

July 29, 2024

City Building Inspections Office
1717 E Park Street
Two Rivers WI 54241

RE: Lucky Paws Pet Boutique
Building Expansion @ 3310 45th Street

To Whom It May Concern:

The proposed building expansion will be 4,000 square feet. Exterior finishes will match the existing building, including asphalt shingle roofing, vinyl siding wall cladding, and aluminum fascia, soffit, gutter, and downspouts. All colors of exterior finishes to match existing.

The west, north, and east sides of the expansion will be lawn areas. The south side of the expansion will be landscaped with shrubs and perennial plants and stone mulch to match that of existing. The project results in a net add of 3,838 square feet of impervious area. The rainwater drainage pattern of the site will not change. Building downspouts will drain to grade at the north and west sides of the expansion. No additional parking will be added to the site. The following calculation was used to determine adequacy of off-street parking spaces per Sec. 10-1-13 "Off-street parking and loading" from the City of Two Rivers Municipal Code:

Total building area (including expansion): 8,428 s.f.
Less area excluded from usable floor area per Sec. 10-1-13-F Definitions: 1,450 s.f.
Total usable floor area: 8,428 – 1,450 = 6,978 s.f.
1 for every 300 square feet of usable floor space per table
 $6,978 / 300 = 23.26$, round up to 24
Per site plan, 25 parking spaces are provided

(2) new LED wall-pack lights with photo sensors will be mounted on the exterior of the building located at the west and east exterior walls of the expansion.

Construction will begin early September and be completed during winter.



TWO RIVERS
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. BUILDING SERVICE, INC. TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26TH STREET, MANITOWOC, WI, 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER LUCKY PAWS PET BOUTIQUE TELEPHONE 920-553-2200

MAILING ADDRESS 3310 45TH STREET, TWO RIVERS, WI, 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- | | |
|---|---|
| <input type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Site/Architectural Plan Approval | <input type="checkbox"/> Annexation Request |
| <input type="checkbox"/> Subdivision Plat or CSM Review | <input type="checkbox"/> Variance/Board of Appeals |
| <input type="checkbox"/> Zoning District Change | <input type="checkbox"/> Other |

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 3310 45TH STREET TYPE OF STRUCTURE WOOD FRAMED

PRESENT ZONING B-2 BUSINESS REQUESTED ZONING N/A

PROPOSED LAND USE NO CHANGE IN LAND USE REQUESTED

PARCEL # _____ ACREAGE _____
LEGAL DESCRIPTION TRACT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 14, PAGE 99 BEING LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, TOWN 20 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] Date 7/29/2024
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ 350 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



TWO RIVERS
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. BUILDING SERVICE, INC. TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26TH STREET, MANITOWOC, WI, 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER LUCKY PAWS PET BOUTIQUE TELEPHONE 920-553-2200

MAILING ADDRESS 3310 45TH STREET, TWO RIVERS, WI, 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- | | | | |
|-------------------------------------|----------------------------------|--------------------------|---------------------------|
| <input checked="" type="checkbox"/> | Comprehensive Plan Amendment | <input type="checkbox"/> | Conditional Use |
| <input type="checkbox"/> | Site/Architectural Plan Approval | <input type="checkbox"/> | Annexation Request |
| <input type="checkbox"/> | Subdivision Plat or CSM Review | <input type="checkbox"/> | Variance/Board of Appeals |
| <input type="checkbox"/> | Zoning District Change | <input type="checkbox"/> | Other |

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 3310 45TH STREET TYPE OF STRUCTURE WOOD FRAMED

PRESENT ZONING B-2 BUSINESS REQUESTED ZONING N/A

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NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] Date 7/29/2024
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ \$200 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



CONDITIONAL USE PERMIT City of Two Rivers

DOC# 1240863

Permit No. 2021-04

STATE OF WI - MTWC CO KRISTI TUESBURG REG/DEEDS RECEIVED FOR RECORD 08/31/2021 3:16:26 PM

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 3310 - 45th Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

Tract 1 of Certified Survey Map located in the South 1/2 of the Northwest 1/4 of Section 26, Town 20 North, Range 24 East in the Town of Two Rivers, now in the City of Two Rivers, recorded in Volume 14, Page 99 of Certified Survey Maps, Manitowoc County, Wisconsin.

2chg

Inspections Department City of Two Rivers PO Box 87 Two Rivers, WI 54241-0087

Parcel ID Number: 053-226-203-001.07

Zoning Classification of the Premises is: B-2 Business District/Conditional Use to operate a commercial kennel. Mailing Address of the Premises is: 3310 - 45th Street, Two Rivers, WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a commercial kennel.

Permitted by action of the City Council of the City of Two Rivers on August 2, 2021. Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

- 1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit shall be void unless proper application, pursuant to the Building and Zoning Codes of this Municipality, for appropriate Building and Zoning Use Permits in conformity to this Permit, is made within twelve (12) months of the date hereof.
3. This Permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
4. Construction and operation of the use permitted shall be in strict conformity to the approved Site and Architectural Plans filed in connection with the Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
5. Any substantial change or expansion of the facilities permitted by the initial issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
6. This Permit is specifically issued to Stephanie Mueller d/b/a Lucky Paws Pet Boutique and shall lapse upon a change in ownership or tenancy of the subject premises: or if the land uses ceases operation for more than 12 months.
7. Conditions of Operations:
a. Hours of Operation:
1. Boarding: 24 hours per day, Sunday - Saturday, not to exceed 15 dogs at any given time
2. Daycare: 8AM - 6PM, Monday - Saturday, not to exceed 15 dogs at any given time
3. Grooming salon and retail: 8AM -6PM, Monday - Saturday
4. Outdoor operations: 7AM - 8PM, Sunday - Saturday, dogs in the outdoor run shall be supervised at all times
b. The yard shall be maintained in a clean and odor free condition
c. Signage in accord with the City's Sign Code
d. Inspection by the TRFD prior to opening for business
e. All landscaping plantings shall be maintained and kept in good health or be replaced; and, all landscaped areas shall be maintained in such a manner to be free of weeds
f. The City reserves the right to require privacy fencing based on future development in the area or on a complaint basis
g. Fencing shall be maintained in good condition



SIGNATURES OF PROPERTY OWNER AND PERMITEE:

As Owner of the Subject Property, I accept and understand the above described conditions.

Steph Mueller

Printed Name: Lucky Paws Real Estate LLC, Stephanie Mueller (member)

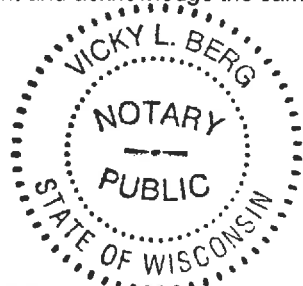
STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this 30th day of August, 2021, the above named Stephanie Mueller to me known to be the person who executed the foregoing instrument and acknowledge the same.

Vicky L Berg

Printed Name: Vicky L. Berg

Notary Public, Manitowoc County, Wisconsin
My commission expires: 05/25/2025



As Permittee of the Subject Property, I accept and understand the above described conditions:

Steph Mueller

Printed Name: Stephanie Mueller

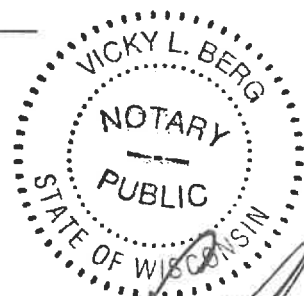
STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this 30th day of August, 2021, the above named Stephanie Mueller known to be the person who executed the foregoing instrument and acknowledge the same.

Vicky L Berg

Printed Name: Vicky L. Berg

Notary Public, Manitowoc County, Wisconsin
My commission expires: 05/08/2025



SIGNATURES - CITY OF TWO RIVERS

Jamie Jackson
Jamie Jackson, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

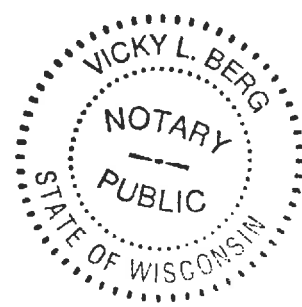
Personally came before me this 2nd day of August, 2021, the above named Jamie Jackson and Curt Andrews known to be the persons who executed the foregoing instrument and acknowledge the same.

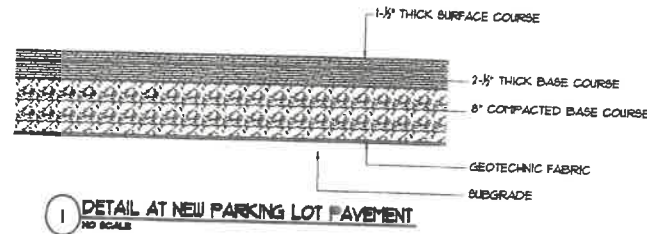
Vicky L. Berg
Vicky L. Berg

Notary Public, Manitowoc County, Wisconsin
My commission expires: 05/08/2025

THIS INSTRUMENT WAS DRAFTED BY:
Vicky Berg, Zoning Administrator

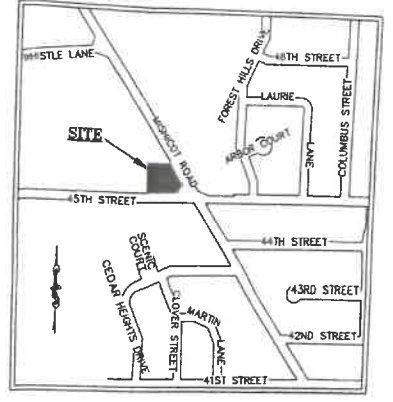
Curt Andrews
Curt Andrews, Council President





SITE PLAN FOR LUCKY PAWS 3310 - 45TH STREET

PC REVIEW 07/12/2021



LOCATION SKETCH
SCALE 1" = 800'



LEGEND

- = 3/4" x 18" IRON ROD SET WEIGHING 1.13 LBS/FT
- = EXISTING IRON PIPE/ROD
- = EXISTING UTILITY POLE
- = EXISTING UTILITY POLE W/GUY
- = EXISTING LIGHT POLE
- = EXISTING TRANSFORMER
- ⊙ = EXISTING ELECTRIC METER
- ⊙ = EXISTING SATELLITE DISH
- ⊙ = EXISTING AIR-CONDITIONING UNIT
- ⊙ = EXISTING FIRE HYDRANT
- ⊙ = EXISTING WATER VALVE MANHOLE
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING STORM INLET
- ⊙ = EXISTING SANITARY MANHOLE
- ⊙ = EXISTING TELEPHONE PEDESTAL
- ⊙ = EXISTING SIGN
- ⊙ = PROPOSED ELEVATIONS
- ⊙ = EXISTING TREE

SITE NOTES:

Erosion control to be in accordance with the Wisconsin Construction Site Best Management Practice Handbook. All off-site sediment deposition occurring as a result of construction activities shall be cleaned up at the end of each work day and all off-site sediment deposition occurring as a result of a storm shall be cleaned up at the end of the next work day. Installation of a temporary driveway with tracking pad to 45th Street may be necessary to protect the existing parking area from sediment tracking (to be determined by contractor or owner).

The location of underground structures or facilities shown on the plans are based on available records at the time of preparation and are not guaranteed to be complete or correct. The Contractor is responsible for contacting all utilities (Diggers Hotline) 72 hours prior to construction to determine the exact location of all facilities and to provide adequate protection during the course of the work.

SITE STATISTICS:

BUILDING AREA: 4,446 SQ. FT. (10.2%)
 PAVED AREA: 10,755 SQ. FT. (24.7%)
 GREEN AREA: 28,356 SQ. FT. (65.1%)
 TOTAL AREA: 43,557 SQ. FT. (100%)
 1.000 Ac.

ZONING:

B-2, BUSINESS DISTRICT

PARCEL ID NO.: 2262030017

ADDRESS: 3310 45TH STREET

PARKING REQUIREMENTS:

1 SPACE FOR EVERY 200 SQ. FT. OF USABLE FLOOR SPACE.
REQUIRED:
 4,446 SQ. FT. OF FLOOR SPACE / 200 = 22.23 PARKING SPACES
PROVIDED:
 21 REGULAR PARKING SPACES
 4 HANDICAP PARKING SPACES
 25 TOTAL

LANDSCAPING:

LANDSCAPING PLAN TO BE PROVIDED BY OTHERS
 DIVISION OF SURVEYING & LANDSCAPING

LIGHTING:

LIGHTING PLAN TO BE PROVIDED BY OTHERS.
 SEE CORRESPONDENCE

BENCHMARKS:

31.12 - HYDRANT PUMPER NOZZLE NEAR NORTHEAST CORNER OF PARCEL (CITY DATUM)
 28.27 - HYDRANT PUMPER NOZZLE NEAR SOUTHWEST CORNER OF PARCEL (CITY DATUM)

DESCRIPTION:

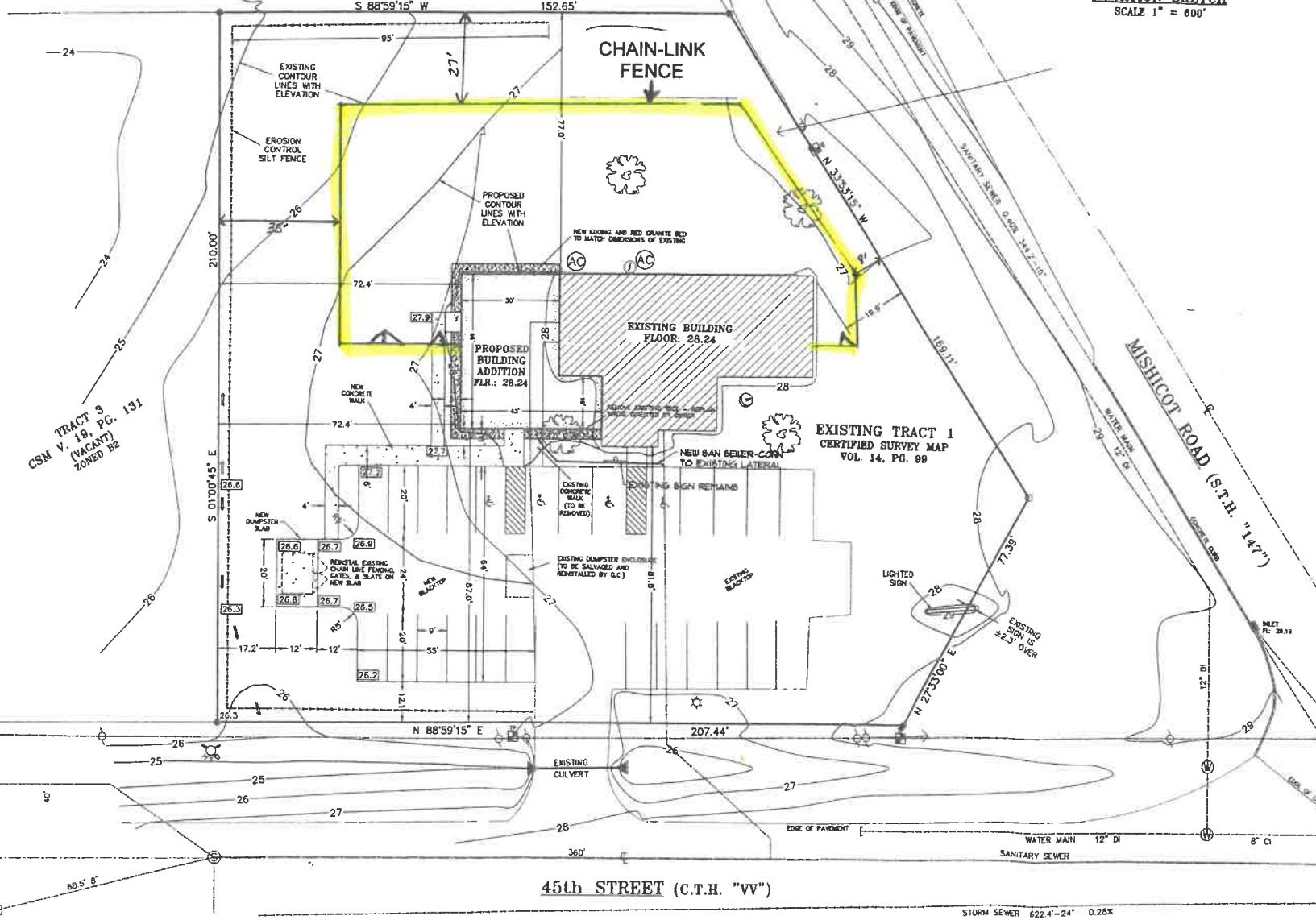
TRACT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 14, PAGE 99 BEING LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, TOWN 20 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

INDEX TO DRAWINGS

- C1.0 SITE PLAN - LOCATION SKETCH - NOTES - INDEX TO DRAWINGS
- A11 1ST FLOOR DEMOLITION PLAN - BASEMENT DEMOLITION PLAN - DETAILS
- A12 1ST FLOOR PLAN - DETAIL 6 - PLAN FOR ALTERNATE NO. 1
- A-21 ROOM SCHEDULE - DOOR SCHEDULE - WINDOW TYPES - GARDEN DETAILS
- A31 EXTERIOR ELEVATIONS
- A41 DETAILS
- A42 SECTIONS - DETAILS
- S11 FOUNDATION PLAN - DETAILS
- S12 ROOF FRAMING PLAN - TRUSS DATE - DETAILS
- P11 PLUMBING UNDERFLOOR PLAN - NOTES
- P12 PLUMBING ABOVE GROUND PLAN - SCHEDULES - DETAILS
- P31 PLUMBING ISOMETRICS FOR WATER AND SEWER
- H11 HVAC PLAN BASEMENT - NOTES - TABLE OF SYMBOLS
- H12 HVAC FIRST FLOOR PLAN - NOTES
- H31 HVAC SCHEDULES
- H41 HVAC DETAILS - SPECIFICATIONS
- E11 ELECTRIC DEMOLITION PLAN - BASEMENT PLAN - NOTES
- E12 ELECTRIC FIRST FLOOR PLAN - SCHEDULES

TRACT 2-1
 CSM V. 17, PG. 99
 (HARMONY LIVING CENTER)
 ZONED B2

TRACT 3
 CSM V. 19, PG. 131
 (VACANT)
 ZONED B2



PLAN NOTES

1. ALL PORTIONS OF THE SITE DISTURBED DURING CONSTRUCTION OF THE PROJECT THAT IS NOT OTHERWISE COVERED BY BUILDINGS, WALKS, OR PAVEMENTS SHALL BE RECONSTRUCTED TO BE FINISHED LAWN. SEE SPEC SECTION 07520.
2. ALL NEW CONCRETE WALKS SHALL BE 4" THICK WITH 6X6 #2 W/M AND JOINTS 5'-0" OC. NEW DUMPSTER SLAB SHALL BE 6" THICK W/ 6X6 #2 W/M AND BAIRED CONTROL JOINTS.

CODE DATA

BUILDING AREA:
 EXISTING 1ST FLOOR • 2906 SF
 ADDITION 1ST FLOOR • 1588 SF
 TOTAL 1ST FLOOR • 4494 SF
 BASEMENT FLOOR • 748 SF

EXISTING BUILDING CONSTRUCTED IN 1954
 UNDER PLAN APPROVAL 194-26-1063B
 FOR DR. KARE LARSON

AREA ALLOWED TABLE 503 • 10000 SF

OCCUPANCY CLASS: BUSINESS
 CLASS OF CONSTRUCTION: 5B
 SPRINKLER SYSTEM: NONE



maloney associates, llc
 architecture - planning
 634 n. 8th st. manitowoc, wi 54220 920 684-9218

NEW ADDITION AND ALTERATIONS FOR
 HOLY FAMILY MEMORIAL LARSON CLINIC
 3310 45TH ST. - TWO RIVERS, WI

PROJECT NO.
 28-2006
 DATE
 3-15-07

SHEET
 C1.0

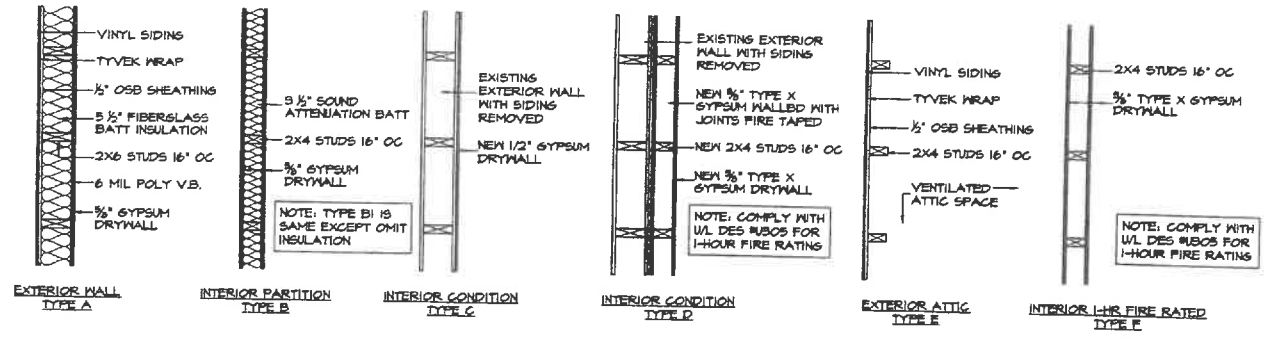
DRAWING: _____
 CLIENT: _____
 DATE: 3-5-07
 DRAWN BY: JAD
 APPROVED BY: _____
 JOB NO.: 071555P
 CAD FILE: DWG\071555P.dwg
 SCALE: 1" = 20'
 SHEET: 1/RECEIVED

SITE PLAN
 HOLY FAMILY MEMORIAL - LARSON CLINIC
 SW 1/4 OF THE NW 1/4 OF SECTION 26, TOWN 20 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

ARCHITECT:
 CLAUDE B. MALONEY
 3410 45th STREET
 TWO RIVERS, WI, 54241
 920-700-3900

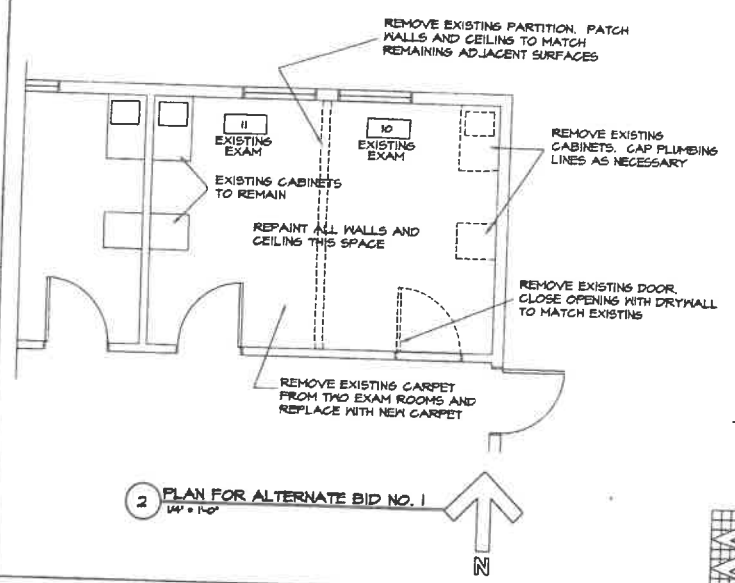
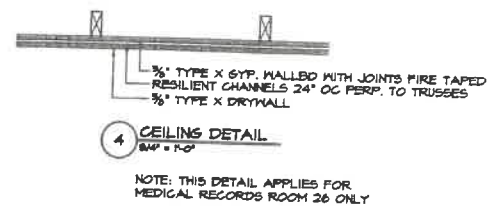
STEINBRECHER & MENEAU, INC.
 ENGINEERS & SURVEYORS
 102 REVERE DRIVE
 MANITOWOC, WI, 54220-3147
 PHONE 884-5583 FAX 884-5584

REVISIONS		
NO.	DATE	BY

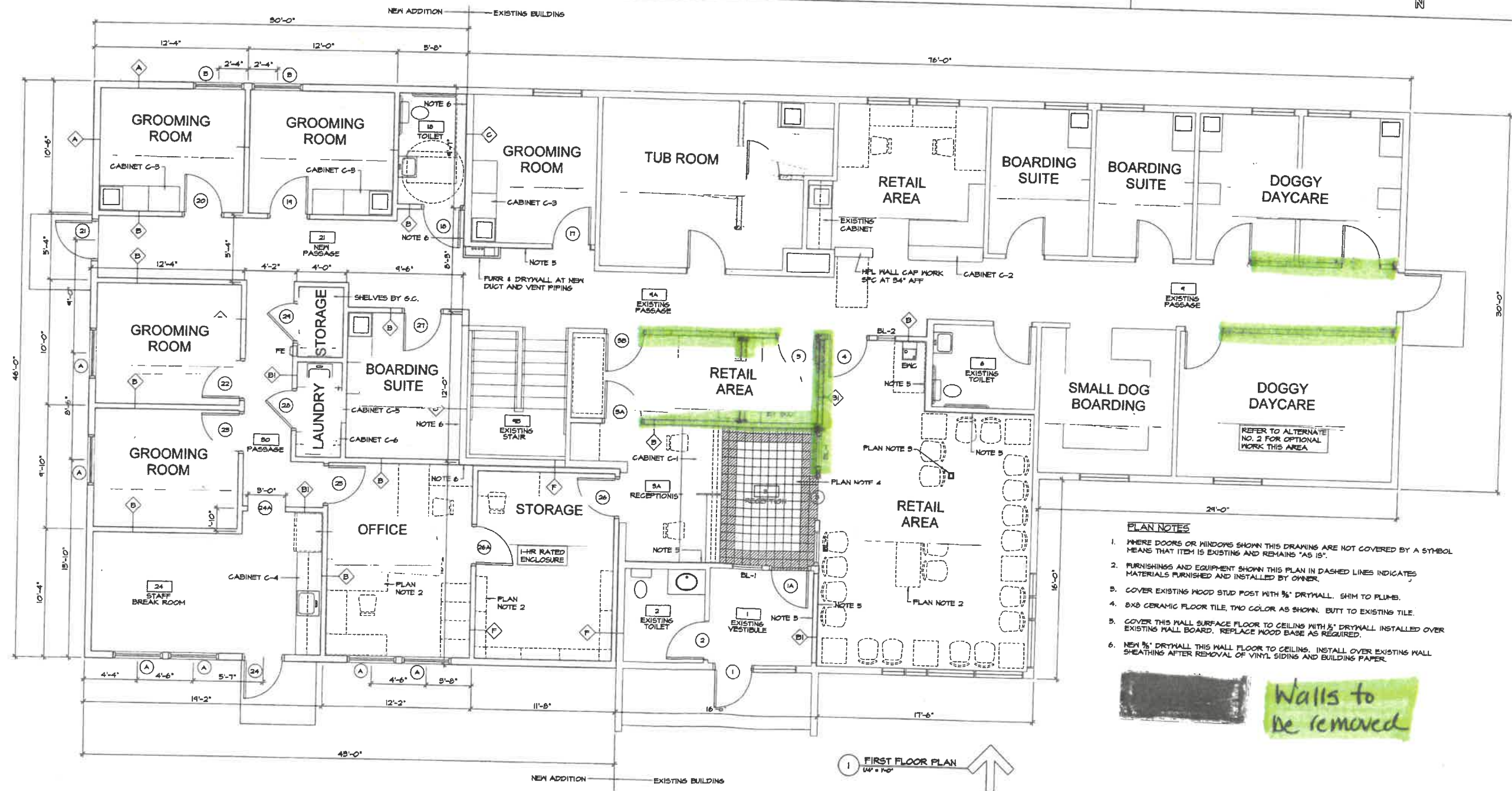


3 WALL AND PARTITION TYPES
 3/4" = 1'-0"

NOTE: WHEREVER A WALL/PARTITION SHOWN ON THE PLAN BELOW DOES NOT CONTAIN A SPECIFIC "TYPE" SYMBOL THAT WALL/PARTITION SHALL BE A TYPE B



maloney associates, llc
 architecture - planning
 634 n. 8th st. monticello, wi 54220 920 684-9218



- PLAN NOTES**
- WHERE DOORS OR WINDOWS SHOWN THIS DRAWING ARE NOT COVERED BY A SYMBOL MEANS THAT ITEM IS EXISTING AND REMAINS "AS IS".
 - FURNISHINGS AND EQUIPMENT SHOWN THIS PLAN IN DASHED LINES INDICATES MATERIALS FURNISHED AND INSTALLED BY OWNER.
 - COVER EXISTING WOOD STUD POST WITH 5/8" DRYMALL. SHIM TO PLUMB.
 - 6x6 CERAMIC FLOOR TILE, TWO COLOR AS SHOWN. BUTT TO EXISTING TILE.
 - COVER THIS WALL SURFACE FLOOR TO CEILING WITH 5/8" DRYMALL INSTALLED OVER EXISTING WALL BOARD. REPLACE WOOD BASE AS REQUIRED.
 - NEW 5/8" DRYMALL THIS WALL FLOOR TO CEILING. INSTALL OVER EXISTING WALL SHEATHING AFTER REMOVAL OF VINYL SIDING AND BUILDING PAPER.

Walls to be removed

NEW ADDITION AND ALTERATIONS FOR
HOLY FAMILY MEMORIAL LARSON CLINIC
 3310 45TH ST. - TWO RIVERS, WI

PROJECT NO.
 28-2006
 DATE
 3-15-07

SHEET
 A1.2

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 8-1-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 3310 – 45th Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

S 1/2 NW 1/4 S26 T20N R24E TRACT 1 OF CSM V 14 P 99

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-226-203-001.07

Zoning Classification of the Premises is: B-2 Business District/Conditional Use to operate a commercial kennel.
Mailing Address of the Premises Operator: 7522 Sunset Drive, Two Rivers, WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a commercial kennel.

Permitted by action of the City Council of the City of Two Rivers on September 2, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Lucky Paws Real Estate LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land use ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
8. Conditions of Operations:
 - a. Hours of operation:
 1. Boarding: 24 hours per day, Sunday - Saturday, not to exceed 15 dogs at any given time
 2. Daycare: 8AM - 6PM, Monday - Saturday, not to exceed 15 dogs at any given time
 3. Grooming salon and retail: 8AM -6PM, Monday - Saturday
 4. Outdoor operations: 7AM - 8PM, Sunday - Saturday, dogs in the outdoor run shall be supervised at all times
 - b. The yard shall be maintained in a clean and odor free condition
 - c. Signage in accord with the City's Sign Code.
 - d. Inspection by the TRFD prior to opening for business
 - e. All landscaping plantings shall be maintained and kept in good health or be replaced; and, all landscaped areas shall be maintained in such a manner to be free of weeds
 - f. The City reserves the right to require privacy fencing based on future development in the area or on a complaint basis
 - g. Fencing shall be maintained in good condition

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator

REVISION DESCRIPTION	DATE	REV. BY

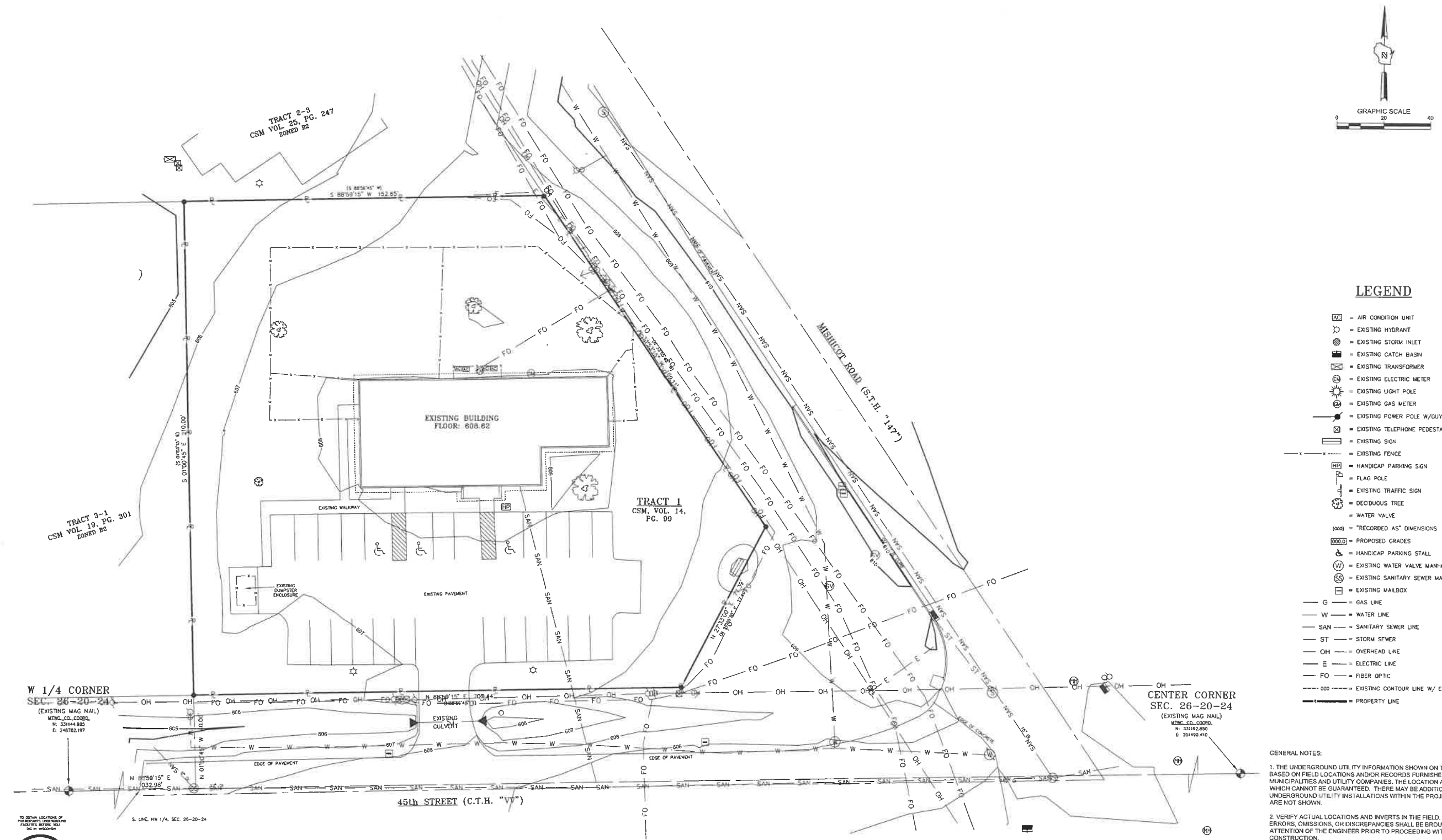
ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 P.O. BOX 1626 • 3810 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
 PHONE: 920-682-8105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

LUCKY PAWS
 3310 45TH ST
 TWO RIVERS, WI 54241

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SHEET INFORMATION
 A.C.E. JOB NO. _____
 DATE: ____/____/____
 DRAWN BY: AKK
 SCALE: 1"=20'
 SHEET

C001



- ### LEGEND
- = AIR CONDITION UNIT
 - = EXISTING HYDRANT
 - = EXISTING STORM INLET
 - = EXISTING CATCH BASIN
 - = EXISTING TRANSFORMER
 - = EXISTING ELECTRIC METER
 - = EXISTING LIGHT POLE
 - = EXISTING GAS METER
 - = EXISTING POWER POLE W/GUY WIRE
 - = EXISTING TELEPHONE PEDESTAL
 - = EXISTING SIGN
 - = EXISTING FENCE
 - = HANDICAP PARKING SIGN
 - = FLAG POLE
 - = EXISTING TRAFFIC SIGN
 - = DECIDUOUS TREE
 - = WATER VALVE
 - = "RECORDED AS" DIMENSIONS
 - = PROPOSED GRADES
 - = HANDICAP PARKING STALL
 - = EXISTING WATER VALVE MANHOLE
 - = EXISTING SANITARY SEWER MANHOLE
 - = EXISTING MAILBOX
 - = GAS LINE
 - = WATER LINE
 - = SANITARY SEWER LINE
 - = STORM SEWER
 - = OVERHEAD LINE
 - = ELECTRIC LINE
 - = FIBER OPTIC
 - = EXISTING CONTOUR LINE W/ ELEVATION
 - = PROPERTY LINE

GENERAL NOTES:

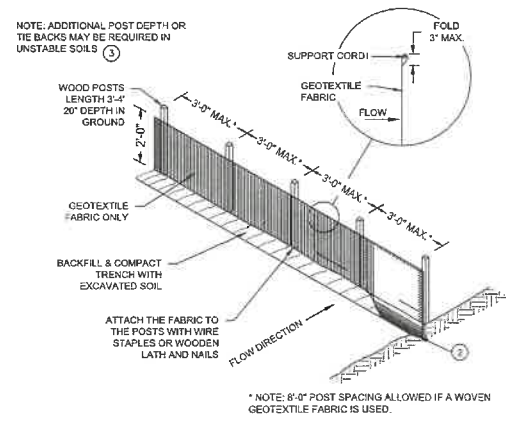
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINT ON 08/03/2024.
4. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND UTILITIES CONTACT THE DIGGERS HOTLINE

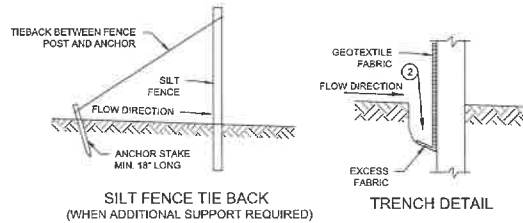
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WE STRIVE FOR 100% SATISFACTION
 REQUIRED 3 HOUR DAYS
 MON-FRI 8AM-5PM
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

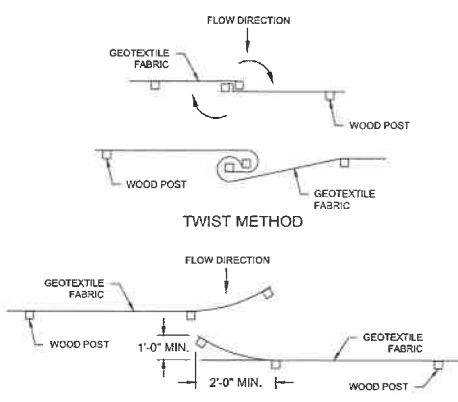
SITE SURVEY



SILT FENCE



A SILT FENCE - WDNR TS-1056 SCALE: 1" = 1'



JOINING TWO LENGTHS OF SILT FENCE

- GENERAL NOTES
- HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
 - WHERE SILT FENCE CROSSES A CULVERT, SILT FENCE SHALL BE DIVERTED OVER THE CULVERT OVER THE CULVERT TO NOT RESTRICT FLOW.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
 - SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
 - THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

- EROSION CONTROL NOTES:**
- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
 - ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
 - SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
 - FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
 - PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
 - SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
 - SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
 - WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
 - TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
 - SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
 - ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
 - SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
 - WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
 - NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
 - OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
 - REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
 - KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
 - CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
 - CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
 - WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
 - CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
 - PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
 - IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:**
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCING AND INLET PROTECTION.
 - INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
 - STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
 - CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
 - CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
 - INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
 - STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
 - PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059, AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
 - PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
 - INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
 - REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
 - STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
 - REMOVE EXCESS SEDIMENT FROM STORM/WATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
 - REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

EROSION CONTROL DETAILS

REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 P.O. BOX 1626 • 3510 SOUTH 24TH STREET • MANITOWOC, WISCONSIN • 54221-1626
 PHONE: 920-682-1105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:

LUCKY PAWS
 3310 45TH STREET
 TWO RIVERS, WI 54241

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SHEET INFORMATION

A.C.E. JOB NO.

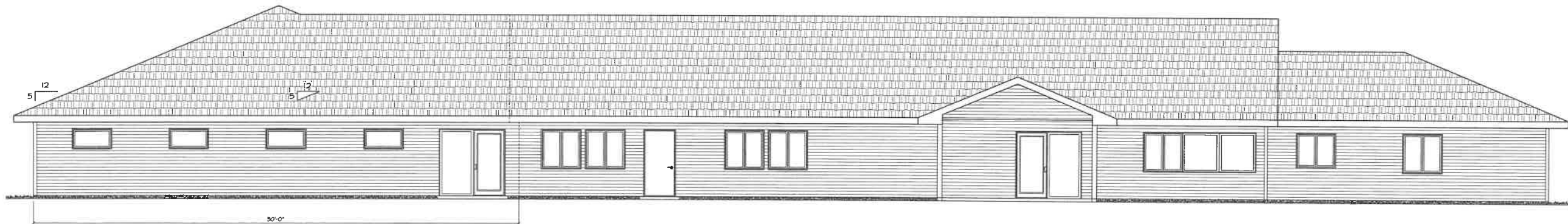
DATE: 06/11/2024

DRAWN BY: AKK

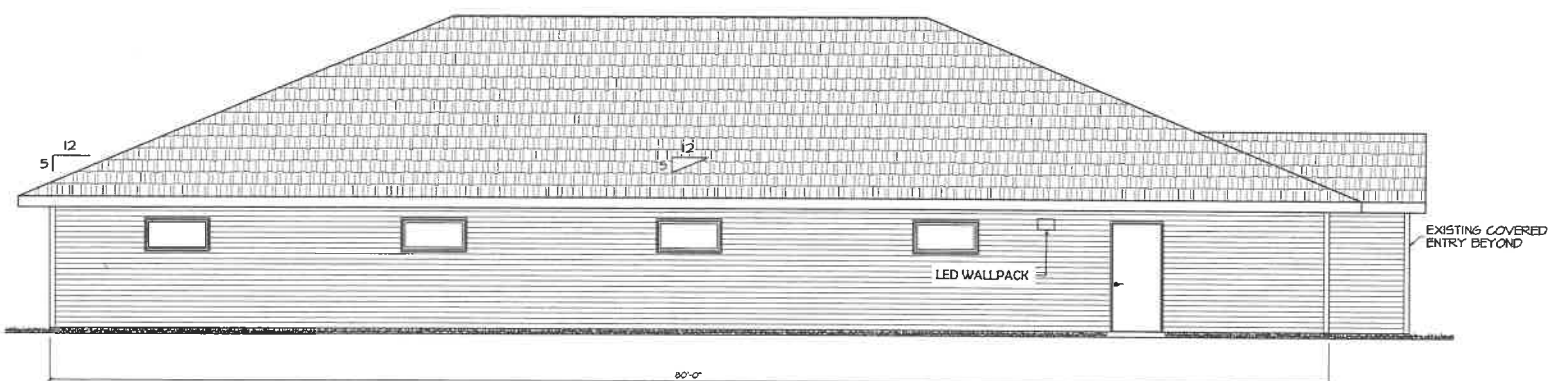
SCALE:

SHEET

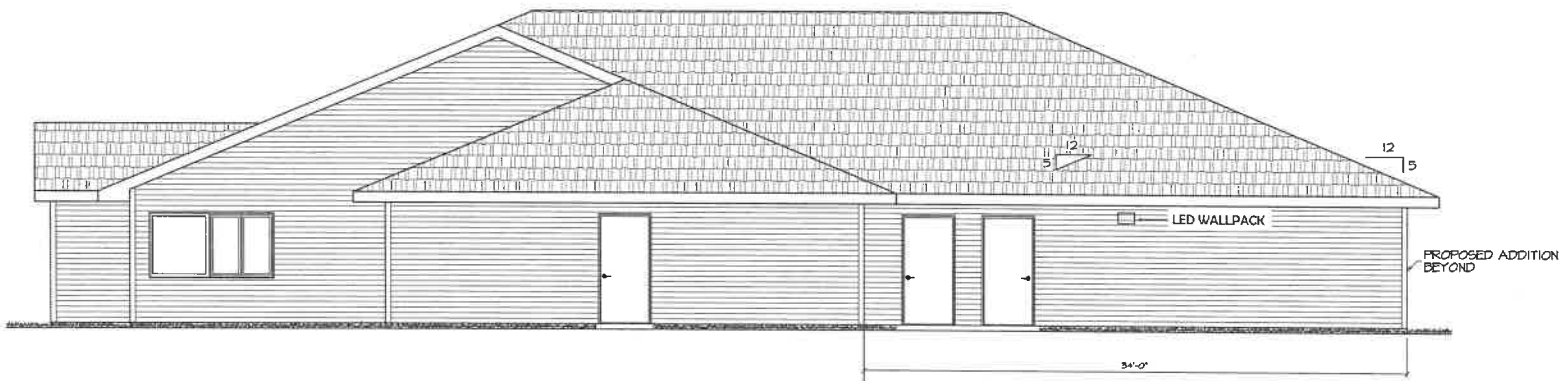
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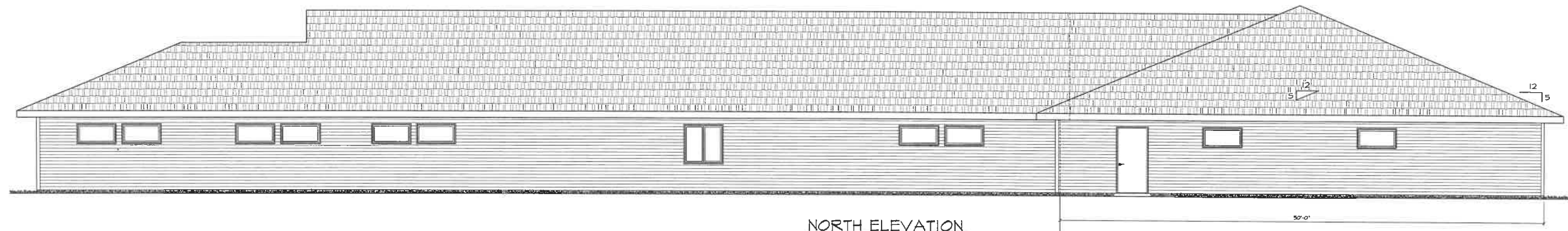
NEW ADDITION | EXISTING BUILDING
SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED ADDITION
WEST ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING BUILDING | NEW ADDITION
EAST ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING BUILDING | NEW ADDITION
NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54220
 PHONE: 920-662-6105 • WWW.ACEBUILDINGSERVICE.COM
 SUPERVISING PROFESSIONAL:

PROPOSED EXPANSION & ALTERATION
 LUCKY PAWS, PET BOUTIQUE
 3310 45TH ST
 TWO RIVERS, WI 54241

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SHEET INFORMATION	
A.C.E. JOB NO.	XXX/XX
DATE:	7/10/24
DRAWN BY:	THR
SCALE:	3/16" = 1'-0"
SHEET	

A1.2

