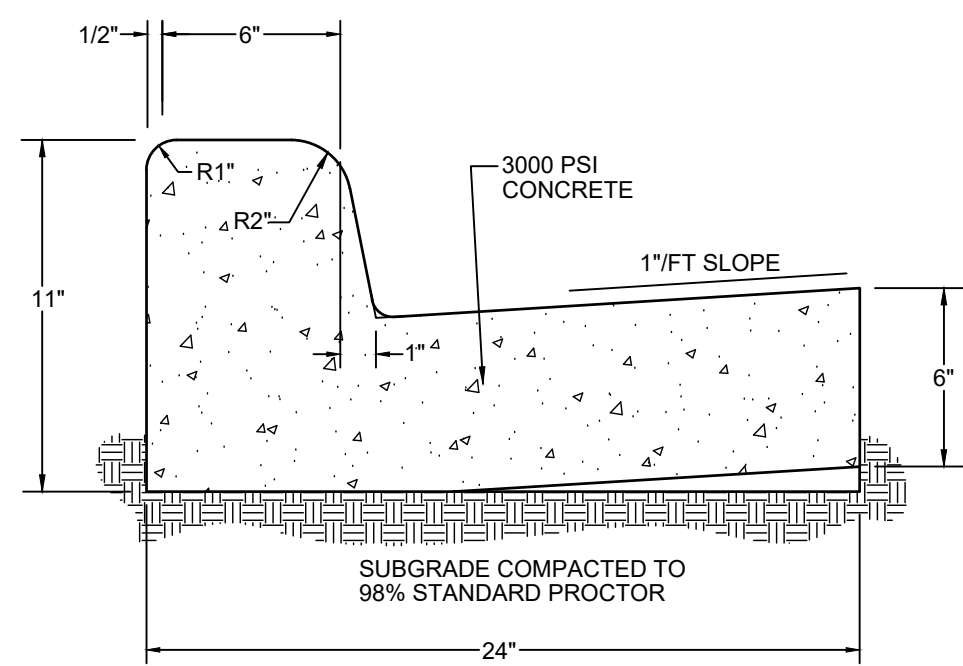
MEDIUM-DUTY PAVEMENT SECTION
SCALE: N.T.S.



HEAVY-DUTY PAVEMENT SECTION
SCALE: N.T.S.

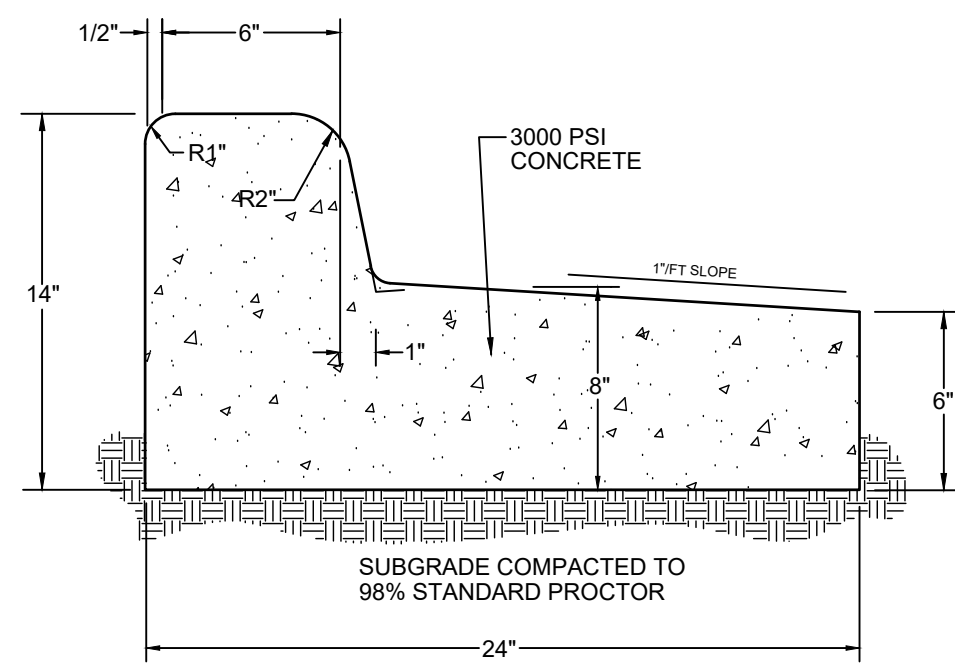


HEAVY-DUTY CONCRETE PAVING DETAIL
SCALE: N.T.S.



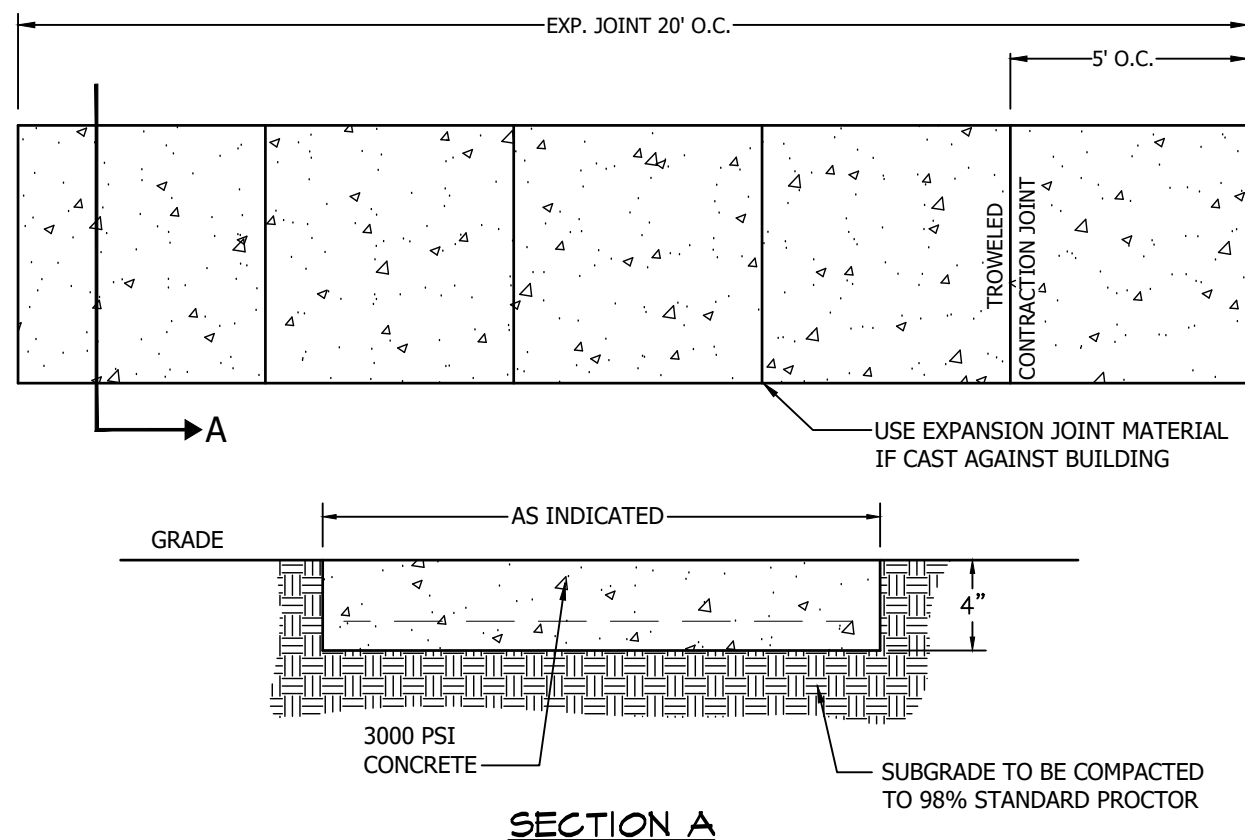
- NOTES:
- 1/2" PREFORMED EXPANSION JOINTS REQUIRED AT ALL STRUCTURES & CURB RETURNS.
 - MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS = 40.0'.
 - DISTANCE BETWEEN DUMMY JOINTS = 20'.
 - CONCRETE STRENGTH = 3000 PSI, SLUMP = 2", FINISH SHALL BE SMOOTHED & EVENED WITH A WOODEN FLOAT.
 - OTHER CURB & GUTTER SECTIONS WILL BE EVALUATED AS APPROPRIATE BY THE ENGINEER.

STANDARD 24" CURB & GUTTER DETAIL
SCALE: N.T.S.

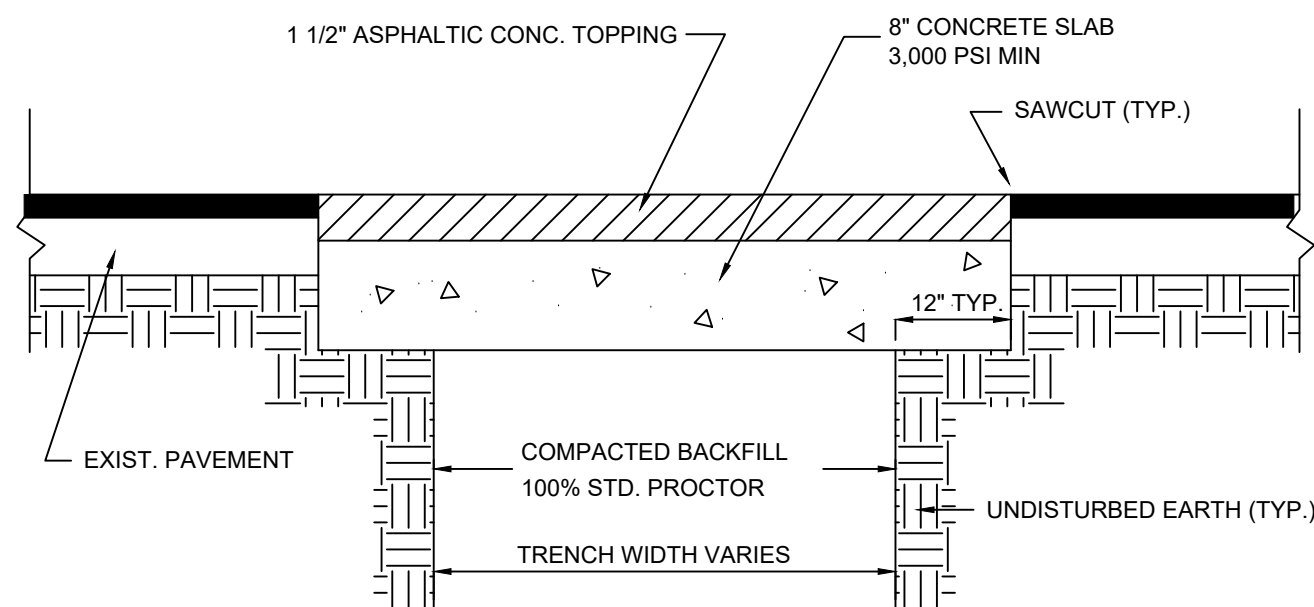


- NOTES:
- 1/2" PREFORMED EXPANSION JOINTS REQUIRED AT ALL STRUCTURES & CURB RETURNS.
 - MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS = 40.0'.
 - DISTANCE BETWEEN DUMMY JOINTS = 20'.
 - CONCRETE STRENGTH = 3000 PSI, SLUMP = 2", FINISH SHALL BE SMOOTHED & EVENED WITH A WOODEN FLOAT.
 - OTHER CURB & GUTTER SECTIONS WILL BE EVALUATED AS APPROPRIATE BY THE ENGINEER.

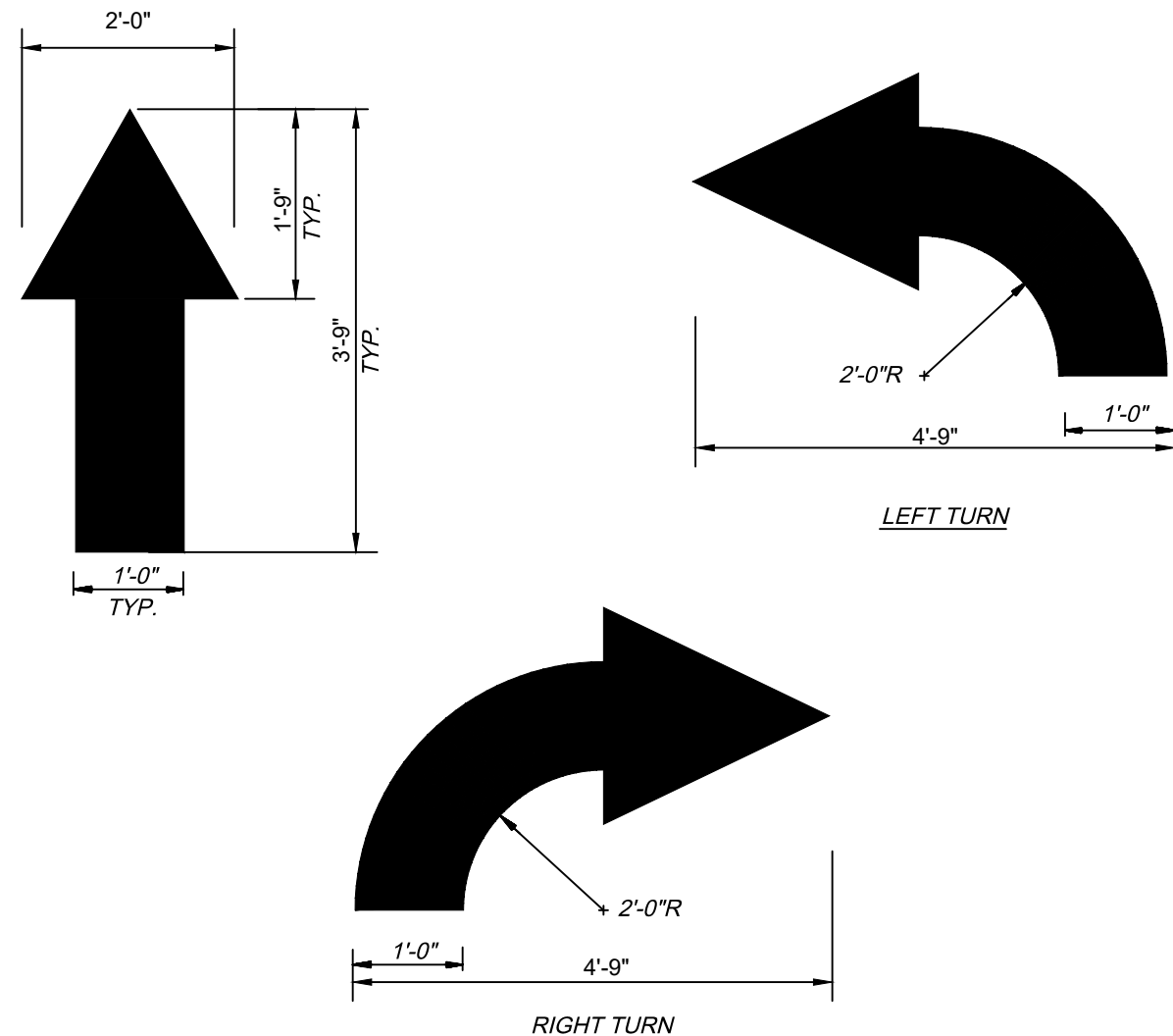
SPILLING 24" CURB & GUTTER DETAIL
SCALE: N.T.S.



CONCRETE SIDEWALK DETAIL
SCALE: N.T.S.

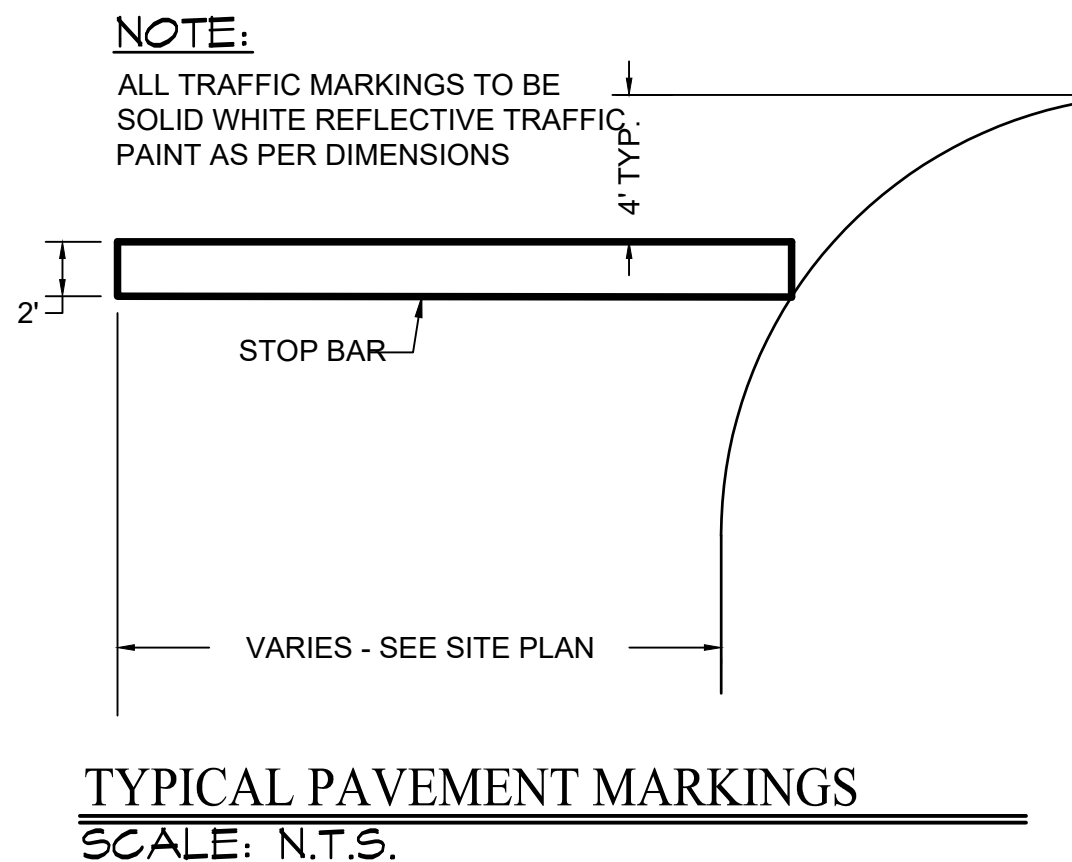


PAVEMENT PATCH DETAIL
SCALE: N.T.S.



- NOTE
- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B-20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT OR MEET LOCAL REQUIREMENTS.

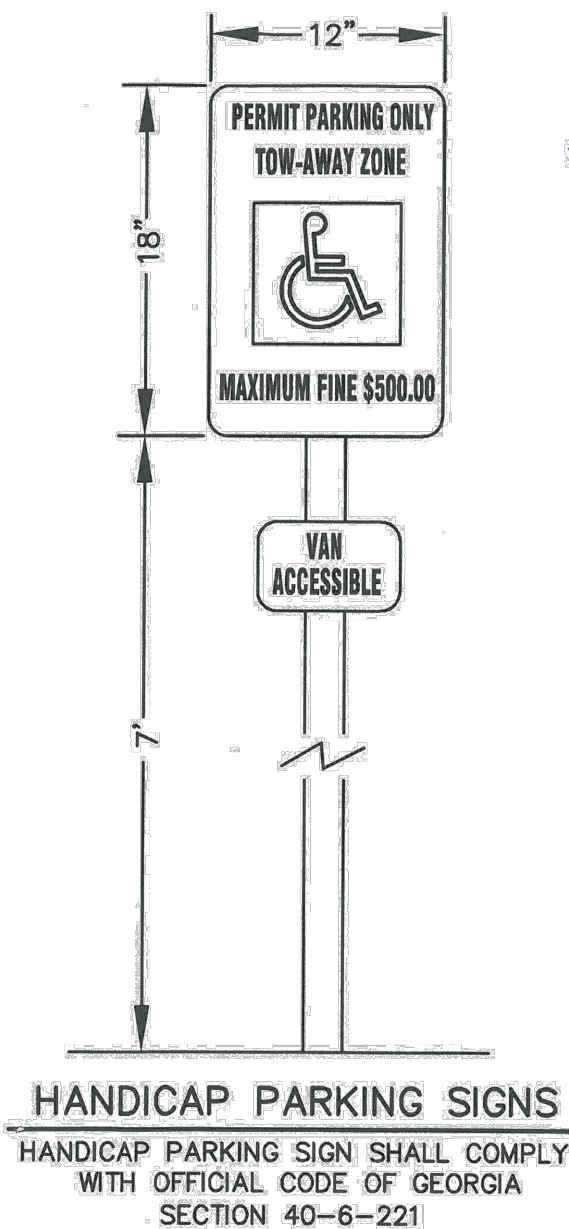
PARKING LOT FLOW ARROWS
SCALE: N.T.S.



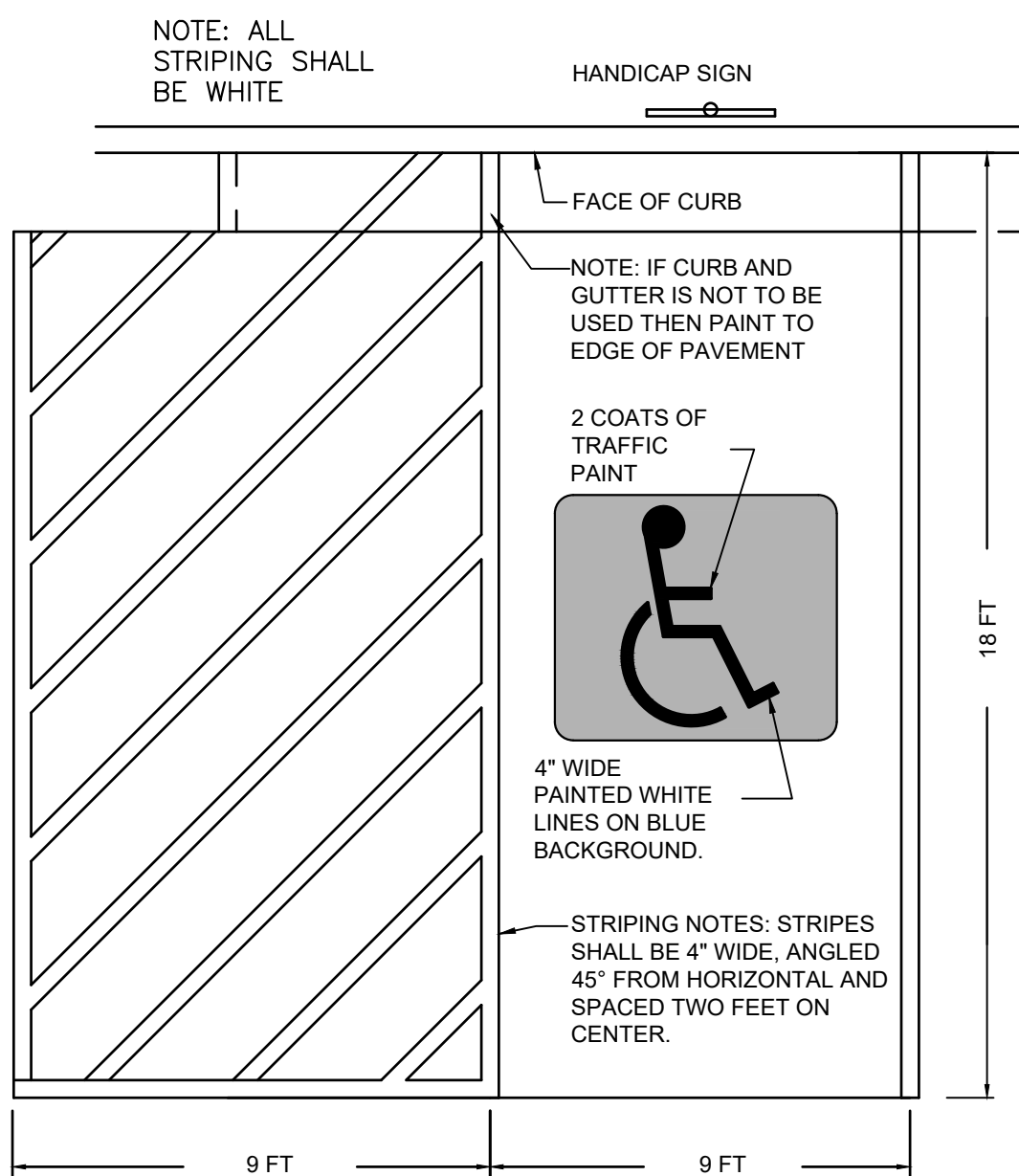
TYPICAL PAVEMENT MARKINGS
SCALE: N.T.S.



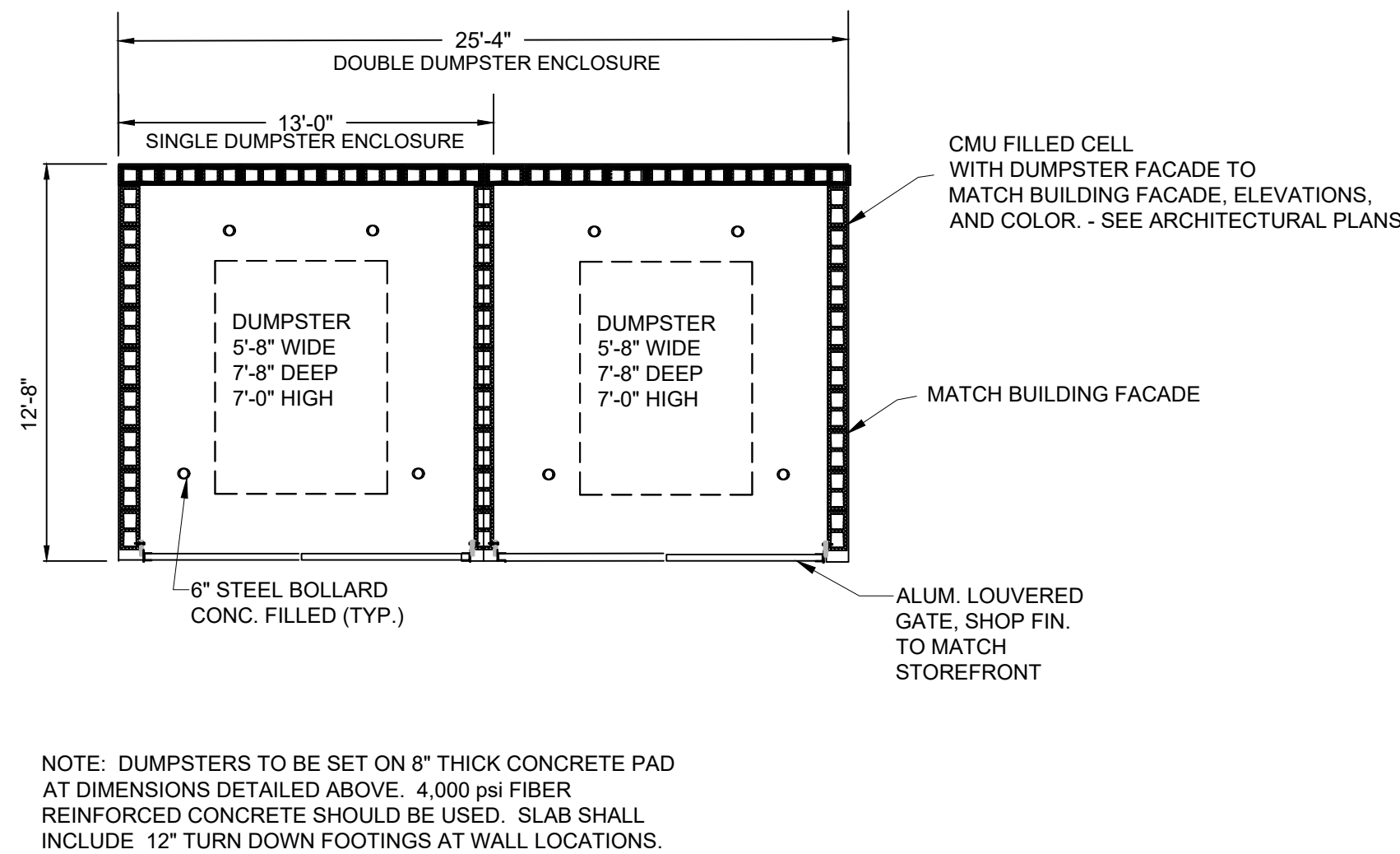
HANDICAP PAVEMENT MARKING DETAIL
SCALE: N.T.S.



HANDICAP STRIPING DETAIL
SCALE: N.T.S.



HANDICAP STRIPING DETAIL
SCALE: N.T.S.



NOTE: DUMPSTERS TO BE SET ON 8" THICK CONCRETE PAD AT DIMENSIONS DETAILED ABOVE. 4,000 psi FIBER REINFORCED CONCRETE SHOULD BE USED. SLAB SHALL INCLUDE 12" TURN DOWN FOOTINGS AT WALL LOCATIONS.

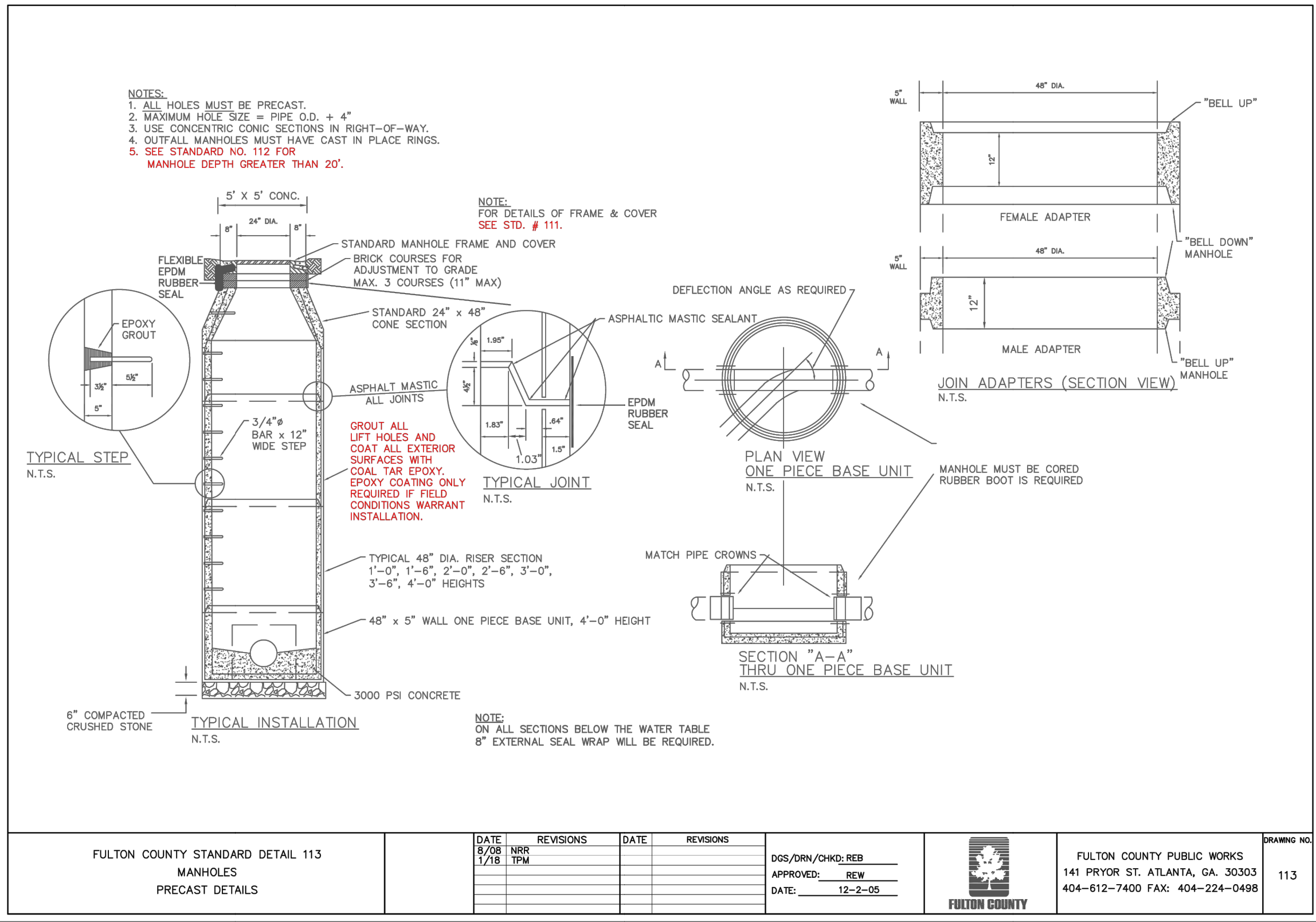
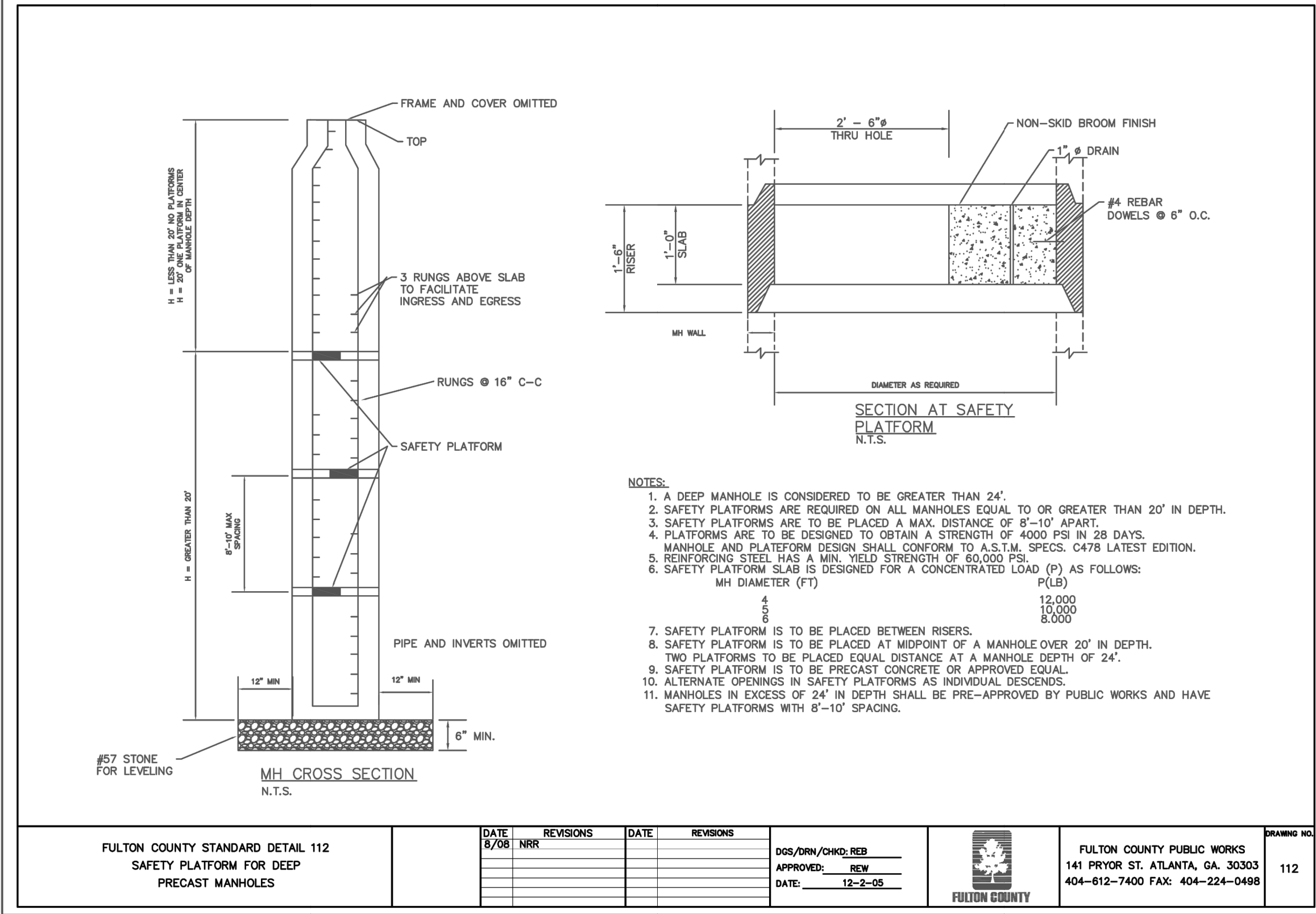
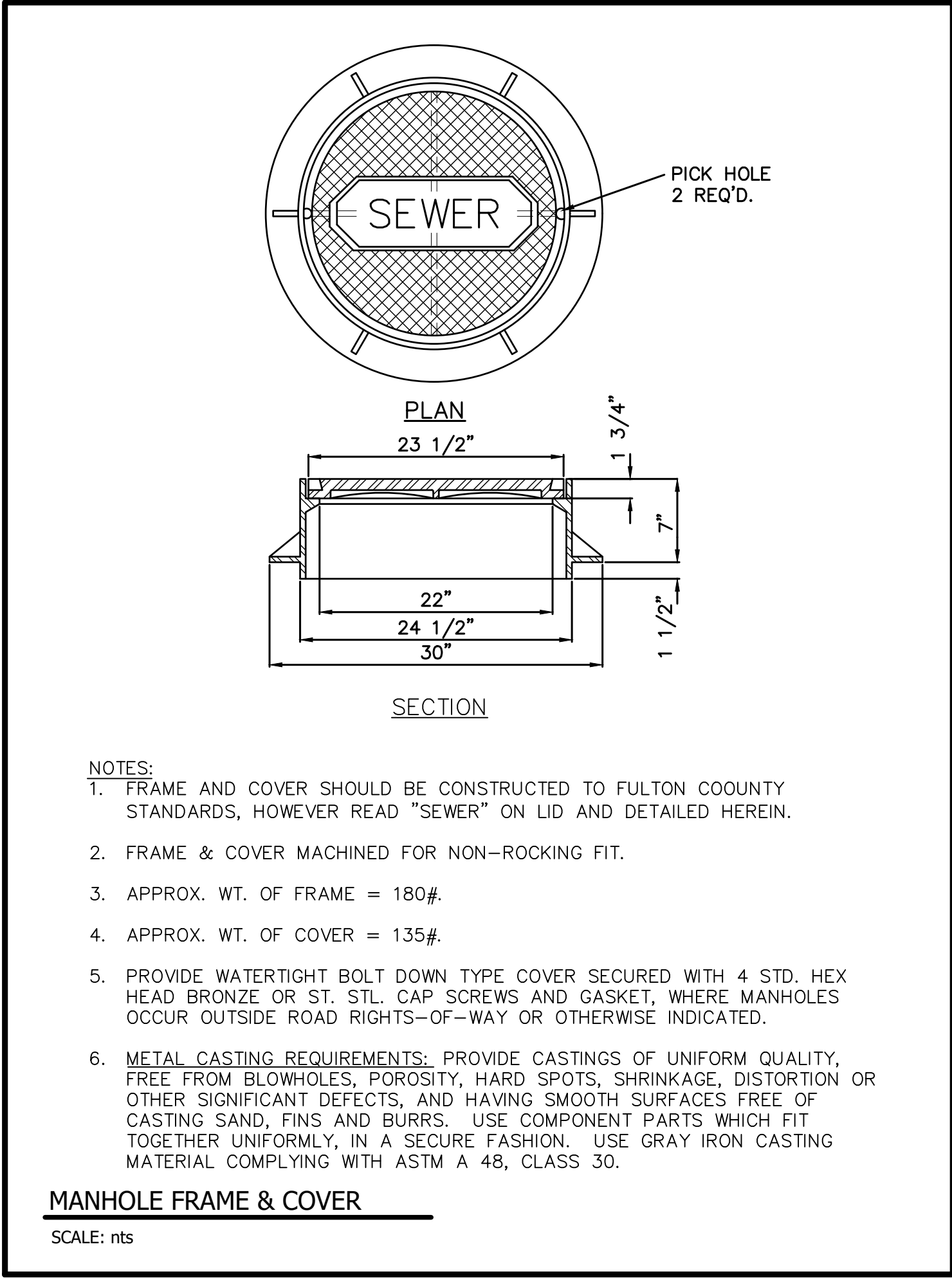
DUMPSTER ENCLOSURE DETAIL
SCALE: N.T.S.

Rev.	Date	Description
1	5/5/23	ISSUED FOR PERMIT
2	2/24/23	ISSUED FOR PERMIT
3	5/2/23	ISSUED FOR REVIEW
4	5/2/23	ISSUED FOR REVIEW
5	5/2/23	ISSUED FOR REVIEW
6	5/2/23	ISSUED FOR REVIEW
7	5/2/23	ISSUED FOR REVIEW
8	5/2/23	ISSUED FOR REVIEW
9	5/2/23	ISSUED FOR REVIEW
10	5/2/23	ISSUED FOR REVIEW
11	5/2/23	ISSUED FOR REVIEW
12	5/2/23	ISSUED FOR REVIEW
13	5/2/23	ISSUED FOR REVIEW
14	5/2/23	ISSUED FOR REVIEW
15	5/2/23	ISSUED FOR REVIEW
16	5/2/23	ISSUED FOR REVIEW
17	5/2/23	ISSUED FOR REVIEW
18	5/2/23	ISSUED FOR REVIEW
19	5/2/23	ISSUED FOR REVIEW
20	5/2/23	ISSUED FOR REVIEW

Date	Rev.	Description	Check by	Drawn by	Design by	Review by
2/9/22			JLV	LBW	JLV	JLV
1/23/21			JLV			JLV
5/2/23	3.	ISSUED FOR PERMIT	JLV			JLV
2/24/23	2.	ISSUED FOR PERMIT	JLV			JLV
5/20/22	1.	ISSUED FOR REVIEW	JLV			JLV

DATE	2/9/22	PROJECT #	1633.2101	CHECK BY	JLV	DRAWN BY	LBW	DESIGN BY	JLV	REVIEW BY	JLV
DESCRIPTION	SITE DEVELOPMENT PLANS FOR 74 SOUTH BUSINESS PARK										
LOCATION	LAND LOT 116 OF THE 7TH DISTRICT, FAYETTE COUNTY, GEORGIA										

CONSTRUCTION DETAILS



Rev.	Description	Date	Apr.
1.	ISSUED FOR PERMIT	5/2/23	31.W
2.	ISSUED FOR PERMIT	2/26/23	31.W
3.	ISSUED FOR REVIEW	5/26/22	31.W

