



December 26, 2024

## Project Narrative

Project: Taco Bell  
1803 Washington Street  
Two Rivers, WI

Pacific Bells LLC is requesting site plan and conditional use review and approval for a new Taco Bell quick-serve restaurant with a drive-thru located at 1803 Washington Street in the City of Two Rivers. The property is zoned B-1 Business and the proposed use is permitted. The drive-thru use requires a conditional use permit. The 0.63 acre site currently contains a retail store that will be demolished for the proposed project.

The proposed Taco Bell will be single-story with a building footprint of 2,239 square feet with a single drive-thru lane around the north side of the building. A waste enclosure is proposed on the southeast corner of the site. Adequate parking will be provided with 16 spaces (including 1 handicap accessible stall). The existing access to the site from 18<sup>th</sup> Street will remain and the existing access from Washington St will be reconstructed in the same location.

Exterior materials are represented in the attached color elevations and waste enclosure detail. The building and site will blend in with and enhance the character of the area. The property will be transformed into a commercial development that is aesthetically pleasing with high-quality exterior materials on the building along with landscaping designed to ensure species resiliency and complimentary style. Site lighting will be provided in a fashion that provides appropriate foot candles for safety with cut-off fixtures for minimal light trespass and directed inward toward the development.



**TWO RIVERS**  
WISCONSIN

**LAND DEVELOPMENT APPLICATION**

APPLICANT Pacific Bells (Contact: Kari Keller) TELEPHONE 714-724-9415

MAILING ADDRESS 111 W 39th Street Vancouver WA 98660  
(Street) (City) (State) (Zip)

PROPERTY OWNER CEHOG I, LLC TELEPHONE 847-904-9201

MAILING ADDRESS 209 Powell Place Brentwood TN 37027  
(Street) (City) (State) (Zip)

REQUEST FOR:

- |                                     |                                  |                                     |                           |
|-------------------------------------|----------------------------------|-------------------------------------|---------------------------|
| <input type="checkbox"/>            | Comprehensive Plan Amendment     | <input checked="" type="checkbox"/> | Conditional Use           |
| <input checked="" type="checkbox"/> | Site/Architectural Plan Approval | <input type="checkbox"/>            | Annexation Request        |
| <input type="checkbox"/>            | Subdivision Plat or CSM Review   | <input type="checkbox"/>            | Variance/Board of Appeals |
| <input type="checkbox"/>            | Zoning District Change           | <input type="checkbox"/>            | Other                     |

STATUS OF APPLICANT:  Owner  Agent  Buyer  Other

PROJECT LOCATION 1803 Washington Street TYPE OF STRUCTURE Proposed 2,239 sf building

PRESENT ZONING B-1 Business REQUESTED ZONING B-1 Business

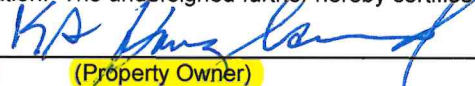
PROPOSED LAND USE Taco Bell restaurant with drive-thru

PARCEL # 05300005109106 ACREAGE 0.63

LEGAL DESCRIPTION Lots Seven (7), Eight (8), and Nine (9) of Block Fifty-one (51) of the ORIGINAL PLAT, in the City of Two Rivers, Manitowoc County, Wisconsin

**NOTE: Attach a one-page written description of your proposal or request.**

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed  Date 12/24/2024  
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date \_\_\_\_\_
- Date Fee(s) Paid \_\_\_\_\_
- Plan(s) Submittal Date \_\_\_\_\_
- Plan Comm Appearance \_\_\_\_\_

\$ \_\_\_\_\_ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY \_\_\_\_\_



 uscellular

OPEN

\$1000  
OFF ANY  
PHONE

HOME  
INTERNET  
\$39.99

uscellular  
\$40  
UNLIMITED DATA

LET'S  
FIND  
US  
AGAIN.



**SWEET FIRE  
TOBACCO**

**R LEASE  
MIK E  
509013**





SWEET FIRE  
TOBACCO

1803

FOR  
LEASE/SALE  
(847) 904-9200

LEGACY  
(847) 904-9200  
LEGACYPRO.COM

FIGHTER  
FOR MONEY

BUY  
AMERICAN  
OLD MEAT

OPEN

E-Cigs  
E-Liquid  
VAPERS

COORS

NEW  
HEALTHY  
PROTEIN  
BARBERS

FLAVOR  
PULVER  
THERMAL  
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# SWEET FIRE TOBACCO

CIGARS  
BUY 4  
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FREE

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LEGACYPRO.COM

RIGHT ON  
THE MONEY  
SOLD HERE

BUY  
AMERICAN  
SOLD HERE

LOW  
LOW  
CIGARETTE  
PRICES  
Don't forget  
to ask for  
your receipt  
for enter-  
tainment

OPEN

E-Cigs  
E-Liquid  
VAPORIZERS

CIGARS  
NEW  
GLASS  
PRICES!  
LOWEST  
AROUND

NEW  
VAPOR  
JUICES  
LOWER  
PRICES









# NEW BUILDING FOR: PACIFIC BELLS LLC

## TWO RIVERS, WI



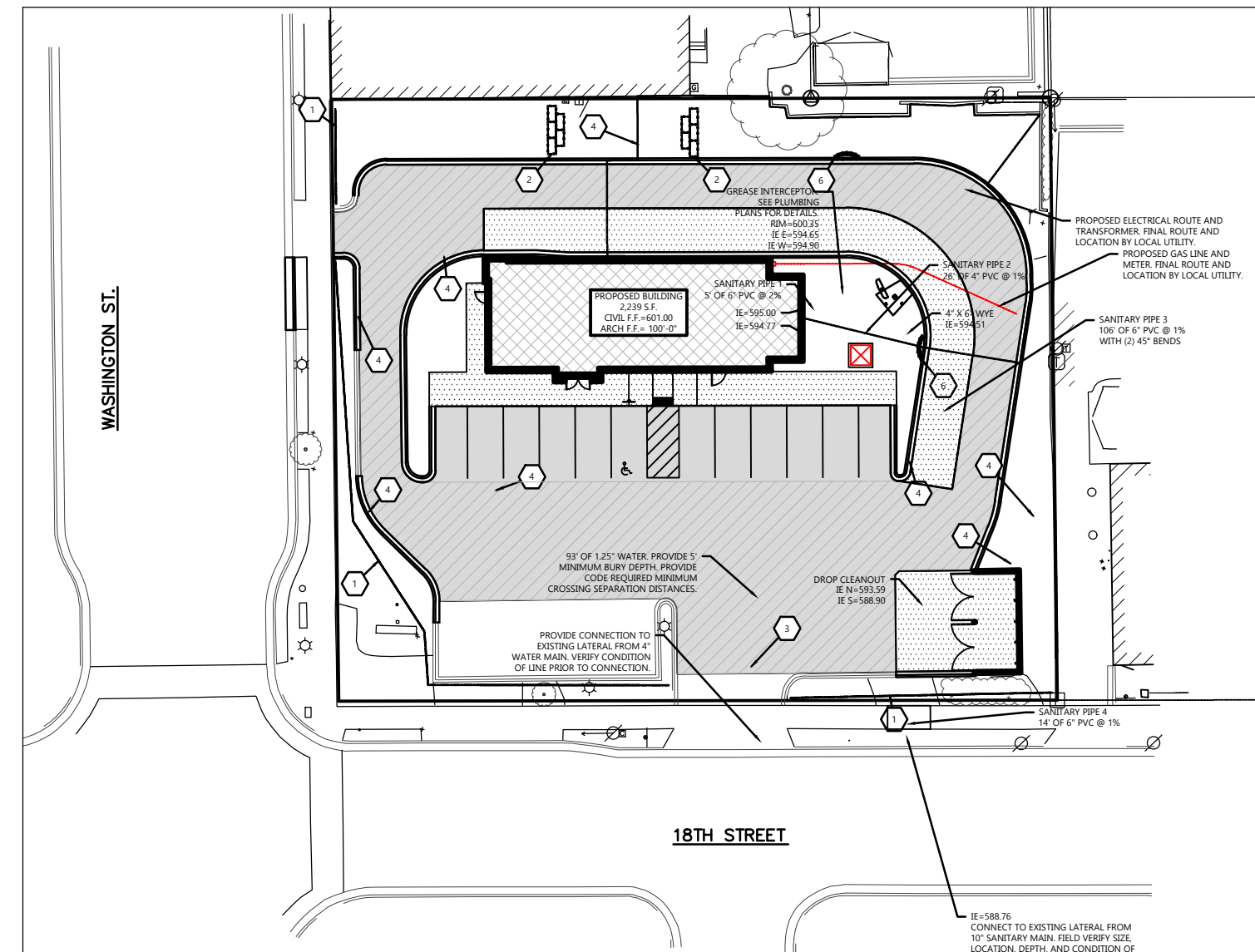
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100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

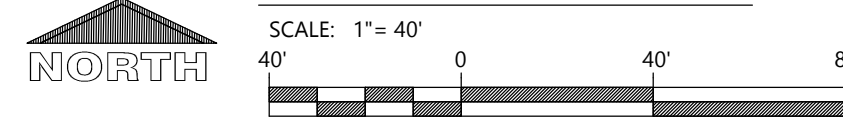
**TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN**  
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE TELEFAX (414) 259-0947  
TDD (FOR THE HEARING IMPAIRED)  
1-800 542-2289  
WISCONSIN STATUTE 182.0175 (1974)  
REQUIRES MINIMUM OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. \_\_\_\_\_ BY \_\_\_\_\_ TITLE COMPANY, DATED \_\_\_\_\_ 20\_\_\_\_. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20244618020 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN NO WAY A SUBSTITUTE FOR UTILITY LOCATING AT THE TIME OF EXCAVATION.



SITE PLAN OVERVIEW



## PROJECT CONTACTS

**OWNER INFORMATION:**

Anchor Point Management  
Kari Keller  
111W. 39TH Street  
Vancouver, WA 98660  
Phone: (714) 724-9415  
Email: KKeller@Anchorpointmg.com

**CIVIL:**

Eric Draskowski, P.E.  
Phone: (920)322-1678  
E-mail: eric.draskowski@excelengineer.com

**CITY PLANNER:**

Elizabeth Runge  
Phone: (920)793-5566  
E-mail: erunge@two-rivers.org

**CITY ENGINEER/DIRECTOR OF PUBLIC WORKS:**

Matthew Heckenlaible  
Phone: (920)793-5566  
E-mail: mathe@two-rivers.org

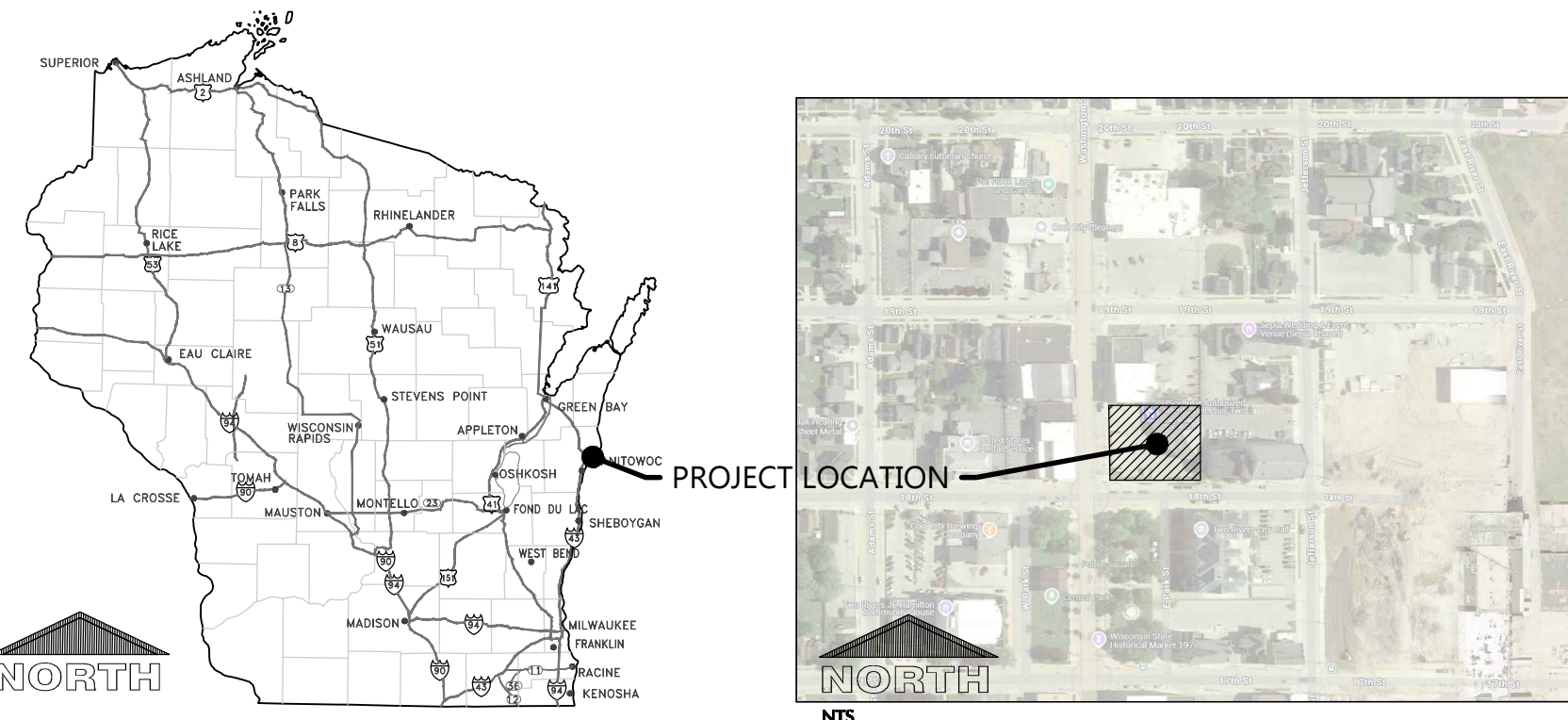
**CITY FIRE CHIEF:**

Dave Murack  
Phone: (920)793-5521

**CITY BUILDING INSPECTOR:**

Jane Drager  
Phone: (920)793-5566  
E-mail: jdrager@two-rivers.org

## LOCATION MAP



## PROJECT NOTES

### GENERAL PROJECT NOTES

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

### CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

## SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN: COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

## LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
<b>SPOT ELEVATIONS</b>			
1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	1000.00	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
1000.00	EXISTING GRADE SPOT ELEVATIONS	1000.00	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
1000.00	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL	1000.00	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
1000.00	FG-FINISHED SURFACE GRADE AT FRONT OF WALL		
<b>EXISTING SITE SYMBOLS</b>			
EXISTING SIGN	EXISTING UTILITY POLE	EXISTING HANDICAP PARKING STALL	EXISTING UTILITY POLE WITH GUY WIRE
EXISTING WATER VALVE IN BOX	EXISTING STREET LIGHT	EXISTING WATER VALVE IN MANHOLE	EXISTING TELEPHONE PEDESTAL
EXISTING WATER SERVICE VALVE	EXISTING ELECTRIC PEDESTAL	EXISTING WELL	EXISTING ELECTRIC BOX
EXISTING STORM CATCH BASIN	EXISTING FLOOD LIGHT	EXISTING STORM CURB INLET	EXISTING TELEPHONE MANHOLE
EXISTING SQUARE CATCH BASIN	EXISTING CABLE TV PEDESTAL	EXISTING LIGHT POLE	EXISTING GAS VALVE
1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	EXISTING HEDGE	3/4" REBAR SET WEIGHING 1.50 LB/FT.	EXISTING WOODED AREA
1-1/4" REBAR FOUND	EXISTING MARSH AREA	3/4" REBAR FOUND	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
2" IRON PIPE FOUND	EXISTING CONIFEROUS TREE	1" IRON PIPE FOUND	EXISTING SHRUB
SECTION CORNER	EXISTING STUMP		
<b>PROPOSED SITE SYMBOLS</b>			
PROPOSED SIGN	PROPOSED STORM FIELD INLET - ST FI	PROPOSED HANDICAP PARKING STALL	PROPOSED LIGHT POLE
PROPOSED WATER VALVE IN BOX	PROPOSED DRAINAGE FLOW	PROPOSED WATER VALVE IN MANHOLE	PROPOSED APRON END SECTION
PROPOSED WATER SERVICE VALVE	SOIL BORING	PROPOSED WELL	CENTER LINE
PROPOSED STORM CATCH BASIN - ST CB	PROPOSED CLEANOUT	PROPOSED STORM CURB INLET - ST CI	PROPOSED DOWNSPOUT TO GRADE
	PROPOSED DOWNSPOUT TO RISER		
<b>EXISTING LINETYPES</b>			
EXISTING CHAINLINK FENCE	EXISTING POLISH SEWER AND MANHOLE	EXISTING WOOD FENCE	EXISTING PROCESS SEWER AND MANHOLE
EXISTING BARBED WIRE FENCE	EXISTING CLEAR WATER LINE	EXISTING CURB AND GUTTER	EXISTING UNDERGROUND FIBER OPTIC LINE
EXISTING GUARD RAIL	EXISTING UNDERGROUND ELECTRIC CABLE	EXISTING GROUND CONTOUR	EXISTING UNDERGROUND TELEPHONE CABLE
EXISTING STORM SEWER AND MANHOLE	EXISTING UNDERGROUND GAS LINE	EXISTING SANITARY SEWER AND MANHOLE	EXISTING OVERHEAD UTILITY LINE
EXISTING WATER LINE AND HYDRANT	RAILROAD TRACKS	INTERIOR PROPERTY LINE	RIGHT-OF-WAY LINE
<b>PROPOSED LINETYPES</b>			
PROPOSED CHAINLINK FENCE	PROPOSED POLISH SEWER AND MANHOLE	PROPOSED WOOD FENCE	PROPOSED PROCESS SEWER AND MANHOLE
PROPOSED BARBED WIRE FENCE	PROPOSED CLEAR WATER LINE	PROPOSED CURB AND GUTTER	PROPOSED UNDERGROUND FIBER OPTIC LINE
PROPOSED GUARD RAIL	PROPOSED UNDERGROUND ELECTRIC CABLE	PROPOSED GROUND CONTOUR	PROPOSED UNDERGROUND TELEPHONE CABLE
PROPOSED STORM SEWER AND MANHOLE - ST MH	PROPOSED UNDERGROUND GAS LINE	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	PROPOSED OVERHEAD UTILITY LINE
PROPOSED WATER LINE AND HYDRANT	MATCHLINE	PROPOSED PROPERTY LINE	GRADING/SEEDING LIMITS

CIVIL COVER SHEET

PROJECT INFORMATION

NEW BUILDING FOR:  
**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C0.1





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100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

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**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

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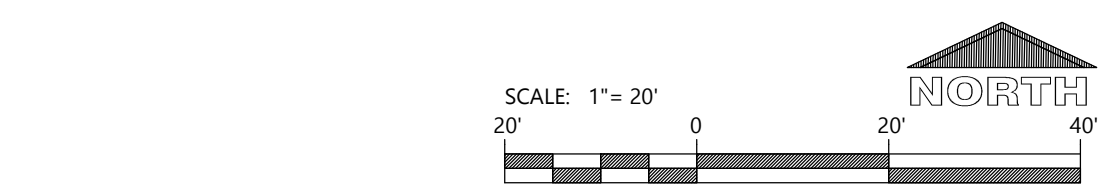
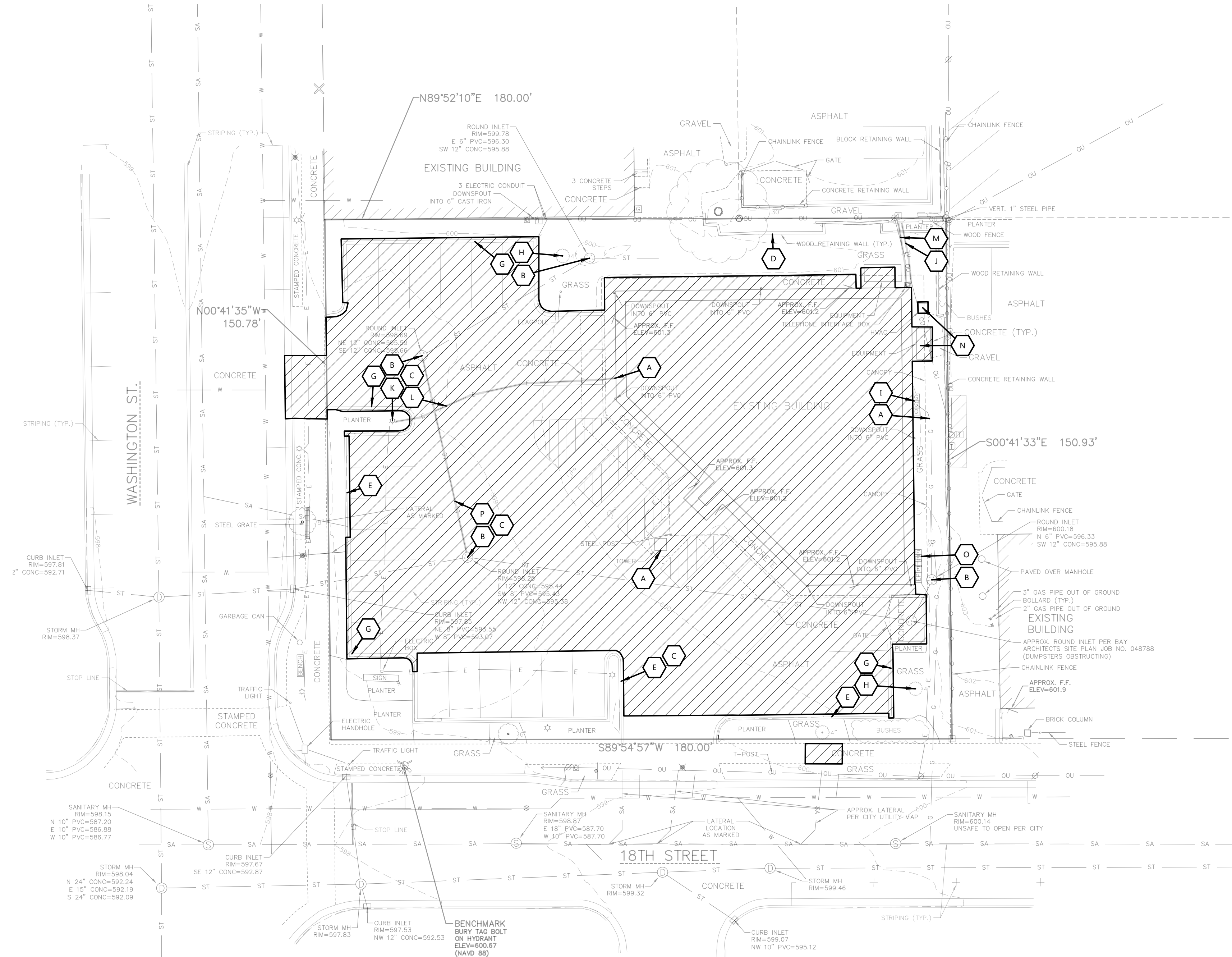
240331100

SHEET NUMBER

C1.0

KEYNOTES

A	REMOVE BUILDING, UTILITY SERVICES, AND ASSOCIATED SITE IMPROVEMENTS
B	PROTECT RIM
C	SAWCUT (AS NECESSARY) AND REMOVE PAVEMENT
D	PROTECT
E	PROTECT CURB
G	REMOVE CURB, SAWCUT (AS NECESSARY)
H	REMOVE TREE
I	REMOVE AND RELOCATE GAS METER
J	CONTRACTOR TO COORDINATE REMOVAL OF TV LINE WITH LOCAL UTILITY
K	REMOVE LIGHT POLE
L	CONTRACTOR TO COORDINATE REMOVAL OF ELECTRIC LINE WITH LOCAL UTILITY
M	CONTRACTOR TO COORDINATE REMOVAL OF TELEPHONE LINE WITH LOCAL UTILITY
N	REMOVE MECHANICAL EQUIPMENT
O	CONTRACTOR TO COORDINATE REMOVAL OF ELECTRICAL EQUIPMENT WITH LOCAL UTILITY
P	CONTRACTOR TO REMOVE 57' OF STORM LINE



CIVIL EXISTING SITE AND DEMOLITION PLAN



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PROJECT INFORMATION

NEW BUILDING FOR:  
**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 9, 2024  
DEC. 20, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C1.1

GENERAL NOTES:

- CONTRACTOR TO PROVIDE ENGINEER WITH FINAL JOINTING PLAN PRIOR TO CONSTRUCTION.

SITE INFORMATION:

PROPERTY AREA: 27,152 S.F. (0.63 ACRES).  
 EXISTING ZONING: B-1 BUSINESS  
 PROPOSED ZONING: B-1 BUSINESS  
 PROPOSED USE: RESTAURANT WITH DRIVE-THRU  
 AREA OF SITE DISTURBANCE: 19,946 S.F. (0.45 ACRES)

SETBACKS:  
 BUILDING: FRONT (WEST) = 0'  
 SIDE (NORTH) = 0'  
 REAR (EAST) = 20'  
 STREET (SOUTH) = 0'

BUFFER YARD:  
 STREET FRONTAGE (S/W) = 5'  
 INTERIOR LOT LINE (N/E) = 5'  
 (MAX. HEIGHT ALLOWED: 75')

PARKING REQUIRED: 1 SPACE PER EACH VEHICLE CONNECTED WITH THE BUSINESS, 1 SPACE FOR OWNER OR MANAGER, 1 SPACE FOR EACH 2 EMPLOYEES ON DUTY WHEN FULLY STAFFED (5 SPACES FOR EMPLOYEES/MANAGER PLUS 13 FOR CUSTOMERS=18 REQ.)  
 PARKING PROVIDED: 18 SPACES (1 H.C. ACCESSIBLE)  
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
6	ADA CURB RAMP (SEE DETAIL)
7	18" CURB & GUTTER (SEE DETAIL)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
15	REBRAND EXISTING MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
21	DETECTABLE WARNING PLATE PER STATE CODE
22	TRAFFIC FLOW ARROWS (TYP). COLOR TO MATCH PARKING STALL STRIPING
24	MENU BOARD AND CANOPY. DETAIL BY SUPPLIER.
26	12'X 30' LOADING ZONE

EXISTING SITE DATA

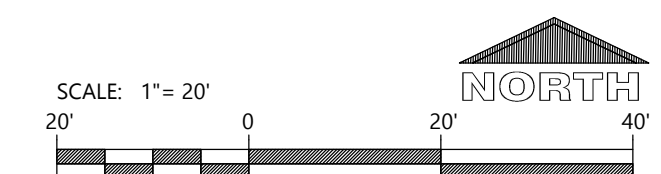
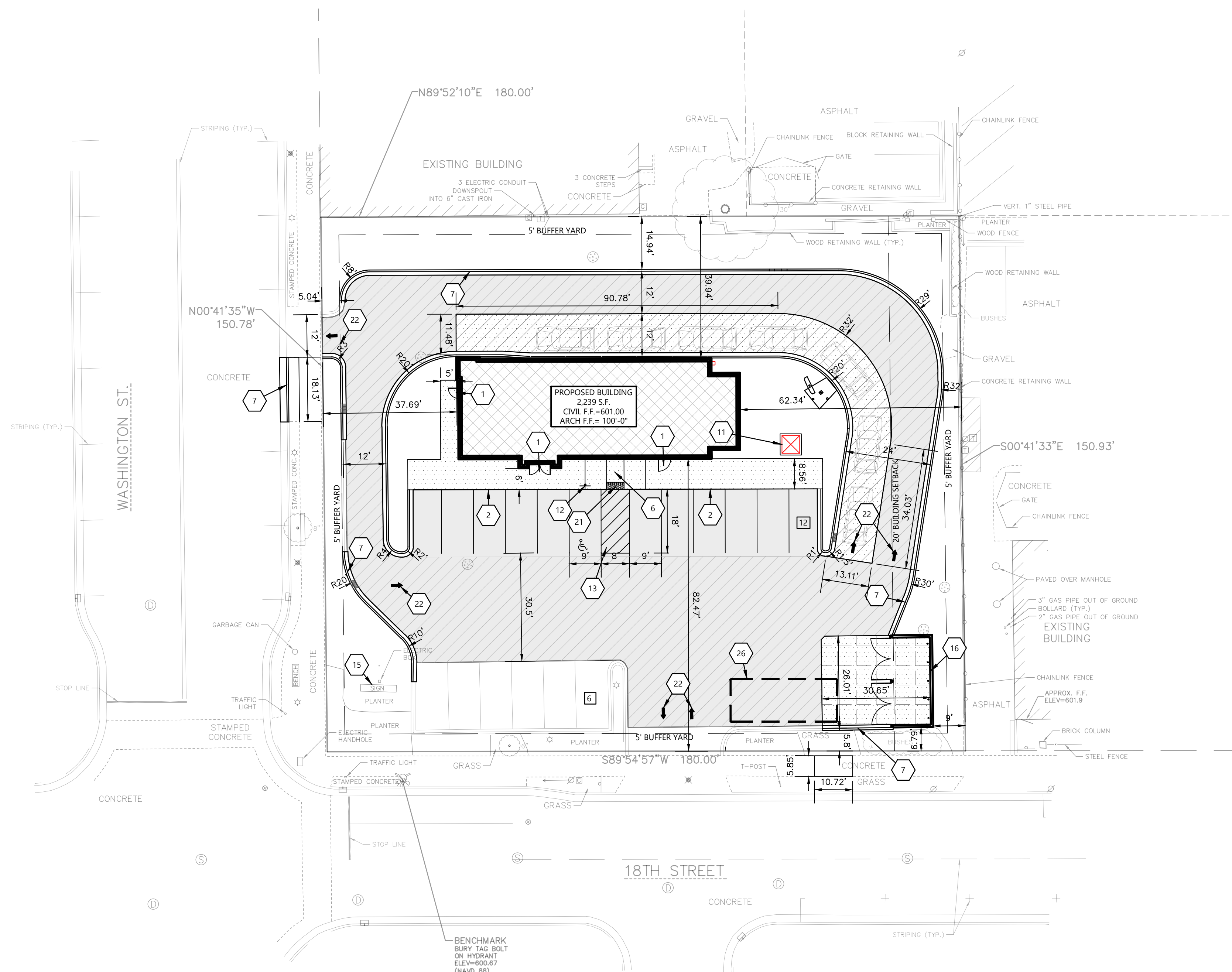
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.14	5,972	22.0%
PAVEMENT (ASP. & CONC.)	0.45	19,486	71.8%
TOTAL IMPERVIOUS	0.58	25,458	93.8%
LANDSCAPE/ OPEN SPACE	0.04	1,694	6.2%
PROJECT SITE	0.62	27,152	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.05	2,239	8.2%
PAVEMENT (ASP. & CONC.)	0.40	17,306	63.7%
TOTAL IMPERVIOUS	0.45	19,545	72.0%
LANDSCAPE/ OPEN SPACE	0.17	7,607	28.0%
PROJECT SITE	0.62	27,152	100.0%

LEGEND:

HATCH	PAVEMENT SECTION
[Hatch Pattern]	STANDARD ASPHALT
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	SIDEWALK CONCRETE
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	DUMPSTER PAD CONCRETE



CIVIL SITE PLAN



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920-926-9800  
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GENERAL NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

KEYNOTES

EC 1	SILT FENCE
EC 2	DITCH CHECK
EC 3	STABILIZED CONSTRUCTION ENTRANCE
EC 4	INLET PROTECTION
EC 5	SEDIMENT LOG

PROJECT INFORMATION

NEW BUILDING FOR:  
**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024

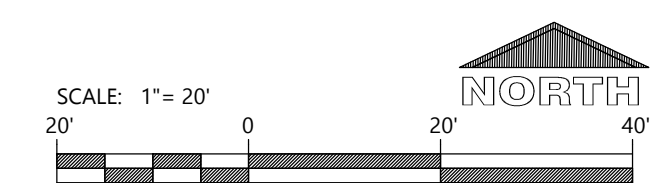
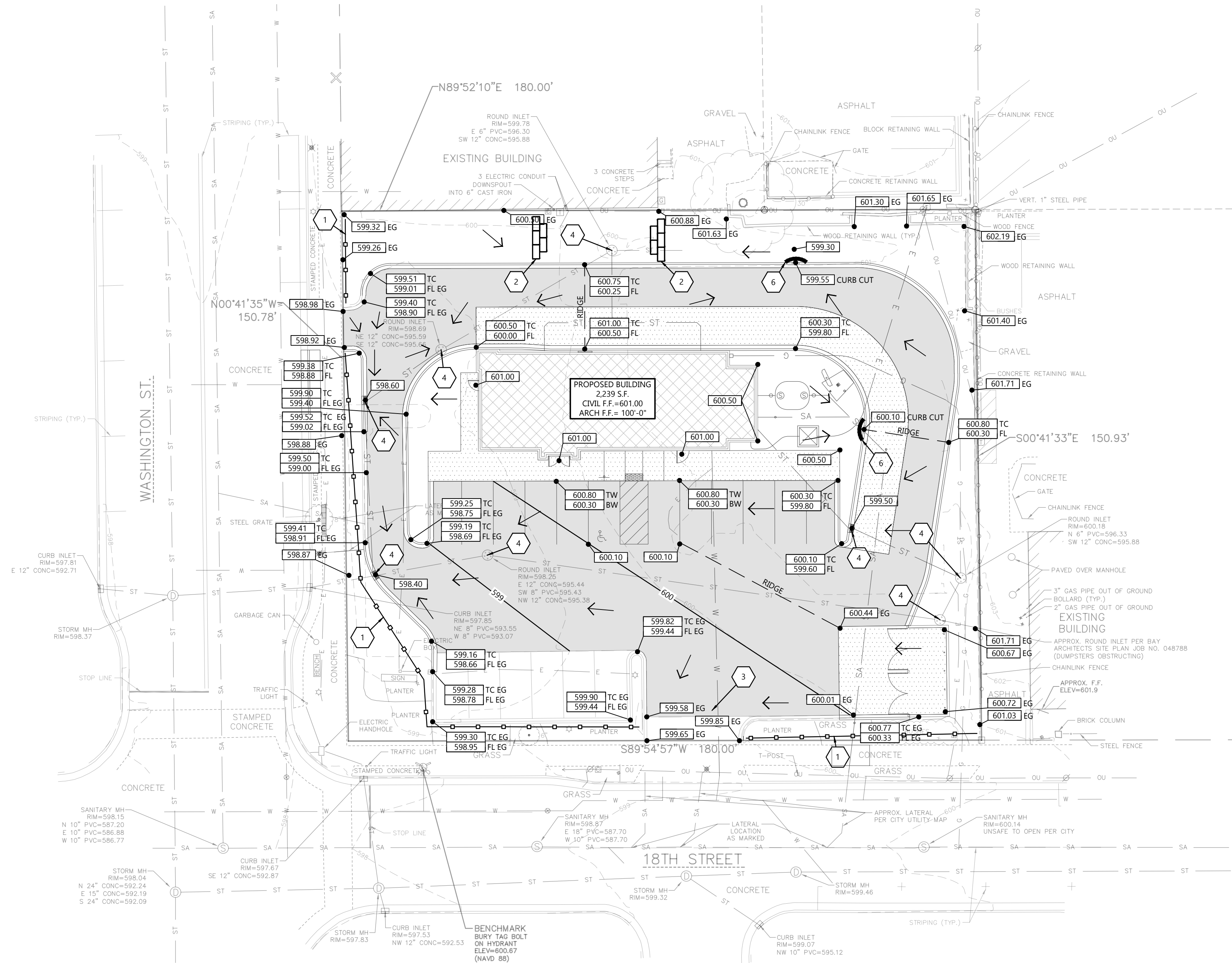
NOT FOR CONSTRUCTION

JOB NUMBER

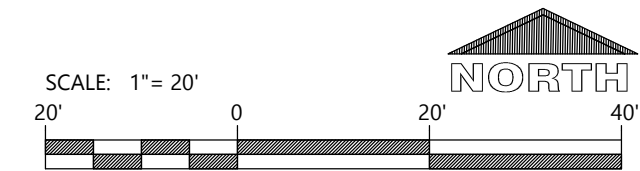
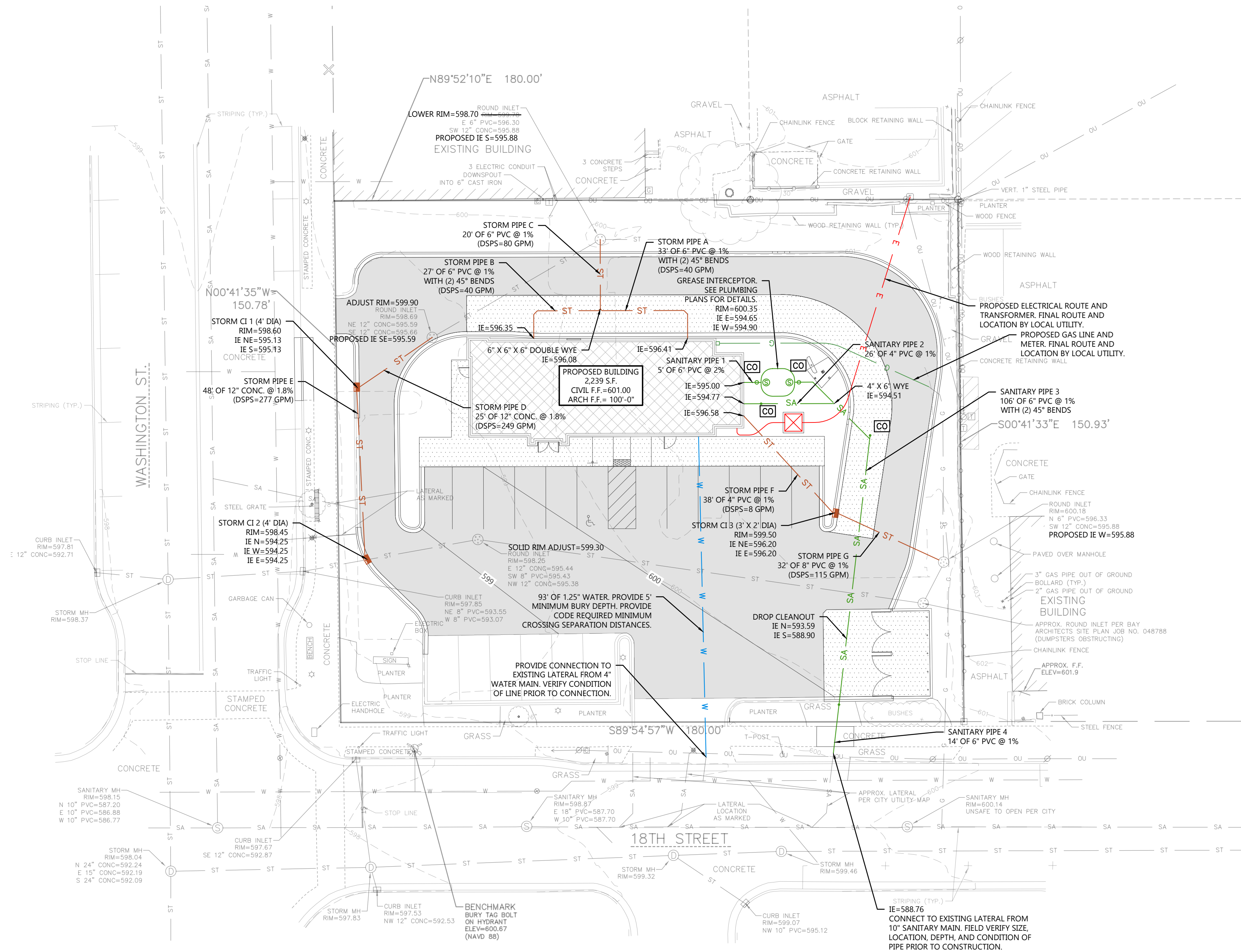
240331100

SHEET NUMBER

C1.2



CIVIL GRADING AND EROSION CONTROL PLAN



PROJECT INFORMATION

NEW BUILDING FOR:  
**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

**C1.4**

LANDSCAPING PLANTING SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTED SIZE	ROOT
DECIDUOUS TREES					
☼	Lancelot Crabapple	Malus 'Lanzam'	1	5 GAL.	CONT.
EXISTING SHRUBS					
○	Existing Vegetation to Remain	--	45	--	--
DECIDUOUS SHRUBS					
☼	Goldmound Spirea	Spiraea x bumalda 'Goldmound'	8	18" HT.	CONT.
PERENNIALS					
☼	Happy Returns Daylily	Hemerocallis 'Happy Returns'	14	1 GAL.	POT
☼	Garden Sage	Salvia officinalis	11	1 GAL.	POT
☼	Rosemary	Rosmarinus officinalis	9	1 GAL.	POT

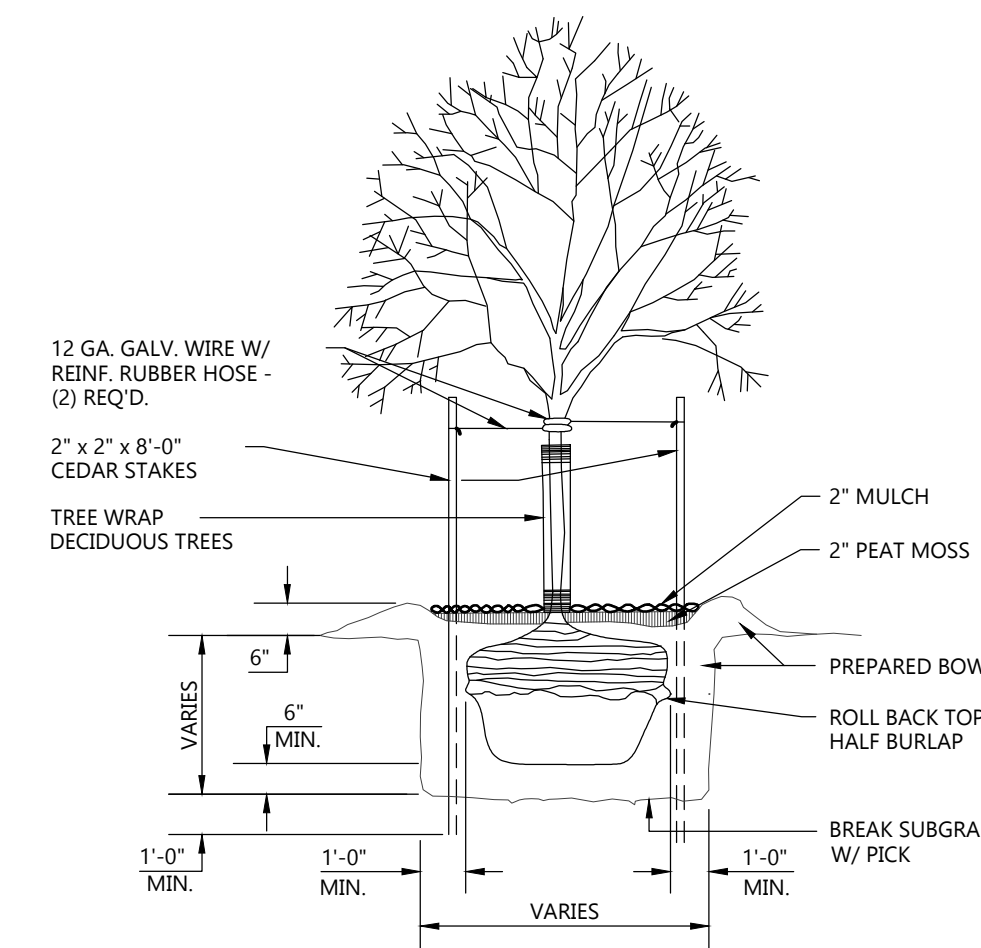
LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
INTERIOR LANDSCAPING	8,000 SF OF PARKING AREA / 18 TOTAL SPACES - INTERIOR LANDSCAPING SHALL BE AT LEAST 4% OF THE TOTAL SURFACE PARKING AREA - 1 TREE PER 10 PARKING SPACES REQUIRED: 352 SF OF LANDSCAPING / 2 TREES	PROVIDED: 590 SF EXISTING / 51 SF PROPOSED = 641 SF 1 EXISTING / 1 PROPOSED TREE = 2 TREES

GENERAL NOTES:

- PROTECT ALL EXISTING VEGETATION TO REMAIN SHOWN ON PLAN AND REPLACE IN KIND IF DAMAGED OR REMOVED.
- AREAS OF SOD SHOWN ALONG OUTER DRIVE AISLE ARE ESTIMATED BASED ON PROPOSED DEMOLITION AREAS. REPLACE DISTURBED LAWN AREA WITH SOD AS NEEDED.

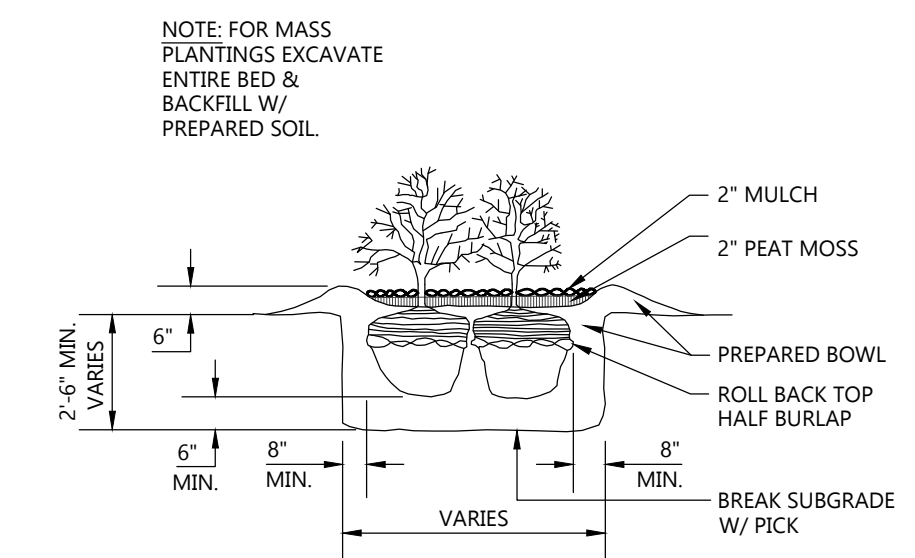
HATCH KEY:

HATCH	LANDSCAPE MATERIAL
	MINERAL MULCH (RIVER GRAY ROCK)
	ORGANIC MULCH (TO MATCH EXISTING)
	SODDED LAWN (TO MATCH EXISTING LAWN)



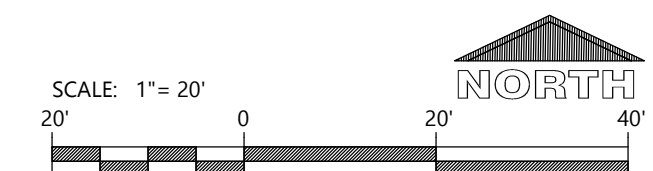
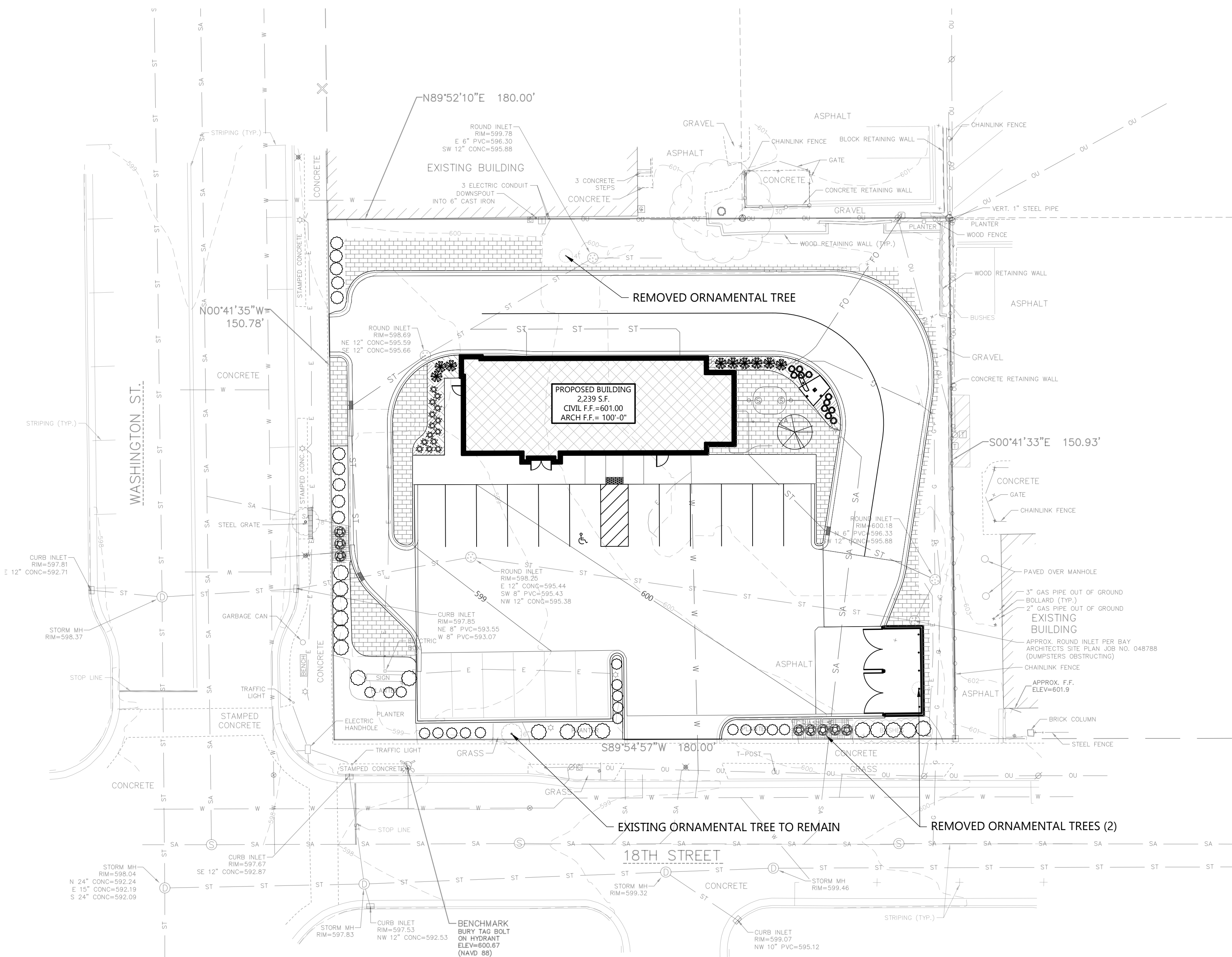
TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE





PROJECT INFORMATION

NEW BUILDING FOR:  
**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024

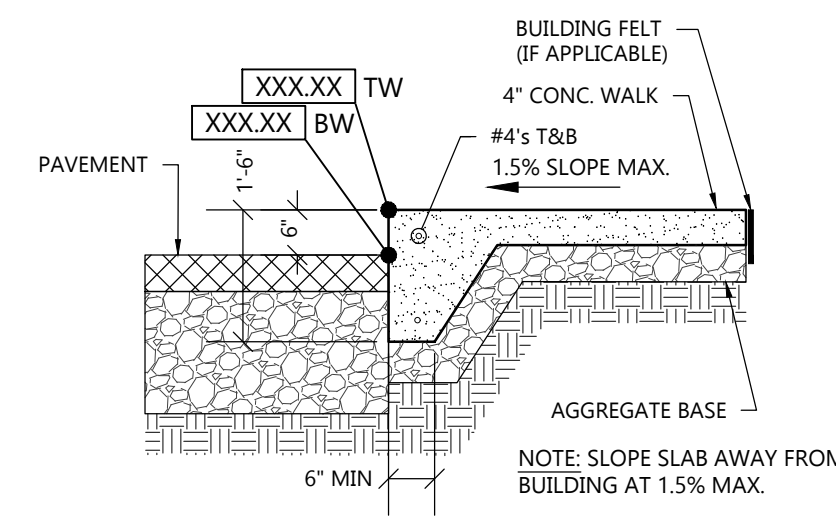
NOT FOR CONSTRUCTION

JOB NUMBER

240331100

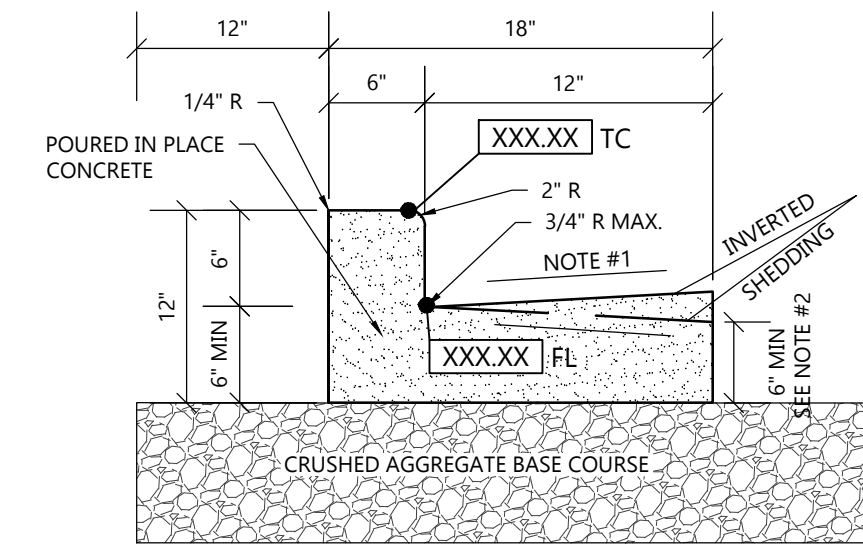
SHEET NUMBER

**C2.0**



**RAISED WALK DETAIL**

NOT TO SCALE

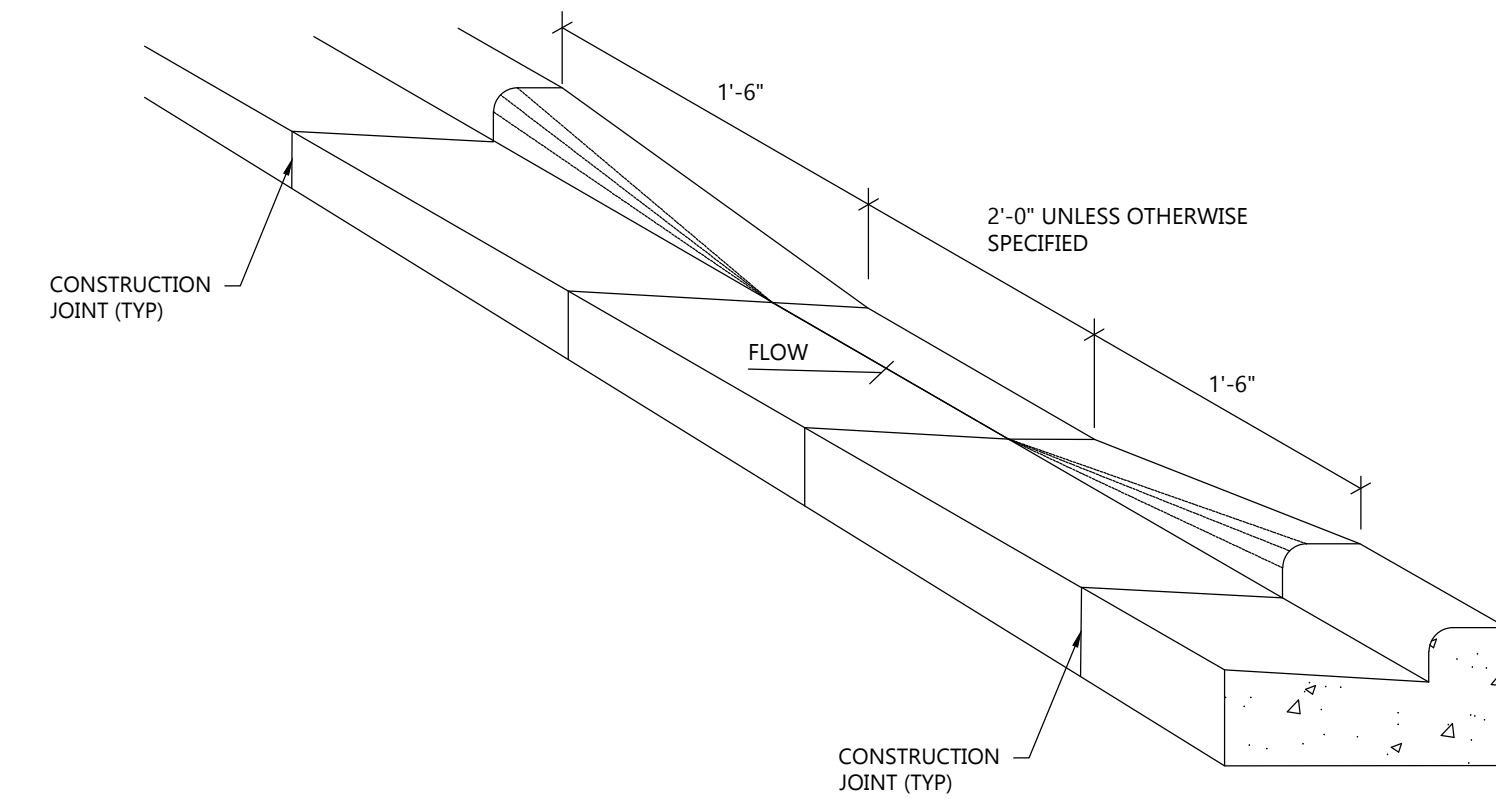


NOTE:

- USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
- THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
- SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

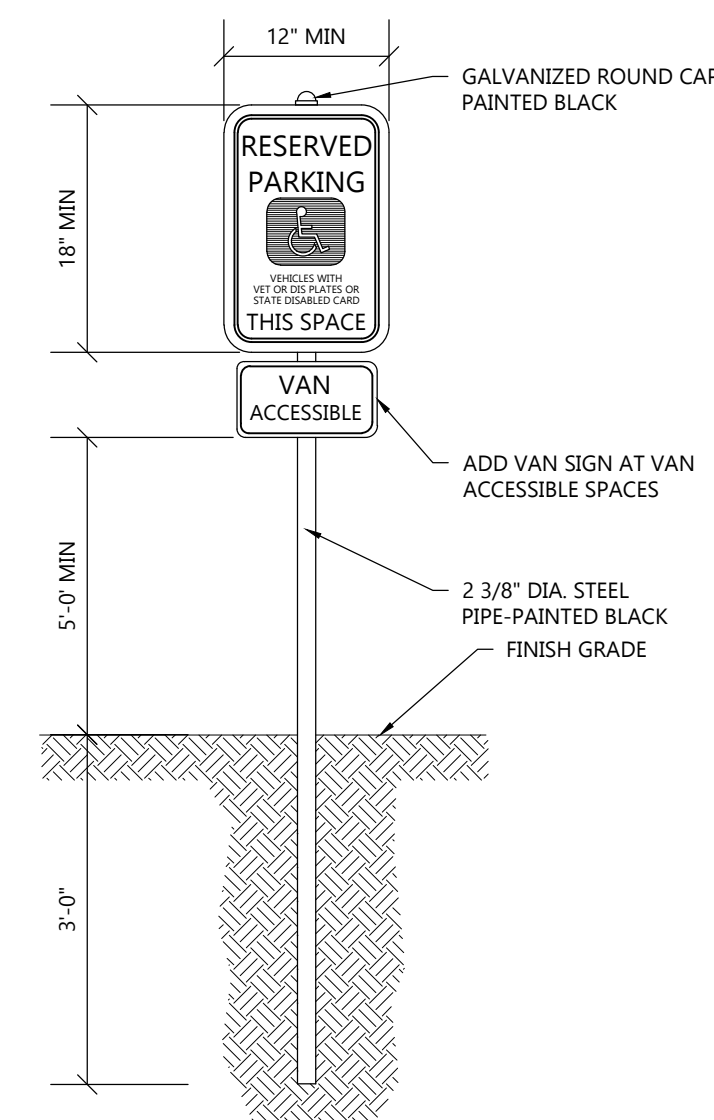
**18" CONCRETE CURB & GUTTER DETAIL**

NOT TO SCALE



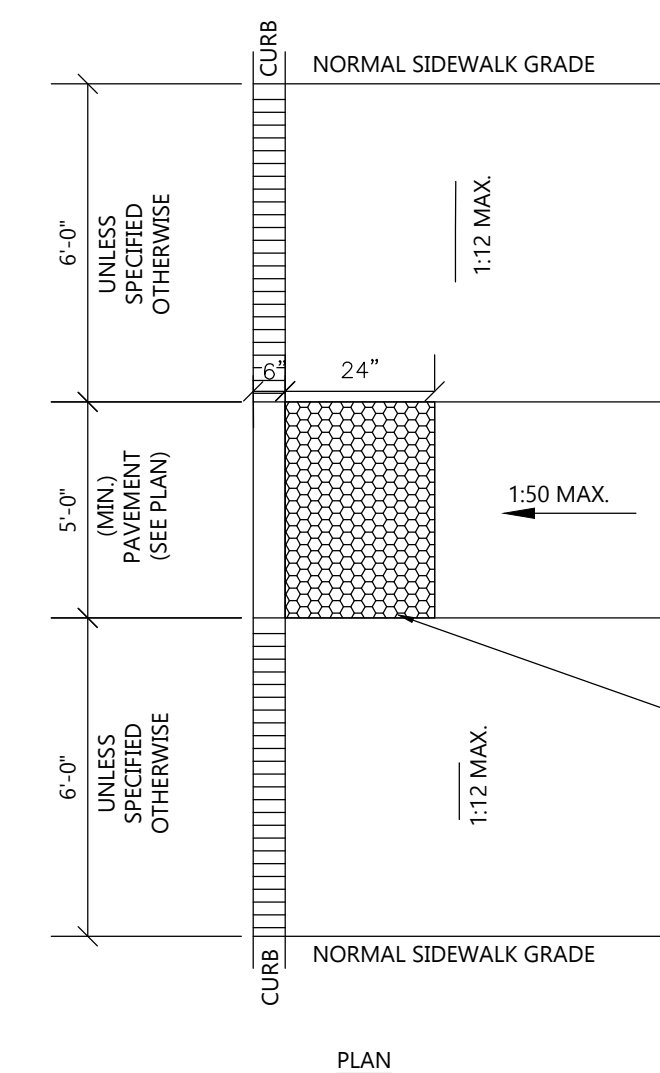
**CURB CUT DETAIL**

NOT TO SCALE



**HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL**

NOT TO SCALE



**ADA SIDEWALK RAMP DETAIL**

NOT TO SCALE

CIVIL DETAILS

**PROJECT INFORMATION**

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DEC. 20, 2024

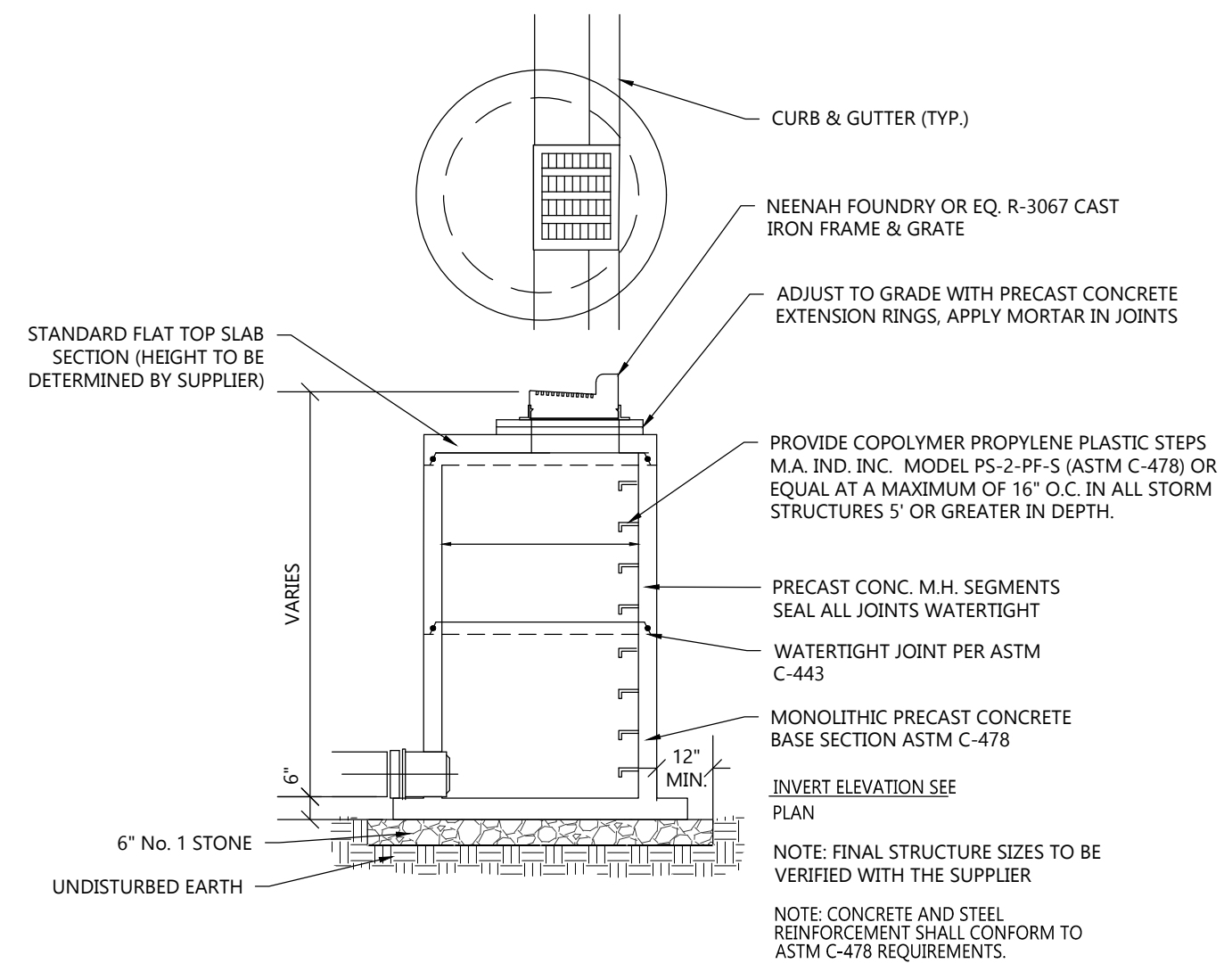
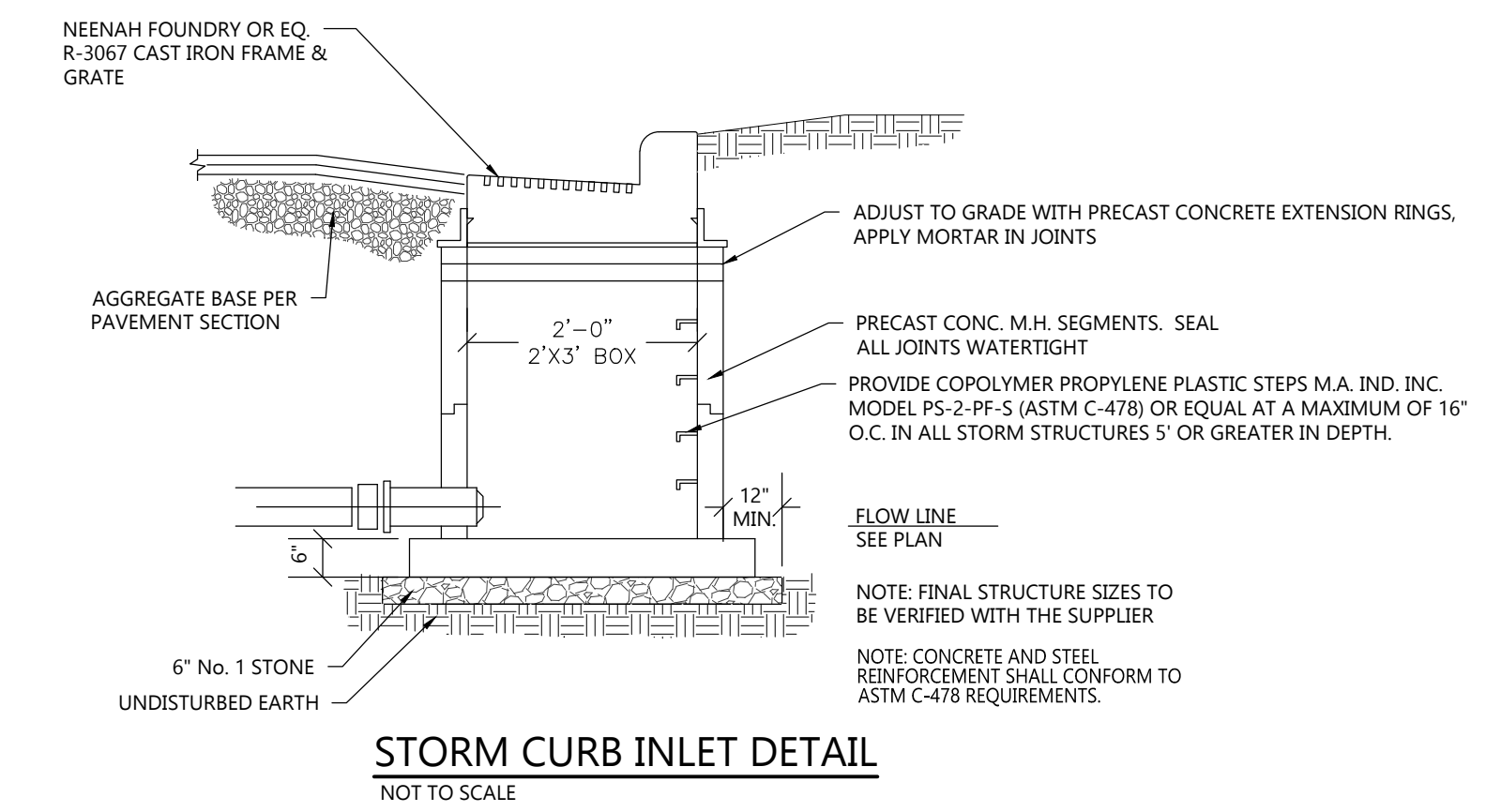
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**JOB NUMBER**

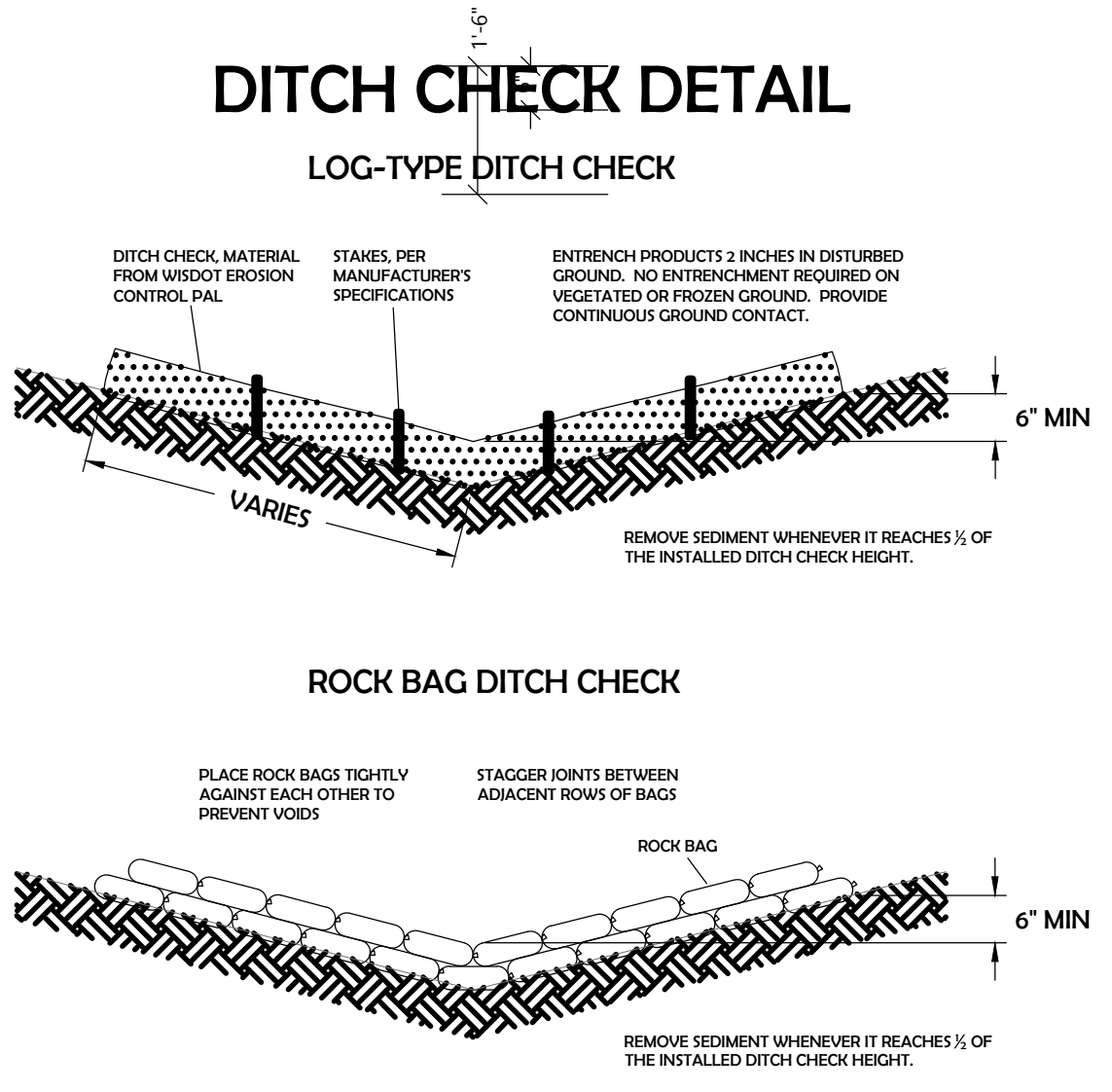
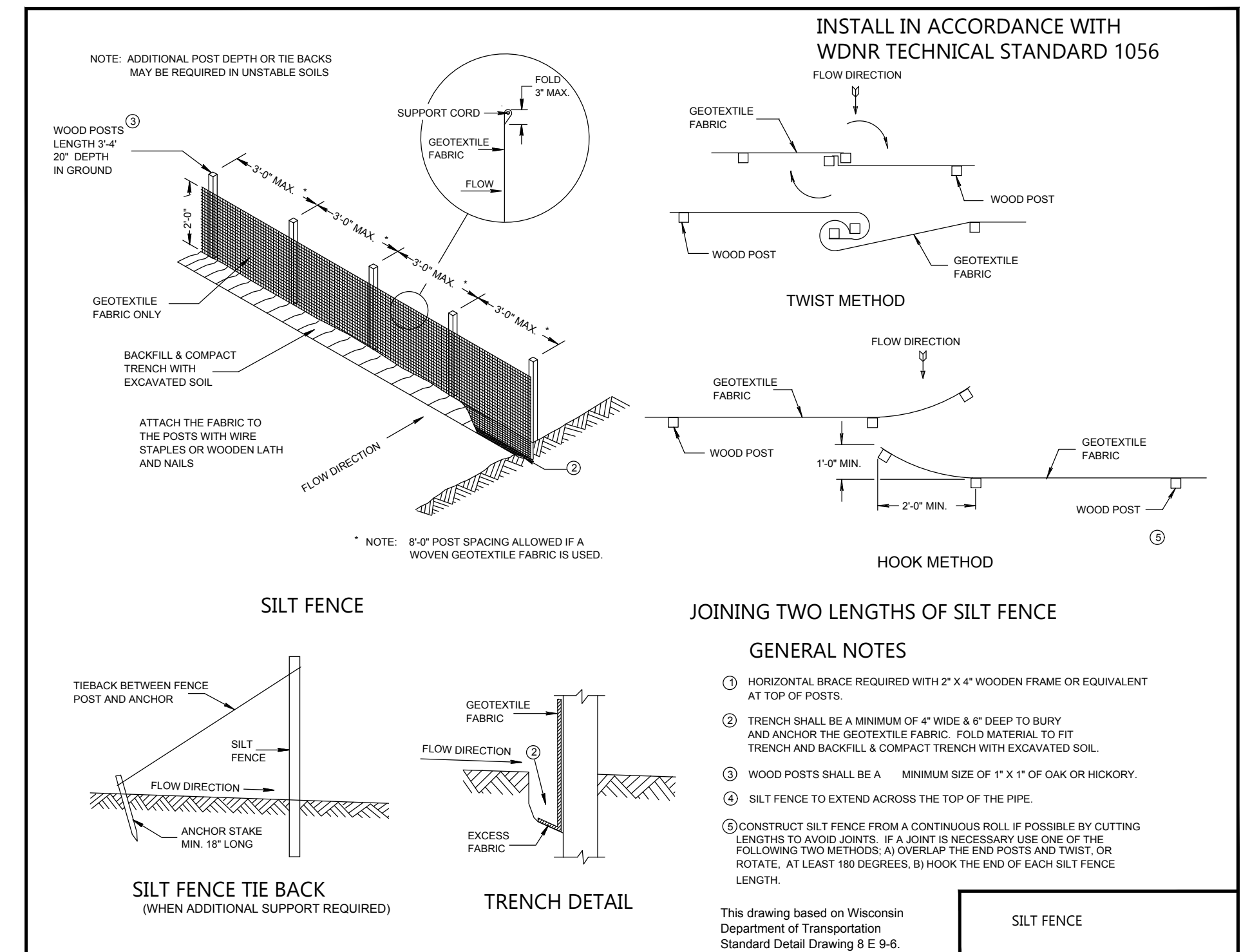
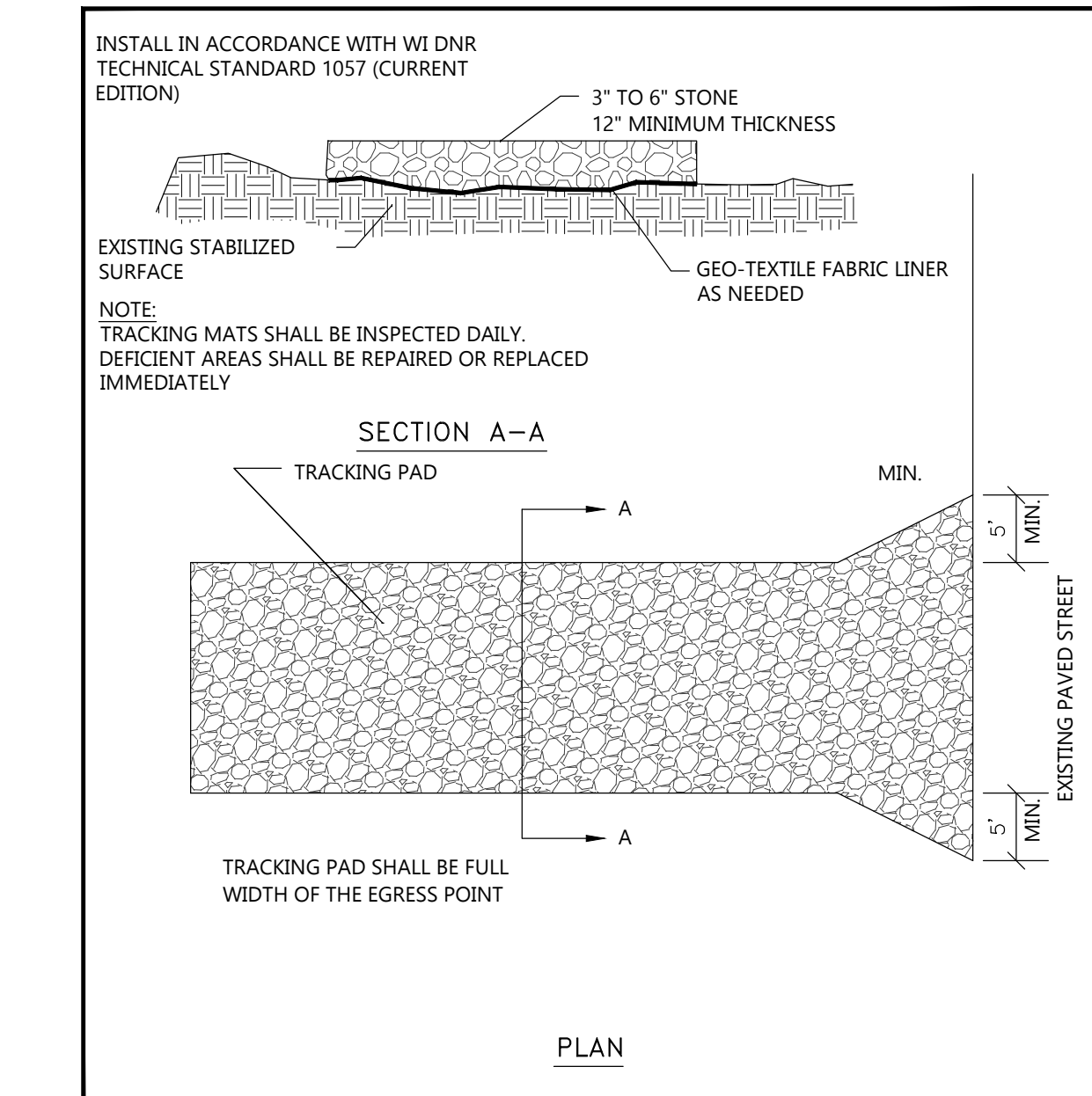
240331100

**SHEET NUMBER**

**C2.1**



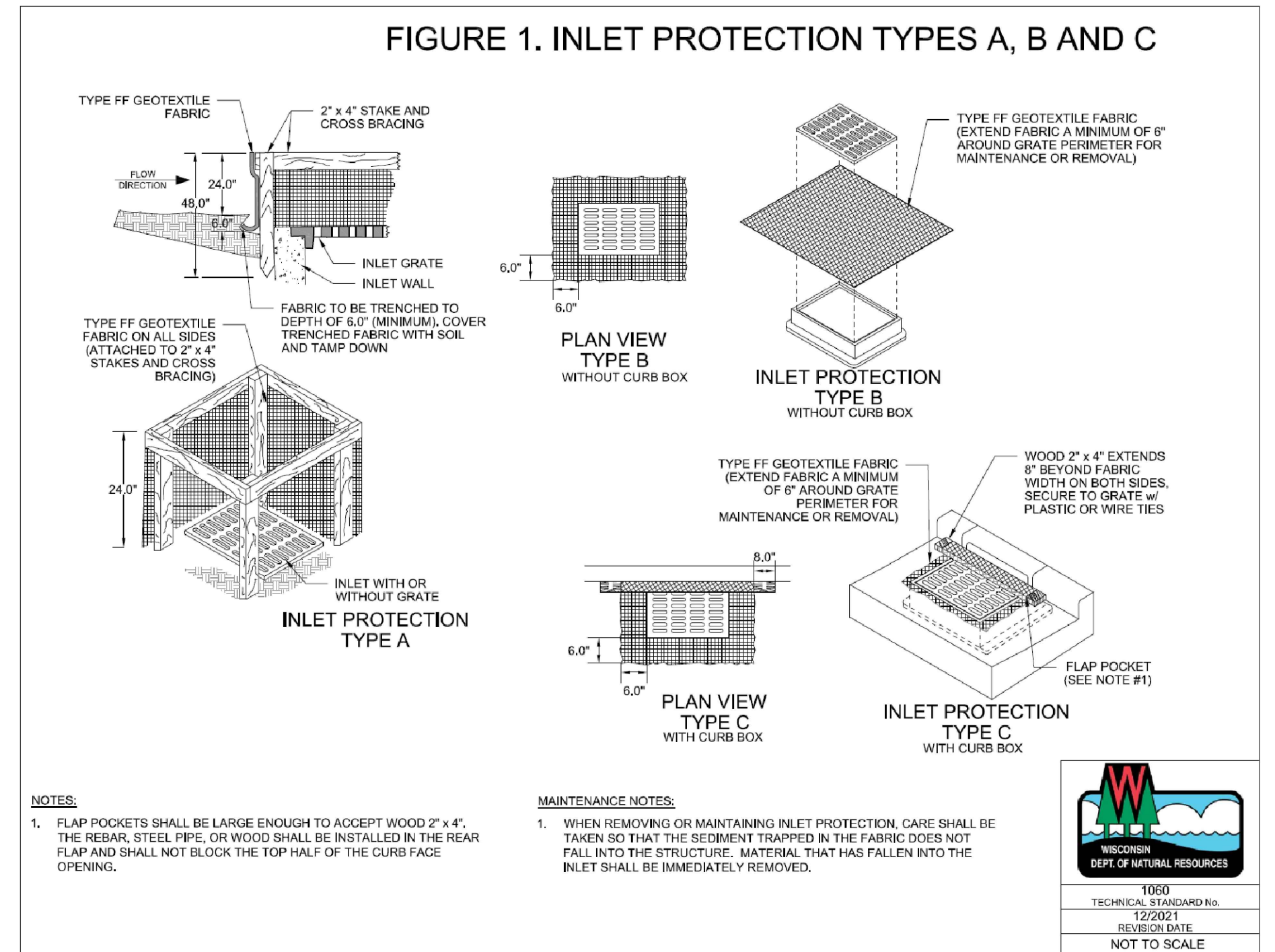
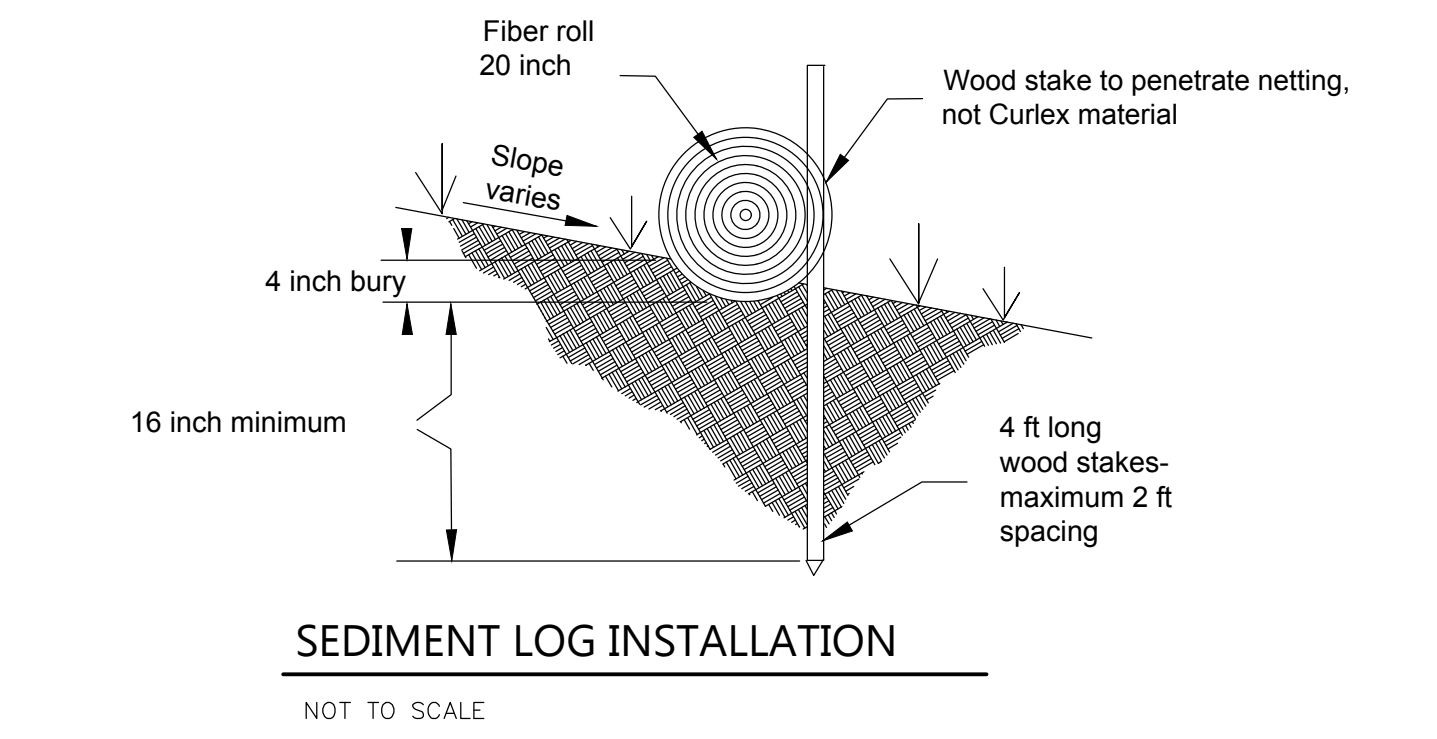
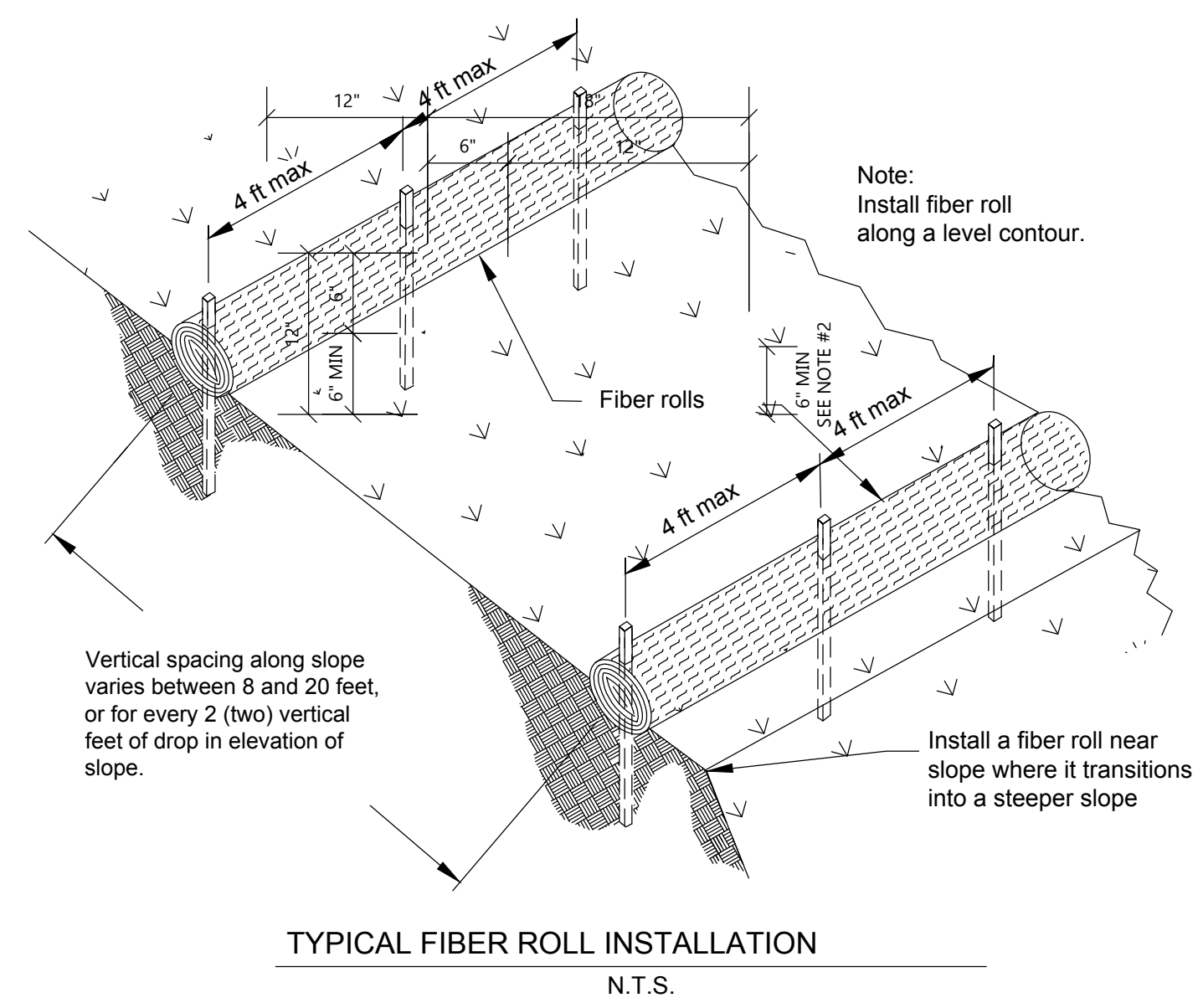
**TRACKPAD DETAILS**  
NOT TO SCALE



FILL BAGS WITH AGGREGATE CONFORMING TO THE FOLLOWING GRADATION (WISDOT NO. 1 COARSE AGGREGATE)

SIEVE	PERCENT PASSING BY WEIGHT
2-INCH	-
1 1/2-INCH	-
1-INCH	100
3/4-INCH	90-100
3/8-INCH	20-55
No. 4	0-10
No. 8	0-5

PROVIDE BAGS MADE OF HIGH-DENSITY POLYETHYLENE OR GEOTEXTILE FABRIC. BAGS SHALL HAVE A MINIMUM IN-PLACE FILLED SIZE OF 18 INCHES LONG BY 12 INCHES WIDE BY 6 INCHES HIGH.



**CIVIL DETAILS**

### Mirada Medium (MRM)

Outdoor LED Area Light



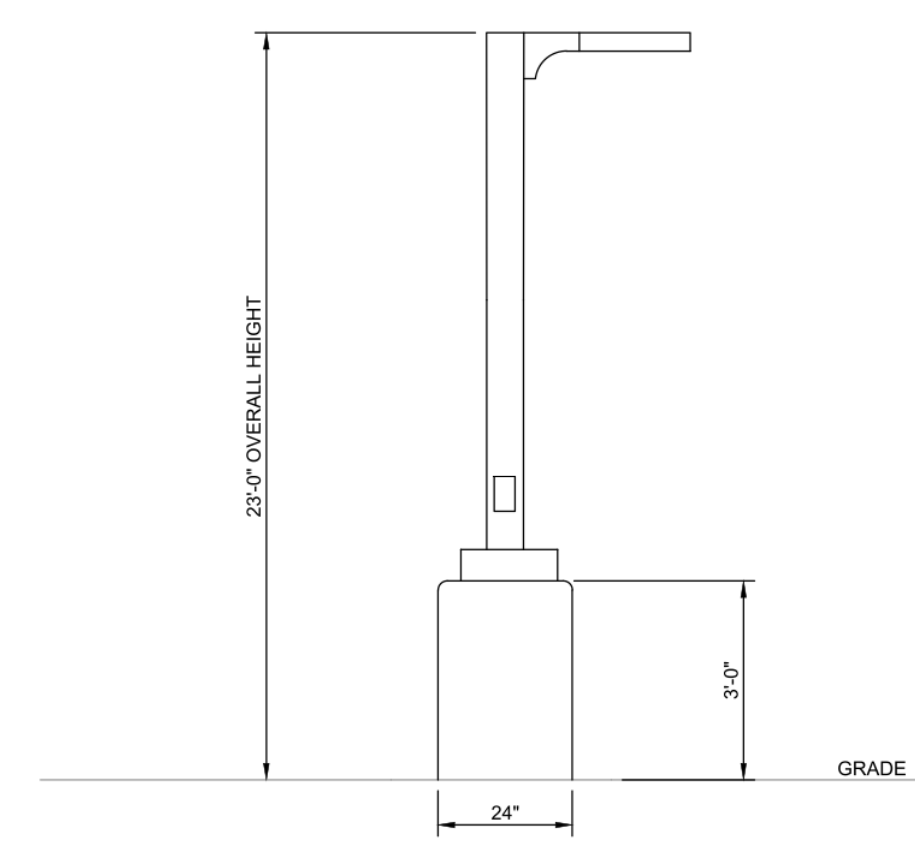
OVERVIEW	
Lumen Package	7000 - 48,000
Wattage Range	48 - 401
Efficacy Range (LPW)	117 - 160
Weight (lbs/kg)	30 (13.6)

QUICK LINKS				
Ordering Guide	Performance	Photometrics	Dimensions	

#### FEATURES & SPECIFICATIONS

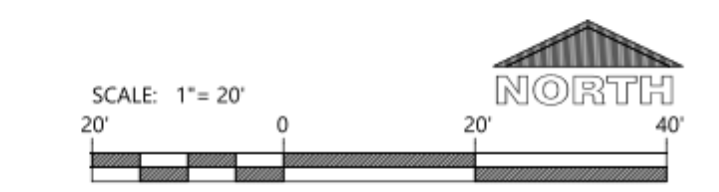
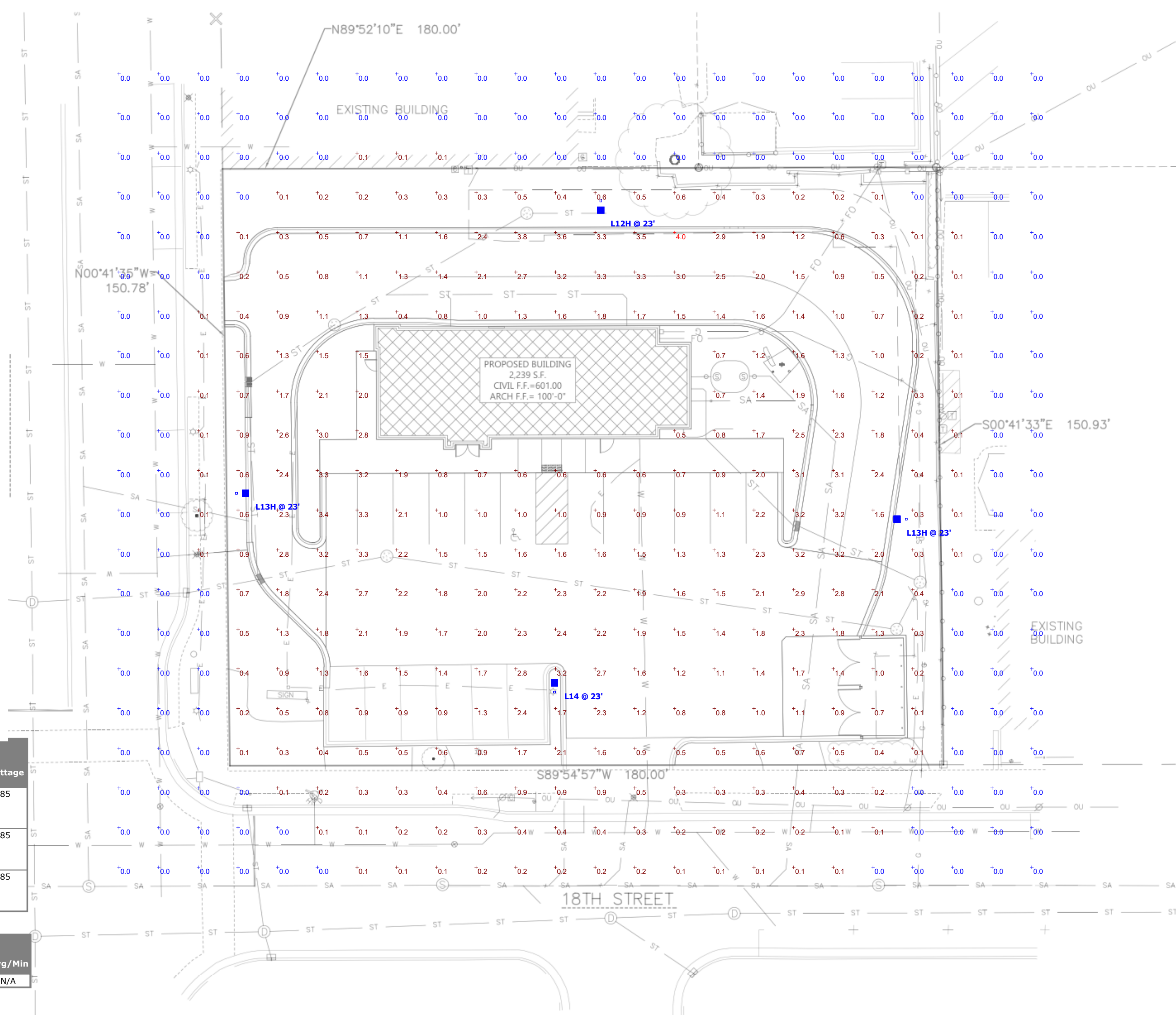
- |  |   |  |
|--|---|--|
| <b>Construction</b> <ul style="list-style-type: none"> <li>Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.</li> <li>Designed to mount to square or round poles.</li> <li>Fixtures are finished with LSI's DuraGrip polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.</li> <li>Shipping weight: 37 lbs in carton.</li> </ul> <b>Optical System</b> <ul style="list-style-type: none"> <li>State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.</li> <li>Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, SW, FT, FTA and AM.</li> <li>Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.</li> <li>Zero uplight.</li> <li>Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber with Peak Intensity at 60nm.</li> <li>Minimum CRI of 70.</li> <li>Integral louver (L) and house-side shield (H) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.</li> </ul> | <b>Electrical</b> <ul style="list-style-type: none"> <li>High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.</li> <li>0-10V dimming (0% - 100%) standard.</li> <li>Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).</li> <li>LED Calculated Life: &gt;100K Hours (See Lumen Maintenance on Page 5)</li> <li>Total harmonic distortion: &lt;20%</li> <li>Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.</li> <li>Power factor: &gt;90</li> <li>Input power stays constant over life.</li> <li>Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).</li> <li>High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation</li> <li>Components are fully encased in potting material for moisture resistance. Driver and key electronic components can easily be accessed.</li> </ul> <b>Controls</b> <ul style="list-style-type: none"> <li>Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app.</li> <li>LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details).</li> </ul> | <b>Installation</b> <ul style="list-style-type: none"> <li>Designed to mount to square or round poles.</li> <li>A single fastener secures the hinged door, underneath the housing and provides quick &amp; easy access to the electrical compartment.</li> <li>Included terminal block accepts up to 12 ga wire.</li> <li>Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)</li> </ul> <b>Warranty</b> <ul style="list-style-type: none"> <li>LSI LED Fixtures carry a 5-year warranty.</li> </ul> <b>Listings</b> <ul style="list-style-type: none"> <li>Listed to UL 1598 and UL 8750.</li> <li>Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).</li> <li>IP66 rated Luminaire per IEC 60598.</li> <li>3G rated for ANSI C136.31 high vibration applications are qualified.</li> <li>DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.</li> <li>Patented Silicone Optics (US Patent NO. 10,896,862)</li> <li>IK08 rated luminaire per IEC 60626 mechanical impact code</li> </ul> |
|--|---|--|

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsiinc.com  
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Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	L14	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-FT-40-70CRI	1	13143	1	85
□	L13H	2	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-3-40-70CRI-IL	1	9143	1	85
□	L12H	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-2-30-70CRI-IL	1	7985	1	85

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.8 fc	4.0 fc	0.0 fc	N/A	N/A



CIVIL SITE PHOTOMETRIC PLAN & DETAILS

**EXCEL**  
 Always a Better Plan  
 100 Camelot Drive  
 Fond du Lac, WI 54935  
 920-926-9800  
 excelengineer.com

PROJECT INFORMATION

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JOB NUMBER  
 240331100

SHEET NUMBER  
**C3.1**



Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

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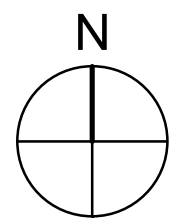
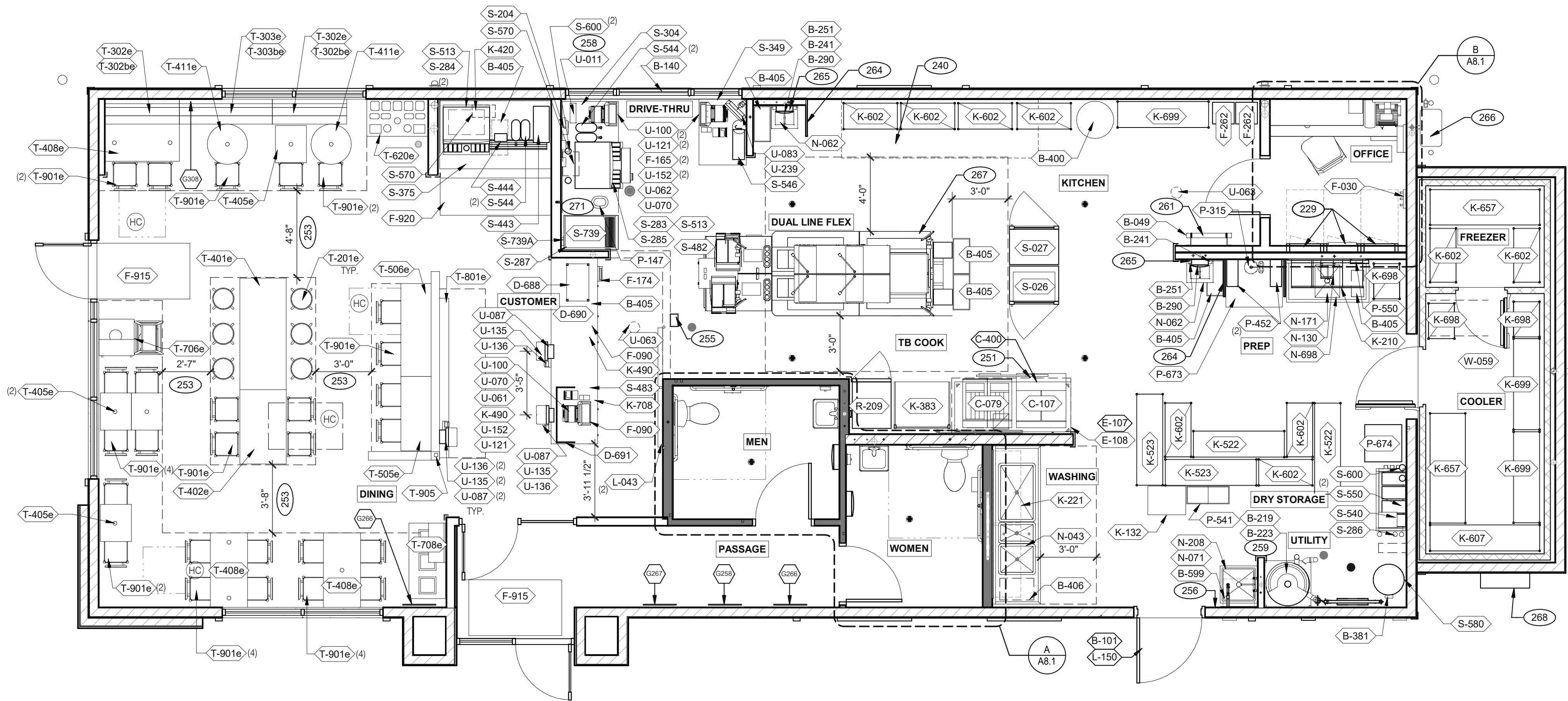
NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

A2.0



EQUIPMENT AND SEATING PLAN 1/4" = 1'-0" A

TAG	QTY	ITEM DESCRIPTION	TAG	QTY	ITEM DESCRIPTION
D-688	1	COUNTER MOUNT MOBILE SHELVING	T-706e	1	WASTE ENCLOSURE - SINGLE
D-690	1	SERVICE COUNTER	T-708e	1	WASTE ENCLOSURE - 3 STREAM
D-700	11	28.5" H CORE DRILL TABLE BASE	T-801e	1	KIOSK 1/2 TOWER
T-201e	6	BARREL BARSTOOL - 29 PURPLE WOOD SEAT	T-901e	27	CHAIR - LAMINATE SEAT
T-302be	2	BENCH BACK REST - 48"	T-905	1	POWER POLE
T-302e	2	BENCH SEAT - 48"			
T-303be	1	BENCH BACK REST - 60"			
T-303e	1	BENCH SEAT - 60"			
T-401e	1	HUB TABLE - 72" - HIGH TOP			
T-402e	1	HUB TABLE - 48" - ADA			
T-405e	4	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP			
T-408e	3	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP			
T-411e	2	SS TABLE - 24 DIA X 30 - 2 TOP			
T-505e	1	COUNTER TOP - 48" X 20" X 30"			
T-506e	1	COUNTER TOP - 60" X 20" X 30"			
T-620e	1	CONDIMENT COUNTER - RECTANGLE			

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N.

QTY.	NAME	FAMILY	FRAME OR MURAI	SIZE	LOCATION
1	CONCRETE GRAFFITI	C	M01	H6-4" x W17-6 1/2"	SEE A8.0
2	TACO TYPE	C	F01	28x40	SEE A8.0
1	TACO TYPE	C	F01	28x40	SEE A8.0
1	ANSWER IS TACOS	C	F01	28x40	SEE A8.0
2	CHALK BOARD GRAFFITI	C	M02	48x96	SEE A4.0 & A4.1
1	CHALK BOARD GRAFFITI	C	M02	48x96	SEE A4.0
1	CHALK BOARD GRAFFITI	C	M02	48x96	SEE A4.1

ARTWORK SCHEDULE

- DECOR
- REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITY
  - (HC) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	46
COLD STORAGE	26
FROZEN STORAGE	12

SHELVING QUANTITIES

- GENERAL NOTES
- ELECTRICAL PANELS.
  - FUTURE I-LINE FLEX.
  - HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
  - MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 32" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).
  - ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
  - PULL STATION @ 3'-8" A.F.F.
  - COORDINATE LOCATION OF HORIZONTAL PVC SYRUP CHASE THRU WALL TO COUNTER.
  - 6" HIGH WATER HEATER PLATFORM.
  - ROOF LADDER WITH BILCO LADDER UP SAFETY POST.
  - SPLASH GUARD.
  - AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.
  - GAS METER.
  - FOR DUAL-FLEX LINE AND I-FLEX LINE SUB-EQUIPMENT SEE SHEET A8.3.
  - ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
  - WALL MOUNTED 32" MANAGER MONITOR. PROVIDE POWER AND DATA.

KEY NOTES

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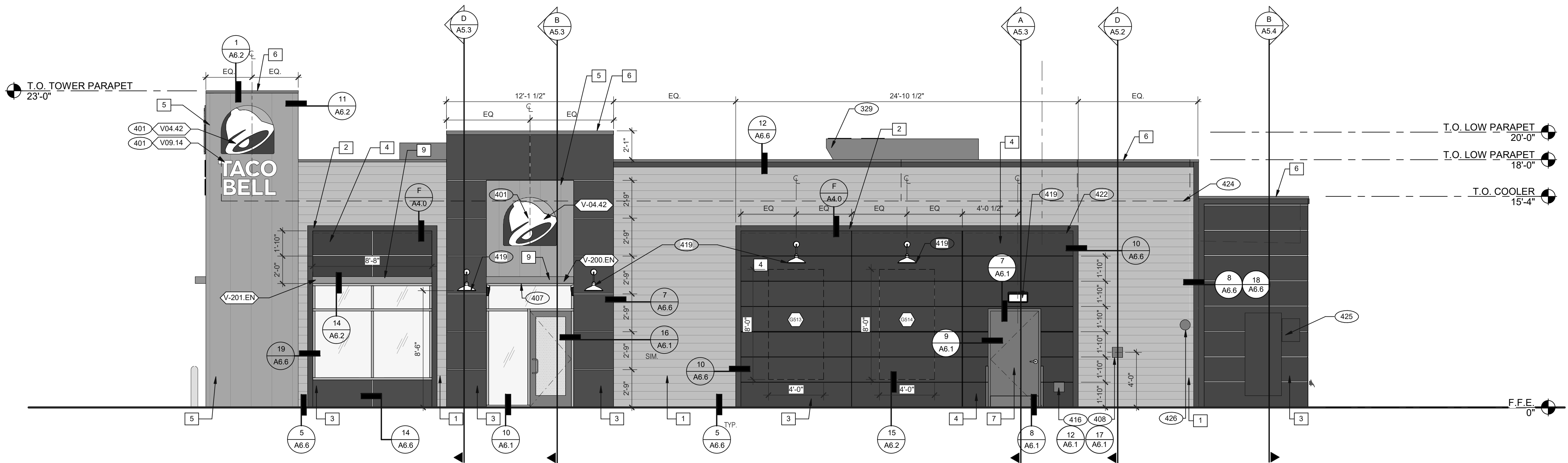
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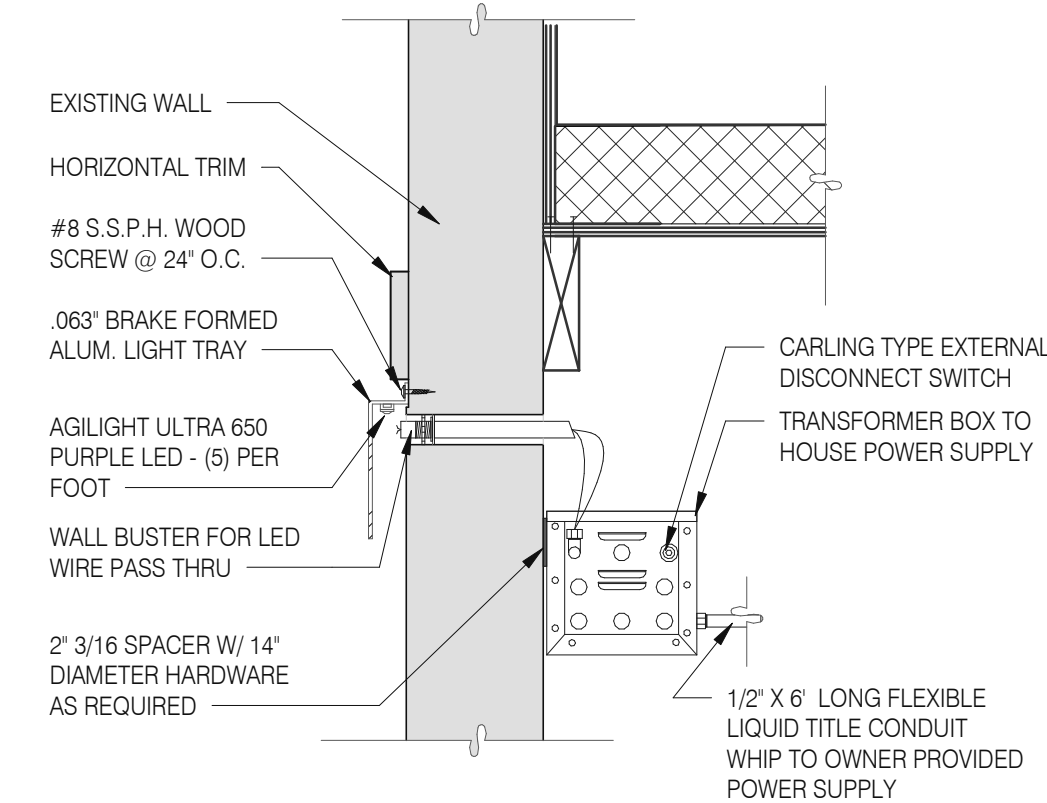
SHEET NUMBER

**A4.0**

NOT FOR CONSTRUCTION



**WALK UP ELEVATION 1/4" = 1'-0" 1**



**LED WALL WASHER DETAIL F**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
SIDE ENTRY			
V-04.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 2" X 3' 0" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 6" X 4' 0" BLACK	A4.1
V-102.DT	1	DT AWNING (OVER DT) 6' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 12'-10" X 6' H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7'-9" L X 6' H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 8'-8" L 6' H X 1' 4" D BLACK	A4.0

**SIGNAGE E**

**MISCELLANEOUS**  
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

**SEALERS (REFER TO SPECS)**  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

**CRITICAL DIMENSIONS**  
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE FRANCHISEE WILL COORDINATE THE SIGN INSTALLATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED BLOCKING, PROPER DIMENSIONS, ELECTRICAL AND MUST PROVIDE ACCESS TO SITE AND BUILDING FOR FRANCHISEE'S SIGN INSTALLER.

**GENERAL NOTES C**

X	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
6513	CHALK BOARD GRAFFITI	C	M02	48x96	A4.0
6514	CHALK BOARD GRAFFITI	C	M02	48x96	A4.0
6515	CHALK BOARD GRAFFITI	C	M02	48x96	A4.1

**PAINTING**  
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
PRIMER: 1 COAT SW A24WS300  
FINISH: 2 COATS SW A82-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.  
A-100 EXTERIOR LATEX SATIN.

**PAINT NOTES A**

\*MUST SELECT ONE COMPLETE OPTION FOR #1 THROUGH #4 AND INCLUDE LETTER IN SYMBOL TAG F CHOOSING A OR B

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	ALT. MANUFACTURER SPEC 'A'	ALT. MATERIAL SPEC 'A'	ALT. MANUFACTURER SPEC 'B'	ALT. MATERIAL SPEC 'B'	COLOR	CONTACT INFO
1	SIDING - HORIZONTAL APPLICATION	JAMES HARDIE	ARTISAN V-GROOVE 144"L X 8.25"W, 7" EXPOSURE COMES PRIMED FOR PAINT	WESTLAKE ROYAL BUILDING PRODUCTS	TruExterior V-RUSTIC 192"L x 7.5"W, 7" EXPOSURE; PRIMED FOR PAINT	NICHIHA	TruExterior V-RUSTIC 192"L x 7.5"W, 7" EXPOSURE; PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	REFER TO EXTERIOR FINISH VENDOR CONTACTS ON A7.2 FOR TACO BELL NATIONAL ACCOUNT REPRESENTATIVES  (DO NOT CALL MANUFACTURER 1-800 OR GENERAL CONTACT NUMBERS AS YOU WILL NOT RECEIVE CORRECT INFORMATION TO BRAND SPECIFIED PRODUCTS.
2	BUILDING TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH; 1"x5.5" PRIMED FOR PAINT	WESTLAKE ROYAL BUILDING PRODUCTS	TruExterior TRIM 5/4 x 6, 1" x 5.5" PRIMED FOR PAINT	NICHIHA	TruExterior TRIM 5/4 x 6, 1" x 5.5" PRIMED FOR PAINT	CYBERSPACE (SW7076), SEMI-GLOSS	
3	REVEAL PANEL **CONSULTANT TO REVISE REVEAL BREAKS FOR USING NICHIHA ILLUMINATION PANEL	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING W/ ALUM TRIM FROM FRY REGLET AND/OR TAMLYN	N/A	USE HARDIE PANEL	NICHIHA	USE HARDIE PANEL	CYBERSPACE (SW7076), SEMI-GLOSS	
4	REVEAL PANEL **CONSULTANT TO REVISE REVEAL BREAKS FOR USING NICHIHA ILLUMINATION PANEL	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING W/ ALUM TRIM FROM FRY REGLET AND/OR TAMLYN	N/A	USE HARDIE PANEL	NICHIHA	USE HARDIE PANEL	SW PURPLE (TB2603C), SEMI-GLOSS	
5	DRIVE THRU CORNER TOWER & ENTRY PORTAL RECESS	WESTERN STATES	T-GROOVE 24GA PAINTED 18" PANEL	---	---	---	---	WEATHERED RUSTIC	
6	METAL PARAPET CAP	---	24GA GALVANIZED	---	---	---	---	CYBERSPACE (SW7076) KYNAR 500 COATING	
7	HOLLOW METAL DOOR	---	---	---	---	---	---	SW PURPLE (TB2603C), SEMI-GLOSS	
8	NOT USED	---	---	---	---	---	---	---	
9	AWNINGS	BRAND APPROVED SIGNAGE VENDOR	---	---	---	---	---	BLACK (BY THE SIGNAGE VENDOR)	

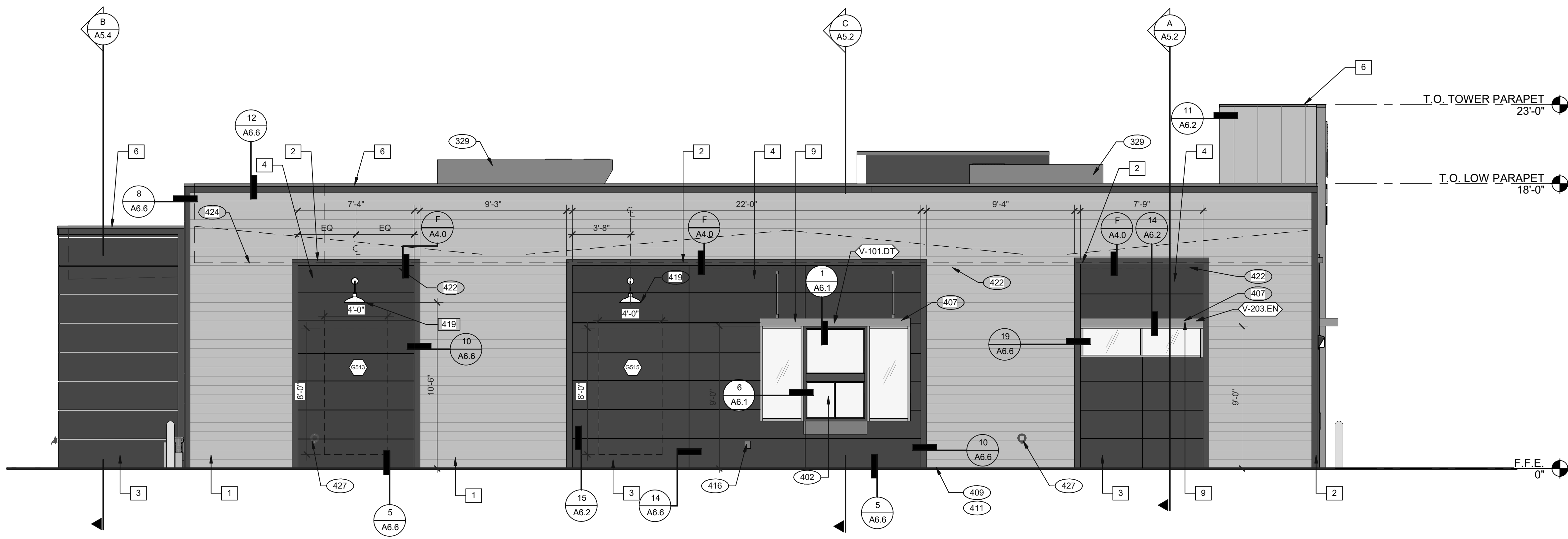
ALUMINUM TRIM PROFILES [ALTERNATE SOURCE]	
DESCRIPTION	ITEM ID - MANUFACTURER
SURROUND J CHANNEL TRIM	T2 - FRY REGLET JMS - TAMLYN
SURROUND VERTICAL TRIM	V2 - FRY REGLET W516RV - TAMLYN
VENT SCREEN	VST38 - TAMLYN
SURROUND HORIZONTAL TRIM	W2 - TAMLYN
SURROUND DRAINAGE FLASHING	XWF - TAMLYN
SURROUND OUTSIDE CORNER TRIM	OC9 - FRY REGLET XOCR516 - TAMLYN
SURROUND INSIDE CORNER TRIM	IC1 or IC21 - FRY REGLET XIC516 - TAMLYN

- 329 MECHANICAL UNIT. SEE ROOF PLAN.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
- 424 LINE OF ROOF BEYOND.
- 425 SWITCH GEAR. WALL SHALL BE FINISHED PRIOR TO INSTALLATION.
- 426 OIL RECLAMATION PORT.

**EXTERIOR FINISH SCHEDULE D**

**KEY NOTES XXX B**

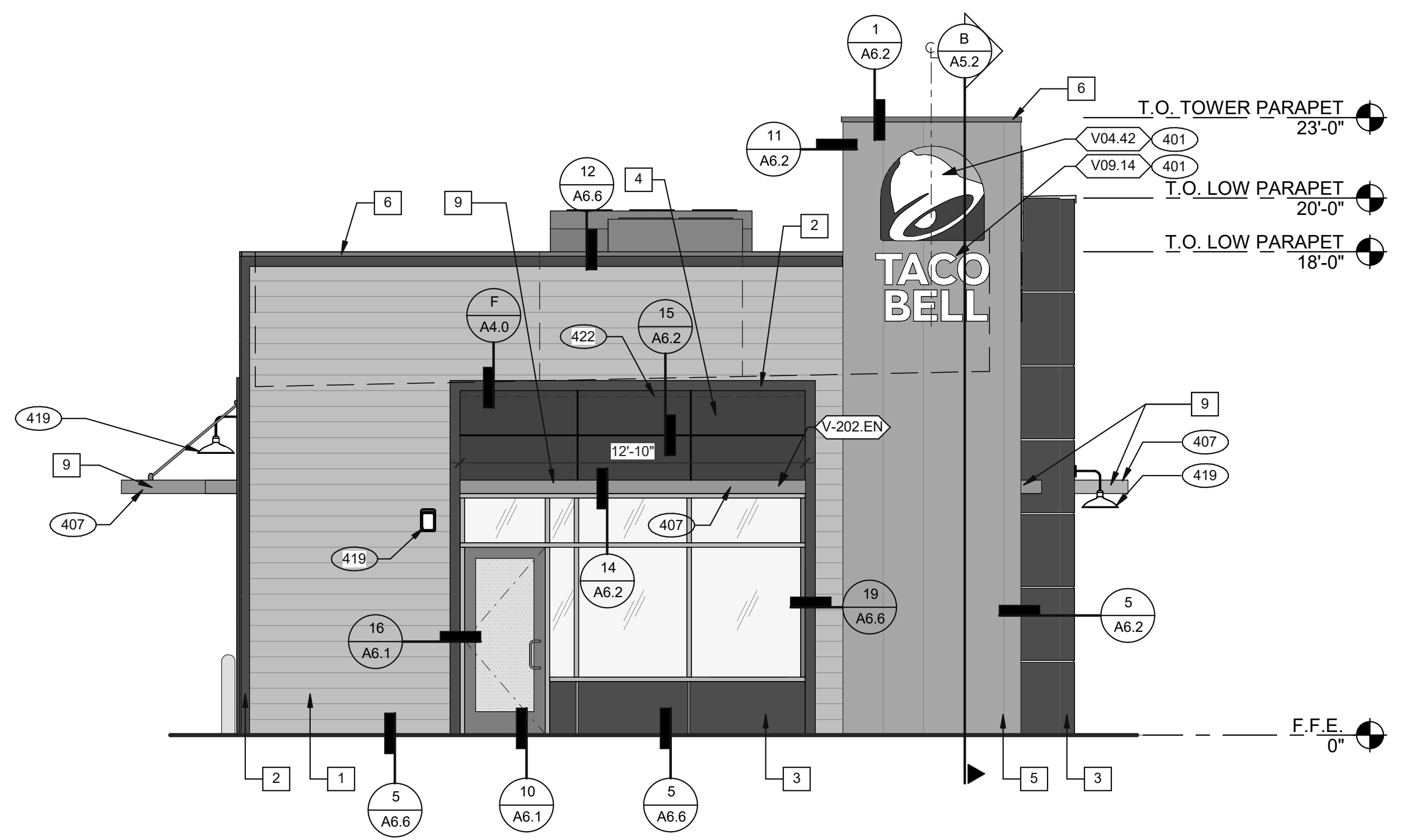
**EXTERIOR ELEVATIONS**



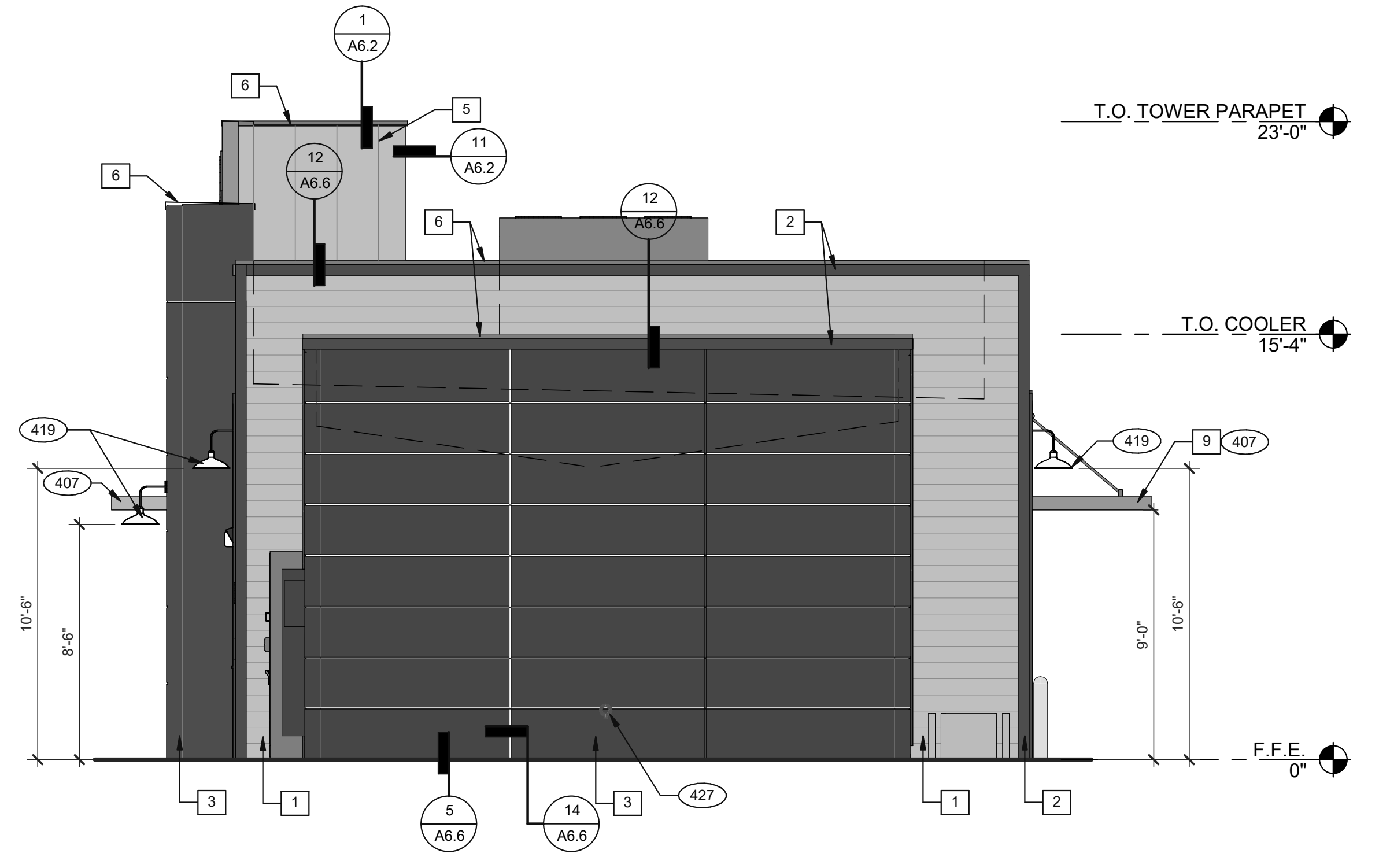
**DRIVE THRU ELEVATION** 1/4" = 1'-0" **1**

- SEE SHEET A4.0 FOR FINISH, ARTWORK AND SIGNAGE SCHEDULE
- 329 MECHANICAL UNIT, SEE ROOF PLAN.
  - 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
  - 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
  - 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
  - 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
  - 411 CONCRETE CURB.
  - 416 HOSE BIB BOX AT 18" A.F.F.
  - 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
  - 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
  - 424 LINE OF ROOF BEYOND.
  - 427 ROOF OVERFLOW TO BE STUBBED INSIDE WALL DOWN TO 24" ABOVE DRIVE THRU LANE GRADE AND FINISHED WITH COW'S TONGUE CAULKED TO EXTERIOR WALL SURFACE. SEE PLUMBING DRAWINGS.

**KEY NOTES** (XXX) **A**



**FRONT ELEVATION** 1/4" = 1'-0" **2**



**REAR ELEVATION** 1/4" = 1'-0" **3**

**EXTERIOR ELEVATIONS**

**EXCEL**

Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

**PROJECT INFORMATION**

NEW BUILDING FOR:  
**PACIFIC BELLS LLC**  
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

**PRELIMINARY DATES**  
DEC. 20, 2024

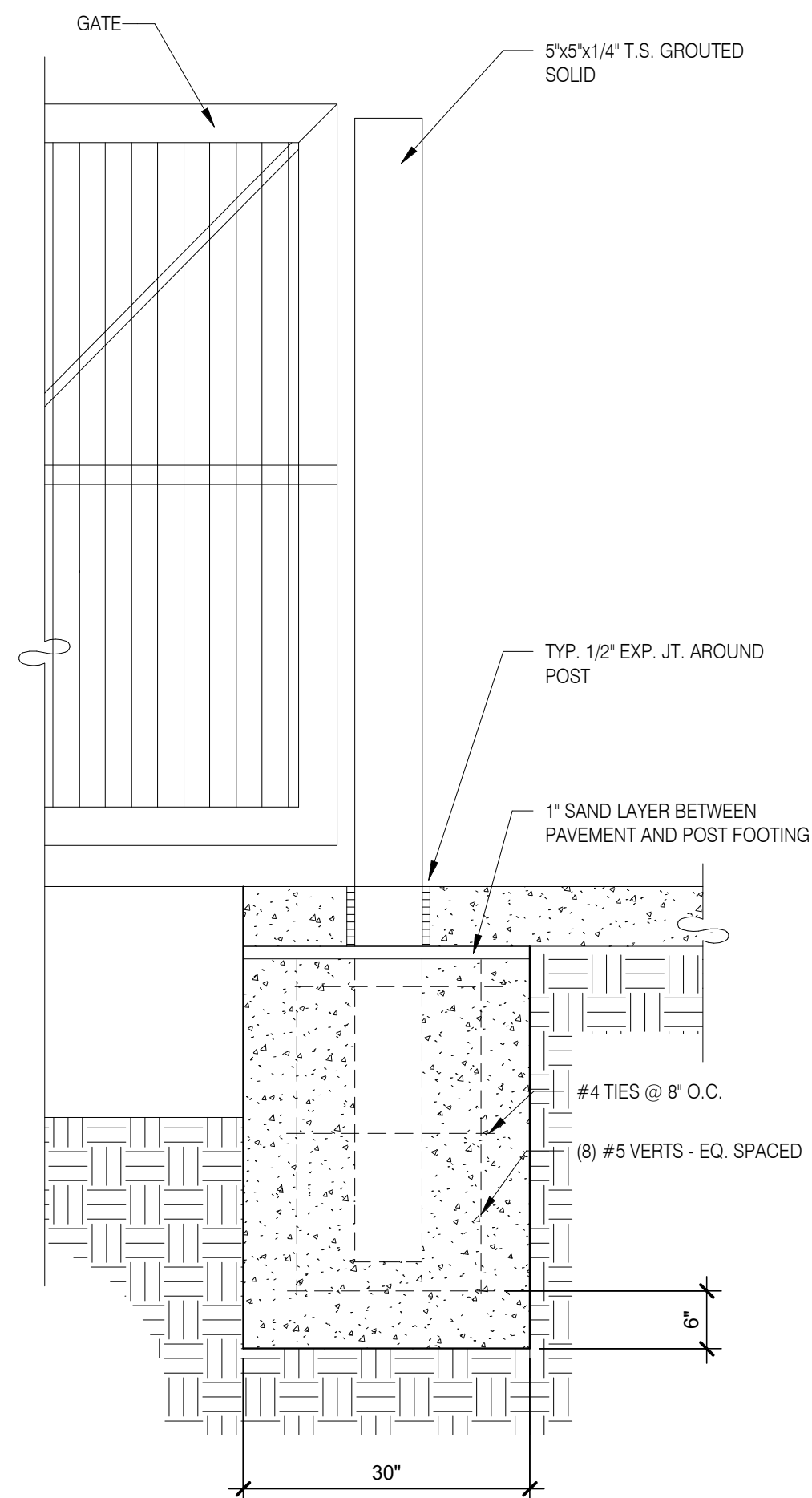
**NOT FOR CONSTRUCTION**

**JOB NUMBER**  
240331100

**SHEET NUMBER**

**A4.1**

C:\client\240331100\_Arch\_Central\_B23\_100\A4.1.dwg 12/20/2024 1:14:42 PM



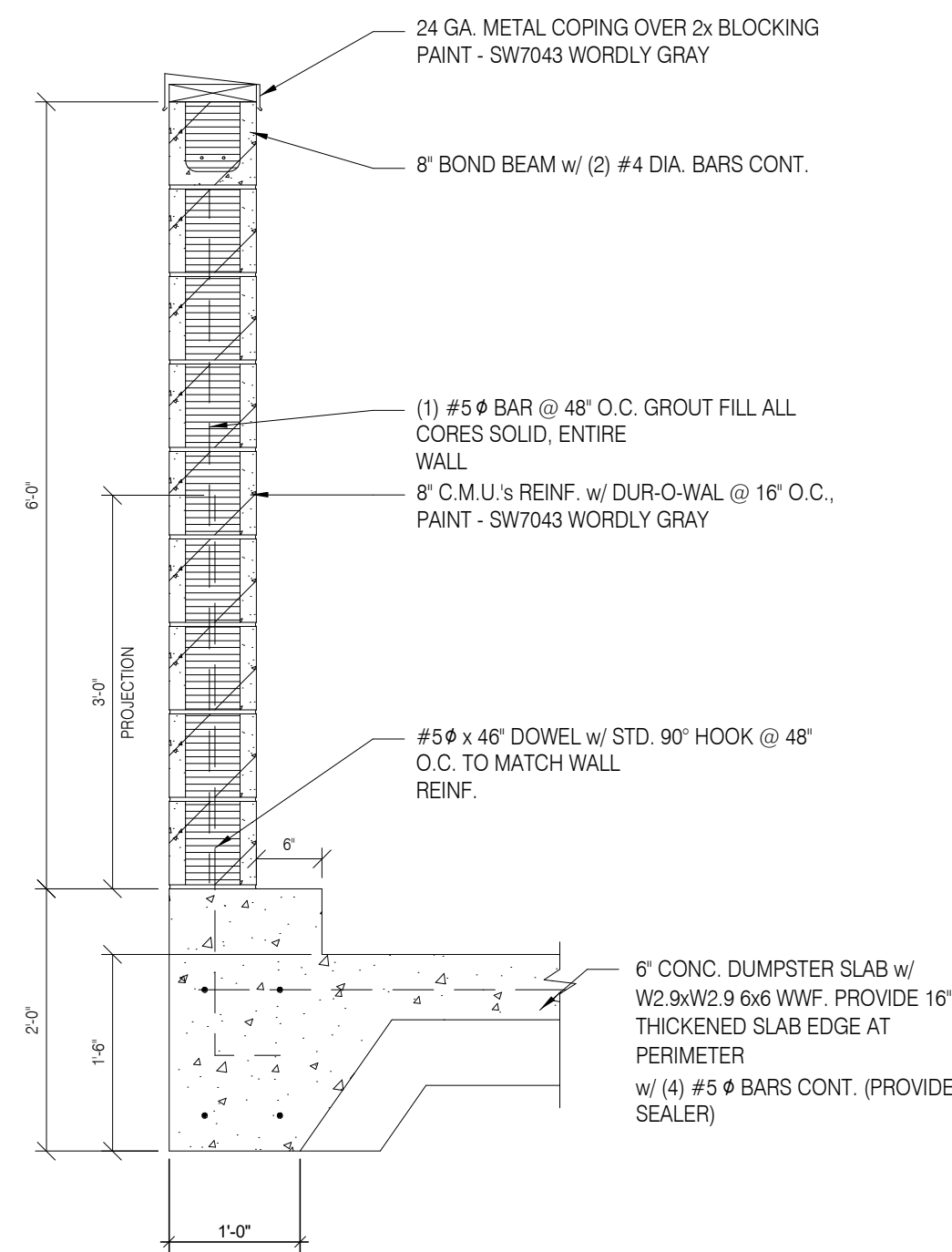
**GATE POST FOOTING** 3/4" = 1'-0" **H**

GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

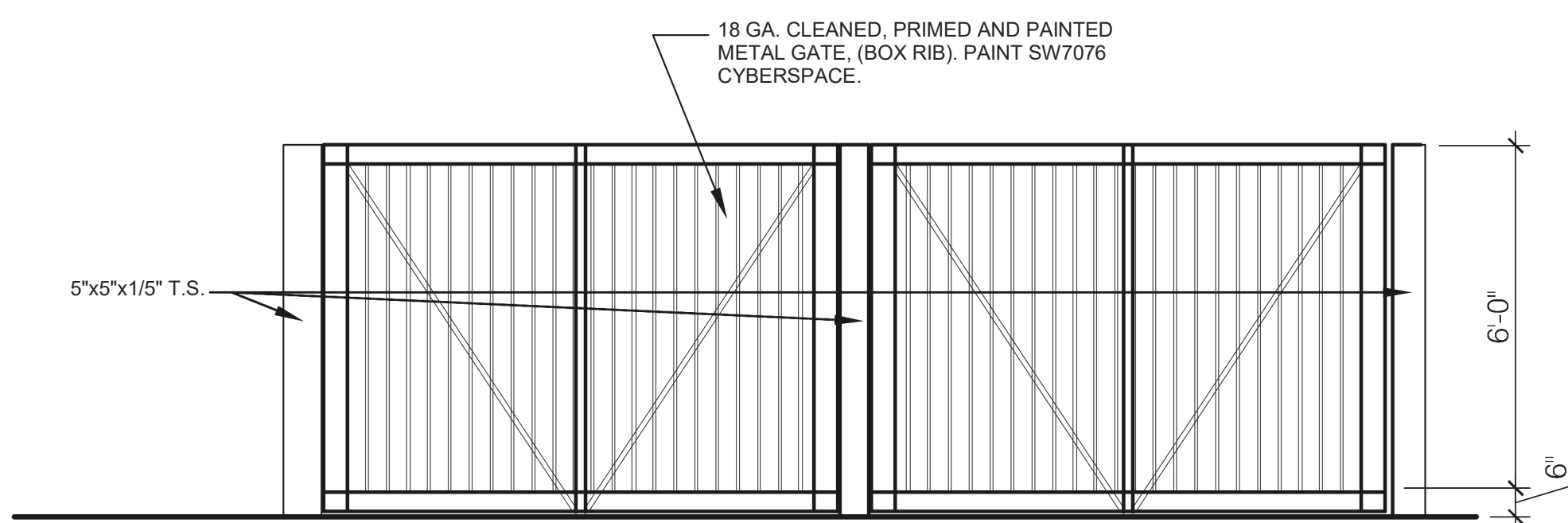
GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

GATE NOTES: (4) 6'-0" HIGH MTL. GATES, TYPE B 1 1/2" DECKING, 18GA. W/ 1" X .1875" BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

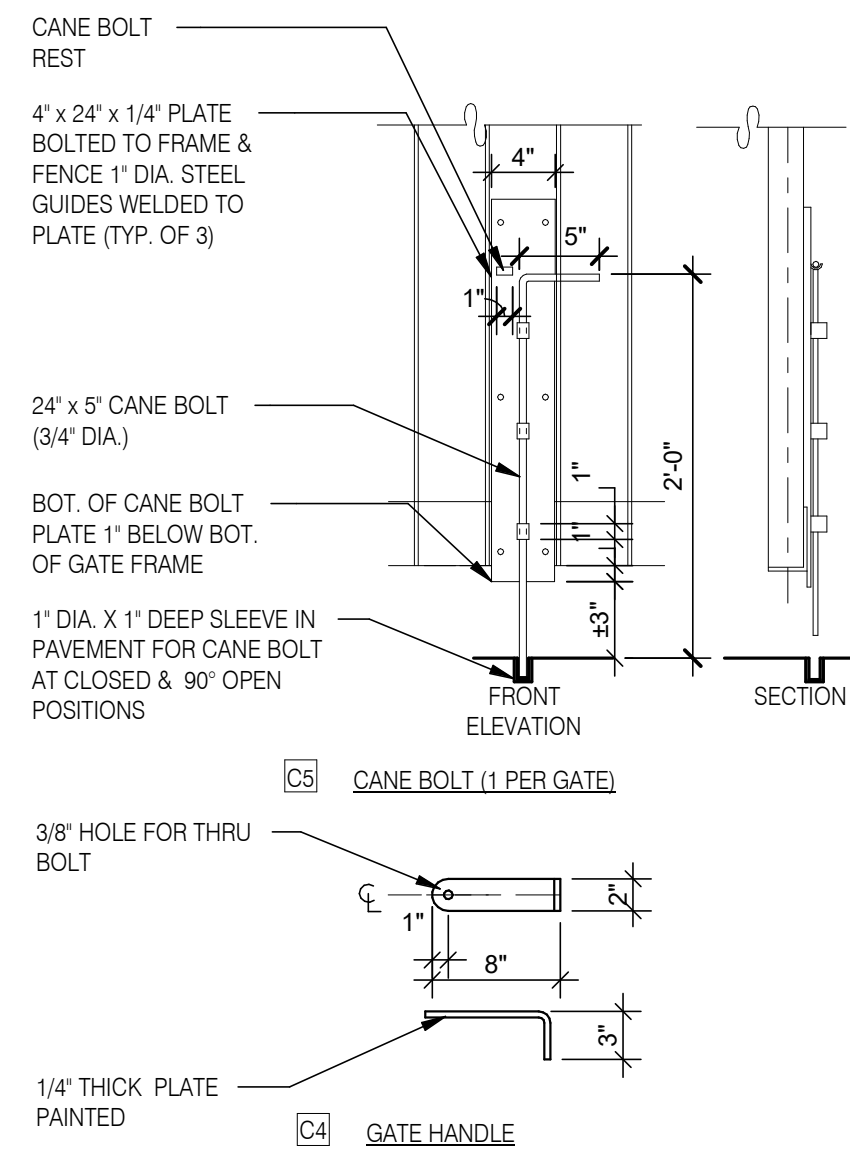
**ENCLOSURE NOTES** N.T.S. **G**



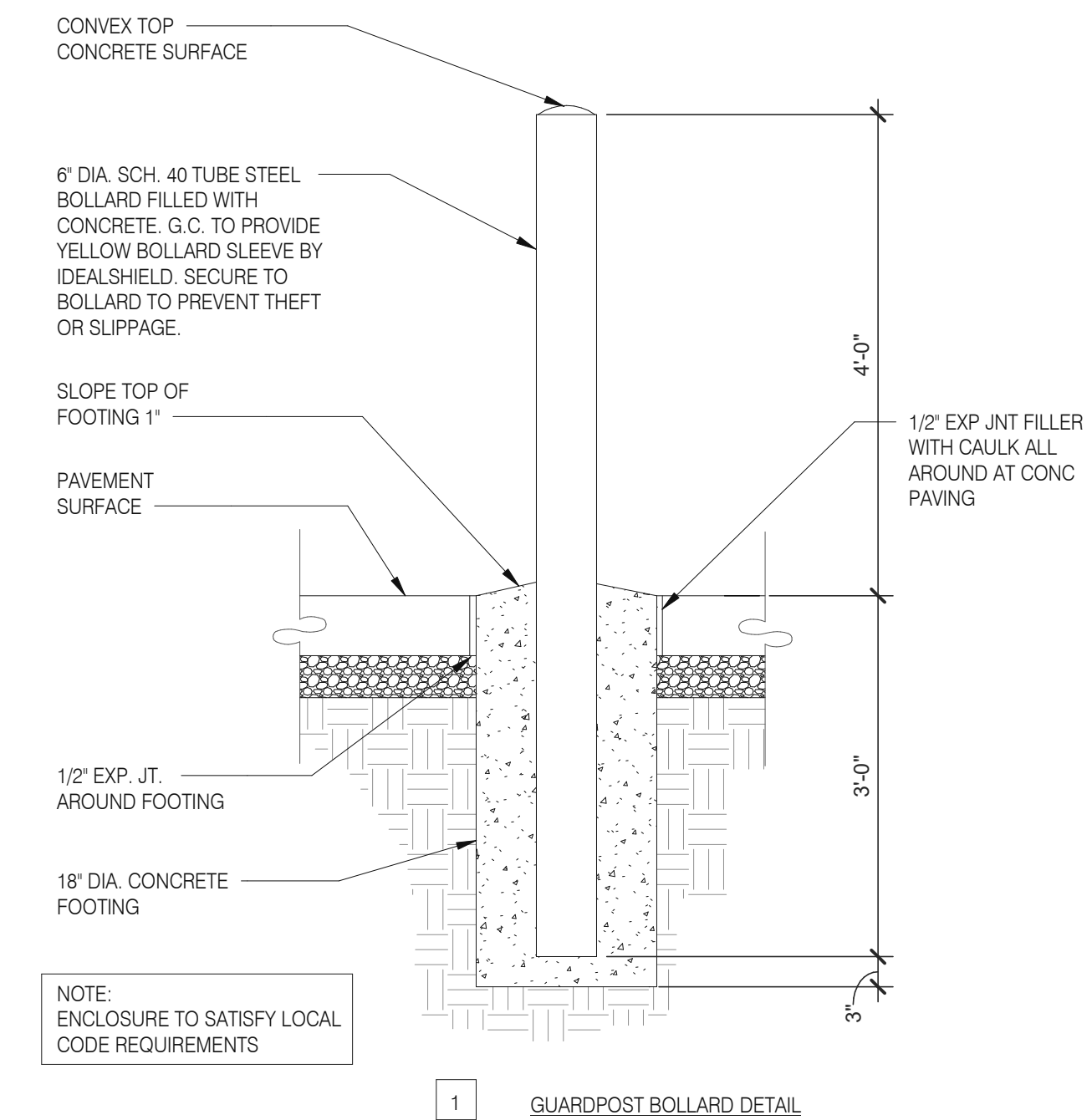
**ENCLOSURE SECTION** 3/4" = 1'-0" **F**



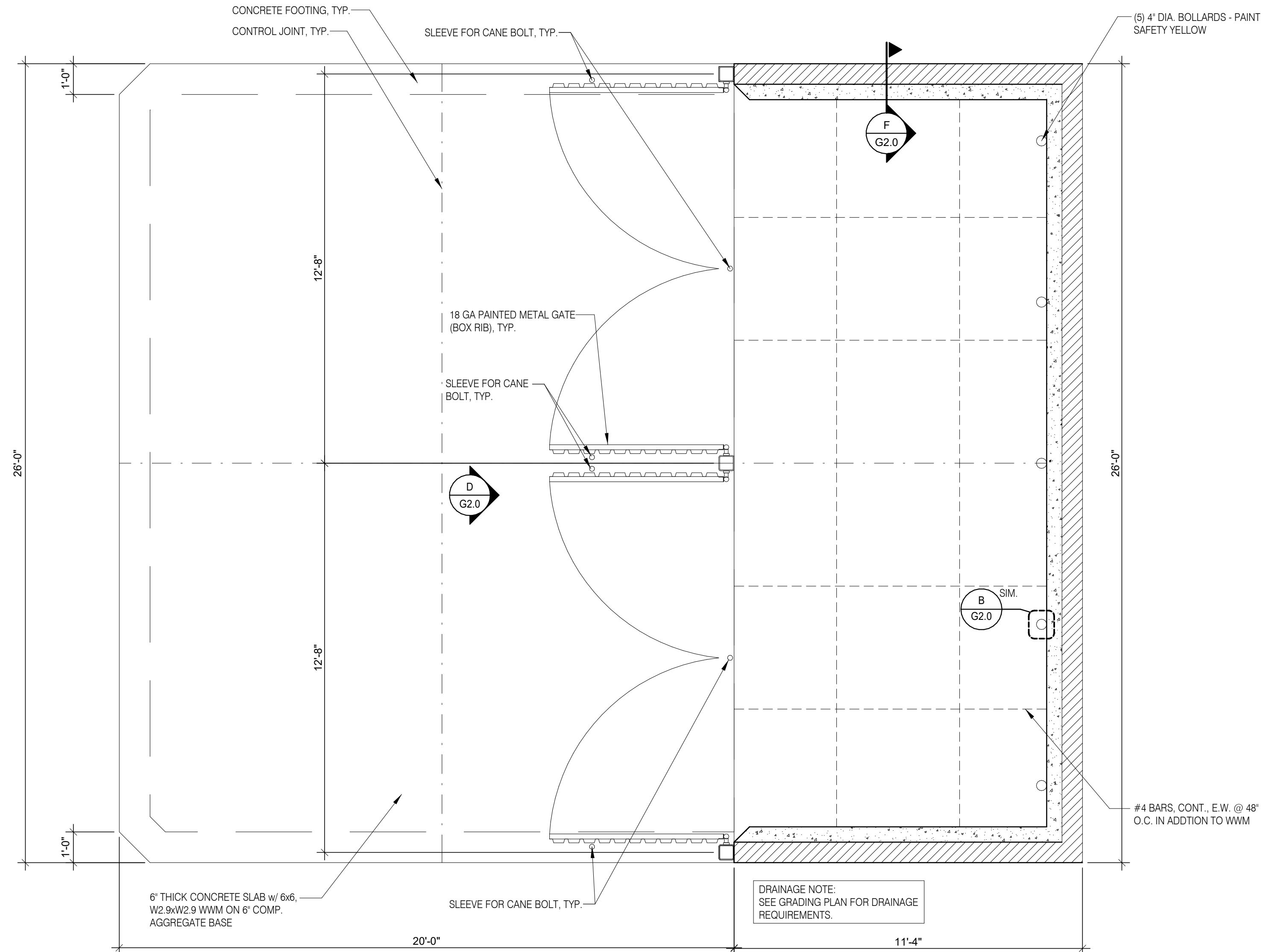
**ENCLOSURE FRONT ELEVATION** N.T.S. **D**



**GATE DETAILS** N.T.S. **C**



**TRASH ENCLOSURE BOLLARD DETAILS** 3/4" = 1'-0" **B**



**DUMPSTER ENCLOSURE LAYOUT** 3/8" = 1'-0" **A**

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PROFESSIONAL SEAL

**PRELIMINARY DATES**

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240331100

**SHEET NUMBER**

**G2.0**