TWO RIVERS WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. Building Service Inc. (Derek Petska) TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26th Street (Street) Manitowoc (City) WI (State) 54220 (Zip)

PROPERTY OWNER Sauve's Auto (Thomas Christensen) TELEPHONE 920-973-2273

MAILING ADDRESS 1421 Washington St. (Street) Two Rivers (City) WI (State) 54241 (Zip)

REQUEST FOR:

____	Comprehensive Plan Amendment	X	Conditional Use
X	Site/Architectural Plan Approval	____	Annexation Request
____	Subdivision Plat or CSM Review	____	Variance/Board of Appeals
____	Zoning District Change	____	Other

STATUS OF APPLICANT: ____ Owner ____ Agent ____ Buyer X Other

PROJECT LOCATION 1421 Washington St. TYPE OF STRUCTURE Wood & PEMB

PRESENT ZONING B-1 Business District REQUESTED ZONING N/A

PROPOSED LAND USE No change in land use requested - Addition to existing building

PARCEL # 05300007705007; 05300007704109; 05300007704000 ACREAGE 0.55

LEGAL DESCRIPTION Lots 4 and 5 Excepting Therefrom the South 20 Feet and All of Lot 3 of Block 77 of the Original Plat, All Located in Government Lot 4, Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin.

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed _____ (Property Owner) Date 08/23/2024

Fee Required

$ 350	Comprehensive Plan Amendment
$ t/b/d	Site/Architectural Plan Approval (Listed in Sec 1-2-1)
$ t/b/d	CSM Review ($10 lot/$30 min)
	Subdivision Plat (fee to be determined)
$ 350	Zoning District Change
$ 350	Conditional Use
$ t/b/d	Annexation Request (State Processing Fees Apply)
$ 350	Variance/Board of Appeals
$ t/b/d	Other

Schedule

Application Submittal Date _____

Date Fee(s) Paid _____

Plan(s) Submittal Date _____

Plan Comm Appearance _____

$ 550.00 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION

August 26, 2024

City Building Inspections Office
1717 E Park Street
Two Rivers WI 54241

RE: Sauve's Auto
Building Addition & Site Improvement @ 1421 Washington St.

To Whom It May Concern:

The proposed building addition and added parking spaces will replace the two-story residential building and garage on the north side of the property that are scheduled to be demolished. The proposed building expansion will be 3,620 square feet. Exterior finishes will complement the existing building, including metal & EPDM roofing, metal wall panel, aluminum fascia, soffit, gutter, and downspouts. All colors of exterior finishes to match complement the existing as depicted in the conceptual renderings.

The north and east sides of the expansion will consist of off-street asphalt parking. The north side of the expansion will also be landscaped with shrubs, and perennial plants and stone mulch. The project results in a net add of approximately 16,500 square feet of impervious area. The stormwater drainage pattern of the site will not change. The proposed building addition downspouts will be connected to the city of Two Rivers' storm sewer.

The following calculation was used to determine adequacy of off-street parking spaces per Sec. 10-1-13 "Off-street parking and loading" from the City of Two Rivers Municipal Code:

Total building area (including expansion): 6,600 s.f.
Per section 10-1-13: (1) for each vehicle connected with the business, (1) for each employee on duty when fully staffed, (1) for the owner or manager, plus (3) for each bay intended for service, repair or other use.
Included for this project: (4) vehicles connected with the business, (5) full time employees, (1) owner, (7) bays for service.
Shown per plan (18) off-street parking spaces are being provided.

(2) new LED wall-pack lights with photo sensors will be mounted on the exterior of the building located on the north wall and (2) on east exterior wall of the proposed expansion.

Construction is scheduled to begin mid-October and be completed in the spring of 2025.

PROPOSED EXPANSION FOR

SAUVE'S AUTO SERVICE

1421 WASHINGTON STREET

A.C.E. BUILDING SERVICE

TWO RIVERS WISCONSIN

COMMUNITY DEVELOPMENT
1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087

PLAN COMMISSION

Action: Conditional Use Application & S&A Review
Location: 1421 Washington Street (Sauve's)
Current Zoning: Business (B-1)
Date: September 9, 2024

The owner of this property is requesting a Conditional Use Permit for an existing gas station/automobile service use, as well as Site & Architectural Review for an addition at 1421 Washington Street. Gas stations/Automobile Services are a conditional use in the B-1 District

Background
The owner recently combined the parcels to allow for the proposed addition. The addition will allow for more space to service vehicles as well as a bigger parking lot.

Questions and Discussion points from the Director of Public Works include the following:

- Green Space - removing paved terraces and replacing with turf grass
- Creating green buffers in unused parking island areas
- ADA parking
- Where are mechanicals going to be located and are they screened
- Outdoor tire storage adjacent to Kozlowski Tire - screened
- No stormwater management required
- Exterior dumpster? Screening?
- Not a planning item but where internal plumbing is going to discharge to, specifically the sinks and drains in the shop area

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 9-1-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 1421 Washington Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

FERD BOHTE`S ADD ALL EXC N 35` OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-000-077-040.00

Zoning Classification of the Premises is: B-1 Business District/Conditional Use for a Gas Station / Automobile Service
Mailing Address of the Premises Operator: 1421 Washington Street, Two Rivers WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a Gas Station / Automobile Service

Permitted by action of the City Council of the City of Two Rivers on October 7, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Lakeshore Commercial LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land uses ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
6. Conditions of Operations:
   a. Hours of operation: 24 hours per day, seven days per week.
   b. Any outdoor display of merchandise shall be limited to on the fuel islands beneath the canopy not exceeding three feet in height; and, immediately adjacent to the front wall of the building not exceeding the height of the window base.
   c. A separate Conditional Use Permit shall be required for any land use which would include a drive-thru component.
   d. Light fixtures under the canopy shall not glare into public streets and shall not glare into adjacent properties. Diffusers shall be installed as necessary to minimize glare of canopy lights.
   e. Signage in accord with the City's Sign Code.
   f. All landscaping plantings shall be maintained and kept in good health or be replaced; and all landscaped areas shall be maintained in such a manner to be free of weeds.

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

_____ _____

Printed Name: _____ Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

_____
Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

_____ _____

Greg Buckley, City Manager Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY
Personally, came before me this _____ day of _____2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

_____
Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator

A NEW BUILDING ADDITION FOR:

SAUVE'S AUTO

TWO RIVERS, WISCONSIN

MATERIAL INDEX-PLANS,SECTIONS

- EARTH
- COMPACTED FILL
- GRAVEL FILL
- POURED CONCRETE/ PRECAST
- CONCRETE BLOCK
- FACE BRICK
- RIGID INSULATION
- BATT INSULATION
- DRYWALL
- STEEL
- SPRAY FOAM INSULATION
- BITUMINOUS PAVING
- ROUGH LUMBER/ BLOCKING
- PLYWOOD
- FINISHED LUMBER
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- CONSTRUCT NEW WALL

REFERENCE SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)

1 / A-1.1 — SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION); DRAWING NUMBER ON WHICH SECTION APPEARS

PLAN DETAIL / ENLARGED PLAN SYMBOL

1 / A-1.1 — DETAIL NUMBER; DRAWING NUMBER ON WHICH DETAIL APPEARS

DETAIL CUT SYMBOL

1 / A-1.1 — DETAIL NUMBER; DRAWING NUMBER ON WHICH DETAIL APPEARS

Name / Elevation — ELEVATION MARK - NEW

Name / Elevation — ELEVATION MARK - EXISTING

DRAWING SYMBOLS

- 101A — DOOR TAG
- 1 — REVISION NUMBER
- W1 — GLAZING TAG
- A — COLUMN LINE DESIGNATION- NEW
- A1 — WALL TYPE
- UP — STAIRWAY DIRECTION INDICATION
- ? — KEYNOTE MARK - ACCESSORIES
- ? — KEYNOTE MARK - DEMOLITION NOTES
- ? — KEYNOTE MARK - PLAN NOTES
- 10'-0" A.F.F. — SPOT ELEVATION MARKER

PROJECT DATA

GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	III-B
OCCUPANCY CLASSIFICATION	BUSINESS (B), STORAGE (S-1)
LOCAL ZONING AUTHORITY	CITY OF TWO RIVERS
BUILDING SPRINKLED	NO (NO CHANGE)
BUILDING AREA:	
FIRST FLOOR EXIST. BUILDING:	2,987 S.F.
FIRST FLOOR NEW ADDITION:	3,645 S.F.
PROJECT AREA:	4,110 S.F. (INCLUDING INTERIOR REMODEL @ EXIST. WAITING AREA)
TOTAL BUILDING SQ. FT.:	**6,632 S.F.**

PROJECT LOCATION

1421 WASHINGTON STREET
TWO RIVERS, WISCONSIN 54241

INDICATES PROJECT LOCATION

AERIAL PLAN

NO SCALE

INDICATES PROJECT LOCATION

VICINITY PLAN

NO SCALE

IMPORTANT NOTES:
INFORMATION SHOWN ON THESE DRAWINGS (FOR PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION) IS FOR GENERAL DESIGN INTENT/BIDDING PURPOSES ONLY.

ALL CONTRACTORS TO COMPLY WITH ALL LOCAL/STATE CODES AND ORDINANCES.

ALL PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION CONTRACTORS ARE RESPONSIBLE FOR DESIGN, STATE SUBMITTAL AND ALL FEES/PERMITS ASSOCIATED WITH THESE TRADES FOR COMPLETION OF WORK OUTLINED.

IMPORTANT CONTRACTORS NOTES:
ALL CONTRACTORS TO SUBMIT DESIGN/BUILD (PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION) DRAWINGS FOR OWNER REVIEW PRIOR TO STARTING WORK.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK.

NOTE:
ALL PRODUCT SUBSTITUTIONS MUST BE SUBMITTED TO ARCHITECT PRIOR TO BIDDING.

SHEET INDEX

No.	REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3510 SOUTH 28TH STREET | MANITOWOC, WISCONSIN 54220
PHONE 920-682-6105 | WWW.ACEBUILDINGSERVICE.COM
A DIVISION OF A.C.E. BUILDING SERVICE
Civil & Structural
SMI
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated

COVER SHEET

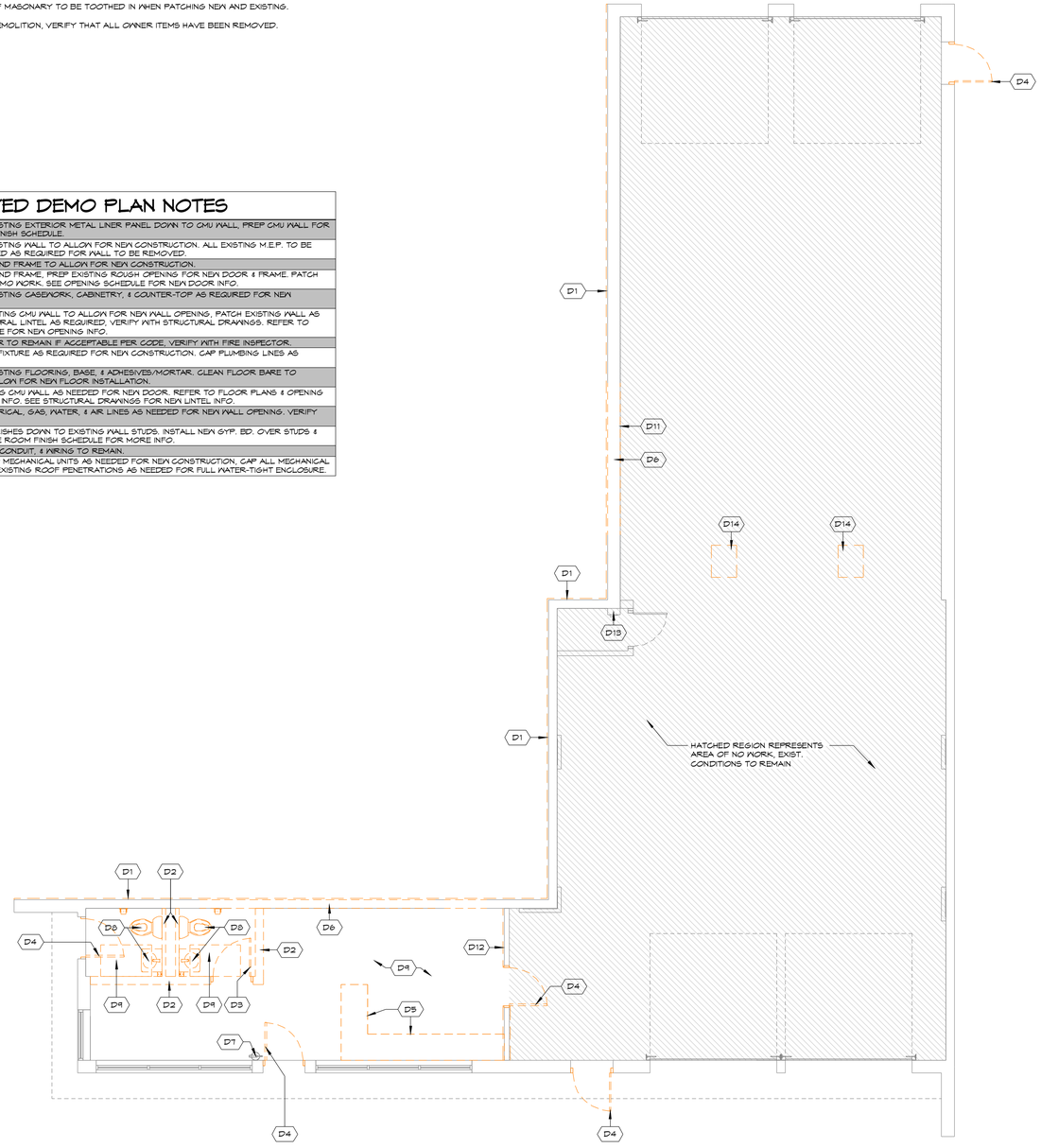
SHEET
C-S

GENERAL PLAN DEMOLITION NOTES:

- ALL CONTRACTORS SHALL VISIT THE SITE AND FIELD VERIFY THE LOCATION OF ALL WALLS, DOORS, LIGHTS, DUCTS, PLUMBING FIXTURES, ETC. TO BE REMOVED.
- ALL MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE REMOVED FROM THE SITE IN A TIMELY MANNER UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING ROOM FINISHES AS REQUIRED TO ALLOW FOR APPLICATION OF NEW MATERIALS WHERE INDICATED ON THE ROOM FINISH SCHEDULE.
- PATCH OPENINGS IN FLOORS, WALLS, AND ROOF WHERE MECHANICAL EQUIPMENT, PLUMBING DUCTS, PIPES, CONDUITS, ETC. ARE REMOVED. MATCH ALL EXISTING FINISHES.
- PATCH ANY AREAS OF LAWN, PAVING, OR CONCRETE PAVING AND/OR CONCRETE CURBS DISTURBED BY CONSTRUCTION AND MATERIAL DELIVERY.
- ALL SITE UTILITIES MUST BE FIELD VERIFIED PRIOR TO DEMOLITION WORK.
- PROVIDE PROTECTION FOR ANY EXISTING CONSTRUCTION OPEN TO THE ELEMENTS DUE TO DEMOLITION.
- PATCHING OF MASONARY TO BE TOOTHED IN WHEN PATCHING NEW AND EXISTING.
- PRIOR TO DEMOLITION, VERIFY THAT ALL OWNER ITEMS HAVE BEEN REMOVED.

KEYED DEMO PLAN NOTES

D1	REMOVE & DISPOSE OF EXISTING EXTERIOR METAL LINER PANEL DOWN TO CMU WALL. PREP CMU WALL FOR NEW FINISHES. SEE ROOM FINISH SCHEDULE.
D2	REMOVE & DISPOSE OF EXISTING WALL TO ALLOW FOR NEW CONSTRUCTION. ALL EXISTING M.E.P. TO BE DISCONNECTED AND CAPPED AS REQUIRED FOR WALL TO BE REMOVED.
D3	REMOVE EXISTING DOOR AND FRAME TO ALLOW FOR NEW CONSTRUCTION.
D4	REMOVE EXISTING DOOR AND FRAME. PREP EXISTING ROUGH OPENING FOR NEW DOOR & FRAME. PATCH WALL AS NEEDED FROM DEMO WORK. SEE OPENING SCHEDULE FOR NEW DOOR INFO.
D5	REMOVE & DISPOSE OF EXISTING CASEWORK, CABINETRY, & COUNTER-TOP AS REQUIRED FOR NEW CONSTRUCTION.
D6	REMOVE PORTION OF EXISTING CMU WALL TO ALLOW FOR NEW WALL OPENING. PATCH EXISTING WALL AS NEEDED. PROVIDE STRUCTURAL LINTEL AS REQUIRED. VERIFY WITH STRUCTURAL DRAWINGS. REFER TO PLANS & OPENING SCHEDULE FOR NEW OPENING INFO.
D7	EXISTING FIRE EXTINGUISHER TO REMAIN IF ACCEPTABLE PER CODE. VERIFY WITH FIRE INSPECTOR.
D8	DEMO EXISTING PLUMBING FIXTURE AS REQUIRED FOR NEW CONSTRUCTION. CAP PLUMBING LINES AS NEEDED.
D9	REMOVE & DISPOSE OF EXISTING FLOORING, BASE, & ADHESIVES/MORTAR. CLEAN FLOOR BARE TO EXISTING CONCRETE TO ALLOW FOR NEW FLOOR INSTALLATION.
D10	DEMO PORTION OF EXISTING CMU WALL AS NEEDED FOR NEW DOOR. REFER TO FLOOR PLANS & OPENING SCHEDULE FOR NEW DOOR INFO. SEE STRUCTURAL DRAWINGS FOR NEW LINTEL INFO.
D11	RELOCATE EXISTING ELECTRICAL, GAS, WATER, & AIR LINES AS NEEDED FOR NEW WALL OPENING. VERIFY EXACT EXTENTS ON SITE.
D12	REMOVE EXISTING WALL FINISHES DOWN TO EXISTING WALL STUDS. INSTALL NEW GYP. BD. OVER STUDS & PROVIDE NEW FINISHES. SEE ROOM FINISH SCHEDULE FOR MORE INFO.
D13	EXISTING ELECTRIC PANEL, CONDUIT, & WIRING TO REMAIN.
D14	DEMO EXISTING OVERHEAD MECHANICAL UNITS AS NEEDED FOR NEW CONSTRUCTION. CAP ALL MECHANICAL LINES AS REQUIRED. SEAL EXISTING ROOF PENETRATIONS AS NEEDED FOR FULL WATER-TIGHT ENCLOSURE.



TRUE N

1 D-1.0 FIRST FLOOR DEMO PLAN

3/16" = 1'-0"

No.	REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
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PHONE 920-682-6105 | WWW.ACEBUILDINGSERVICE.COM
SUPERVISING PROFESSIONAL:
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A DIVISION OF A.C.E. BUILDING SERVICE
SMI

PROJECT INFORMATION:

SAUVE'S AUTO

TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated

FIRST FLOOR DEMO PLAN

SHEET

D-1.0

GENERAL FLOOR PLAN NOTES:

- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING OR GROUTED CMU CORES FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVING, ETC. AS REQUIRED
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC W/ FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO COORDINATE WHETHER ANY CMU CORES NEED GROUTED FOR WALL-MOUNTED EQUIPMENT.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- BULL-NOSE C.M.U. REQUIRED AT CORNERS- REFER TO INTERIOR WALL TYPES FOR ADD'L. INFORMATION.

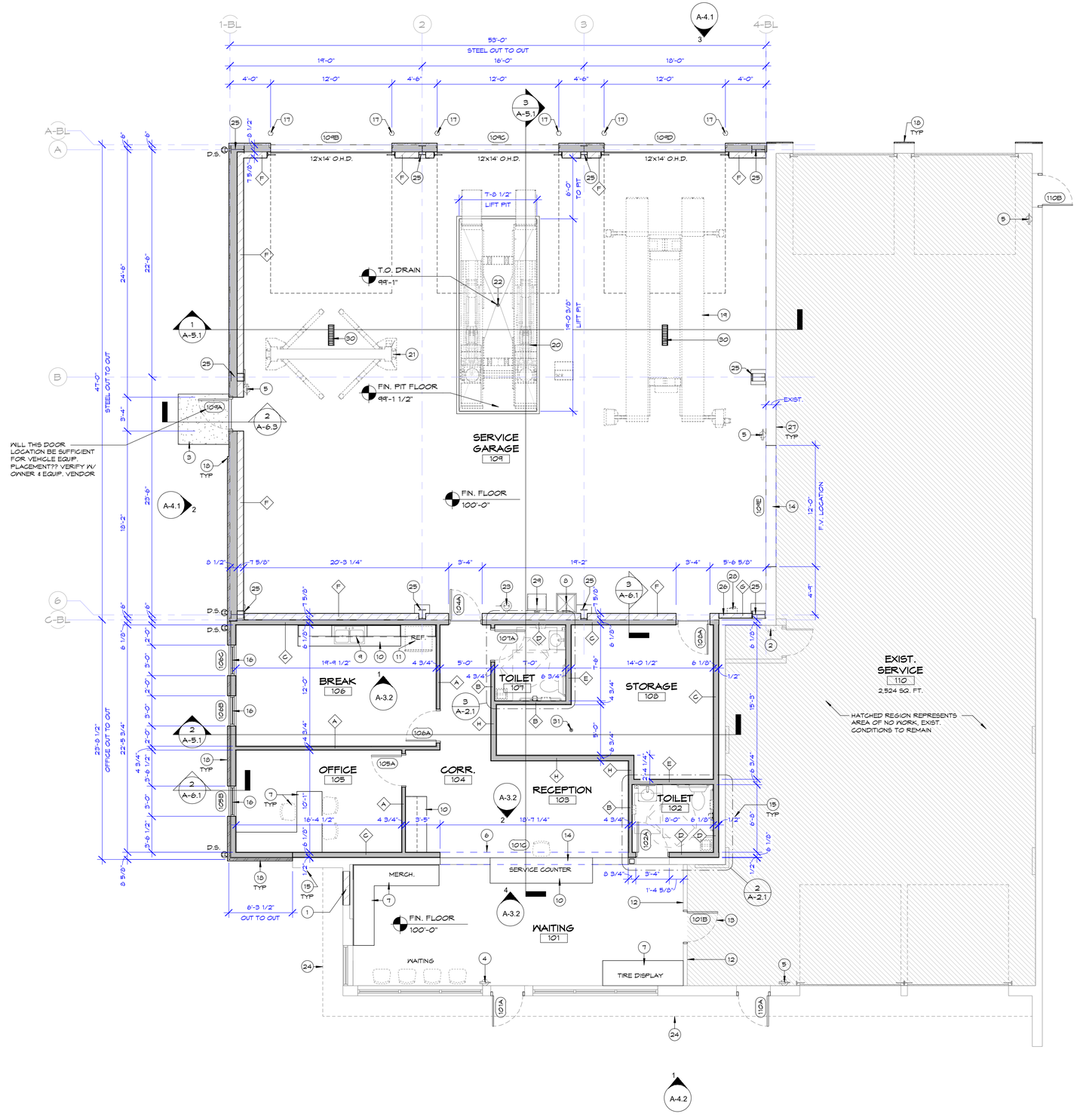
STANDARD FLOOR PLAN NOTATION:

- ◇ - INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- F.E.C. - INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- F.E. - INDICATES FIRE EXTINGUISHER - MIN. 10# "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODE. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER.)
- F.D. - FLOOR DRAIN
- C.B. - CATCH BASIN
- ⟨X⟩ - INDICATES WALL TYPES, REFER TO INT. WALL TYPES FOR INFORMATION.
- D.S. - DOWN-SPOUT

KEYED PLAN NOTES

1	DEMO EXISTING DOOR & INFILL WITH NEW WALL. NEW WALL TO MATCH EXISTING WALL CONSTRUCTION.
2	EXISTING ELECTRIC PANEL, CONDUIT, & WIRING TO REMAIN.
3	CONCRETE STOOP SLAB WITH FROST-WALL FOUNDATION, 2" RIGID INSULATION INSTALLED UNDER STOOP SLAB. REFER TO SECTIONS & STRUCTURAL DRAWINGS, TYP.
4	EXISTING FIRE EXTINGUISHER TO REMAIN IF ACCEPTABLE PER CODE, VERIFY WITH FIRE INSPECTOR.
5	NEW WALL MOUNTED FIRE EXTINGUISHER. REFER TO LIFE SAFETY PLANS FOR MORE INFO.
6	DASHED LINE REPRESENTS CEILING/SOFFIT OVERHEAD. REFER TO REFLECTED CEILING PLANS FOR MORE INFO.
7	FURNITURE/EQUIPMENT BY OWNER.
8	NEW MOP SINK W/ MOP HOLDER.
9	SINK BY PLUMBING CONTRACTOR.
10	CASEWORK BY CABINETRY PROVIDER. PROVIDE GROMMETS AS NEEDED.
11	REFRIGERATOR BY OWNER. PROVIDE WATER LINE AS NEEDED. VERIFY WITH PLUMBING CONTRACTOR.
12	PROVIDE NEW GYP. BD. & PLASTER @ EXISTING WALL (WAITING ROOM SIDE ONLY).
13	NEW DOOR IN EXISTING ROUGH OPENING, PATCH WALL AS REQUIRED FROM DEMO WORK. SEE OPENING SCHEDULE FOR NEW DOOR INFO.
14	NEW WALL OPENING IN EXISTING CMU WALL. PROVIDE NEW LINTEL AS NEEDED, REFER TO STRUCTURAL DRAWINGS.
15	NEW 2x6 WOOD STUD FURRING WALL TO BE HELD 1/2" OFF OF EXISTING CMU WALL, TYP.
16	PROVIDE NEW SOLID SURFACE SILL WITH DRYWALL RETURNS AT HEAD & JAMBS OF NEW WINDOW.
17	6" DIAMETER STEEL PIPE BOLLARD (COORDINATE EXACT LOCATION WITH OVERHEAD DOOR SUPPLIER), FILLED SOLID W/CONC, PRIMED, PROVIDE PLASTIC SLEEVE COVER (COLOR:T.B.D.). REFER TO TYPICAL BOLLARD DETAILS FOR MORE INFO.
18	HORIZONTAL METAL ACCENT PANEL INSTALLED OVER METAL LINER PANEL.
19	ROTARY ALIGNMENT FOUR POST VEHICLE LIFT. PROVIDED & INSTALLED BY OWNER & OWNER'S VENDOR. COORDINATE ANY NECESSARY M.E.P. ITEMS WITH PERTINENT CONTRACTOR(S).
20	HUNTER RX-12 SCISSOR LIFT, WITH FLOOR PIT. PROVIDED AND INSTALLED BY OWNER & OWNER'S VENDOR (CENTERED ON MIDDLE SERVICE BAY). CONTRACTOR SHALL INSTALL A PVC CONDUIT TO LIFT CONTROL BOX. VERIFY PLACEMENT AND CONDUIT SIZE WITH VENDOR & OWNER. ELECTRICAL CONTRACTOR TO PROVIDE ELEC. CONNECTION AND DROP DOWN DUPLEX OUTLET W/ REEL TO LIFT. VERIFY LOCATION WITH OWNER. SEE FLOOR PIT SECTIONS FOR MORE INFO.
21	ROTARY SP016/20 TWO POST LIFT, PROVIDED & INSTALLED BY OWNER & OWNER'S VENDOR. COORDINATE ANY NECESSARY M.E.P. ITEMS WITH PERTINENT CONTRACTOR(S).
22	FLOOR DRAIN, BY PLUMBING CONTRACTOR. (PITCH SLAB TO DRAIN). REFER TO PIT SECTIONS & PLUMBING DRAWINGS FOR MORE INFO.
23	EMERGENCY EYE WASH, BY PLUMBING CONTRACTOR.
24	DASHED LINE REPRESENTS EXISTING SOFFIT ABOVE.
25	COLUMN PER PEMB SUPPLIER.
26	PROVIDE 6" CMU WALL HERE AS NEEDED FOR EXISTING WALL JOG, CAN USE 8" CMU IF THERE'S ENOUGH CLEARANCE. VERIFY IN FIELD.
27	RELOCATE EXISTING ELECTRICAL, GAS, WATER, & AIR LINES AS NEEDED FOR NEW WALL OPENING. VERIFY EXACT EXTENTS ON SITE.
28	NEW ELECTRICAL PANEL, PROVIDED BY ELECTRICAL CONTRACTOR.
29	NEW UTILITY SINK, BY PLUMBING CONTRACTOR.
30	2'-0" LONG x 8" WIDE AGO TRENCH DRAIN. VERIFY EXACT LOCATION WITH VEHICLE LIFT PROVIDER & PLUMBER (CENTER ON GARAGE BAY).
31	FLOOR DRAIN, BY PLUMBING CONTRACTOR.

GENERAL NOTE:
ONLY NEW DOORS & WINDOWS ARE TAGGED ON FLOOR PLAN. ALL EXISTING DOORS & WINDOWS ARE UNTAGGED & SHALL REMAIN AS-IS, UNLESS OTHERWISE NOTED.



TRUE N

1 A-1.1 FIRST FLOOR PLAN
3/16" = 1'-0"

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION

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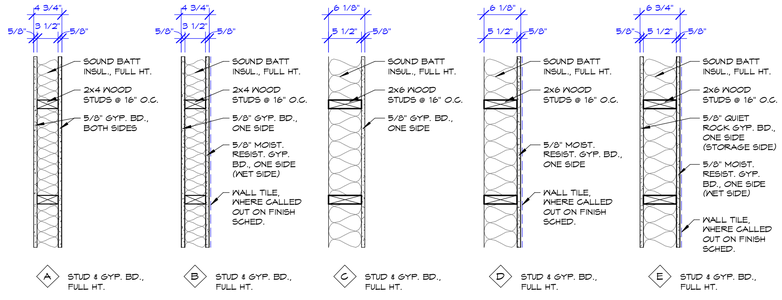
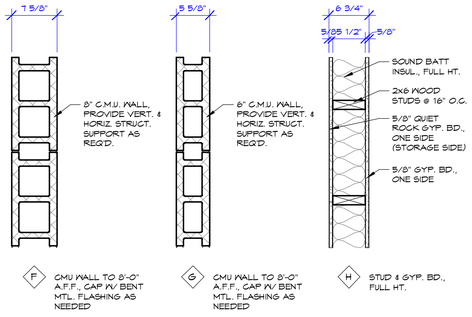
FIRST FLOOR PLAN

SHEET
A-1.1





NOTE:
ALL GYP. BOARD SHALL EXTEND TO FULL HEIGHT OF STUD WALL, OR TO BOT. OF GYP. BD. CLG.(REFER TO REFL. CLG. PLANS). ALL GYP. BD. SHALL EXTEND 6" ABOVE HIGHEST ADJACENT CEILING, UNLESS NOTED OTHERWISE. ALL STUDS SHALL BE ADEQUATELY SUPPORTED AS TO MANTAIN A RIGID WALL ASSEMBLY.

NOTE:
ALL EXPOSED C.M.U. OUTSIDE CORNERS @ WALLS, OPENING JAMBS & UNFINISHED SILL SHALL HAVE SQUARE CORNERS, TYP.

INTERIOR WALL TYPES

1" = 1'-0"

GYPSUM BOARD CONTROL (EXPANSION) JOINT NOTE:

INSTALL CONTROL (EXPANSION) JOINTS ACCORDING TO ASTM C480 AND IN SPECIFIC LOCATIONS APPROVED BY ARCHITECT FOR VISUAL EFFECT.

1. CONTROL (EXPANSION) JOINTS SHALL BE INSTALLED IN CEILINGS EXCEEDING 2,500 S.F. IN AREA. THE DISTANCE SHALL NOT BE MORE THAN 50 FEET BETWEEN CEILING CONTROL (EXPANSION) JOINTS IN EITHER DIRECTION (WITH PERIMETER RELIEF, 30 FEET IN EITHER DIRECTION WITHOUT PERIMETER RELIEF).
2. CONTROL (EXPANSION) JOINTS SHALL BE INSTALLED IN PARTITION, WALL AND WALL FURRING RUNS EXCEEDING NOT MORE THAN 30 FEET. A CONTROL (EXPANSION) JOINT SHALL BE INSTALLED WHERE A CONTROL (EXPANSION) JOINT OCCURS IN THE BASE EXTERIOR WALL.
3. CONTROL (EXPANSION) JOINTS ARE NOT REQUIRED FOR WALL LENGTHS LESS THAN 30 FEET.
4. EXTEND CONTROL (EXPANSION) JOINTS THE FULL HEIGHT OF THE WALL OR LENGTH OF SOFFIT/CEILING MEMBRANE.
5. LOCATE CONTROL (EXPANSION) JOINTS AT BOTH JAMBS OF OPENINGS IF GYPSUM BOARD IS NOT "YOKED" (CENTERED ON HEAD OPENING). USE ONE SYSTEM THROUGHOUT.
6. WHERE VERTICAL AND HORIZONTAL CONTROL (EXPANSION) JOINTS INTERSECT, VERTICAL CONTROL (EXPANSION) JOINT SHALL BE CONTINUOUS; HORIZONTAL CONTROL (EXPANSION) JOINT SHALL ABUT IT.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS NORTH	WALLS SOUTH	WALLS EAST	WALLS WEST	CEILING	CLG HGT	REMARKS
FIRST FLOOR										
101	WAITING	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
102	TOILET	EPXY-1	CTB-1	CMT-1/P-2	P-2	P-2	CMT-1/P-2	VCG-1	9'-0"	1
103	RECEPTION	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
104	CORR.	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
105	OFFICE	LVT-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
106	BREAK	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
107	TOILET	EPXY-1	CTB-1	CMT-1/P-2	P-2	CMT-1/P-2	P-2	VCG-1	9'-0"	1
108	STORAGE	SC-1	VB-1	P-1	P-1	P-1	P-1	EXPOSED	--	2,8
109	SERVICE GARAGE	SC-1	--	P-3/EXPOSED	P-3/MLP-1/EXPOSED	P-3	P-3/EXPOSED	EXPOSED	--	2,4,5,6,7
110	EXIST. SERVICE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	3

ROOM SCHED. NOTE:
WALL DIRECTIONS ARE BASED ON "PLAN NORTH" BEING "UP" ON THE PLAN SHEETS (NOT "TRUE" NORTH).

GENERAL ROOM FINISH NOTES:

- ALL GYP. BOARD SURFACES SHALL BE TAPED, MUDDED, PRIMED, AND FINISHED WITH TWO (2) COATS OF PAINT.
- PROVIDE TRANSITION STRIPS BETWEEN CONCRETE FLOORS AND FINISHED FLOORS TYPICAL.
- REFER TO REFLECTED CEILING PLAN FOR GYPSUM WALL BOARD SOFFITS.
- FLOOR FINISH MATERIALS SHALL TRANSITION AT THE CENTER OF THE COMMUNICATING DOOR.
- REFER TO REFLECTED CEILING PLAN FOR CEILING MATERIAL TRANSITIONS.
- ALL CEILING GRIDS SHALL BE CENTERED IN EACH ROOM UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL AND MECHANICAL FIXTURES TO BE INSTALLED WITHIN CEILING SHALL BE CENTERED ON CEILING TILE UNLESS NOTED OTHERWISE.
- GYPSUM BOARD IN THE RESTROOMS AND SURROUNDING THE UTILITY SINK SHALL BE MOISTURE RESISTANT.
- METAL EDGE STRIPS TO BE INSTALLED WHERE EXPOSED EDGE OF TILE MEETS CARPET, WOOD OR OTHER FLOORING.
- USE SCHLUTER RONDEC AT TOP OF TILE (WHERE APPLICABLE, OR NO-BULL-NOSE TRIM IS USED) & OUTSIDE CORNERS.

ROOM FINISH SCHEDULE REMARKS:

1. CMT-1 TO 5'-0" A.F.F., P-2 TO CEILING ABOVE. (SEE TYPICAL TILE ELEVATION FOR MORE INFO.)
2. AREAS WITH SC-1, PROVIDE AN ***ALTERNATE BID*** FOR EPXY-1. PRICE EACH AREA SEPARATELY.
3. EXISTING FINISHES TO REMAIN IN THIS ROOM, NO WORK.
4. NO CEILING, EXPOSED TO STRUCTURE ABOVE.
5. SERVICE BAY NORTH & WEST WALLS:
   P-3 TO 8'-0" A.F.F., EXPOSED FEMB WALL ABOVE TO ROOF
6. SERVICE BAY EAST WALL:
   P-3 ENTIRE WALL, FULL HEIGHT
7. SERVICE BAY SOUTH WALL:
   P-3 TO 8'-0" A.F.F., MLP-1 ABOVE AT WOOD STUD WALL ONLY, EXPOSED FEMB WALL ABOVE MLP-1 TO ROOF.
8. PAINTED GYPSUM BOARD CEILING ATTACHED TO 2X10 ROOF STRUCTURE ABOVE, COLOR T.B.D.

FLOOR FINISH CODES:

EPXY-1: EPOXY FLOORING:
FINISH: DECORATIVE FLAKE
COLOR: QUARTZ BROADCAST

LVT-1: LUXURY VINYL TILE (COMMERCIAL GRADE):
COLOR: T.B.D.
STYLE: T.B.D.
SIZE: T.B.D.

SC-1: SEALED EXPOSED CONCRETE:

BASE FINISH CODES:

VB-1: VINYL COVE WALL BASE:
MFR: T.B.D.
COLOR: T.B.D.
SIZE: 4" TALL

WB-2: WOOD WALL BASE:
SPECIES: MAPLE, W/ EASED EDGE
SIZE: 3/4" THICK x 5" TALL

CTB-1: CERAMIC TILE BASE:
MFR: T.B.D.
COLOR: T.B.D.
FINISH: T.B.D.
SIZE: 6" TALL
GROUT: T.B.D.

WALL FINISH CODES:

P-1: GYPSUM BOARD - PAINTED
PAINT TYPE: INTERIOR GRADE LATEX
COLOR: T.B.D.
FINISH TYPE: LIGHT SKIP TROWEL

P-2: MOISTURE RESISTANT GYPSUM BOARD - PAINTED
PAINT TYPE: INTERIOR GRADE LATEX (MADE FOR HIGH MOISTURE)
COLOR: T.B.D.
FINISH TYPE: LIGHT SKIP TROWEL

P-3: CMU - PAINTED
PAINT TYPE: CMU GRADE PAINT W/ BLOCK FILLER
COLOR: T.B.D.

CMT-1: MOISTURE RESISTANT GYP. BD. W/ CERAMIC WALL TILE
HEIGHT: 5'-0" A.F.F.
TYPE/FINISH: T.B.D.
COLOR: T.B.D.

MLP-1: PRE-FINISHED METAL LINER PANEL (26 GAUGE)
COLOR: T.B.D.
LOCATION: INSTALLED AT EXPOSED WOOD STUD WALL W/ FLAT GIRTS AS REQUIRED.

EXPOSED: EXPOSED FEMB STRUCTURE/INSULATION FABRIC

CEILING FINISH CODES:

ACT-1: ACOUSTICAL LAY-IN TILES:
MFR.: ARMSTRONG OR EQUAL
STYLE: ULTIMA, BEVELED TEGULAR
SIZE: 24"X24"
COLOR: WHITE
GRID: NARROW GRID, WHITE

VCG-1: VINYL COVERED GYPSUM BOARD, LAY-IN TILES:
MFR.: ARMSTRONG OR EQUAL
STYLE: T.B.D.
SIZE: 24"x24"
COLOR: WHITE
GRID: T.B.D.

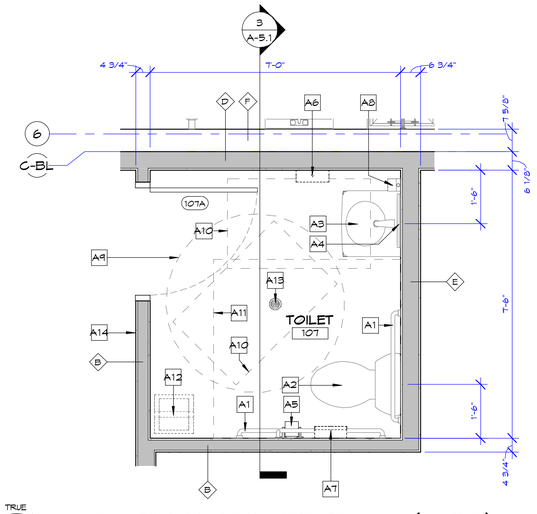
EXPOSED: OPEN TO STRUCTURE/INSULATION ABOVE

TOILET ROOM GENERAL NOTES:

- ALL TOILET ROOM ACCESSORIES SHALL BE INSTALLED ACCORDING TO "ADA" GUIDELINES. SEE ADA GUIDELINE DETAILS FOR ADDITIONAL INFORMATION.
- ALL TOILET ROOM FLOOR FINISHES SHALL BE OF A SMOOTH, HARD, NON-ABSORBENT MATERIAL AND SHALL EXTEND A MIN. OF 4" UPWARD ONTO WALLS (ie:, CERAMIC BASE, VINYL COMPOSITION TILE W/ 4" VINYL BASE, ETC.). COORDINATE FLOOR FINISHES W/ ROOM FINISH SCHEDULE/OWNER).
- ALL TOILET ROOM WALLS SHALL BE FINISHED W/ MIN. (2) COATS OF OIL-BASED OR OTHER IMPERVIOUS MATERIAL. COORDINATE TEXTURE W/ OWNER.
- GYPSUM BOARD IN THE RESTROOMS AND SURROUNDING THE UTILITY SINK SHALL BE MOISTURE RESISTANT.
- PROVIDE WOOD BLOCKING SUPPORT AS REQUIRED FOR MOUNTING ACCESSORIES.

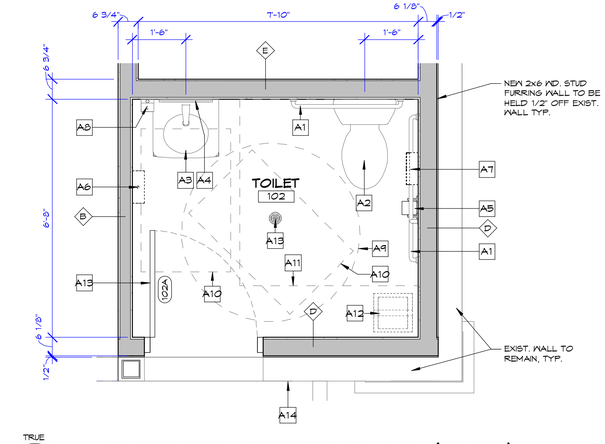
TOILET ROOM ACCESSORIES

A1	PROVIDE AND INSTALL 36" & 42" HORIZONTAL & 18" VERTICAL GRAB BARS, SATIN FINISH STAINLESS STEEL OR EQUAL. REFER TO MOUNTING HEIGHT DETAILS.
A2	PROVIDE AND INSTALL ADA COMPLIANT WATER CLOSET, BY PLUMBING CONTRACTOR.
A3	PROVIDE & INSTALL ADA COMPLIANT WALL HUNG LAVATORY WITH MANUAL FAUCET & OFFSET GRID STRAINER, BY PLUMBING CONTRACTOR.
A4	24"x36" MIRROR OVER LAVATORY, REFER TO ACCESSIBILITY DETAILS FOR MOUNTING HEIGHT. INSTALLED BY GENERAL CONTRACTOR.
A5	TOILET PAPER DISPENSER, INSTALLED BY GENERAL CONTRACTOR.
A6	PAPER TOWEL DISPENSER, INSTALLED BY GENERAL CONTRACTOR.
A7	SANITARY NAPKIN DISPOSAL BY OWNER IF PROVIDED, INSTALLED BY GENERAL CONTRACTOR.
A8	WALL MOUNTED SOAP DISPENSER, SELECTED BY OWNER & INSTALLED BY GENERAL CONTRACTOR.
A9	REQUIRED 60" ADA TURNING CIRCLE.
A10	REQUIRED 30" x 48" ADA CLEAR FLOOR SPACE.
A11	REQUIRED 60"x60" ADA CLEAR SPACE AT WATER CLOSET.
A12	TRASH CAN, PROVIDED BY OWNER.
A13	FLOOR DRAIN, BY PLUMBING CONTRACTOR.
A14	ADA TOILET ROOM SIGNAGE W/ BRAILLE - SIGN AND MOUNTING BY GENERAL CONTRACTOR, REFER TO MOUNTING DETAILS.



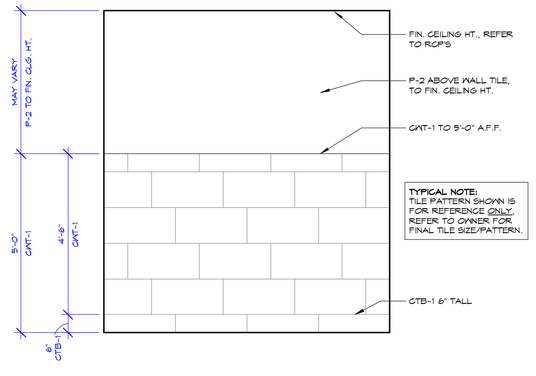
TRUE N 3 A-2.1 1/2" = 1'-0"

ENLRGD. TOILET PLAN (#107)



TRUE N 2 A-2.1 1/2" = 1'-0"

ENLRGD. TOILET PLAN (#102)



1 A-2.1 1/2" = 1'-0"

TYP. TILE ELEV. @ TOILET ROOM

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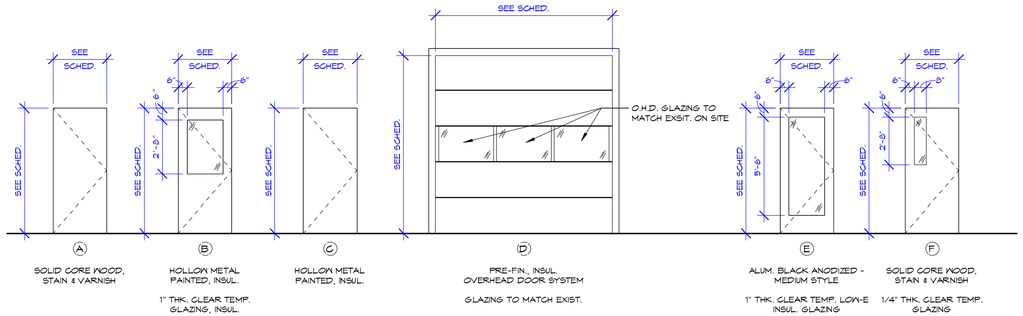
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated

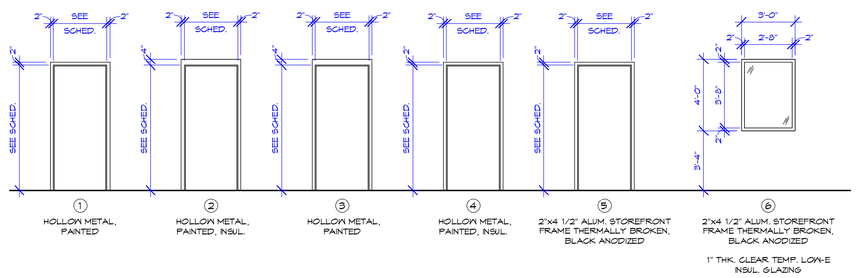
ROOM FINISH SCHED. & TOILET PLANS

SHEET
A-2.1



DOOR ELEVATIONS

1/4" = 1'-0"



FRAME ELEVATIONS

1/4" = 1'-0"

OPENING SCHEDULE

DOOR NO.	FROM	TO	HAND	DOOR OPENING WIDTH	DOOR OPENING HEIGHT	DOOR TYPE	DOOR MAT'L	DOOR FINISH	FRAME TYPE	FRAME MAT'L	FRAME FINISH	HRD'W. GROUP	FIRE RATING	REMARKS
FIRST FLOOR														
101A	EXTERIOR	WAITING	LHR	3' - 0"	7' - 0"	E	ALUM.	ANOD.	5	ALUM.	ANOD.	1	--	1,6
101B	WAITING	EXIST. SERVICE	LH	3' - 0"	7' - 0"	B	H.M.	PAINT	4	H.M.	PAINT	2	--	1
101C	WAITING	RECEPTION	WALL OPNG.	18' - 1 1/4"	8' - 0"	--	--	--	--	--	--	--	--	2
102A	WAITING	TOILET	LH	3' - 0"	7' - 0"	A	WOOD	S & V	3	H.M.	PAINT	4	--	4
104A	CORRIDOR	SERVICE GARAGE	LH	3' - 0"	7' - 0"	B	H.M.	PAINT	2	H.M.	PAINT	2	--	5
105A	CORRIDOR	OFFICE	RH	3' - 0"	7' - 0"	F	WOOD	S & V	1	H.M.	PAINT	6	--	
105B	EXTERIOR	OFFICE	WINDOW	3' - 0"	4' - 0"	--	--	--	6	ALUM.	ANOD.	--	--	3
106A	CORRIDOR	BREAK	LH	3' - 0"	7' - 0"	F	WOOD	S & V	1	H.M.	PAINT	3	--	
106B	EXTERIOR	BREAK	WINDOW	3' - 0"	4' - 0"	--	--	--	6	ALUM.	ANOD.	--	--	3
106C	EXTERIOR	BREAK	WINDOW	3' - 0"	4' - 0"	--	--	--	6	ALUM.	ANOD.	--	--	3
107A	CORRIDOR	TOILET	LH	3' - 0"	7' - 0"	A	WOOD	S & V	1	H.M.	PAINT	4	--	4
108A	SERVICE GARAGE	STORAGE	LH	3' - 0"	7' - 0"	C	H.M.	PAINT	2	H.M.	PAINT	5	--	
109A	EXTERIOR	SERVICE GARAGE	LHR	3' - 0"	7' - 0"	C	H.M.	PAINT	2	H.M.	PAINT	1	--	6
109B	EXTERIOR	SERVICE GARAGE	O.H.D.	12' - 0"	14' - 0"	D	BY MFR.	PRE-FIN.	--	--	--	7	--	7
109C	EXTERIOR	SERVICE GARAGE	O.H.D.	12' - 0"	14' - 0"	D	BY MFR.	PRE-FIN.	--	--	--	7	--	7
109D	EXTERIOR	SERVICE GARAGE	O.H.D.	12' - 0"	14' - 0"	D	BY MFR.	PRE-FIN.	--	--	--	7	--	7
109E	SERVICE GARAGE	EXIST. SERVICE	WALL OPNG.	12' - 0"	10' - 0"	--	--	--	--	--	--	--	--	2
110A	EXTERIOR	EXIST. SERVICE	RHR	3' - 0"	7' - 0"	B	H.M.	PAINT	2	H.M.	PAINT	1	--	1,6
110B	EXTERIOR	EXIST. SERVICE	LHR	3' - 0"	7' - 0"	C	H.M.	PAINT	2	H.M.	PAINT	1	--	1,6
Grand total: 19														

OPENING SCHED. NOTE:
ONLY NEW DOORS/WINDOWS ARE LISTED ON THE OPENING SCHEDULE. ALL EXISTING DOORS ARE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCHEDULE NOTE:
OPENING SCHEDULE & HARDWARE TO BE REVIEWED WITH OWNER PRIOR TO ORDERING DOORS/WINDOWS.

GENERAL DOOR & WINDOW NOTES:

- VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION OR CONSTRUCTION OF ALL DOORS & FRAMES.
- ALL HARDWARE TO BE AMERICANS WITH DISABILITIES ACT (A.D.A.) COMPLIANT.
- PROPER EXIT HARDWARE IS REQUIRED ON ALL EXIT AND EXIT ACCESS DOORS. HARDWARE SHALL COMPLY WITH REQUIREMENTS OF IBC SECTION 1008.1.8 THRU 1008.1.9.
- ALL FRAMES TO BE FIELD VERIFIED PRIOR TO FABRICATION BY WINDOW SUPPLIER.
- ALL GLAZING IN HAZARDOUS IMPACT AREAS SHALL BE SAFETY GLAZING IN ACCORDANCE WITH SECTION 2406.
- ALL HOLLOW METAL DOORS/FRAMES SHALL BE WELDED. NO KNOCK DOWN FRAMES PERMITTED.
- ALL EXTERIOR HOLLOW METAL EXIT DOORS TO HAVE LATCH GUARDS AND CLOSERS.
- ALUMINUM ENTRANCE DOORS SHALL BE EQUIPPED WITH CYLINDER LOCK, INTERIOR TURN-LOCK, SURFACE MOUNTED SELF CLOSER AND DOOR STOP.
- STANDARD ROUND PUSH/PULLS UNLESS NOTED OTHERWISE. FINISH TO MATCH DOORS.
- ALL KEYING SHALL BE COORDINATED AND VERIFIED WITH OWNER AND/OR OWNER'S REPRESENTATIVE.
- ALL INTERIOR ALUMINUM FRAMES SHALL HAVE A MAXIMUM 1/8" CAULK JOINT AROUND PERIMETER.
- ALL ALUMINUM STOREFRONT TO BE CLASS I ANODIZED ALUMINUM.
- REFER TO EXTERIOR HOLLOW METAL DOORS AND/OR FRAMES TO BE GALVANIZED.
- REFER TO DETAILS 1/A-3.1, 2/A-3.1 AND 3/A-3.1 FOR TYPICAL HOLLOW METAL AND ALUMINUM REQUIREMENTS.

OPENING SCHEDULE REMARKS:

1. NEW DOOR IN EXISTING ROUGH OPENING, PATCH WALL AS NEEDED FROM DEMO WORK.
2. NEW WALL OPENING IN EXISTING CMU WALL, DEMO & PATCH WALL AS NEEDED. PROVIDE LINTEL AS REQUIRED, SEE STRUCTURAL DRAWINGS FOR MORE INFO.
3. EXTERIOR WINDOW, REFER TO WINDOW/FRAME ELEVATIONS FOR MORE INFO.
4. LIGHTLY BRUSHED, STAINLESS STEEL KICK PLATE, ONE SIDE OF DOOR (TOILET ROOM SIDE).
5. LIGHTLY BRUSHED, STAINLESS STEEL KICK PLATES, BOTH SIDES OF DOOR.
6. EXTERIOR DOOR TO HAVE HEAVY DUTY HINGES, HYDRAULIC CLOSER, WEATHER-STRIPPING, DOOR SWEEP, & ADA ALUMINUM THRESHOLD.
7. OVERHEAD DOOR SYSTEM SUPPLIED BY MANUFACTURER.

DOOR HARDWARE GROUPS

HARDWARE SET #1
- HEAVY DUTY CLOSER
- LATCH GUARD
- THRESHOLD
- SCHLAGE ND SERIES LEVER HANDLE ENTRANCE LOCKSET
- WEATHER STRIPPING
- EXTERIOR GRADE BALL BEARING BUTTS

HARDWARE SET #2
- MEDIUM DUTY CLOSER
- PUSH/PULL
- THRESHOLD

HARDWARE SET #3
- SCHLAGE ND SERIES LEVER HANDLE PASSAGE LATCH
- MEDIUM DUTY CLOSER
- BALL BEARING BUTTS
- KICK-DOWN DOOR STOP

HARDWARE SET #4
- SCHLAGE ND SERIES LEVER HANDLE PRIVACY LOCK
- MEDIUM DUTY CLOSER
- BALL BEARING BUTTS
- KICK-DOWN DOOR STOP

HARDWARE SET #5
- SCHLAGE ND SERIES LEVER HANDLE STOREROOM LOCK
- BALL BEARING BUTTS
- MEDIUM DUTY CLOSER
- KICK-DOWN DOOR STOP

HARDWARE SET #6
- SCHLAGE ND SERIES HANDLE OFFICE LOCK
- BALL BEARING BUTTS
- WALL MOUNT DOOR STOP

HARDWARE SET #7
- HEAVY DUTY JACKSHAFT DOOR OPERATOR
- PHOTO EYES
- THREE-BUTTON CONTROL STATION
- (2) 2-BUTTON PROGRAMMABLE REMOTES

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
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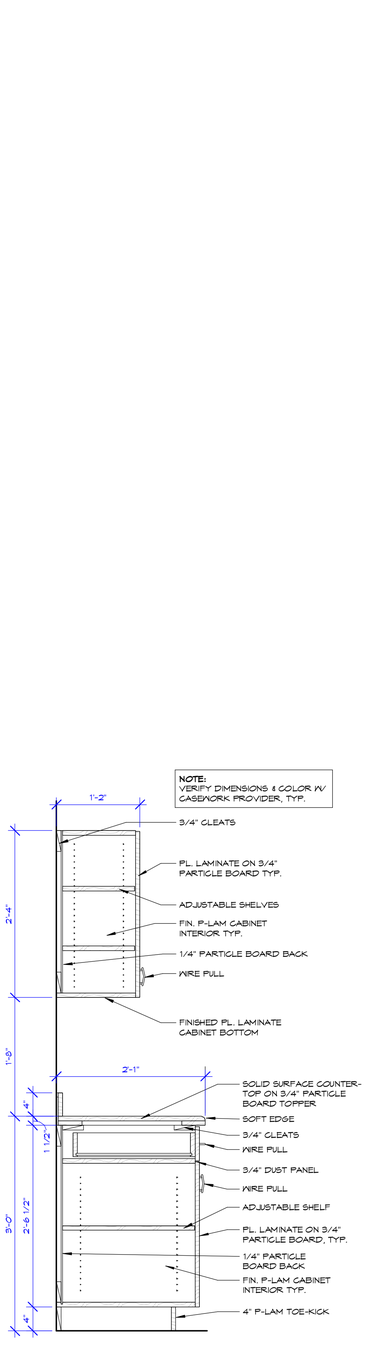
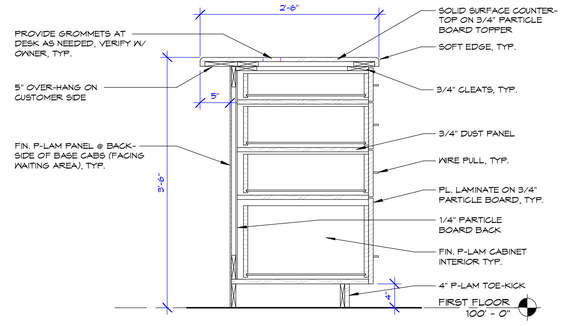
DRAWN BY:	DAH
SCALE:	As indicated

OPENING SCHEDULE

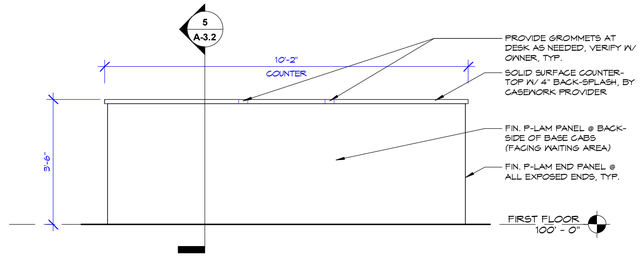
SHEET
A-3.1



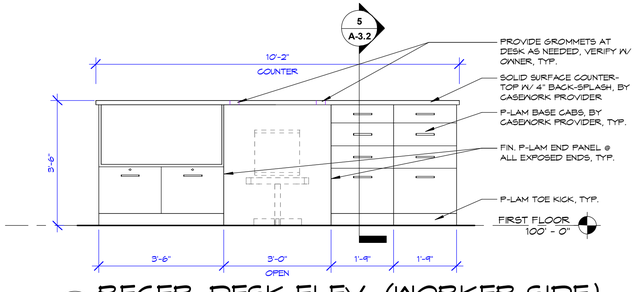
3 A-3.2 TYPICAL CABINET SECTION
1" = 1'-0"



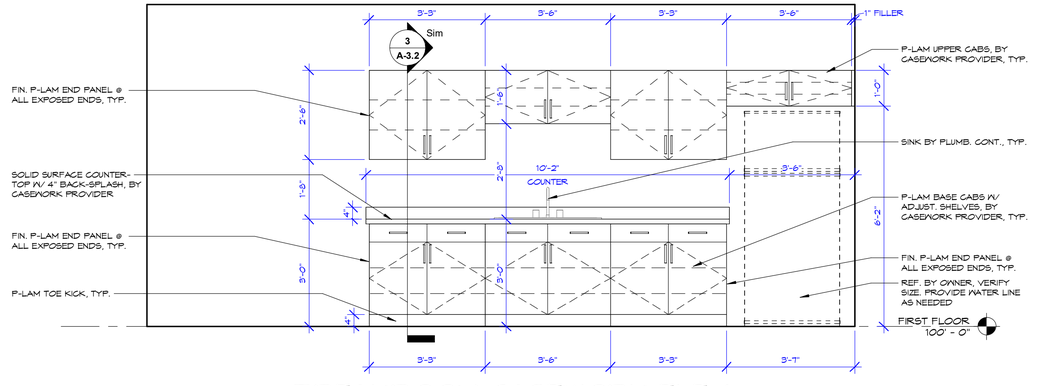
5 A-3.2 TYP. SECT. @ RECEP. DESK
1" = 1'-0"



4 A-3.2 RECEP. DESK ELEV. (CUSTOMER SIDE)
1/2" = 1'-0"



2 A-3.2 RECEP. DESK ELEV. (WORKER SIDE)
1/2" = 1'-0"



1 A-3.2 BREAKROOM CASEWORK ELEV.
1/2" = 1'-0"

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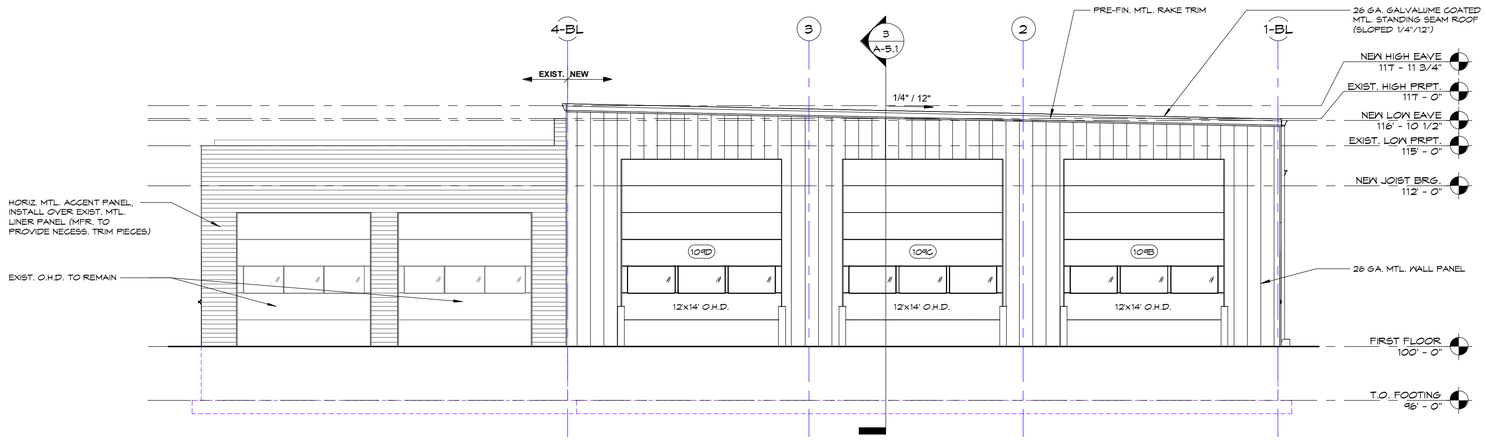
SMI Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated

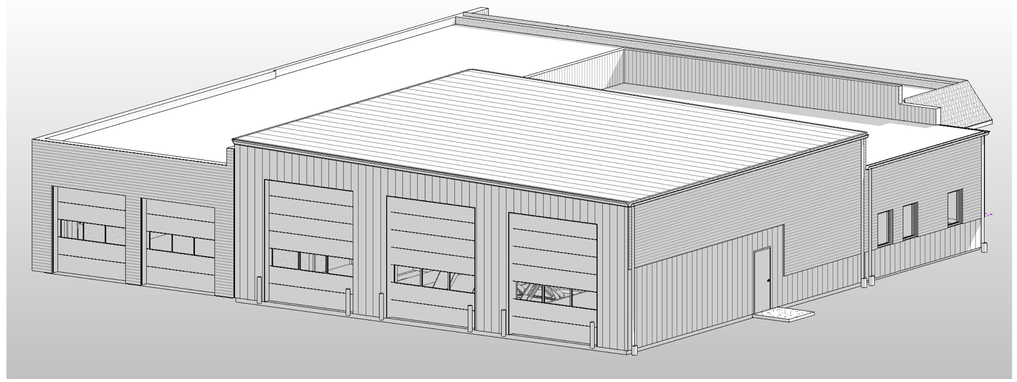
CASEWORK ELEVATIONS & DETAILS

SHEET
A-3.2

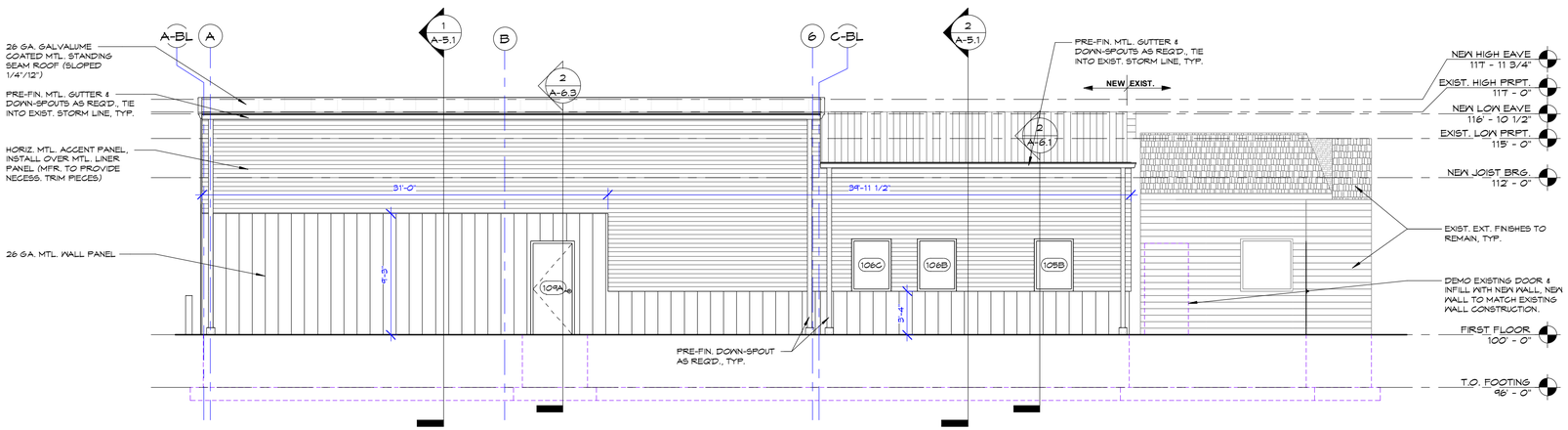


3 A-4.1 BUILDING ELEVATION - EAST

3/16" = 1'-0"



1 A-4.1 3D - NORTHEAST PERSPECTIVE



2 A-4.1 BUILDING ELEVATION - NORTH

3/16" = 1'-0"

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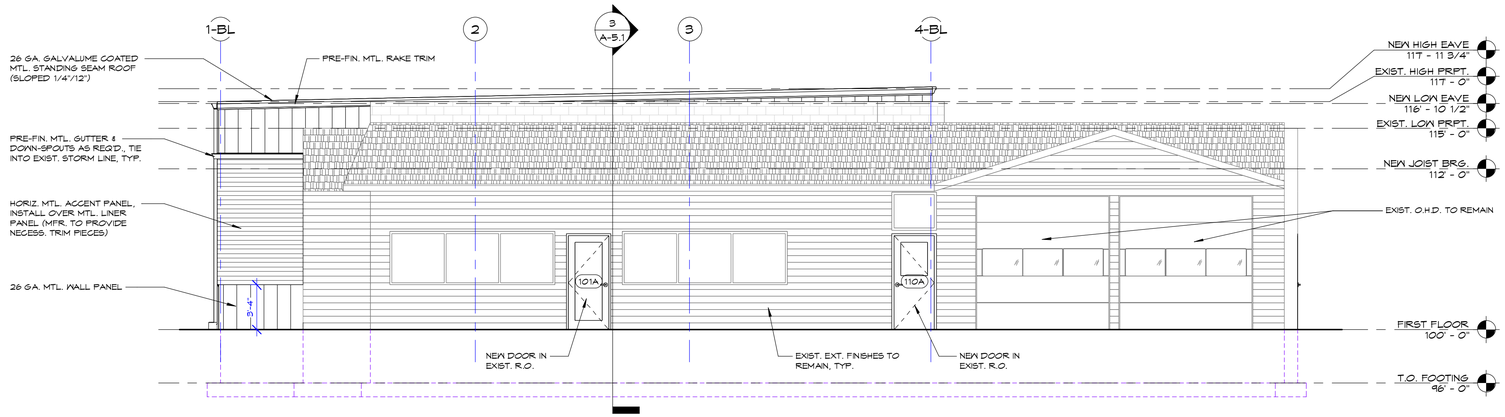
SCALE:	3/16" = 1'-0"

EXTERIOR ELEVATIONS

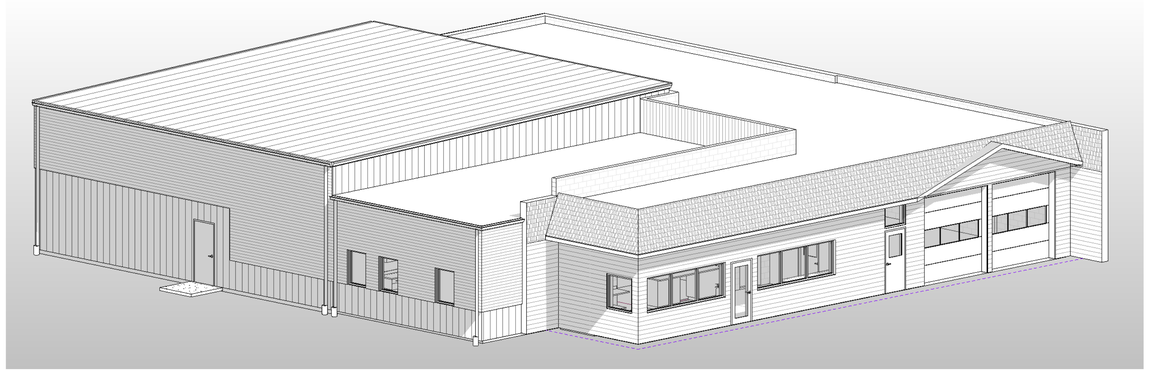
SHEET

A-4.1

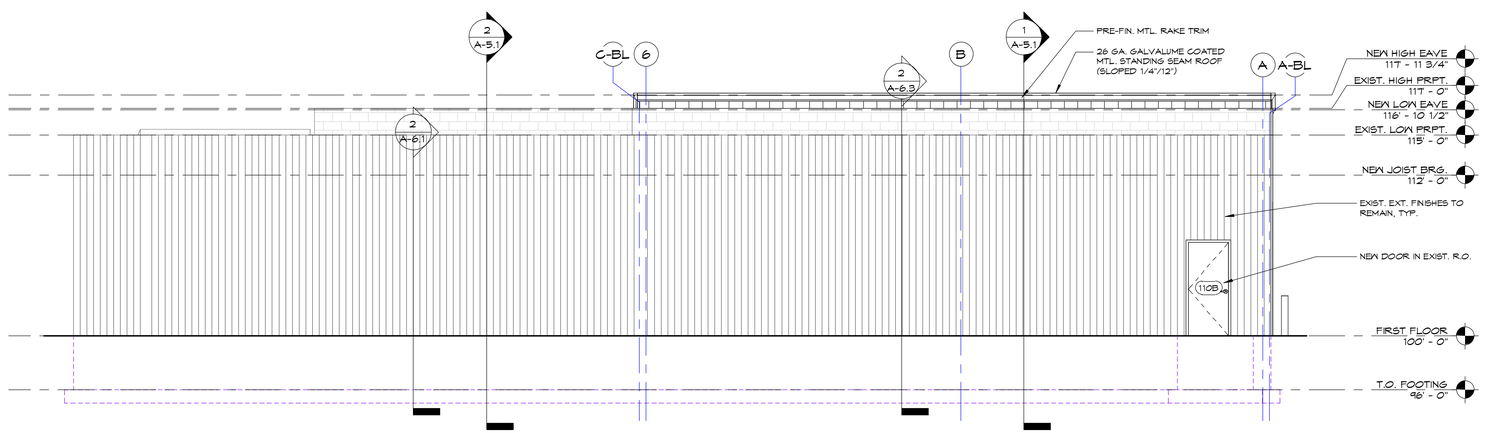


1 A-4.2 **BUILDING ELEVATION - WEST**

3/16" = 1'-0"



3 A-4.2 **3D - NORTHWEST PERSPECTIVE**



2 A-4.2 **BUILDING ELEVATION - SOUTH**

3/16" = 1'-0"

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SHEET INFORMATION	
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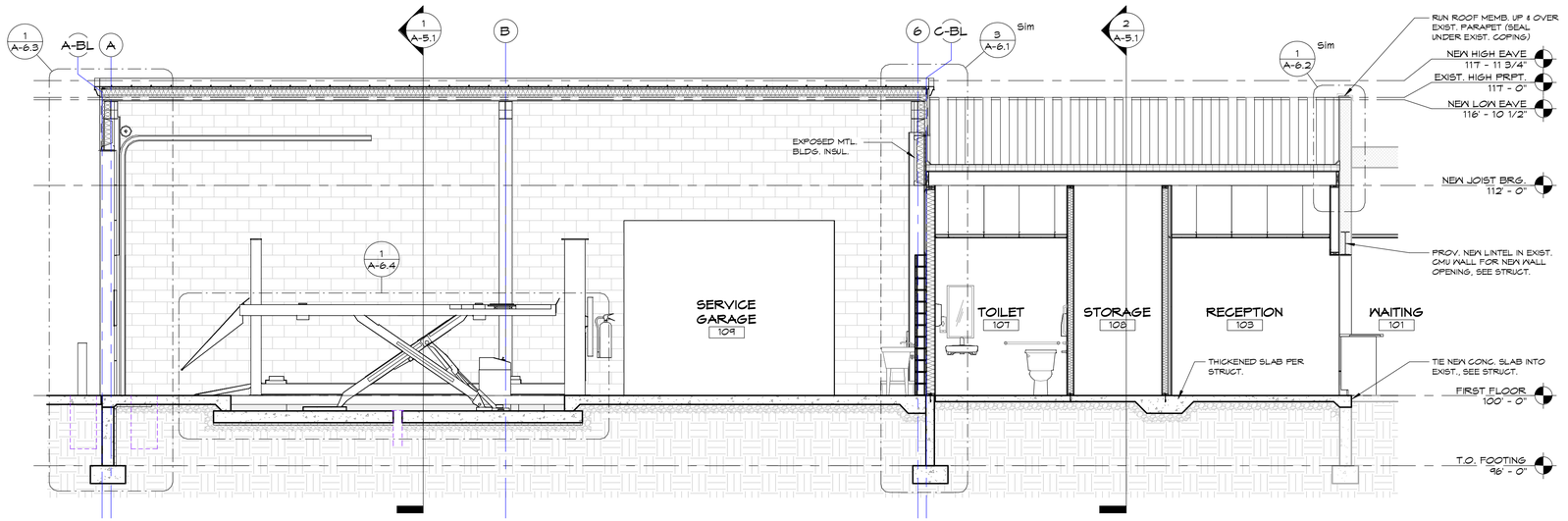
SCALE:	3/16" = 1'-0"

EXTERIOR ELEVATIONS

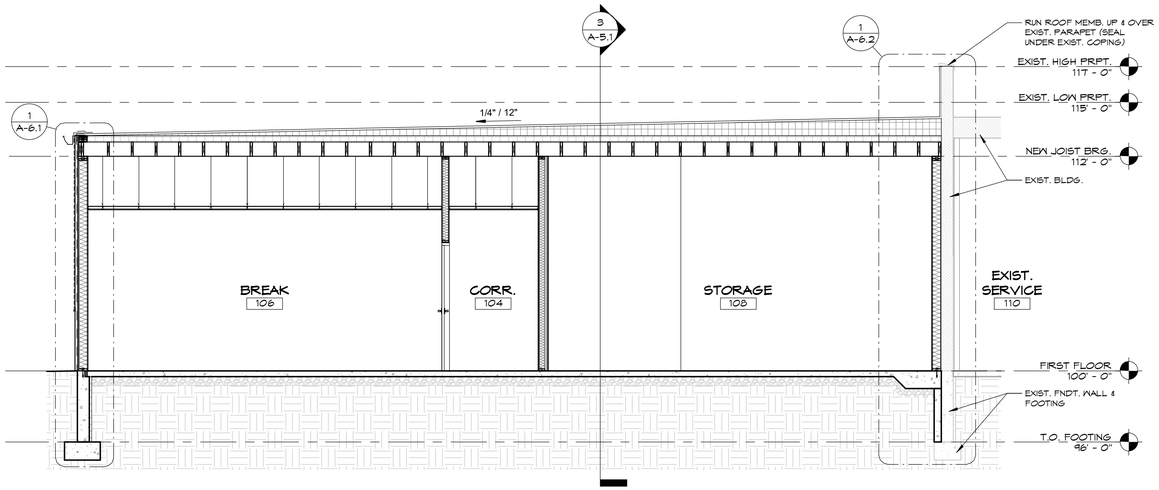
SHEET

A-4.2

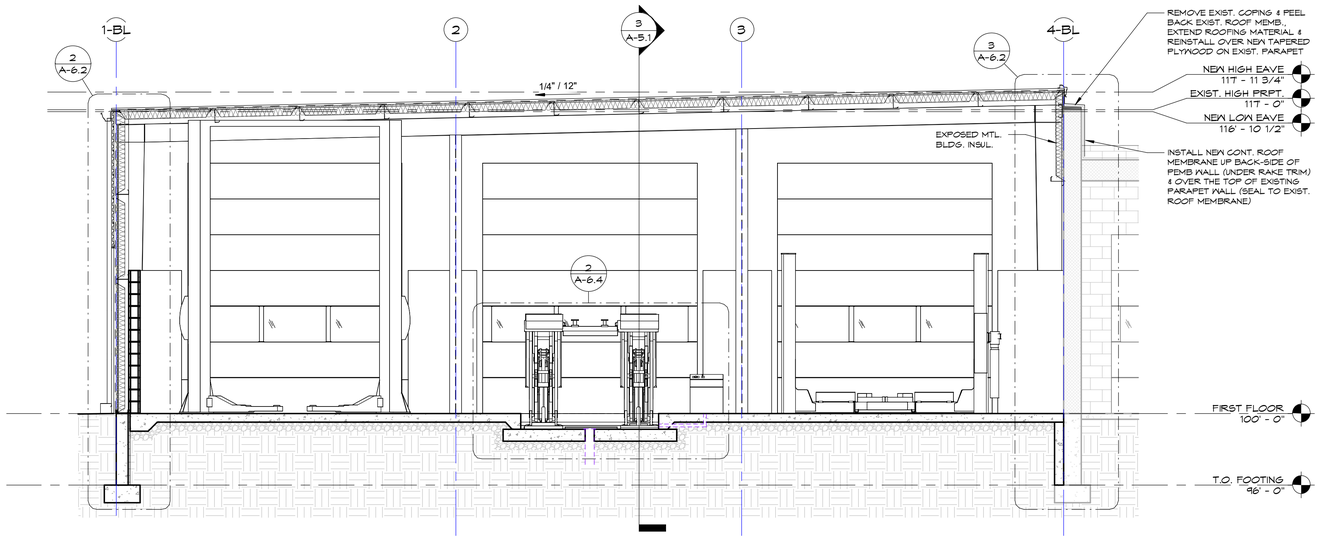


3 A-5.1 **BUILDING SECTION - OFFICE/SERVICE BAY**
1/4" = 1'-0"

NOTE:
BUILDING SECTIONS FOR MASSING ONLY. REFER TO WALL SECTIONS & DETAILS FOR ADDT'L. INFO.



2 A-5.1 **BUILDING SECTION @ OFFICE**
1/4" = 1'-0"



1 A-5.1 **BUILDING SECTION @ SERVICE GARAGE**
1/4" = 1'-0"

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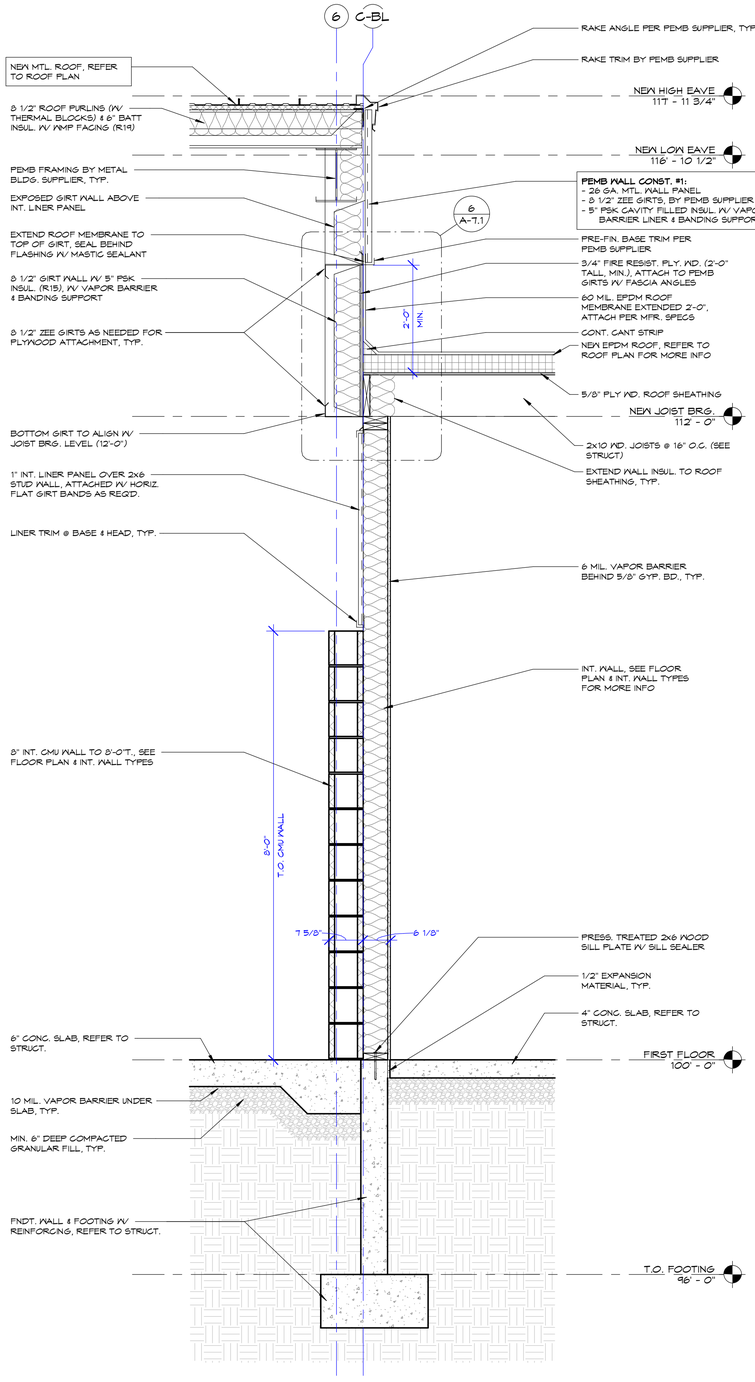
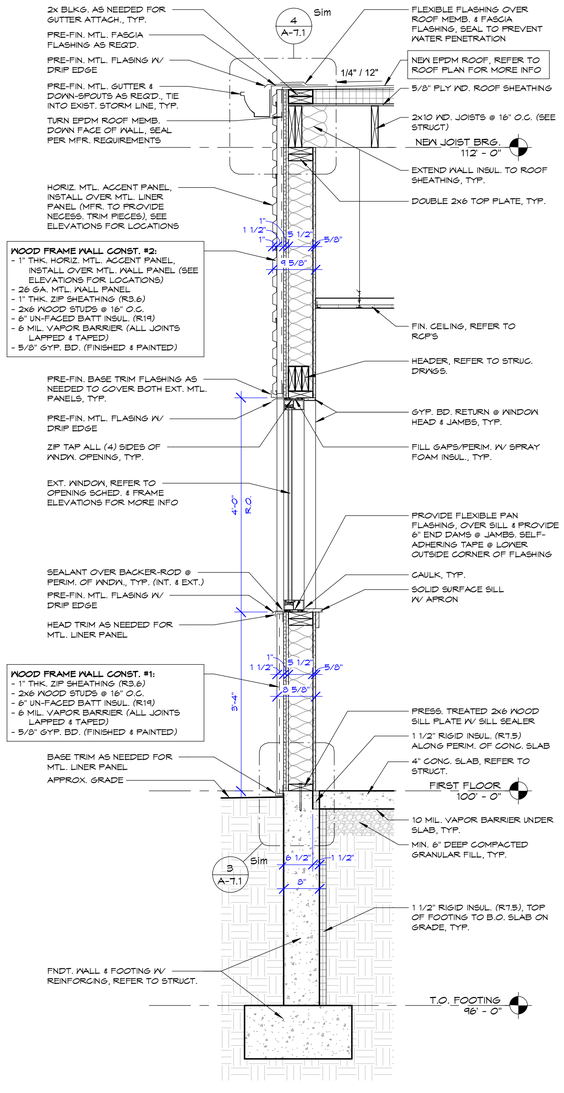
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	1/4" = 1'-0"

BUILDING SECTIONS

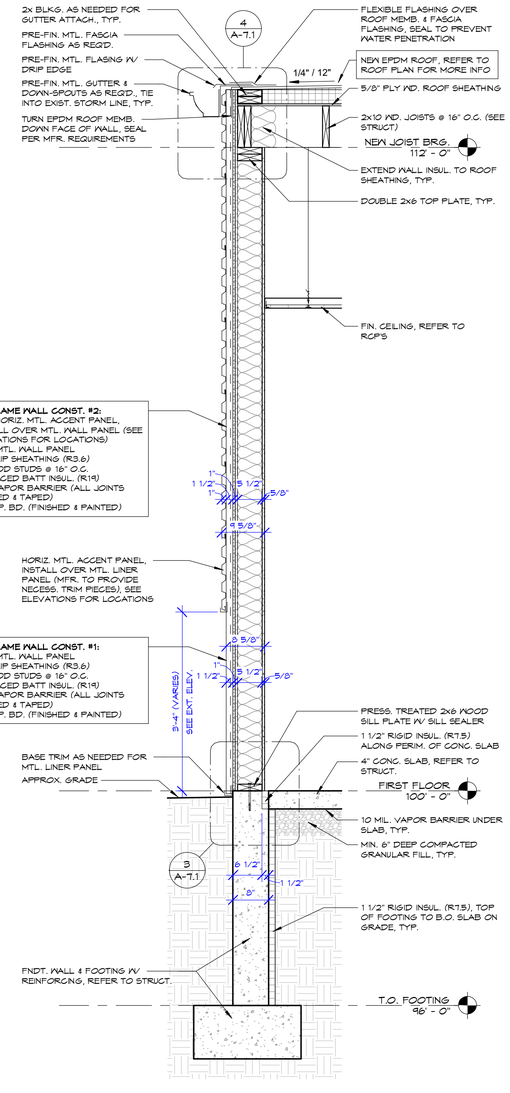
SHEET
A-5.1



3 A-6.1 WALL SECT. @ SHOP/OFFICE
3/4" = 1'-0"



2 A-6.1 OFFICE WALL SECT. @ WINDOW
3/4" = 1'-0"



1 A-6.1 TYP. WALL SECT. @ OFFICE
3/4" = 1'-0"

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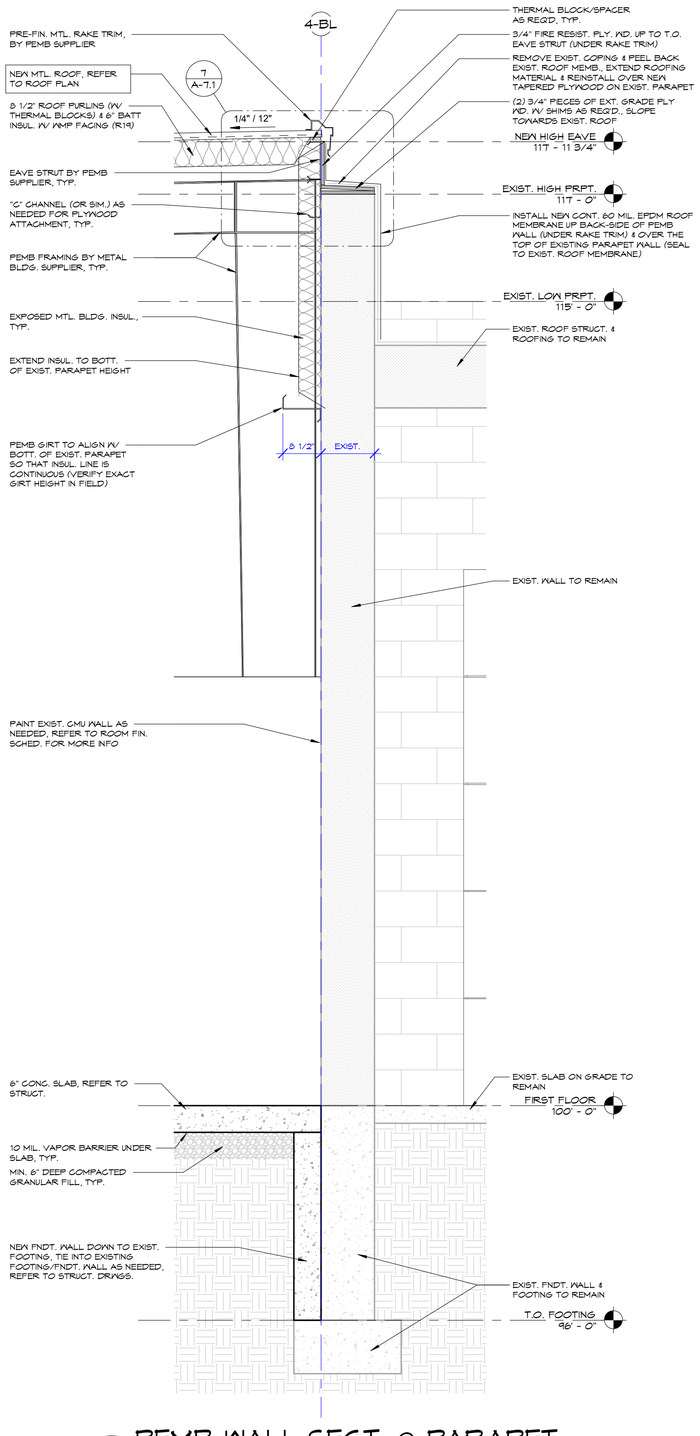
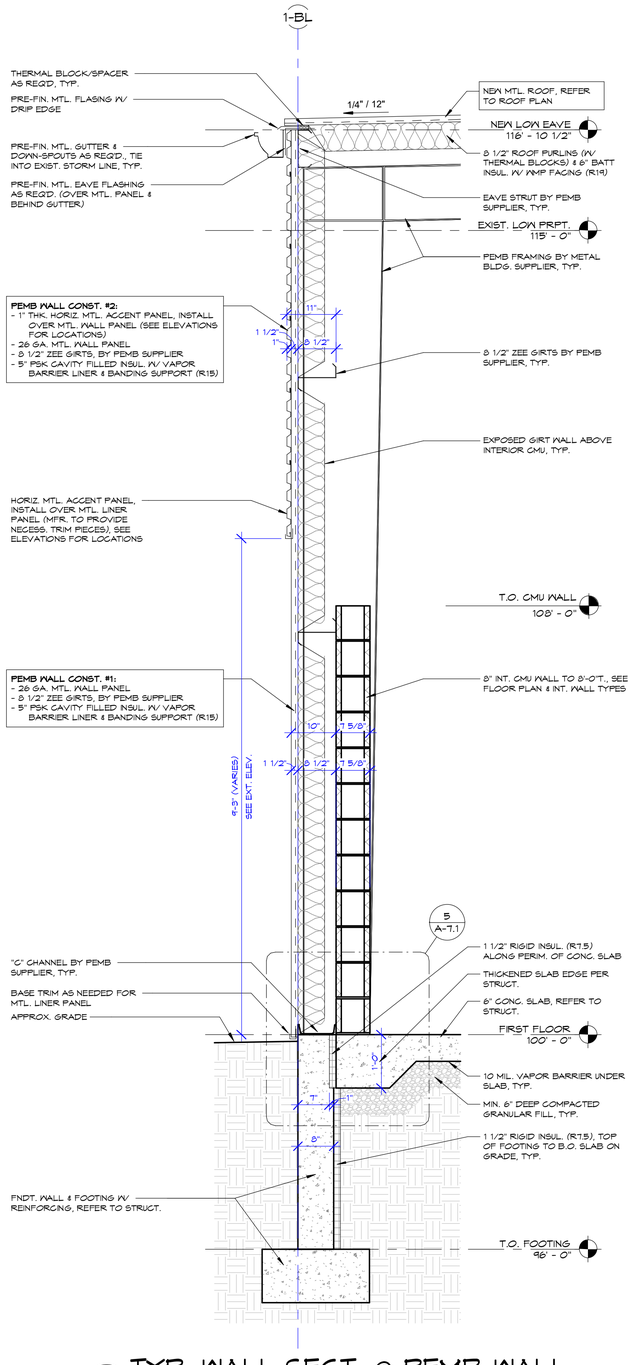
SCALE:	3/4" = 1'-0"

WALL SECTIONS

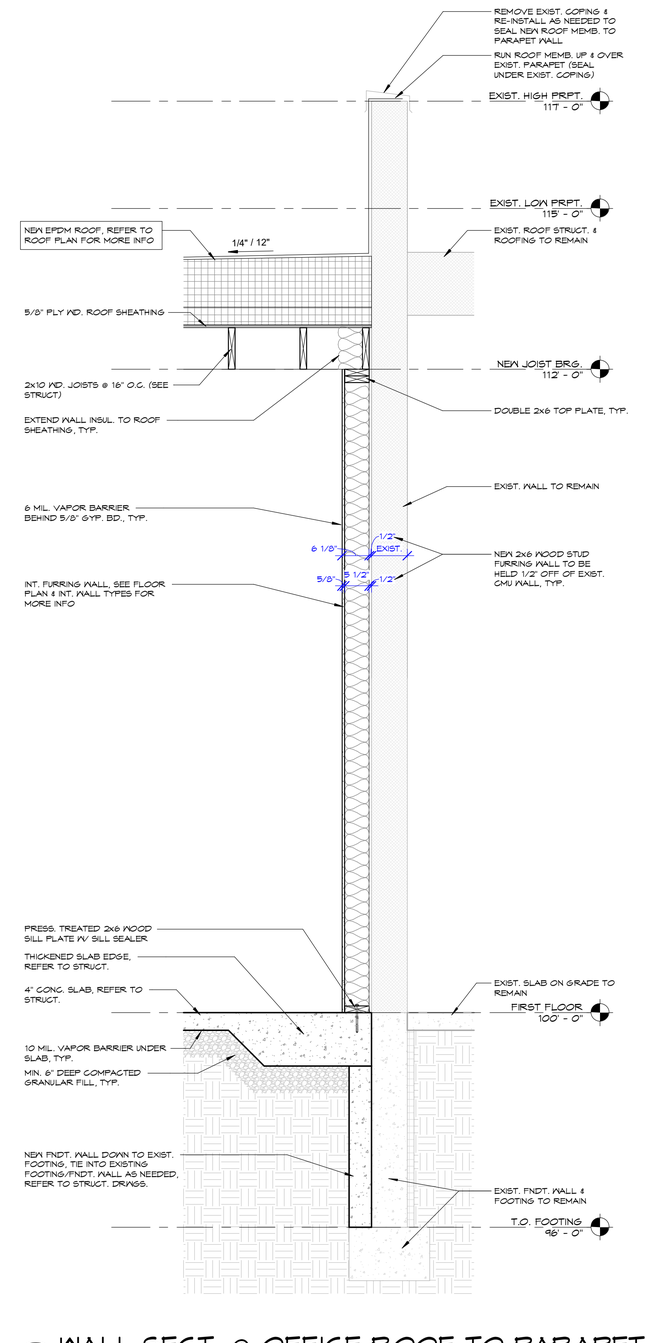
SHEET
A-6.1



3 A-6.2 PEMB WALL SECT. @ PARAPET
3/4" = 1'-0"



2 A-6.2 TYP. WALL SECT. @ PEMB WALL
3/4" = 1'-0"



1 A-6.2 WALL SECT. @ OFFICE ROOF TO PARAPET
3/4" = 1'-0"

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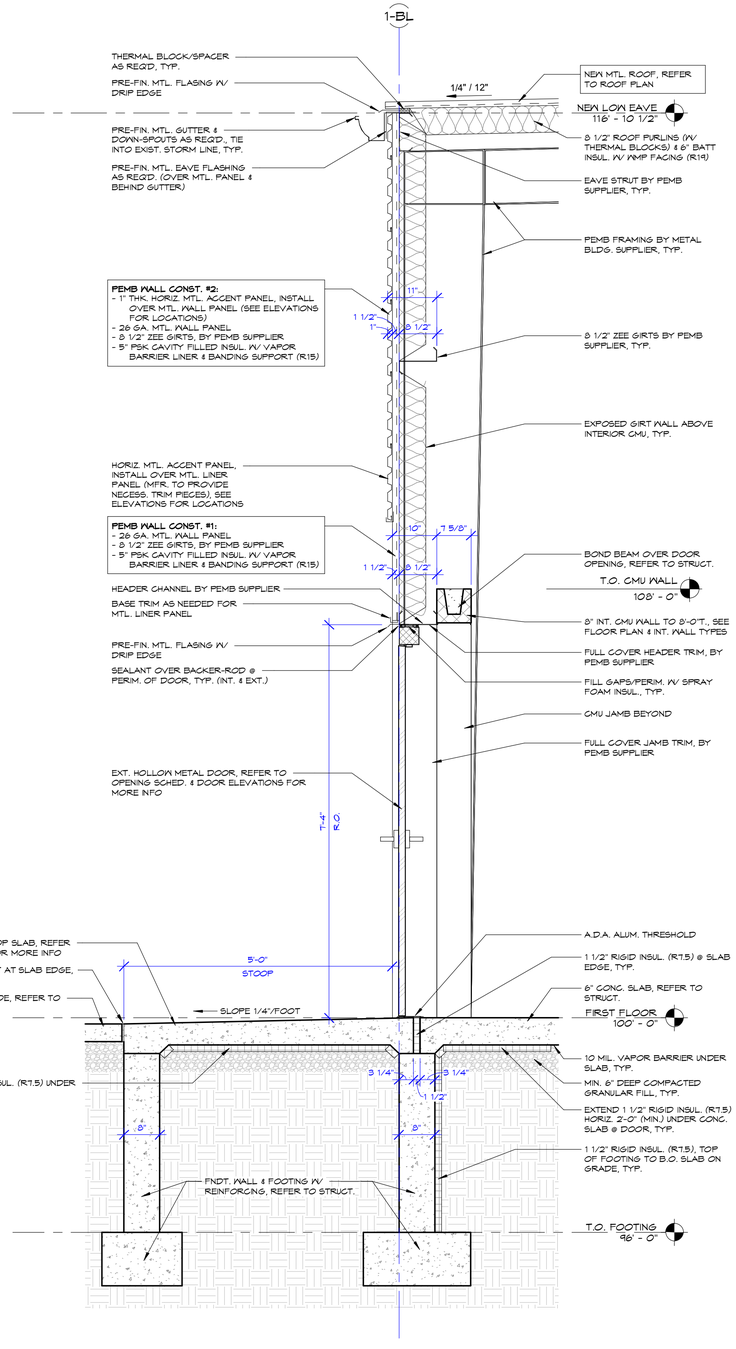
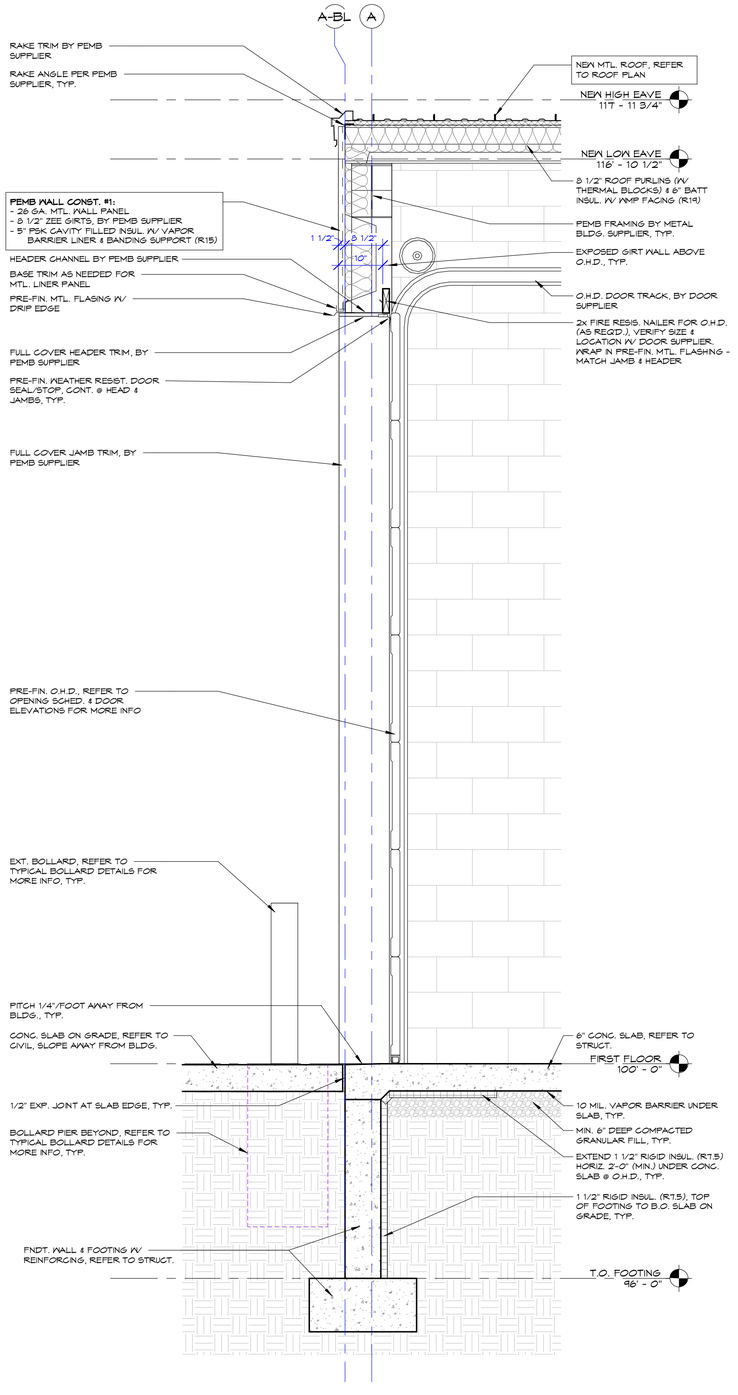
SCALE:	3/4" = 1'-0"

WALL SECTIONS

SHEET
A-6.2



2 A-6.3 **WALL SECT. @ STOOP**
3/4" = 1'-0"



1 A-6.3 **WALL SECT. @ O.H.D.**
3/4" = 1'-0"

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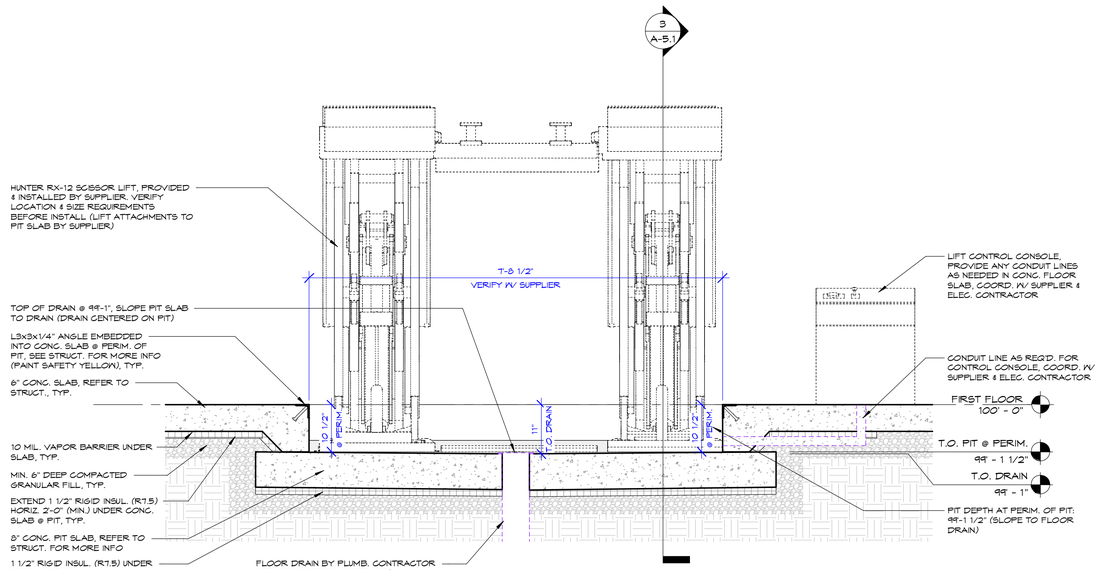
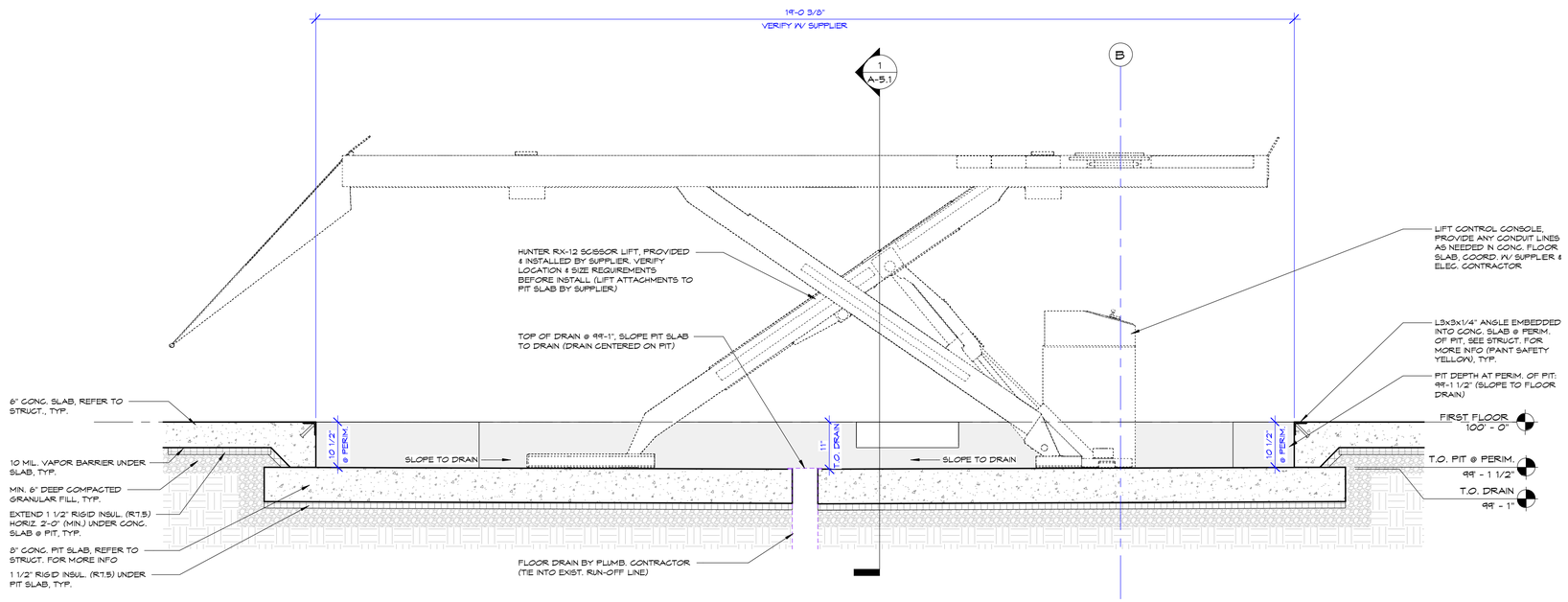
WALL SECTIONS

SHEET
A-6.3



2 A-6.4 SHORT SECTION @ PIT
3/4" = 1'-0"



1 A-6.4 LONG SECTION @ PIT
3/4" = 1'-0"

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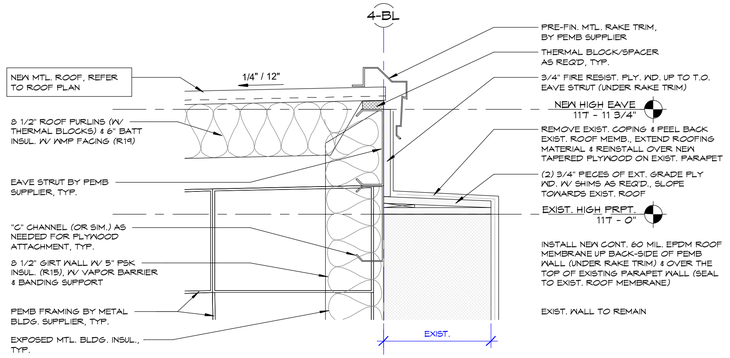
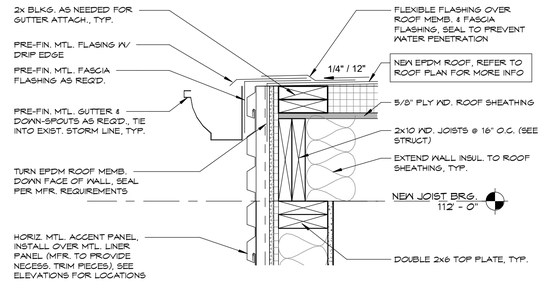
PIT SECTIONS

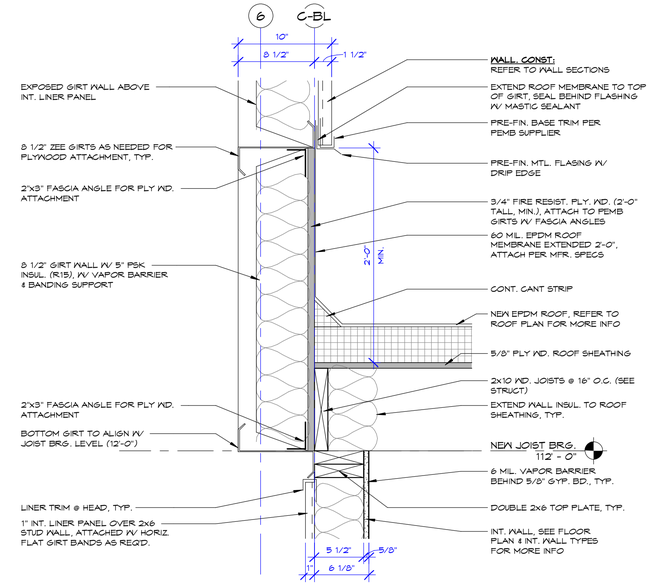
SHEET
A-6.4



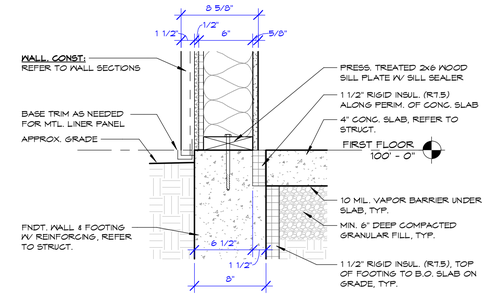
7 A-7.1 PEMB WALL TO EXIST. PARAPET DTL.
1 1/2" = 1'-0"



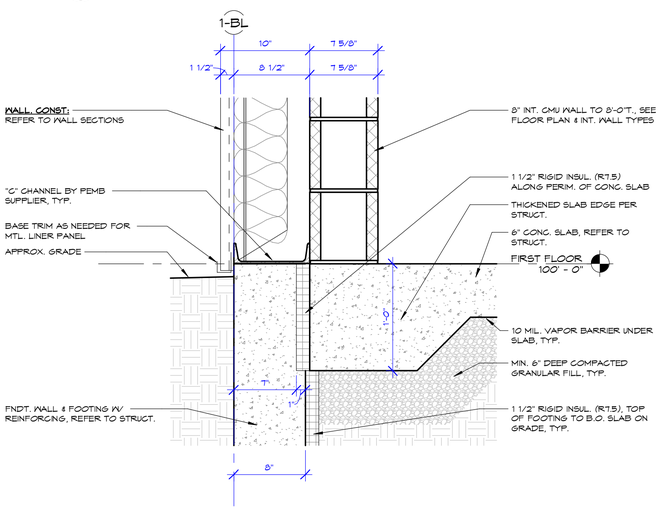
4 A-7.1 GUTTER DTL. @ OFFICE
1 1/2" = 1'-0"



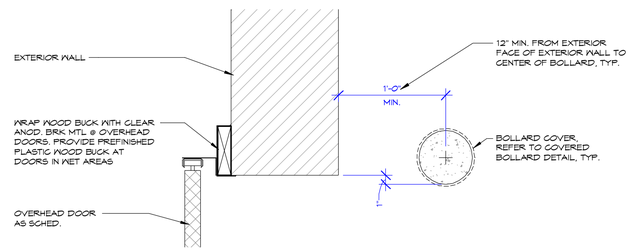
6 A-7.1 OFFICE ROOF TO PEMB WALL DTL.
1 1/2" = 1'-0"



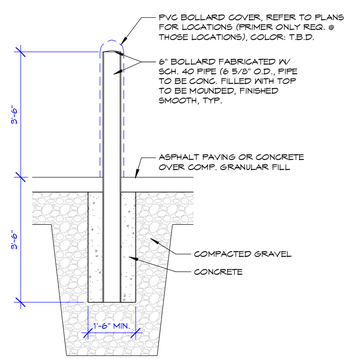
3 A-7.1 TYP. BASE DTL. @ OFFICE
1 1/2" = 1'-0"



5 A-7.1 TYP. BASE DTL. @ PEMB WALL
1 1/2" = 1'-0"



2 A-7.1 TYP. PLAN DETAIL @ BOLLARD
1 1/2" = 1'-0"



1 A-7.1 COVERED BOLLARD DETAIL
1/2" = 1'-0"

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DETAILS

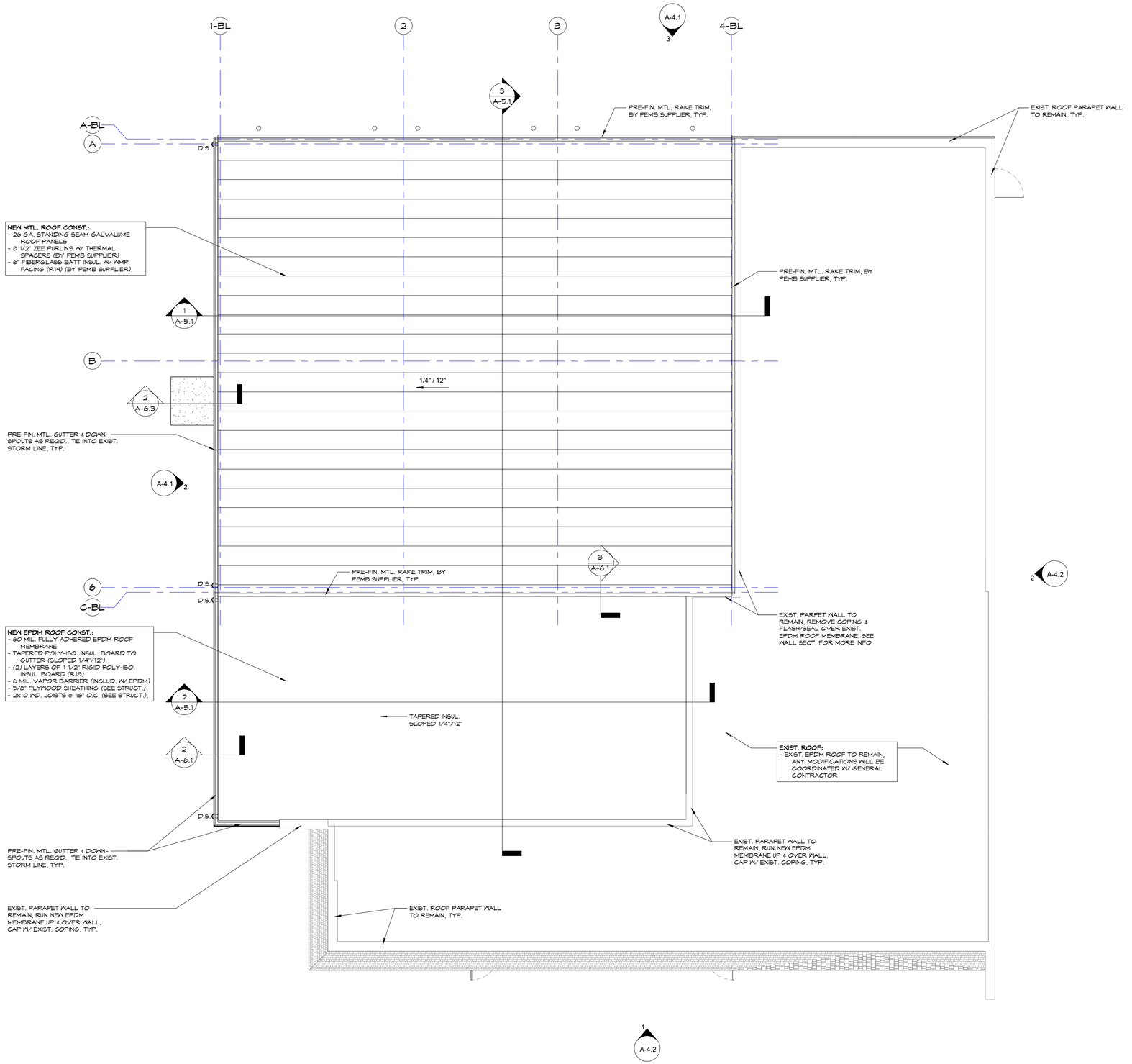
SHEET
A-7.1

GENERAL ROOF PLAN NOTES:

- REFER TO ROOF PLAN FOR SPECIFIC ROOF MEMBRANE AND ROOFING MATERIALS, TYP.
- INSTALL ROOF INSULATION UNDER AREA OF ROOFING MEMBRANE TO ACHIEVE REQUIRED THICKNESS. WHERE OVERALL INSULATION THICKNESS IS 3 INCHES OR GREATER, INSTALL TWO OR MORE LAYERS WITH JOINTS OF EACH SUCCEEDING LAYER STAGGERED FROM JOINTS OF PREVIOUS LAYER A MINIMUM OF 6" IN EACH DIRECTION.
- TAPERED ROOF INSULATION PITCH IS MINIMUM 1/4" PER FOOT, TYPICAL.
- HVAC CONTRACTOR TO COORDINATE FINAL LOCATION & SIZES OF ALL ROOF TOP UNITS AND OPENINGS W/ STEEL SUPPLIER PRIOR TO WORK/JOIST FABRICATION. ALL R.T.U. LOADS TO STRUCTURE SHALL BE VERIFIED WITH STRUCTURAL ENGINEER.
- PROVIDE CURBING, BOOTING, AND TAPERED INSULATION AT ALL HVAC ROOF EQUIPMENT AND ROOF PENETRATIONS, TYP. ROOFING CONTRACTOR TO COORDINATE ALL LOCATIONS WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS, TYP.
- REFER TO STRUCT. DRAWGS. FOR TYPICAL ROOF DRAIN AND MISC. OPENINGS.
- ROOFING CONTRACTOR RESPONSIBLE FOR INSTALLING A WATER TIGHT ROOF SYSTEM.

NOTE:
HVAC UNITS ARE ONLY ESTIMATED QUANTITIES, WEIGHTS, LOCATIONS AND TYPE OF EQUIPMENT. FINAL EQUIPMENT SELECTIONS TO BE DETERMINED BY DESIGN/BUILD HVAC CONTRACTOR. FINAL WEIGHTS/LOCATIONS TO BE PROVIDED TO STRUCTURAL ENGINEER AND STEEL JOIST SUPPLIER PRIOR TO FABRICATION OF STEEL JOISTS.

NOTE:
INSTALL ROOF CRICKETS AT ALL ROOF PENETRATIONS, TYP.



TRUE N

1 A-8.1 ROOF PLAN
3/16" = 1'-0"

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ROOF PLAN

SHEET
A-8.1

REFLECTED CEILING PLAN NOTES:

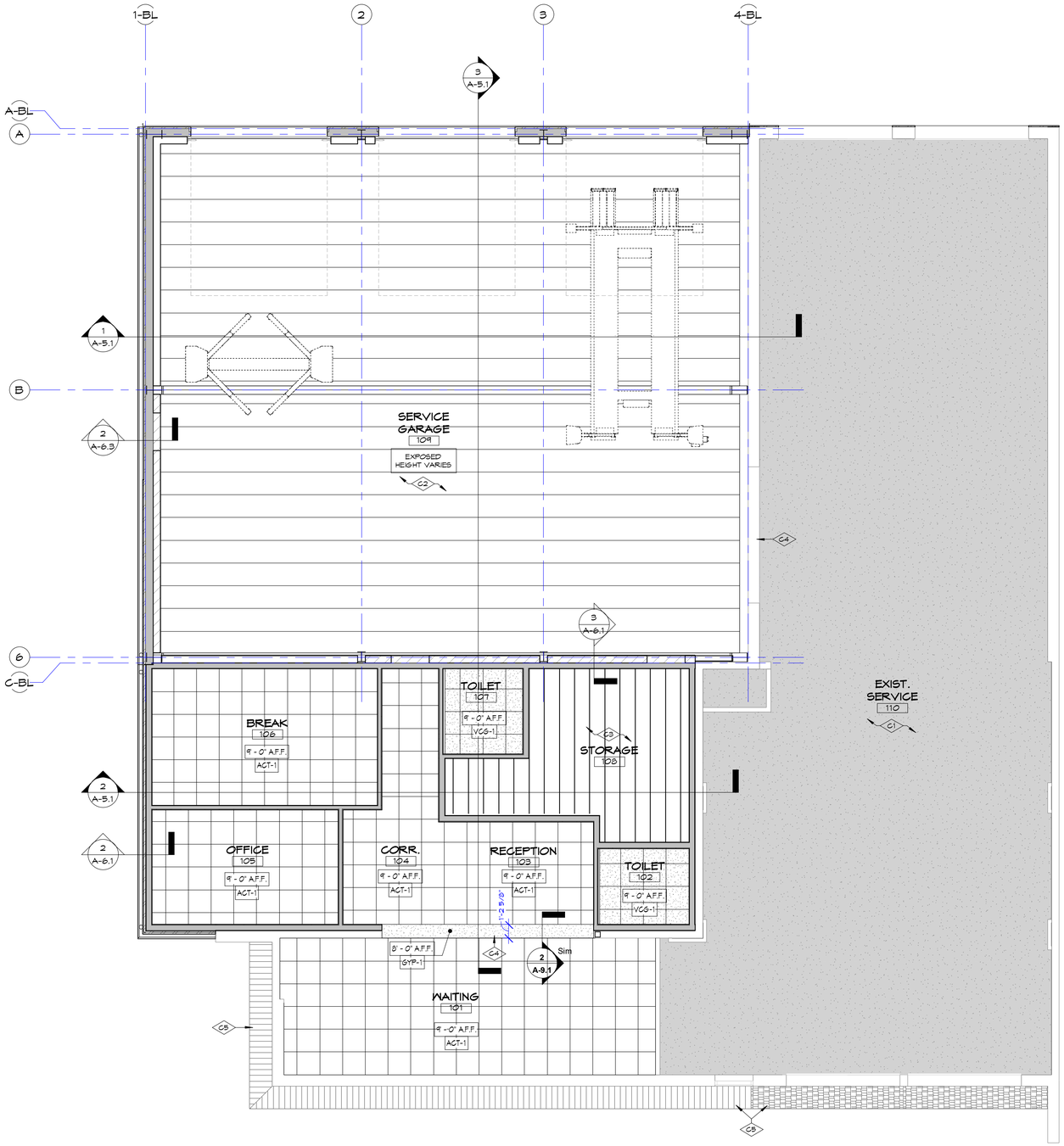
1. GRID LAYOUT SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY FINAL LAYOUT WITH FIELD CONDITIONS AND OBTAIN OWNER AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
2. ALL CONSTRUCTION TO CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE.
3. ALL INTERIOR FINISHES TO COMPLY WITH STATE/ LOCAL CODES AND ORDINANCES.
4. COORDINATE FINAL LAYOUT W/ OWNER, ELEC. CONTRACTOR SHALL COORDINATE ANY CODE REQUIREMENTS.
5. ALL EXPOSED ELECTRICAL CONDUIT SHALL BE INSTALLED IN A NEAT AND ORDERLY FASHION.
6. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISHES.
7. ALL CONDUIT SHALL BE BURIED IN WALLS WHERE POSSIBLE.
8. LIGHTING AND HVAC SHOWN ON THIS PLAN IS FOR LAYOUT ONLY, REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION PLANS FOR MORE INFORMATION.
9. SEE ROOM FINISH SCHEDULE FOR CEILING FINISHES.
10. PROVIDE HOLD DOWN CLIPS AT SUSPENDED CEILING ASSEMBLIES AT EXTERIOR DOORS AS RECOMMENDED BY CEILING MANUFACTURER.
11. REFER TO ELECTRICAL PLANS FOR EXIT LIGHT LOCATIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF ALL EXIT LIGHTS AND MEANS OF EGRESS LIGHTING.
12. CONTRACTOR(S) TO COORDINATE FINAL FIXTURE AND EQUIPMENT HEIGHTS TO AVOID INTERFERENCES AND PROVIDE MINIMUM SEPARATION DISTANCE REQUIREMENTS.

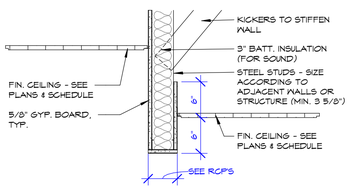
REFLECTED CEILING PLAN LEGEND:

- 2' X 2' CEILING GRID SYSTEM W/ TEGULAR TILES , REFER TO ROOM FINISH SCHEDULE
- DRYWALL - AT BULKHEADS/ INT. SOFFITS REFER TO ROOM FINISH SCHEDULE FOR FINISH
- EXISTING PRECAST PLANK TO REMAIN
- 2' X 2' CEILING GRID SYSTEM W/ VINYL COVERED GYP TILES, REFER TO ROOM FINISH SCHEDULE
- EXISTING SOFFIT TO REMAIN
- EXISTING SHINGLE ROOF TO REMAIN
- EXPOSED METAL BUILDING ROOF SYSTEM

KEYED CEILING PLAN NOTES

C1	EXISTING CEILING/ROOF STRUCTURE TO REMAIN IN SERVICE AREA.
C2	NO CEILING, EXPOSED TO NEW METAL BUILDING ROOF STRUCTURE ABOVE.
C3	NO CEILING, EXPOSED TO BOTTOM OF NEW 2X10 ROOF JOISTS.
C4	NEW WALL OPENING IN EXISTING CMU WALL, SEE STRUCTURAL DRAWINGS FOR NEW LINTEL REQUIREMENTS.
C5	EXISTING ROOF SOFFIT ABOVE TO REMAIN.





2 A-9.1 BULKHEAD DETAIL
1" = 1'-0"

TRUE N

1 A-9.1 FIRST FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"

No.	REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3510 SOUTH 28TH STREET | MANITOWOC, WISCONSIN 54220
PHONE 920-682-6105 | WWW.ACEBUILDINGSERVICE.COM
Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE
SMI
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated

REFLECTED CEILING PLAN

SHEET
A-9.1

GENERAL NOTES:

1. ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING:
   PLANS AND SPECIFICATIONS
   CODE AS SPECIFIED IN DESIGN DATA
2. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL, RFIs, SUBMITTALS, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THIS PROJECT.
3. THE CONTRACTOR SHALL REFER TO OTHER DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIED MEMBERS, DIMENSIONS, ELEVATIONS, DETAILS, OPENINGS, INSERTS, SLEEVES, DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS, REQUIRED TO CONSTRUCT THIS PROJECT.
4. DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.
5. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
6. DO NOT SCALE PLANS.
7. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
8. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND PROVIDE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED TO COMPLETE THE STRUCTURE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO: SHORING, UNDERPINNING, TEMPORARY BRACING, ETC. SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AS REQUIRED TO ENSURE THE SAFETY OF THE BUILDING AND WORKMEN ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE BASE BUILDING PRIMARY STRUCTURAL FRAME IS DESIGNED FOR THE FINAL, COMPLETED CONDITION AS INDICATED HEREIN. LOADS IMPOSED ON THE BUILDING STRUCTURE DURING THE COURSE OF CONSTRUCTION SHALL BE CONFIRMED BY THE CONTRACTOR AND THE CONTRACTOR'S ENGINEER AS PART OF THE MEANS AND METHODS OF CONSTRUCTION. CARE SHALL BE GIVEN BY THE CONTRACTOR AND THE CONTRACTOR'S ENGINEER TO CONSIDER THE PRESENT STATE OF THE STRUCTURE AT THE TIME OF LOADING, INCLUDING AGE-DEPENDENT STRENGTH OF THE STRUCTURAL ELEMENTS AND THE NATURE OF ALL LOADS IMPOSED.
9. CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, OUTSIDE FACE OF WALLS, TOP OF FRAMING MEMBERS, ETC.) MATERIAL SUPPLIERS AND DESIGNERS ARE RESPONSIBLE FOR ALL OTHER INFORMATION IN ORDER TO DETAIL/FABRICATE THEIR WORK. CONTACT THE ARCHITECT WITH ANY DISCREPANCIES.
10. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PLANS, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE ARCHITECT'S ATTENTION IMMEDIATELY, IN WRITING.
11. NO PROVISIONS HAVE BEEN MADE IN THE DESIGN OF THIS STRUCTURE FOR FUTURE EXPANSION, UNLESS SPECIFICALLY NOTED ON PLAN.
12. ALL EXISTING STRUCTURES, INCLUDING EXISTING FOUNDATION SYSTEMS AND UNDERGROUND ELEMENTS, SHALL BE COMPLETELY REMOVED. EXISTING SUBSURFACE ELEMENTS MAY REMAIN IF APPROVED BY THE GEOTECHNICAL ENGINEER IN CONSULTATION WITH THE STRUCTURAL ENGINEER AND THE EXISTING MATERIALS ARE PREPARED AS DIRECTED BY THE GEOTECHNICAL ENGINEER TO ACHIEVE THE PERFORMANCE CHARACTERISTICS INDICATED IN THE GEOTECHNICAL REPORT.

FOUNDATION AND EARTHWORK:

1. REFER TO DESIGN DATA FOR SOIL CONDITION ASSUMPTIONS AND DESIGN VALUES.
2. THE CONTRACTOR AND THE OWNER'S TESTING AGENT SHALL CONFIRM INSTALLATION AND CONSTRUCTION OF FOUNDATIONS IS COMPLETED IN CONFORMANCE WITH THE SOIL CONDITION ASSUMPTIONS AND DESIGN VALUES.
3. CENTER PIERS AND FOUNDATIONS UNDER COLUMN / WALL CENTERLINES UNLESS NOTED OTHERWISE.
4. BACKFILL SIMULTANEOUSLY ON BOTH SIDE OF FOUNDATION AND STEM WALLS.
5. EARTH RETENTION AND UNDERPINNING SYSTEMS, TEMPORARY OR PERMANENT, SHALL BE PROVIDED BY THE CONTRACTOR AND THE CONTRACTORS ENGINEER AS AN ELEMENT OF THE MEANS AND METHODS OF CONSTRUCTION.
6. SUBGRADES SHALL BE PREPARED AS REQUIRED TO ACHIEVE THE DESIGN VALUES INDICATED ON THESE CONSTRUCTION DOCUMENTS. TOP OF FOOTING ELEVATIONS SHOWN ON THESE CONSTRUCTION DOCUMENTS REPRESENT MINIMUM FOOTING DEPTHS FOR FROST PROTECTION. THE CONTRACTOR SHALL ENSURE FOUNDATION AND SLAB-ON-GROUND SYSTEMS ARE FOUNDED ON COMPETENT MATERIAL TO ACHIEVE THE DESIGN VALUES INDICATED ON THESE CONSTRUCTION DOCUMENTS. UNDERCUTTING OR OTHER ADDITIONAL EXCAVATION OR SUBGRADE PREPARATIONS MAY BE REQUIRED BELOW BOTTOM OF FOOTING ELEVATIONS TO EXTEND TO COMPETENT MATERIALS IF UNSUITABLE MATERIALS ARE PRESENT AT SPECIFIED BOTTOM OF FOOTING ELEVATION.
7. ALL EXTERIOR FOUNDATIONS SHALL BE CAST AT LEAST FROST DEPTH BELOW ADJACENT FINISH EXTERIOR GRADE. FOOTINGS SHALL BE CAST AT LEAST MINIMUM BEARING DEPTH BELOW ADJACENT FINAL GRADE OR FINISHED FLOOR ELEVATION. REFER TO SOIL DESIGN VALUES.
8. IF CONTAMINATED SOILS ARE FOUND ON SITE, CONTRACTOR OR OWNER SHALL CONSULT WITH A GEOTECHNICAL ENGINEER FOR REQUIRED REMEDIATION.
9. ENGINEERED FILL MATERIALS OR LEAN CONCRETE SHALL BE PROVIDED AND INSTALLED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
10. WHERE NEW FOOTINGS ABUT EXISTING FOOTINGS, STEP OR THICKEN THE NEW FOOTING AS REQUIRED TO HAVE NEW BOTTOM OF FOOTING ELEVATION MATCH EXISTING BOTTOM OF FOOTING ELEVATION. CONTRACTOR SHALL FIELD VERIFY EXISTING BOTTOM OF FOOTING ELEVATION.
11. FOUNDATIONS SHALL NOT BE INSTALLED ON FROZEN SUBGRADE.

CAST IN PLACE REINFORCED CONCRETE:

1. CONCRETE WORK SHALL CONFORM TO REFERENCED EDITION OF ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION".
2. CONTRACTOR SHALL ELECTRONICALLY SUBMIT STEEL REBAR SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
3. REFER TO REINFORCEMENT DEVELOPMENT AND LAP SPLICE SCHEDULE FOR LAP SPLICES (Lst) AND DEVELOPMENT LENGTH (Ld) IN REINFORCING STEEL.
4. ALL LAPS IN REINFORCING STEEL SHALL BE CLASS "B" LAP SPLICES UNLESS OTHERWISE NOTED. AT CONSTRUCTION JOINTS, CONTINUOUS BARS SHALL BE LAP SPLICED WITH A CLASS "B" LAP. ALL OTHER BARS EXTENDING THRU THE JOINT SHALL BE FULLY DEVELOPED (Ld OR Ldh AS ILLUSTRATED OR NOTED) EACH SIDE OF JOINT, UNO.
5. ALL HOOKS IN REINFORCING STEEL SHALL BE STANDARD HOOKS, UNO.
6. PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE UNLESS NOTED OTHERWISE:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
CONCRETE EXPOSED TO EARTH OR WEATHER:	
NO. 6 THROUGH NO. 18 BARS	2"
NO. 5 BAR AND SMALLER	1 1/2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:	
WALLS, JOISTS: NO. 11 BAR AND SMALLER	1"
BEAMS AND COLUMNS	1 1/2"

7. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
8. CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. ANY CONCRETE SURFACE REPAIRS SHALL BE PERFORMED BY THE CONTRACTOR AS REQUIRED. REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS.
9. PROVIDE A 3/4" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE. TOP SURFACE OF WALLS SHALL BE FINISHED SMOOTH, UNLESS NOTED OTHERWISE.
10. CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.

CAST IN PLACE REINFORCED CONCRETE (CONT.):

13. PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS, AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
14. TIME BETWEEN CONCRETE BATCHING AND PLACEMENT SHALL BE IN ACCORDANCE WITH ASTM C94.
15. ADDITION OF JOBSITE WATER TO CONCRETE SHALL BE PER ASTM C94.
16. ALL CONCRETE SLABS SHALL BE CURED PER ACI 308.1 RECOMMENDATIONS.
17. CONTROL JOINTS SHALL BE PLACED IN CONVENTIONAL SLAB ON GROUND WITHIN 24 HOURS OF INITIAL POUR. REFER TO PLAN NOTES FOR ADDITIONAL INFO.
18. OWNER SHALL HIRE A MATERIALS TESTING LABORATORY TO CAST AND TEST CONCRETE CYLINDERS. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER. CONCRETE TEST REPORTS SHALL STATE THE FOLLOWING INFORMATION:
    A. LOCATION ON PROJECT WHERE THE CONCRETE IS USED
    B. 7 DAY COMPRESSIVE STRENGTH
    C. 28 DAY COMPRESSIVE STRENGTH
    D. AIR CONTENT
    E. SLUMP
    F. AMOUNT OF WATER ADDED ON JOB SITE
    G. MIX USED
19. CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULT COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BUMPS, FLOOR CURLING, ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.
21. CONFORM TO ACI 117 FOR CONCRETE TOLERANCES.
22. CONFORM TO ACI 306.1 FOR COLD WEATHER CONCRETE PLACEMENT.
23. CONFORM TO ACI 305.1 FOR HOT WEATHER CONCRETE PLACEMENT.
24. WELDING OF REINFORCING STEEL SHALL NOT BE PERMITTED FOR NONWELDABLE REBAR NOR WITHOUT THE CONSENT OF THE STRUCTURAL ENGINEER
25. DOWELS FOR SUCCESSIVE WORK SHALL BE SECURELY FASTENED IN CORRECT POSITION BEFORE PLACING CONCRETE. THE STICKING OF DOWELS AFTER PLACING CONCRETE SHALL NOT BE PERMITTED.

POST-INSTALLED ANCHORS TO CONCRETE AND MASONRY:

1. POST INSTALLED ANCHORS SHALL BE: EXPANSION, ADHESIVE, OR SCREW ANCHORS AS SPECIFIED, UNLESS NOTED OTHERWISE.
2. EXPANSION ANCHORS (SEE NOTES BELOW FOR SUBSTITUTIONS):
    A. FOR CONCRETE:
        a. SIMPSON STRONG-BOLT 2.
    B. FOR GROUTED FILLED CONCRETE MASONRY:
        a. SIMPSON STRONG-BOLT 2.
3. ADHESIVE ANCHORS (SEE NOTES BELOW FOR SUBSTITUTIONS):
    A. FOR CONCRETE:
        a. SIMPSON SET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
        b. SIMPSON ET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
    B. SOLID GROUTED CONCRETE MASONRY:
        a. SIMPSON SET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
        b. SIMPSON ET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
    C. HOLLOW OR MULTI-WYTHE MASONRY:
        a. SIMPSON SET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD WITH SCREEN TUBES.
        b. SIMPSON ET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD WITH SCREEN TUBES.
4. SCREW ANCHORS (SEE NOTES BELOW FOR SUBSTITUTIONS):
    A. FOR CONCRETE:
        a. SIMPSON TITEN HD
    B. SOLID GROUTED CONCRETE MASONRY:
        a. SIMPSON TITEN HD
5. WHEN INSTALLING POST INSTALLED ANCHORS:
    A. THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS AND CURRENT ICC-ES REPORT SHALL BE FOLLOWED.
    B. DO NOT DAMAGE EXISTING REINFORCING, POST TENSIONED CABLES OR OTHER EMBEDDED ITEMS.
    C. WHEN INSTALLING IN CONCRETE:
        a. THE MINIMUM CONCRETE DESIGN COMPRESSIVE STRENGTH SHALL MATCH THE COMPRESSIVE STRENGTHS NOTED IN THE CONCRETE NOTES SECTION.
        b. FOR POST INSTALLED ADHESIVE ANCHORS, THE CONCRETE SHALL HAVE A MINIMUM AGE OF 21 DAYS AT THE TIME OF INSTALLATION. ANCHORS INSTALLED IN CONCRETE LESS THAN 21 DAYS OLD SHALL BE TESTED IN ACCORDANCE WITH ACI 355.4 TO VERIFY PERFORMANCE.
        c. FOR POST INSTALLED ADHESIVE ANCHORS, THE CONCRETE TEMPERATURE AT THE TIME OF INSTALLATION SHALL BE AT LEAST 50-DEGREES FAHRENHEIT.
    D. ADHESIVE USED IN AN ADHESIVE ANCHOR SYSTEM SHALL BE STORED AT THE SERVICE TEMPERATURE RANGE RECOMMENDED BY THE MANUFACTURER.
    E. ANCHORS TO BE INSTALLED IN ADHESIVE SHALL BE CLEAN, OIL FREE AND FREE OF RUST, PAINT OR OTHER COATINGS.
    F. ADHESIVE ANCHORS SHALL BE SECURELY PLACED TO PREVENT DISPLACEMENT OR DISTURBANCE WHILE THE ADHESIVE CURES. IF AN ANCHOR IS DISPLACED OR DISTURBED BEFORE A FULL ADHESIVE CURE IT SHALL BE CONSIDERED DAMAGED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
    G. UNLESS NOTED OTHERWISE, ANCHORS SHALL BE INSTALLED PERPENDICULAR TO THE SUPPORTING SURFACE.
    H. INSTALL ANCHORS TO ACCOMMODATE THE STANDARD HOLE SIZE IN THE SUPPORTED STEEL MEMBER. THE HOLE DIAMETER THROUGH THE SUPPORTED STEEL MEMBER SHALL BE 1/16" LARGER THAN THE ANCHOR UNLESS NOTED OTHERWISE. USE PLATE WASHERS WITH A STANDARD SIZE HOLE WELDED TO STEEL MEMBERS WHERE OVERSIZED HOLES MUST BE USED THROUGH THE STEEL MEMBER, UNO.
    I. HOLES SHALL BE DRILLED AND INSTALLED PER THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS AS OUTLINED IN THE ICC-ES REPORT. WHERE APPLICABLE, INSTALLATION SHALL ALSO FOLLOW PROPER CLEANING PROCEDURE AS INDICATED IN THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTION AS OUTLINED IN THE ICC-ES REPORT. HOLES SHALL BE DRILLED WITH A ROTARY IMPACT HAMMER DRILL OR ROCK DRILL, DO NOT CORE DRILL HOLES.
6. ALL PERSONNEL INSTALLING ANCHORS SHALL BE TRAINED AND CERTIFIED BY THE ANCHORING SYSTEM MANUFACTURER. CONTRACTOR SHALL SUBMIT VALID CERTIFICATION FROM THE MANUFACTURER ON ALL PERSONNEL. ALL PERSONNEL INSTALLING ADHESIVE ANCHORS IN A HORIZONTAL, OVERHEAD OR UPWARDLY INCLINED CONDITION SHALL BE TRAINED AND CERTIFIED BY THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM FOR SUCH APPLICATIONS.
7. POST INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS. CONTRACTOR SHALL OBTAIN APPROVAL FROM STRUCTURAL ENGINEER OF RECORD PRIOR TO USING POST INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST IN PLACE ANCHORS. ONLY USE SPECIFIC TYPE OF ANCHOR (EXPANSION, ADHESIVE, SCREW) WHERE INDICATED. DO NOT SUBSTITUTE ANCHOR TYPES WITHOUT WRITTEN APPROVAL FROM SEOR.
8. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE LISTED ABOVE SHALL BE SUBMITTED TO THE ENGINEER WITH CALCULATIONS THAT ARE PREPARED AND SEALED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED (PER THE DELEGATED DESIGN NOTES) SHOWING THAT THE SUBSTITUTED PRODUCT WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE. PRODUCT ICC-ES CODE REPORTS SHALL BE INCLUDED WITH THE SUBMITTAL PACKAGE. THE PROPOSED SUBSTITUTION(S) SHALL MEET THE MOST RECENTLY PUBLISHED ACI 355.2 OR ACI 355.4.

CONCRETE MASONRY UNIT (CMU):

1. MASONRY CONSTRUCTION TO CONFORM TO ACI 530/530.1 BUILDING CODE REQUIREMENTS AND SPECS FOR MASONRY STRUCTURES (AND RELATED COMMENTARIES).
2. ONLY LOAD BEARING MASONRY IS SHOWN ON THE STRUCTURAL PLANS. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR LOCATIONS OF NON-LOAD BEARING MASONRY. REFER TO SCHEDULES AND DETAILS FOR NON-LOAD BEARING MASONRY INFORMATION.
3. CONTRACTOR SHALL ELECTRONICALLY SUBMIT STEEL REBAR SHOP DRAWINGS WITH ELEVATIONS OF REINFORCED WALLS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
4. ALL MASONRY WALLS SHALL BE CONSTRUCTED IN A RUNNING BOND PATTERN AS DESCRIBED BY ACI 530 UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.
5. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF ALL VERTICAL CONTROL JOINTS IN EXTERIOR FACADE.
6. FOR LOAD BEARING WALLS, PROVIDE CONTROL JOINTS AS INDICATED ON PLAN. FOR ALL LOAD BEARING WALL CONTROL JOINTS NOT SPECIFIED AND AT ALL NON-LOAD BEARING WALLS, PROVIDE VERTICAL WALL CONTROL JOINTS IN MASONRY WALLS AS FOLLOWS:
    A. 10'-0" MAXIMUM FROM CORNERS OF WALLS
    B. 24'-0" o/c MAXIMUM
    C. AT CHANGES IN WALL HEIGHT AND THICKNESS
    D. AT WALLS ABUTTING COLUMNS
    E. DO NOT PROVIDE CONTROL JOINTS IN ELEVATOR AND STAIR SHAFT WALLS.
    F. DO NOT PROVIDE CONTROL JOINTS NEXT TO OPENINGS UNLESS NOTED OTHERWISE.
7. PROVIDE (1) VERTICAL BAR AT CORNERS AND ON EACH SIDE OF CONTROL JOINTS. MATCH SIZE OF SPECIFIED REINFORCEMENT. PROVIDE #5 IF NOT SPECIFIED.
8. LAP VERTICAL WALL REINFORCEMENT PER SCHEDULE.
9. LAP HORIZONTAL WALL REINFORCING PER SCHEDULE. STAGGER BOND BEAM LAP LOCATIONS MINIMUM 5'-0".
10. HORIZONTAL BOND BEAM REINFORCING AT CORNERS AND INTERSECTIONS SHALL BE LAPPED PER TYPICAL DETAILS.
11. PROVIDE STANDARD (W1.7) HORIZONTAL JOINT REINFORCING AT 16" o/c VERTICALLY (8" o/c IN PARAPET WALLS) UNLESS NOTED OTHERWISE. REINFORCING TO BE HOT-DIPPED GALVANIZED IN EXTERIOR WALLS AND MILL-GALVANIZED FOR INTERIOR WALLS. JOINT REINFORCING SHALL BE LADDER TYPE CONFORMING TO ASTM A951, WITH PREFABRICATED CORNER AND TEE UNITS AT CORNERS AND INTERSECTIONS. LAP JOINT REINFORCING 6" MINIMUM.
12. FACE SHELLS AND WEBS SHALL BE FULL-BEDDED IN ALL COURSES OF PIERS, AND THE STARTING COURSE OF ALL WALLS.
13. ALL VERTICAL MASONRY WALL REINFORCEMENT SHALL RUN CONTINUOUS THROUGH BOND BEAMS AND EXTEND FULL HEIGHT OF THE WALL. GROUT CORES SOLID AT ALL VERTICAL REINFORCING.
14. COURSE AGGREGATE IN MASONRY GROUT SHALL BE PEA GRAVEL.
15. DO NOT PLACE GROUT UNTIL ENTIRE HEIGHT OF MASONRY TO BE GROUTED HAS ATTAINED ENOUGH STRENGTH TO RESIST GROUT PRESSURE. COMPLY WITH REQUIREMENTS IN TMS 602/ACI 530.1/ASCE 6 FOR CLEANOUTS AND FOR GROUT PLACEMENT, INCLUDING MINIMUM GROUT SPACE AND MAXIMUM POUR HEIGHT.
16. GALVANIZE ALL STEEL OUTSIDE OF BUILDING VAPOR BARRIER INCLUDING THE EXTERIOR LINTELS AND VENEER SUPPORT ANGLES AND ASSOCIATED ANCHORS, UNLESS NOTED OTHERWISE. WHERE ARCH DRAWINGS CALL OUT PAINTED LINTELS, COORDINATE PREP AND CLEAN LINTEL FOR PAINTING AFTER GALVANIZING WITH ARCHITECT AND PAINTING CONTRACTOR.
17. ALL PARTIAL HEIGHT BLOCKS LESS THAN 4" HIGH SHALL BE GROUTED SOLID IN LOAD BEARING WALLS.
18. SOLID OR SOLID-GROUTED CMU SHALL BE PROVIDED IN COURSES IMMEDIATELY ABOVE AND BELOW ANY CHANGES IN WYTHE THICKNESS.
19. SOLID GROUT ALL MASONRY BELOW GRADE.
20. CONTRACTOR SHALL GROUT MASONRY SOLID AT ALL POST-INSTALLED ANCHOR (EXPANSION, EPOXY, DRILLED) LOCATIONS. GROUT ON ALL SIDES OF EACH ANCHOR AT LEAST 4" OR THE SPECIFIED ANCHOR EMBEDMENT, WHICH EVER IS GREATER.
21. PROVIDE 8" HIGH BOND BEAM w/ (2) #5 x CONT AT TOP OF WALLS AND AT FLOOR LINES FOR MULTI-STORY WALLS. REFER TO TYPICAL DETAILS FOR TOP AND BOTTOM OF WALL DETAILS.
22. AT BEAM BEARING LOCATIONS, GROUT CMU SOLID A MINIMUM OF 16" WIDE x 3 COURSES DEEP UNLESS NOTED OTHERWISE.
23. MASONRY FIREWALL CONSTRUCTION ASSUMES MASONRY BLOCKS COMPRISED OF LIMESTONE.
24. ALL CMU BLOCK TO BE NORMAL WEIGHT (135 PCF) UNLESS NOTED OTHERWISE.
25. PROVIDE A MINIMUM OF 1/2" CLEAR BETWEEN INTERIOR BLOCK FACE SHELL AND FACE OF REINFORCING BAR. PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCING BARS AND TIES, UNLESS NOTED OTHERWISE:

MASONRY NOT EXPOSED TO EARTH OR WEATHER:	1 1/2"
MASONRY EXPOSED TO EARTH OR WEATHER:	
NO. 6 THROUGH NO. 9 BARS	2"
NO. 5 BAR AND SMALLER	1 1/2"

STRUCTURAL STEEL:

1. DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) "STEEL CONSTRUCTION MANUAL", EDITION AS SPECIFIED BY AISC CODE.
2. REFER TO STRUCTURAL STEEL CONNECTION NOTES ON ***S001*** FOR INFORMATION ON STRUCTURAL STEEL CONNECTIONS.
3. STRUCTURAL STEEL AND CONNECTIONS EXPOSED TO WEATHER OR CORROSIVE ENVIRONMENTS SHALL BE GALVANIZED OR COATED PER THE REQUIREMENTS OF AISC 360.
4. WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS HOLDING CURRENT AWS CERTIFICATES IN THE TYPES OF WELDING SPECIFIED ON THE CONSTRUCTION DOCUMENTS.
    A. USE PREQUALIFIED WELDED JOINTS IN ACCORDANCE WITH AISC AND AWS D1.1. NON-PREQUALIFIED JOINTS SHALL BE QUALIFIED PRIOR TO FABRICATION.
5. PROVIDE 3/16" CAP PLATE AT THE ENDS OF ALL EXPOSED TUBE AND PIPE MEMBERS, UNLESS NOTED OTHERWISE.
6. PROVIDE STIFFENER PLATES ON BOTH SIDES OF BEAM WEBS AT ALL CONCENTRATED LOADS ABOVE AND BELOW A BEAM. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.
7. SPLICES SHALL BE ALLOWED ONLY AT LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL ENGINEER. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.
8. CONTRACTOR SHALL ELECTRONICALLY SUBMIT STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
9. THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. CONTRACTOR SHALL DETERMINE, FURNISH AND INSTALL ANY TEMPORARY BRACING OR GUYS REQUIRED TO ERECT STEEL MEMBERS. TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURE IS IN PLACE AND SECURE.
10. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.
11. ANY HOLES, CUTS, OR COPING FIELD CUT INTO STEEL MUST BE VERIFIED WITH THE STRUCTURAL ENGINEER PRIOR TO WORK. CONTRACTOR SHALL COORDINATE ALL HOLES REQUIRED BY OTHERS WITH THE STRUCTURAL ENGINEER.
12. THE STEEL SUPPLIER SHALL COORDINATE THEIR WORK WITH OTHER DELEGATED DESIGN COMPONENTS (i.e. STEEL JOISTS, PRECAST CONCRETE, STEEL STAIR COMPONENTS, ETC.).
13. ALL BEAMS TO BE PLACED WITH POSITIVE CAMBER (INCLUDING NATURAL BEAM CAMBER) UPWARD. STRUCTURAL ENGINEER RECOMMENDS CONTRACTOR PERFORM A PRE-POUR SURVEY OF THE FRAMING TO ENSURE CAMBERS ARE WITHIN TOLERANCE. COORDINATE ALL INFORMATION PRIOR TO CONCRETE POUR WITH STRUCTURAL ENGINEER.

STRUCTURAL STEEL CONNECTION NOTES:

1. STEEL DETAILING AND CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF AISC 360 "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AND AISC 341 "SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS EDITION AS SPECIFIED BY CODE, LOAD RESISTANCE FACTORED DESIGN.
2. BEAM AND GIRDER CONNECTIONS SHALL BE DETAILED AS NOTED ON PLANS AND DETAILS.
3. BOLTS SHALL BE 3/4" DIAMETER, UNLESS NOTED OTHERWISE. PROVIDE BOLT DIAMETERS IN 1/4" INCREMENTS AND PROVIDE ALL BOLTS OF A SINGLE DIAMETER AT THE SAME MATERIAL GRADE.
4. SUBSTITUTION REQUESTS FOR CONNECTIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER WITH CALCULATIONS THAT ARE PREPARED AND SEALED BY A REGISTERED STRUCTURAL ENGINEER SHOWING THAT THE SUBSTITUTED CONNECTION WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE.

WOOD FRAMING:

1. DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION UNDER THE APPLICABLE CODE OF "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AMERICAN WOOD COUNCIL.
2. DESIGN, FABRICATION, AND CONSTRUCTION OF ALL PLYWOOD FRAMING SHALL CONFORM TO THE CURRENT EDITION UNDER THE APPLICABLE CODE OF "PANEL DESIGN SPECIFICATIONS", AMERICAN PLYWOOD ASSOCIATION.
3. WOOD SHEATHING SHALL CONFORM TO THE CURRENT EDITIONS OF EITHER OF THE FOLLOWING STANDARDS, AND BEAR THE "APA - THE ENGINEERED WOOD ASSOCIATION' GRADE STAMP.:
    A. PS-1, "STRUCTURAL PLYWOOD" FOR SOFTWOOD PLYWOOD
    B. PS-2 , "PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS" FOR OSB PANELS
4. WOOD SHEATHING SHALL BE ATTACHED TO WOOD FRAMING WITH THE LONG DIMENSION OF THE SHEATHING LAID PERPENDICULAR TO THE SUPPORTS. STAGGER ALL JOINTS UNLESS NOTED OTHERWISE
5. WOOD SHEATHING PANEL EDGES SHALL BEAR ON THE FRAMING SUPPORT MEMBERS AND BUTT ALONG THEIR CENTER LINES. NAILS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM THE PANEL EDGE.
6. WOOD SILL PLATES, WOOD SHEATHING, AND OTHER WOOD MEMBERS DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED. WHERE WOOD MEMBERS ARE REQUIRED TO BE FIRE-RETARDANT TREATED AND ARE DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY, MEMBERS SHALL BE TREATED WITH AN EXTERIOR RATED FIRE-RETARDANT CHEMICAL/PROCESS.
7. MAXIMUM MOISTURE CONTENT IN ANY WOOD MEMBER SHALL NOT EXCEED 19%.
8. 2x WOOD JOISTS SHALL HAVE 1x3 SPF NO.2 CROSS BRIDGING AT 8'-0" o/c MAXIMUM.
9. DO NOT EMBED WOOD MEMBERS IN CONCRETE.
10. FASTENERS (WOOD-TO-WOOD, STEEL-TO-WOOD CONNECTIONS):
    A. BOLTS SHALL CONFORM TO ASTM A307, UNLESS NOTED OTHERWISE
    B. LAG SCREWS SHALL CONFORM TO ASTM A307, UNLESS NOTED OTHERWISE
    C. USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD.
    D. USE STEEL WASHERS BETWEEN NUT AND WOOD.
    E. ALL FASTENERS ATTACHING PRESERVATIVE TREATED WOOD MEMBERS TO CONCRETE OR MASONRY SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL
    F. ALL NAILS SPECIFIED ARE TO BE COMMON NAILS. REFER TO GUN

MATERIAL STRENGTHS:
UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE USED. REFER TO MATERIAL NOTES AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

CONCRETE MATERIALS SCHEDULE

TYPE OF CONSTRUCTION	COMPRESSIVE STRENGTH (psi) (ASTM C39)	EQUIL. DENSITY (pcf)	EXPOSURE CATEGORIES				MAXIMUM w/cm	AIR CONTENT
			F	S	W	C		
FOOTINGS	3,000	145					--	--
FROST WALLS AND PIERS	4,000	145	F1				0.55	5%
INTERIOR WALLS AND PIERS	4,000	145					--	--
EXTERIOR WALLS AND PIERS	4,500	145	F2				0.45	6%
INTERIOR SLAB ON GROUND	4,000	145					--	--
LEAN CONCRETE	1,000	145					--	--

CONCRETE MATERIALS SCHEDULE NOTES:

1. CORROSION EXPOSURE SHALL BE F0, S0, W0, AND C0 UNLESS NOTED OTHERWISE IN THE EXPOSURE CATEGORIES COLUMN.
2. MAXIMUM AGGREGATE SIZE FOR ALL MIXES TO BE 3/4 INCHES; FOOTINGS MAY BE 1 1/2 INCHES.
3. PROVIDE 5% AIR CONTENT AT ALL EXPOSED CONDITIONS NOT EXPLICITLY INDICATED ABOVE. TOLERANCE OF AIR CONTENT AS DELIVERED SHALL BE +/- 1.5%.
4. CONCRETE SUPPLIER AND FINISHER SHALL COORDINATE PROPERTIES OF PROPOSED MIX DESIGN UNDER VARIOUS WEATHER CONDITIONS TO COMPLETE PLACING AND FINISHING OF SLAB PER THE PROJECT REQUIREMENTS AND IN A TIMELY MANNER. APPROVED CHEMICAL ADMIXTURES MAY BE USED TO INCREASE WORKABILITY PROVIDED THE ADMIXTURE-TREATED CONCRETE HAS THE SAME OR LOWER WATER-CEMENT RATIO AND DOES NOT EXHIBIT SEGREGATION POTENTIAL OR EXCESSIVE BLEEDING. IF PROPOSED SLUMP WILL EXCEED 9", PROVIDE DOCUMENTATION OF PAST PERFORMANCE OF MIX DESIGN.
5. FOR CONCRETE FLOOR SLABS AND TOPPINGS, THE MINIMUM CEMENTITIOUS MATERIAL CONTENT SHALL BE 540 LBS/YD3 UNLESS APPROVED BY ENGINEER OF RECORD.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE DETERMINED AT 28 DAYS FOR STRENGTH EQUAL TO OR LESS THAN 6000 PSI, AND AT 56 DAYS FOR STRENGTH GREATER THAN 6000 PSI.
7. FOR EXPOSURE CATEGORY F3, MAXIMUM PERCENT OF TOTAL CEMENTITIOUS MATERIALS BY MASS AS FOLLOWS:
   A. FLY ASH OR OTHER POZZOLANS CONFORMING TO ASTM C618 – 25%
   B. SLAG CEMENT CONFORMING TO ASTM C989 – 50%
   C. SILICA FUME CONFORMING TO ASTM C1240 – 10%
   D. TOTAL OF FLY ASH OR OTHER POZZOLANS AND SILICA FUME – 35%
   E. TOTAL OF FLY ASH OR OTHER POZZOLANS, SLAG CEMENT, AND SILICA FUME – 50%
8. FOR EXPOSURE CLASSES S1, S2, AND S3, MINERAL FILLERS DERIVED FROM CARBONATE AGGREGATE ARE PROHIBITED. FOR EXPOSURE CLASSES S2 AND S3, DO NOT USE CEMENTITIOUS MATERIALS OTHER THAN PORTLAND CEMENT IN CONCRETE.
9. CONCRETE SUPPLIER, IN CONCERT WITH THE GENERAL CONTRACTOR, TO PROVIDE CONCRETE MIX SUCH THAT THE MAXIMUM TEMPERATURE WILL NOT EXCEED 158 DEGREES FAHRENHEIT. LIKEWISE, A THERMAL GRADIENT (FROM THE CENTER TO THE EDGE OF THE CONCRETE PLACEMENT) THAT EXCEEDS 35 DEGREES FAHRENHEIT IS NOT PERMITTED.

MACROSYNTHETIC FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE SLABS COMPLYING WITH ASTM C 1116, TYPE III, 1 1/2" TO 2 1/2" LONG

METAL / STEEL:
UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE PROVIDED:

REINFORCING STEEL
- ASTM A615, DEFORMED, TYPICAL..... GRADE 60
- ASTM A706, DEFORMED, WELDABLE..... GRADE 60
- STEEL WELDED WIRE REINFORCEMENT, FLAT SHEETS, ASTM A1064..GRADE 60

STRUCTURAL STEEL
- ROLLED WIDE FLANGE SHAPES, ASTM A992..... GRADE 50
- PLATES AND BARS, TYPICAL, ASTM A36..... GRADE 36

STRUCTURAL CONNECTORS
- ANCHOR RODS, ASTM F1554, TYPICAL ..... GRADE 36
- HIGH STRENGTH BOLTS, ASTM F3125, TYPE 1, TYPICAL..... GROUP A (120 KSI)
- NUTS, ASTM A563
- WASHERS, ASTM F436
- STEEL HEADED STUD ANCHORS, ASTM A108
- RODS, ASTM A36, TYPICAL..... GRADE 36

WELDING ELECTRODES
- STRUCTURAL STEEL..... E70XX
- WELDABLE REINFORCING STEEL E80XX
- STAINLESS STEEL..... E75XX

CONCRETE MASONRY:
- ASSEMBLY ..... f'm = 2,500 PSI
- BLOCK ..... f'CMU = 3,250 PSI OR GREATER
- GROUT ..... f'c = 2,500 PSI OR GREATER
- PORTLAND CEMENT MORTAR ..... TYPE "M" MORTAR BELOW GRADE; TYPE "M" OR "S" ABOVE GRADE
- GROUT BELOW BASE PLATES AND BEARING PLATES
- NON-METALLIC, SHRINKAGE RESISTANT ..... ASTM C1107

WOOD FRAMING (UNO ON PLANS / DETAILS):
- DIMENSIONAL LUMBER
- JOISTS / BEAMS / HEADERS ..... SPRUCE-PINE-FIR (SPF) No. 2 OR BETTER
- POSTS / COLUMNS ..... SPRUCE-PINE-FIR No. 2 OR BETTER
- WALL STUDS ..... SPRUCE-PINE-FIR No. 2 OR BETTER
- WALL PLATES ..... SPRUCE-PINE-FIR No. 2 OR BETTER
- PRESERVATIVE TREATED WALL PLATES ... PRESERVATIVE TREATED SOUTHERN PINE (SYP) No. 2 OR BETTER
- MSR LUMBER..... STUDS, POSTS, WALL PLATES, JOISTS, BEAMS, HEADERS
  STRESS CLASS: SOUTHERN PINE 2400f-1.8E
  E = 1,800 KSI, Fb > 2,400 PSI, Fv = 190 PSI
  Fc (PARALLEL) = 1,975 PSI, Fc (PERPENDICULAR) = 805 PSI
- EXTERIOR LUMBER ..... PRESERVATIVE TREATED SOUTHERN PINE (SYP) No. 2 OR BETTER
- FIRE RETARDANT TREATED LUMBER ..... SOUTHERN PINE (SYP) No. 2 OR BETTER
  MINIMUM FRT LUMBER REDUCTION FACTORS
  Fb = 0.91, Ft = 0.88, Fv = 0.95, Fc (PERPENDICULAR) = 0.95
  Fc (PARALLEL) = 0.94, E = 0.95, FASTENERS = 0.90

LAMINATED VENEER LUMBER (LVL)
- JOISTS / BEAMS / HEADERS
  E = 2,000 KSI Fb = 2,600 PSI Fv = 285 PSI
  Fc (PARALLEL) = 2,510 PSI Fc (PERPENDICULAR) = 750 PSI

DESIGN DATA:
APPLICABLE CODES / STANDARDS:
- WISCONSIN COMMERCIAL BUILDING CODE: 2015 IBC AS MODIFIED BY CHAPTERS SPS 361-366, ADOPTED APRIL 1, 2018
- INTERNATIONAL EXISTING BUILDING CODE - 2015
- ASCE 7-10 MIN DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE/SEI

STRUCTURAL DESIGN STANDARDS (DESIGN SHALL CONFORM TO THE CURRENT EDITION UNDER THE APPLICABLE CODE)
- ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY
- ACI 530/530.1 BUILDING CODE REQUIREMENTS AND SPECS FOR MASONRY STRUCTURES (AND RELATED COMMENTARIES)
- ANSI/AISC 360 SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS
- AWS D1.1/D1.1M STRUCTURAL WELDING CODE - STEEL
- NDS-NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION ASD/LRFD
- NDS-NATIONAL DESIGN SPECIFICATION SUPPLEMENT, DESIGN VALUES FOR WOOD CONSTRUCTION

BUILDING DESIGN LOADS / CRITERIA:
RISK CATEGORY II

DESIGN DEAD LOADS:
- WOOD ROOF ..... 20 PSF

DESIGN LIVE LOADS:
- RETAIL, OFFICE, RESTAURANT, RECREATIONAL ..... 100 PSF
- LIGHT STORAGE ..... 125 PSF
- PUBLIC GARAGES (PASSENGER VEHICLES) ..... 40 PSF
- HEAVY VEHICLE GARAGES..... 50 PSF (MIN)
- INTERIOR PARTITION WALLS (UNIFORMLY DISTRIBUTED WEIGHT) ..... 15 PSF
- INTERIOR PARTITION WALLS (HORIZONTAL DESIGN LOADS) ..... 5 PSF

HANDRAIL ASSEMBLIES AND GUARDS:
- 200 lb LOAD OR 50 plf LOAD APPLIED IN ANY DIRECTION AT TOP OF HANDRAIL ASSEMBLY OR GUARD AND TO TRANSFER THIS LOAD THROUGH SUPPORTS TO THE STRUCTURE

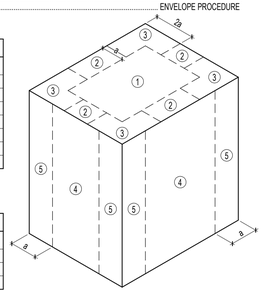
ROOF SNOW LOADS AND DESIGN DATA:
- DESIGN ROOF SNOW LOAD ..... 25 PSF (BALANCED SNOW LOAD)
- FLAT ROOF SNOW LOAD (Pf) = (0.7 × Ce × Ct × Is × Pg) ..... 25 PSF
- SNOW EXPOSURE (Ce) 1.0
- SNOW LOAD IMPORTANCE FACTOR (Is) 1.0
- ROOF THERMAL FACTOR (Ct) 1.0
- GROUND SNOW (Pg) ..... 35 PSF
- RAIN ON SNOW SURCHARGE ..... 0.0 PSF
- SLOPED ROOF FACTOR (Cs) 1.0

WIND DESIGN DATA:
- ULTIMATE WIND SPEED (3 SECOND GUST) ..... 115 MPH
- NOMINAL WIND SPEED ..... 89.1 MPH
- WIND DIRECTIONALITY FACTOR (Kd) 0.85
- MEAN ROOF HEIGHT ..... 18 FT
- WIND EXPOSURE CATEGORY C
- WIND EXPOSURE CLASSIFICATION ..... ENCLOSED
- INTERNAL PRESSURE COEFFICIENT ..... ±0.18
- BUILDING LENGTH (L) ..... 84.3 FT
- LEAST WIDTH (B) ..... 84.3 FT
- VELOCITY PRESSURE EXPOSURE COEFFICIENT Kh (CASE 1) 0.882
- VELOCITY PRESSURE EXPOSURE COEFFICIENT Kh (CASE 2) 0.882
- TOPOGRAPHIC FACTOR (Kzt) 1.0
- EDGE STRIP (a) ..... 7.2 FT
- EDGE ZONE (2a) ..... 14.4 FT
- DESIGN PROCEDURE ..... ENVELOPE PROCEDURE

ULTIMATE WIND LOADS COMPONENTS & CLADDING:

ROOF SURFACE PRESSURE			
AREA	10 SF	50 SF	100 SF
NEGATIVE ZONE 1	-30.0 PSF	-28.2 PSF	-27.4 PSF
NEGATIVE ZONE 2	-50.3 PSF	-37.8 PSF	-32.5 PSF
NEGATIVE ZONE 3	-50.3 PSF	-37.8 PSF	-32.5 PSF
POSITIVE ALL ZONES	16.0 PSF	16.0 PSF	16.0 PSF
OVERHANG ZONE 1&2	-43.2 PSF	-41.4 PSF	-40.6 PSF
OVERHANG ZONE 3	-43.2 PSF	-41.4 PSF	-40.6 PSF

WALL SURFACE PRESSURE			
AREA	10 SF	100 SF	500 SF
NEGATIVE ZONE 4	-29.7 PSF	-25.7 PSF	-22.8 PSF
NEGATIVE ZONE 5	-36.6 PSF	-28.5 PSF	-22.8 PSF
POSITIVE ZONE 4&5	27.4 PSF	23.4 PSF	20.6 PSF



WIND LOADS COMPONENTS AND CLADDING ZONE DIAGRAM (ASCE 7-10)

PARAPET SURFACE PRESSURE				
CASE	SOLID PARAPET PRESSURE	10 SF	100 SF	500 SF
CASE A: PRESSURE TOWARDS BUILDING	CASE A: INTERIOR ZONE	68.5 PSF	46.7 PSF	43.9 PSF
CASE A: PRESSURE TOWARDS BUILDING	CASE A: CORNER ZONE	68.5 PSF	46.7 PSF	43.9 PSF
CASE B: PRESSURE AWAY FROM BUILDING	CASE B: INTERIOR ZONE	-48.0 PSF	-39.9 PSF	-34.3 PSF
CASE B: PRESSURE AWAY FROM BUILDING	CASE B: CORNER ZONE	-54.8 PSF	-42.7 PSF	-34.3 PSF

EARTHQUAKE DESIGN DATA:
- SEISMIC IMPORTANCE FACTOR (Ie) 1.0
- MAPPED SPECTRAL ACCELERATIONS AT SHORT PERIODS (Ss) 0.06
- MAPPED SPECTRAL ACCELERATIONS AT (1) SECOND PERIODS (S1) 0.04
- SITE CLASSIFICATION ..... D (UNCONFIRMED)
- DESIGN SPECTRAL RESPONSE COEFFICIENT AT SHORT PERIODS (Sds) 0.061
- DESIGN SPECTRAL RESPONSE COEFFICIENT AT (1) SECOND PERIODS (Sd1) 0.058
- SEISMIC DESIGN CATEGORY ..... A
- BASIC SEISMIC-FORCE-RESISTING SYSTEM ..... STRUCTURAL STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
- DESIGN BASE SHEAR ..... 0.020W KIPS
- SEISMIC RESPONSE COEFFICIENT (Cs) 0.020
- RESPONSE MODIFICATION COEFFICIENT (R) 3.0
- ANALYSIS PROCEDURE FOR SEISMIC DESIGN ..... EQUIVALENT LATERAL-FORCE ANALYSIS

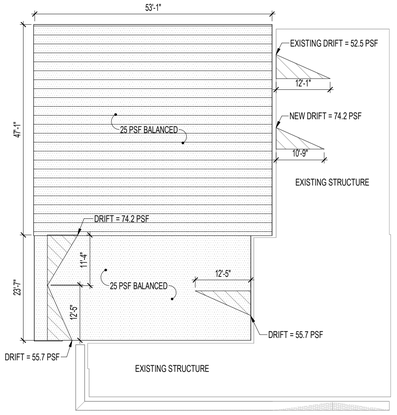
SOIL DESIGN VALUES:
THE DESIGN VALUES BELOW HAVE BEEN USED AS THE BASIS OF THE FOUNDATION DESIGN. THESE VALUES SHALL BE CONFIRMED BY THE FOUNDATION CONTRACTOR AND THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION. NOTIFY THE SEOR IF THE FINAL DESIGN OR INSTALLED VALUES DIFFER FROM THE VALUES NOTED BELOW.
- SOIL UNIT WEIGHT ..... 115 PCF (UNCONFIRMED)
- COEFFICIENT OF SLIDING FRICTION ..... 0.30 (UNCONFIRMED)
- SUBGRADE MODULUS ..... 150 PCI (UNCONFIRMED)
- FROST DEPTH ..... 48" BELOW EXTERIOR FINISH GRADE (UNCONFIRMED)
- ALLOWABLE SOIL BEARING PRESSURE ..... 2000 PSF (UNCONFIRMED)

DELEGATED DESIGN NOTES:
1. ENGINEERING DESIGN, DETAILING, AND COORDINATION OF DELEGATED DESIGN ITEMS ARE DELEGATED TO THE CONTRACTOR PER THE SPECIFICATIONS AND CRITERIA INDICATED ON THE DRAWINGS. THE PRIMARY BASE BUILDING STRUCTURE HAS BEEN DESIGNED AS INDICATED HEREIN TO ACCEPT THE DELEGATED DESIGN ITEMS. THE CONTRACTOR SHALL COORDINATE THE WORK OF THE DELEGATED DESIGNERS WITH EACH OTHER AND THE PRIMARY BASE BUILDING STRUCTURE. IT IS SUGGESTED THAT DESIGN CRITERIA, LOAD PATHS, AND ATTACHMENT SCHEMES PROPOSED BY THE DELEGATED DESIGNER BE SUBMITTED FOR REVIEW BY THE ARCHITECT FOR COMPATIBILITY OF THE BASE BUILDING DESIGN PRIOR TO FINAL DESIGN AND DETAILING OF THE DELEGATED DESIGN PACKAGE.
2. STRUCTURAL SYSTEMS SHALL BE DESIGNED FOR THE DELEGATED DESIGN PERFORMANCE CRITERIA DEFLECTION LIMITS NOTED ON THIS SHEET AND TO LIMIT BUILDING MOVEMENTS TO LESS THAN THE VALUES INDICATED IN THE COORDINATION WITH OTHER TRADES AND BUILDING SYSTEMS NOTES ON S1-1.
3. DOCUMENTS FOR DELEGATED DESIGN ITEMS SHALL BE STAMPED BY A QUALIFIED, PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED. THE CONTRACTOR SHALL FORWARD THE REVIEWED DOCUMENTS TO THE ARCHITECT AND/OR ENGINEER OF RECORD WITH A NOTATION INDICATING THAT THE DELEGATED DESIGN DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
4. DELEGATED DESIGN ITEMS INCLUDE ANY ITEMS NOT EXPLICITLY NOTED ON THE STRUCTURAL DRAWINGS, INCLUDING BUT NOT LIMITED TO:

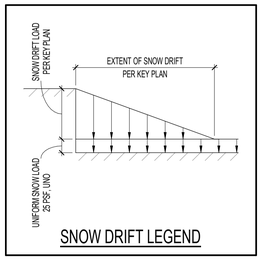
   PRIMARY BASE BUILDING STRUCTURAL ELEMENTS
   - PRE-ENGINEERED METAL BUILDING
   - SHORING AND/OR UNDERPINNING OF EXISTING STRUCTURES

   OTHER ITEMS SUPPORTED BY PRIMARY STRUCTURE (SECONDARY MEMBERS)
   - CLADDING SYSTEMS AND COMPONENTS, INCLUDING SUPPLEMENTAL SUPPORT, WHERE REQUIRED
   - FURNITURE, FIXTURES, AND OTHER MISCELLANEOUS ARCHITECTURAL FABRICATIONS
   - SUPPORTS, BRACING, ATTACHMENTS, AND SUBFRAMING FOR SUPPORT OF OTHER TRADES AND BUILDING COMPONENTS. REFER TO MODIFICATIONS FOR COORDINATION WITH OTHER TRADES NOTES.
5. DELEGATED DESIGN SUBMITTALS PERTAINING TO FOUNDATIONS AND OTHER GEOTECHNICAL ELEMENTS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. ENGINEERING AND SYSTEMS REQUIRED BY THE CONTRACTOR TO SUPPORT CONSTRUCTION REMAIN THE PREROGATIVE AND RESPONSIBILITY OF THE CONTRACTOR. REFER TO GENERAL NOTES.

COORDINATION WITH OTHER TRADES:
1. SUPPORT, SUBFRAMING, BRACING, AND ATTACHMENTS TO PRIMARY BASE BUILDING STRUCTURE FOR ALL NONSTRUCTURAL BUILDING COMPONENTS, INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ELEMENTS SHALL BE DESIGNED AND DETAILED BY THE MANUFACTURER, SUPPLIER, OR CONTRACTOR FURNISHING THOSE COMPONENTS. CONNECTIONS AND SUPPORTED LOADS TO STRUCTURAL MEMBERS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. RESPONSIBILITY FOR THE PERFORMANCE OF THE SUPPLIED SYSTEM AND ASSOCIATED CONNECTIONS SHALL REMAIN THAT OF THE PARTY FURNISHING THE DESIGN AND DETAILING.
2. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES CONNECTING TO, REQUESTING OPENINGS IN, PENETRATIONS THROUGH, OR ITEMS EMBEDDED WITHIN STRUCTURAL ELEMENTS, OR OTHERWISE IMPACTING THE BASE BUILDING STRUCTURE. UPON COMPLETION OF COORDINATION AND DESIGN, FULLY COORDINATED PLANS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO FABRICATION AND INSTALLATION. THIS INCLUDES BUT IS NOT LIMITED TO SLEEVES, CONDUITS, CABLES, PIPES, ELECTRICAL BOXES, CAST-IN ATTACHMENTS, POST-INSTALLED ANCHORS, ETC. REFER TO TYPICAL DETAILS CONTAINED HEREIN FOR REINFORCEMENT REQUIRED TO ACCOMMODATE REQUESTED MODIFICATIONS TO THE PRIMARY BASE BUILDING STRUCTURE. UPON REVIEW, ADDITIONAL OR ALTERNATIVE MODIFICATIONS MAY BE REQUIRED AT THE DISCRETION AND DIRECTION OF THE STRUCTURAL ENGINEERING OF RECORD.
3. PENETRATIONS THROUGH, CONNECTIONS TO, AND ITEMS EMBEDDED WITHIN STRUCTURAL MEMBERS SHALL NOT NEGATIVELY IMPACT THE PERFORMANCE OF THE BASE BUILDING STRUCTURE.
4. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES, INCLUDING AS-BUILT CONDITIONS IMPACTING DESIGN AND COORDINATION. ADJACENCIES OF ITEMS PLANNED OR INSTALLED IN OR ON STRUCTURE SHALL BE IDENTIFIED AND CONSIDERED BY EACH TRADE FOR THE IMPACT OF SUCH ADJACENCIES TO THEIR SYSTEMS. VERIFY ALL MECHANICAL EQUIPMENT, WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. COORDINATE ANY REQUIRED REVISIONS TO THE BASE BUILDING STRUCTURE WITH THE STRUCTURAL ENGINEER.
5. MISCELLANEOUS ELEMENTS SUCH AS SHELF ANGLES, LINTELS, SUPPORTS FOR CURTAIN WALLS OR MASONRY, AND EDGE ANGLES AT OPENINGS AND PERIMETER CONDITIONS ARE INTENDED TO SUPPORT AND BE COORDINATED WITH MATERIALS FURNISHED BY OTHER TRADES. THESE MATERIALS ARE INTENDED TO BE FIELD ATTACHED TO MEET THE TOLERANCES REQUIRED BY OTHER TRADES, WHICH MAY BE MORE STRINGENT THAN THE TOLERANCES SPECIFIED BY THE RELEVANT CODE OF STANDARD PRACTICE FOR THE SUPPORTING ELEMENTS. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND COORDINATE THE INSTALLATION OF SUPPORTING ELEMENTS TO COMPLY WITH THE TOLERANCE CRITERIA REQUIRED FOR INSTALLATION OF MATERIALS BY OTHER TRADES.
6. UNDERGROUND
   A. THE INFLUENCE AREA OF A FOOTING OR MAT SHALL BE DEFINED AS THE FRUSTUM OF SOIL LOCATED BELOW THE FOOTING OR MAT HAVING A 2:1 (HORIZONTAL:VERTICAL) SLOPE EMANATING FROM THE FOOTING OR MAT EDGE, OR AS DEFINED BY THE GEOTECHNICAL ENGINEER OF RECORD.
   B. PIPES, CONDUITS, AND BURIED ITEMS SHALL NOT BE PLACED WITHIN THE INFLUENCE AREA OF ADJACENT FOOTINGS OR MATS.
   C. ALL STRUCTURES (eg. TRIPLE BASINS, GREASE TRAPS, ETC.) SHALL NOT BE INSTALLED WITHIN THE INFLUENCE AREA OF ADJACENT FOOTINGS OR MATS UNLESS THE STRUCTURE IS DESIGNED BY THE MANUFACTURER FOR INCREASED SURCHARGE LOAD APPLIED BY THE ADJACENT FOUNDATION AND HAS BEEN REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER OF RECORD OR THE GEOTECHNICAL ENGINEER OF RECORD.
7. MASONRY ELEMENTS
   A. CONDUIT AND PIPING MAY BE PLACED THROUGH OR WITHIN HOLLOW CORES BUT SHALL NOT PASS THROUGH OR WITHIN BOND BEAMS, LINTELS, OR OTHER GROUTED OR REINFORCED MASONRY ELEMENTS.
   B. NO ELEMENTS SHALL BE EMBEDED THROUGH OR WITHIN SOLID OR SOLIDLY GROUTED MASONRY ELEMENTS.
   C. ELEMENTS THROUGH OR WITHIN THE MASONRY SHOULD NOT BE ALUMINIMUM OR BE A MATERIAL THAT COULD RESULT IN DEGRADATION OF THE MASONRY.
   D. FOR ADDITIONAL LIMITATIONS, REFER TO THE TMS 402 MASONRY CODE.
8. STEEL ELEMENTS
   A. ALL PENETRATIONS INDICATED HEREIN SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH COORDINATION WITH THE SUBCONTRACTORS AND DELEGATED DESIGN ENGINEERS. SUBMIT ALL REQUIRED PENETRATIONS FOR REVIEW AND APPROVAL SUBSEQUENT TO FINAL COORDINATION OF BUILDING SYSTEMS.
   B. FIELD-CUTTING SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL BY THE STRUCTURAL ENGINEER OF RECORD.
9. MOVEMENT ACCOMMODATION BY BUILDING COMPONENTS.
   A. BUILDING COMPONENTS SUPPORTED ON THE BASE BUILDING STRUCTURE, SUCH AS CLADDING SYSTEMS, PARTITIONS WALLS, OPERABLE PARTITIONS, ETC., SHALL BE DESIGNED AND DETAILED TO ACCOMMODATE STRUCTURAL MOVEMENTS.



1 S-0.1 ROOF SNOW LOAD PLAN



SNOW DRIFT LEGEND

DELEGATED DESIGN PERFORMANCE CRITERIA DEFLECTION LIMITS			
MEMBERS	LIVE	SNOW OR WIND	DEAD + LIVE OR SNOW
ROOF MEMBERS			
SUPPORTING GYPSUM BOARD CEILINGS	L/360	L/360	L/240
SUPPORTING FLEXIBLE CEILINGS	L/360	L/360	L/240
NOT SUPPORTING CEILINGS	L/240	L/240	L/180
SUPPORTING RIGID MATERIALS (BRICK, MASONRY, ETC.)	L/600	L/600	L/600
LINTEL / HEADER / BEAM MEMBERS			
SUPPORTING RIGID MATERIALS (BRICK, MASONRY, ETC.)	L/600	L/600	L/600
SUPPORTING FLEXIBLE MATERIALS	L/360	L/360	L/240
EXTERIOR WALLS (LATERAL DEFLECTION)			
WITH RIGID FINISHES (BRICK, MASONRY, ETC.)	N/A	L/600	N/A
WITH FLEXIBLE FINISHES (EIFS, SIDING, ETC.)	N/A	L/360	N/A

ABBREVIATIONS

ALT..... ALTERNATE	LLH..... LONG LEG HORIZONTAL
ARCH..... ARCHITECTURAL	LLV..... LONG LEG VERTICAL
BLDG..... BUILDING	LSH..... LONG SIDE HORIZONTAL
BOT..... BOTTOM	LSL..... LAMINATED STRAND LUMBER
BRG..... BEARING	LSLT..... LONG SLOTTED
CFMF..... COLD FORMED METAL FRAMING	Lst..... TENSION LAP SPLICE
CIP..... CAST IN PLACE	LSV..... LONG SIDE VERTICAL
CL..... CENTERLINE	LVL..... LAMINATED VENEER LUMBER
CLR..... CLEAR	LW..... LONG WAY
CJ..... CONTROL OR CONSTRUCTION JOINT	MAX..... MAXIMUM
CMU..... CONCRETE MASONRY UNIT	MECH..... MECHANICAL
COL..... COLUMN	MIN..... MINIMUM
CONT..... CONTINUOUS	MISC..... MISCELLANEOUS
db..... BAR DIAMETER	NTS..... NOT TO SCALE
DIA..... DIAMETER	o/c..... ON CENTER
DIM..... DIMENSION	OFD..... OVERFLOW DRAIN
DL..... DEAD LOAD	OPP..... OPPOSITE
DWG..... DRAWING	PC..... PRECAST CONCRETE
E..... MODULUS OF ELASTICITY	PERP..... PERPENDICULAR
EA..... EACH	PSL..... PARALLEL STRAND LUMBER
EF..... EACH FACE	PT..... POST TENSIONED CONCRETE
EL..... ELEVATION	PT..... PRESERVATIVE TREATED
EOD..... EDGE OF DECK	RD..... ROOF DRAIN
EOS..... EDGE OF SLAB	REINF..... REINFORCEMENT
EQ..... EQUAL	REQ'D..... REQUIRED
EW..... EACH WAY	RTU..... ROOF TOP UNIT
EX..... EXISTING	SEOR..... STRUCTURAL ENGINEER OF RECORD
EXT..... EXTERIOR	
Fb..... BENDING STRENGTH (WOOD)	SIM..... SIMILAR
Fc..... COMPRESSIVE STRENGTH (WOOD)	SOG..... SLAB-ON-GROUND
f'c..... MINIMUM CONCRETE COMPRESSIVE STRENGTH	SPA..... SPACING
FD..... FLOOR DRAIN	SPEC..... SPECIFICATIONS
FF..... FINISH FLOOR	SSLT..... SHORT SLOTTED
FLR..... FLOOR	STL..... STEEL
f'm..... MINIMUM MASONRY COMPRESSIVE STRENGTH	SW..... SHORT WAY
FRT..... FIRE-RETARDANT-TREATED	T/..... TOP OF
FTG..... FOOTING	T&B..... TOP AND BOTTOM
Fv..... SHEAR STRENGTH (WOOD)	T&G..... TONGUE AND GROOVE
Fy..... MINIMUM YIELD STRENGTH	TRANS..... TRANSVERSE
GA..... GAUGE	TYP..... TYPICAL
GALV..... GALVANIZED	UNO..... UNLESS NOTED OTHERWISE
GC..... GENERAL CONTRACTOR	VERT..... VERTICAL
GT..... GIRDER TRUSS	VIF..... VERIFY IN FIELD
HORIZ..... HORIZONTAL	w/..... WITH
HVAC..... HEATING, VENTILATION, AIR COND.	w/o..... WITHOUT
HWS..... HEADED WELDED STUD	WP..... WORKPOINT
Ld..... DEVELOPMENT LENGTH	WT..... WEIGHT
Ldh..... HOOKED DEVELOPMENT LENGTH	WWF..... WELDED WIRE FABRIC
LL..... LIVE LOAD	

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PHONE 920-682-4105 | WWW.ACEBUILDINGSERVICE.COM
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Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE
SMI

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION

A.C.E. JOB NO.	
DATE:	08-19-2024
DRAWN BY:	PE
SCALE:	As indicated

DESIGN CRITERIA

SHEET
S-0.1

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PE Project: 240407

FOUNDATION PLAN NOTES:

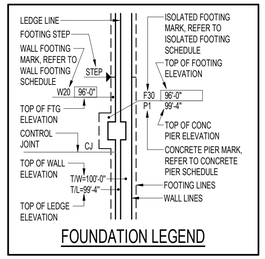
PLAN NOTES APPLY TO ALL FOUNDATION PLANS.
INDIVIDUAL NOTES DO NOT NECESSARILY APPLY TO ALL SHEETS.

1. REFER TO S-0.0 SERIES SHEETS FOR GENERAL NOTES AND SCHEDULES.
2. REFER TO SHEET S-4.0 AND S4.1 FOR TYPICAL FOUNDATION DETAILS NOT CUT ON PLAN.
3. ELEVATION 100'-0" ON STRUCTURAL DRAWINGS CORRESPONDS TO FF ELEVATION SHOWN ON SITE PLAN. TYPICAL.
4. SLAB ON GROUND CONTROL JOINTS:
   PROVIDE SAW CUT CONTROL JOINTS IN CONCRETE SLAB ON GROUND CONSTRUCTION WITHIN 24 HOURS OF INITIAL POUR. CONTROL JOINTS SHALL BE SPACED AT 36 TIMES THE SLAB THICKNESS, UP TO A MAXIMUM SPACING OF 18'-0". THE ASPECT RATIO OF SLAB PANELS SHALL BE A MAXIMUM OF 1.5 TO 1. CONTROL JOINTS SHALL BE PLACED ON COLUMN CENTERLINES, INTERIOR CORNERS, AND FLOOR DISCONTINUITIES (PITS, EQUIPMENT PADS, TRENCHES, DEPRESSED SLABS, ETC.). COORDINATE SLAB CONTROL JOINTS LAYOUT WITH ARCHITECT. SLAB ON GROUND CONSTRUCTION SHALL CONFORM TO ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION". REFER TO TYPICAL DETAILS FOR SLAB ON GROUND CONSTRUCTION.
5. SLAB DEPRESSIONS: VERIFY ALL SLAB DEPRESSIONS (SIZE, DEPTH, LOCATION) w/ ARCHITECTURAL DRAWINGS.
6. GC TO COORDINATE FOOTING ELEVATIONS w/ ALL UNDERGROUND UTILITY WORK. NOTIFY SEOR OF ANY CONFLICTS.
7. AT ALL INTERIOR AND EXTERIOR WOOD BEARING WALLS, PROVIDE BOTTOM PLATE PER BEARING WALL SCHEDULE w/ 5/8" DIAMETER SIMPSON TITEN HD ANCHORS (4 1/8" MINIMUM EMBED) AT 4'-0" o/c, UNLESS NOTED OTHERWISE. REFER TO WOOD SHEAR WALL SCHEDULE FOR PLATE ATTACHMENT AT WALLS DESIGNATED AS SHEAR WALLS ON PLAN.

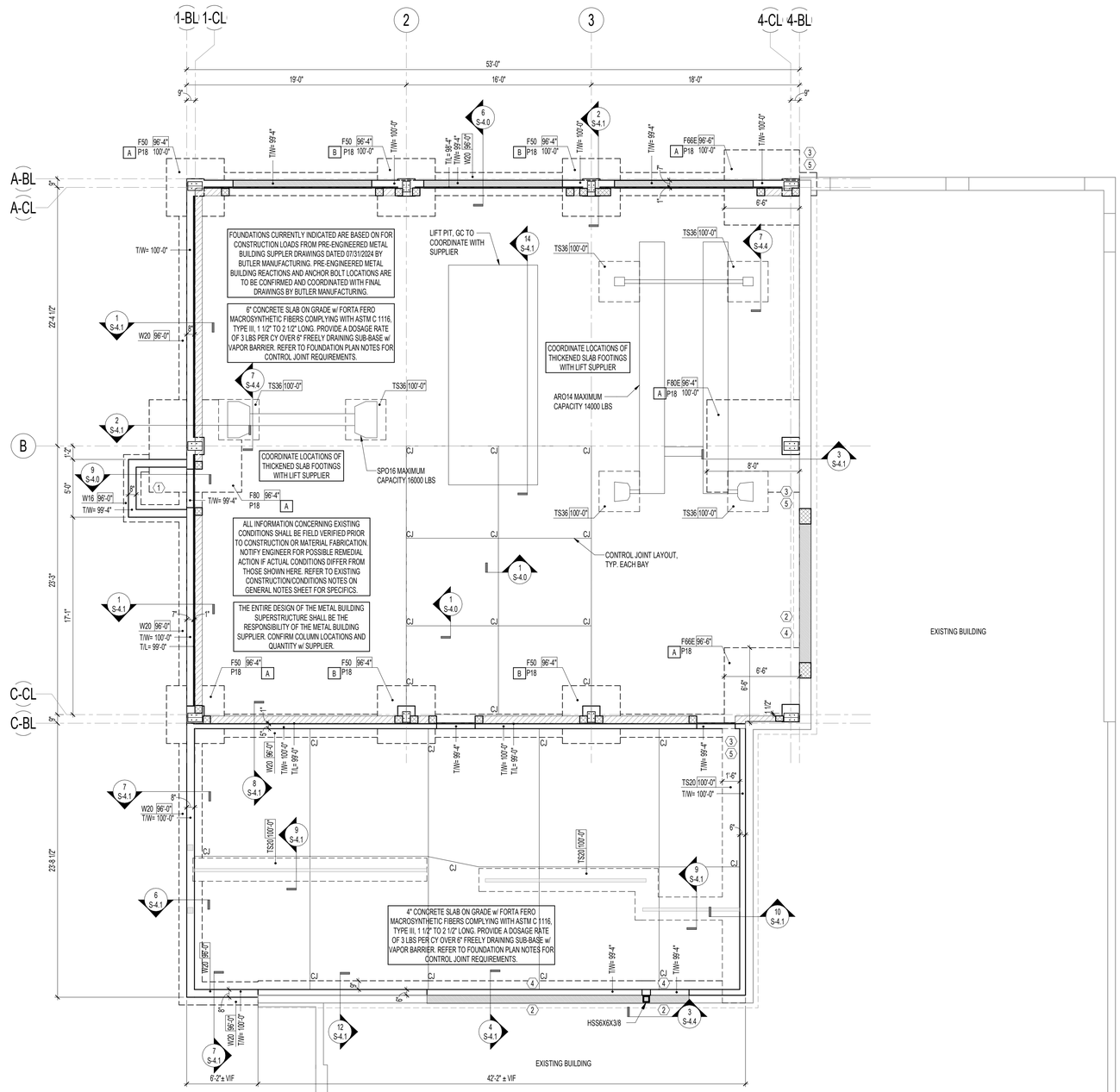
FOUNDATION PLAN KEYED NOTES:

KEYED NOTES APPLY TO ALL FOUNDATION PLANS.
ALL NOTES DO NOT NECESSARILY APPEAR ON ALL SHEETS.

1. CONCRETE STOOP, REFER TO 9/S-4.0.
2. CUT EXISTING FOUNDATION WALL DOWN TO ELEVATION 99'-4" FOR NEW SLAB OVERPOUR.
3. PROVIDE #4 DOWELS x 18" EPOXIED INTO EXISTING MASONRY WALL AT 24" o/c VERTICAL FULL HEIGHT OF NEW CONCRETE FOUNDATION WALL. EMBED 6" MINIMUM INTO EXISTING WALL.
4. PROVIDE #4 DOWELS x 18" FROM NEW SLAB ON GROUND ADHESIVE ANCHORED INTO EXISTING CONCRETE SLAB ON GROUND AT 24" o/c. LOCATE DOWELS IN MID-HEIGHT OF THINNEST SLAB ON GROUND. EMBED DWLS 6" MINIMUM INTO EXISTING SLAB.
5. STEP OR THICKEN FOOTING AS REQUIRED TO HAVE NEW BOTTOM OF FOOTING ELEVATION MATCH EXISTING BOTTOM OF FOOTING ELEVATION. CONTRACTOR SHALL FIELD VERIFY BOTTOM OF EXISTING FOOTING, REFER TO TYPICAL DETAILS.



FOUNDATION LEGEND



1 S-1.0 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

TRUE NORTH PLAN NORTH

ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ENGINEER FOR POSSIBLE REMEDIAL ACTION IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE. REFER TO EXISTING CONSTRUCTION/CONDITIONS NOTES ON GENERAL NOTES SHEET FOR SPECIFICS.

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

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FOUNDATION PLAN

SHEET
S-1.0

PIERCE ENGINEERS, INC.
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PE Project: 240407

WOOD ROOF FRAMING PLAN NOTES:

PLAN NOTES APPLY TO ALL WOOD ROOF FRAMING PLANS.
INDIVIDUAL NOTES DO NOT NECESSARILY APPLY TO ALL SHEETS.

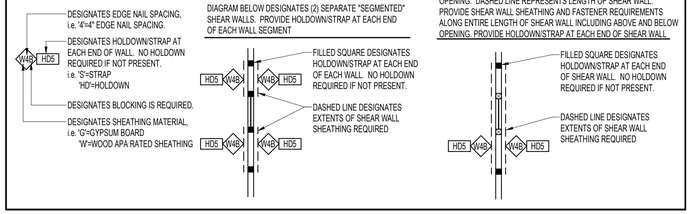
1. REFER TO S-0.0 SERIES SHEETS FOR GENERAL STRUCTURAL NOTES, INCLUDING COMPONENT DESIGN CRITERIA.
2. REFER TO SHEETS S-4.2 AND S-4.3 FOR WOOD SCHEDULES AND RELATED DETAILS AND TYPICAL WOOD DETAILS, INCLUDING:
   A. WOOD BEARING WALL SCHEDULE
   B. WOOD HEADER/POST SCHEDULE
   C. WOOD SHEAR WALL AND STRAP & HOLDOWNS SCHEDULE
   D. GUN NAIL CONVERSION SCHEDULE
   E. MINIMUM WOOD FASTENING SCHEDULE
   F. ALLOWABLE HOLES AND NOTCHES IN STRUCTURAL MEMBERS
3. REFER TO SHEET S-4.3 FOR TYPICAL ROOF SHEATHING DETAIL.
4. REFER TO SHEETS S-4.4 FOR MASONRY SCHEDULES AND RELATED DETAILS, INCLUDING:
   A. STEEL LINTEL BEARING DETAIL AND SCHEDULE
5. REFER TO SHEET S-0.1 FOR SNOW LOAD PLAN
6. ROOF SHEATHING SHALL BE 19/32" APA RATED WOOD ROOF SHEATHING (PLYWOOD OR OSB) w/ THE LONG DIMENSION OF THE SHEETS LAID PERPENDICULAR TO THE ROOF TRUSSES. ATTACH SHEATHING TO ROOF TRUSSES w/ 10d NAILS AT 6"/12" o/c SPACING (EDGES/FIELD). MINIMUM DISTANCE FOR NAILS IS 3/8" FROM PANEL EDGE. PROVIDE WOOD SHEATHING CLIPS WHERE SHEATHING EDGES ABUT BETWEEN ROOF TRUSSES. STAGGER ALL ROOF SHEATHING JOINTS. NAILS TO HAVE A MINIMUM PENETRATION INTO FRAMING MEMBER OF 1-1/2".
7. ALL EXTERIOR WOOD STUD WALLS SHALL HAVE (1) LAYER OF 1" ZIP SHEATHING ON THE EXTERIOR WALL FACE. REFER TO STANDARD WOOD WALL DETAILS FOR TYPICAL BEARING WALL CONSTRUCTION AND SHEATHING ATTACHMENT. IF WALL IS NOT SPECIFICALLY DESIGNATED AS A SHEAR WALL, ATTACH SHEATHING TO WALL STUDS w/ 10d NAILS AT 6"/12" o/c SPACING (EDGES/FIELD). NAILS TO HAVE A MINIMUM PENETRATION INTO FRAMING MEMBER OF 1-1/2".
8. FOR WALLS NOT SPECIFICALLY DESIGNATED AS SHEAR WALLS, ATTACH MINIMUM 1/2" GYPSUM WALL BOARD TO INTERIOR STUD WALLS w/ No. 6 x 1 1/4" TYPE S OR W DRYWALL SCREWS AT 12" o/c. AT ALL STUDS AND TOP & BOTTOM PLATES. MINIMUM EDGE DISTANCE FOR FASTENERS IS 3/8" FROM PANEL EDGE.
9. UNO, AT GIRDER TRUSS BEARING, PROVIDE A WOOD POST w/ MULTIPLE 2x MEMBERS AS REQUIRED TO MATCH GIRDER TRUSS WIDTH.
10. AT INTERIOR BEARING WALLS WHERE ROOF TRUSSES BEAR ON WALL FROM EITHER SIDE, LAP TRUSSES AND BEAR EACH TRUSS FULL WIDTH OF WALL, UNLESS NOTED OTHERWISE
11. VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, & LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS & FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGES w/ JOIST SUPPLIER AND STRUCTURAL ENGINEER
12. ALL MECHANICAL EQUIPMENT SHALL BEAR ON (2) JOISTS/TRUSSES MINIMUM.

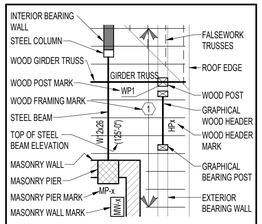
WOOD ROOF FRAMING PLAN KEYED NOTES:

KEYED NOTES APPLY TO ALL WOOD ROOF FRAMING PLANS.
ALL NOTES DO NOT NECESSARILY APPEAR ON ALL SHEETS.

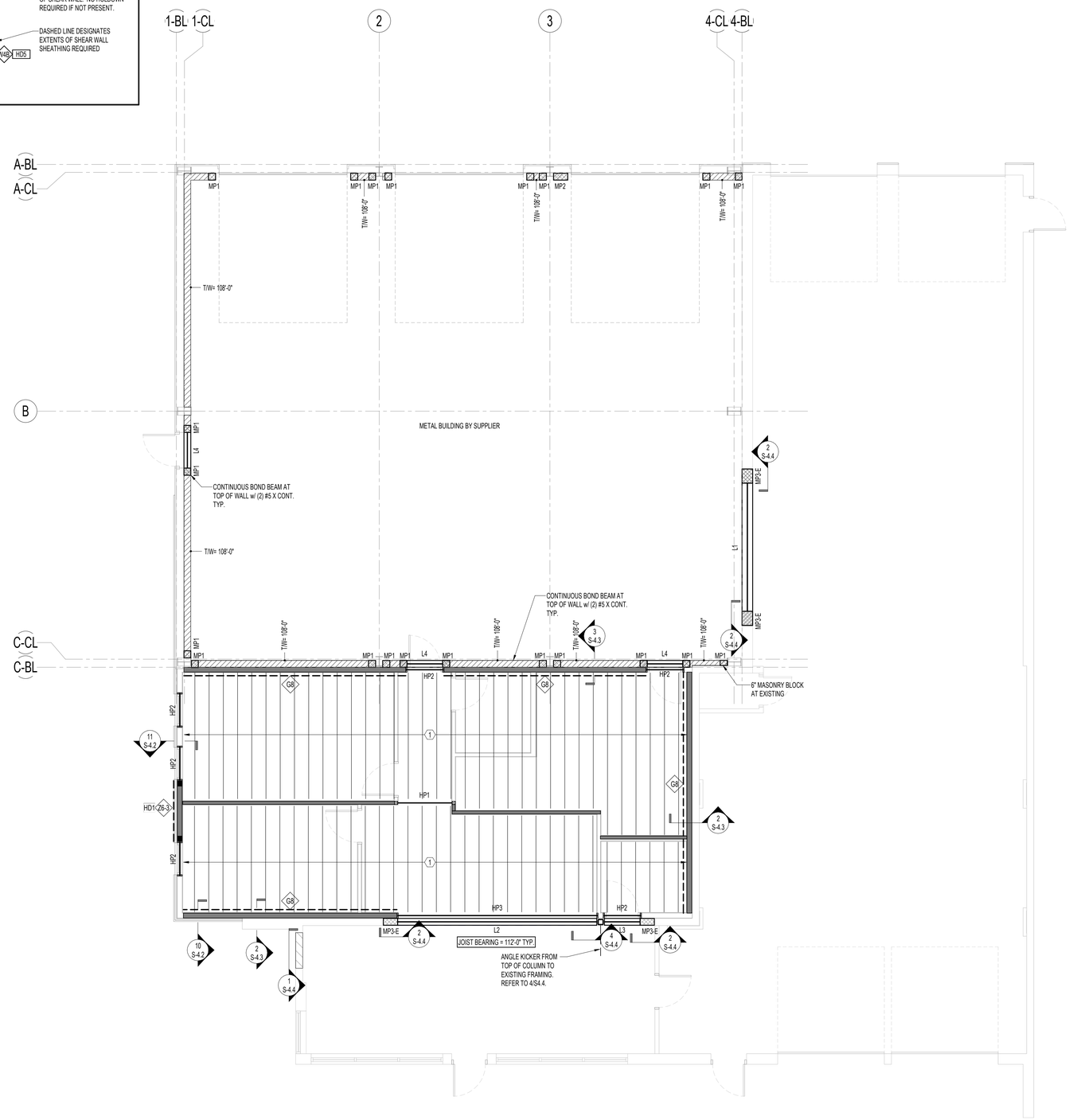
(1) 2X10 SPF NO.1/NO.2 OR BETTER JOISTS AT 16" o/c.

SHEAR WALL MARK/HOLDOWN/STRAP LEGEND:





WOOD ROOF FRAMING LEGEND



1 S-2.0 ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"

TRUE NORTH

PLAN NORTH

ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ENGINEER FOR POSSIBLE REMEDIAL ACTION IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE. REFER TO EXISTING CONSTRUCTION/CONDITIONS NOTES ON GENERAL NOTES SHEET FOR SPECIFICS.

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SAUVE'S AUTO
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SHEET INFORMATION	
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ROOF FRAMING PLAN

SHEET
S-2.0

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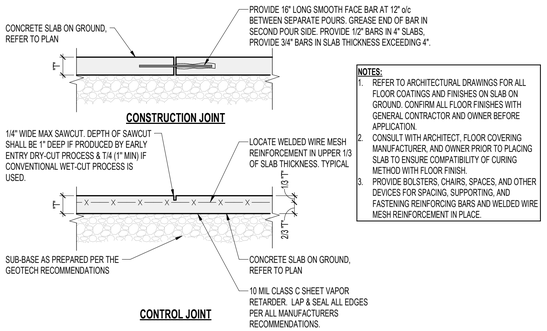
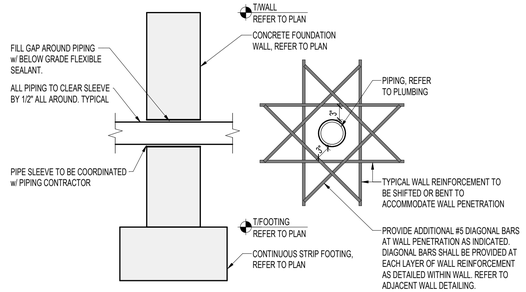
PE Project: 240407

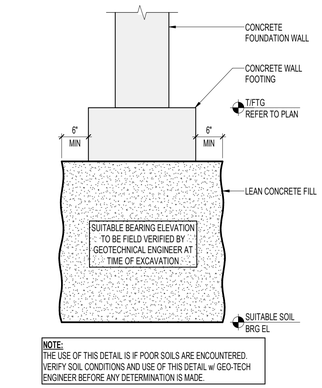


NOTES:
1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL FLOOR COATINGS AND FINISHES ON SLAB ON GROUND. CONFIRM ALL FLOOR FINISHES WITH GENERAL CONTRACTOR AND OWNER BEFORE APPLICATION.
2. CONSULT WITH ARCHITECT, FLOOR COVERING MANUFACTURER, AND OWNER PRIOR TO PLACING SLAB TO ENSURE COMPATIBILITY OF CURING METHOD WITH FLOOR FINISH.
3. PROVIDE BOLSTERS, CHAIRS, SPACES, AND OTHER DEVICES FOR SPACING, SUPPORTING, AND FASTENING REINFORCING BARS AND WELDED WIRE MESH REINFORCEMENT IN PLACE.

1 S-4.0 SLAB ON GRADE CONSTRUCTION DETAILS

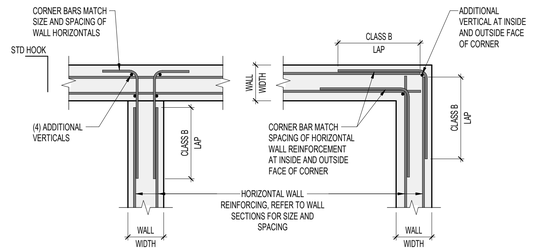


2 S-4.0 PIPE PENETRATION AT FOUNDATION WALL

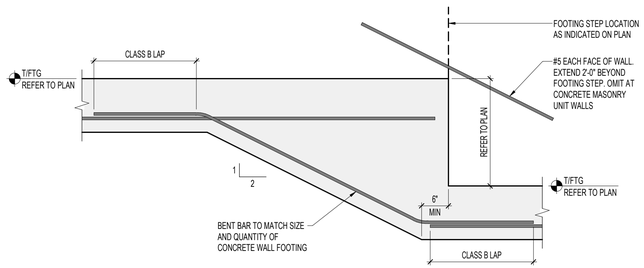


NOTE:
THE USE OF THIS DETAIL IS IF POOR SOILS ARE ENCOUNTERED. VERIFY SOIL CONDITIONS AND USE OF THIS DETAIL w/ GEO-TECH ENGINEER BEFORE ANY DETERMINATION IS MADE.

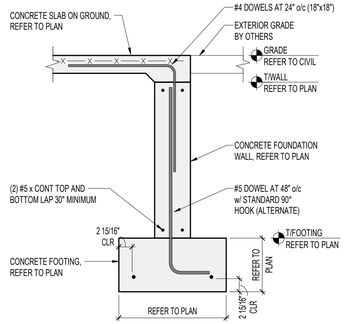
3 S-4.0 TYPICAL OVER-EXCAVATION DETAIL



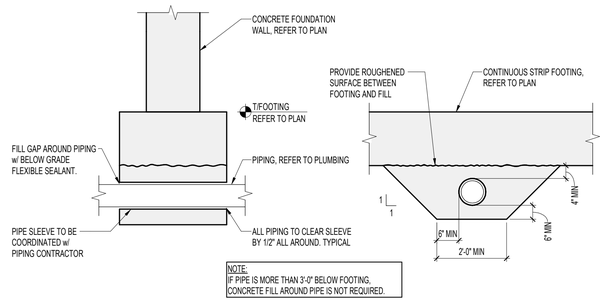
4 S-4.0 CORNER AND WALL INTERSECTION REINFORCING



5 S-4.0 FOOTING STEP DETAIL

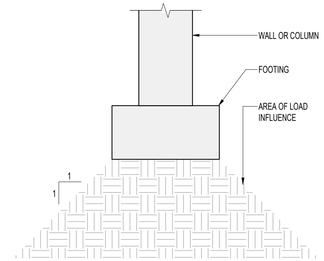


6 S-4.0 SLAB OVERPOUR AT GARAGE DOOR



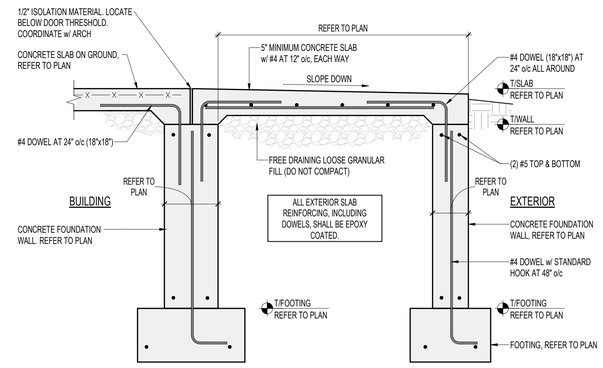
NOTE:
IF PIPE IS MORE THAN 3'-0" BELOW FOOTING, CONCRETE FILL AROUND PIPE IS NOT REQUIRED.

7 S-4.0 PIPE PENETRATION UNDER STRIP FOOTING



EXCAVATIONS FOR ANY REASON, INSIDE THE AREA OF LOAD INFLUENCE (SHOWN HATCHED) ARE PROHIBITED UNLESS SPECIFICALLY REVIEWED AND APPROVED BY STRUCTURAL ENGINEER

8 S-4.0 TYPICAL PROHIBITED EXCAVATIONS AT FOUNDATIONS

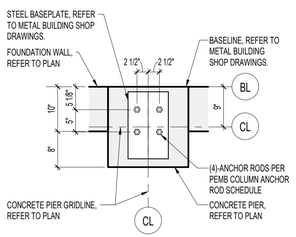


9 S-4.0 REINFORCED CONCRETE STOOP

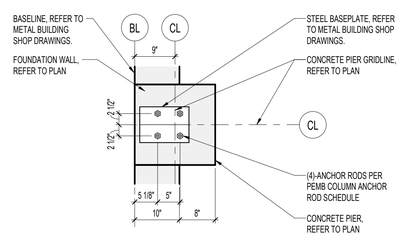
GC TO CONFIRM ALL ANCHOR ROD, BASEPLATE AND COLUMN DIMENSIONS w/ METAL BUILDING SUPPLIER.

TYPE A PIER REINFORCING

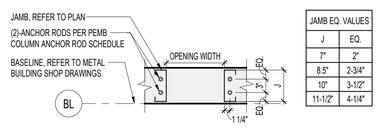
TYPE B PIER REINFORCING



TYPE A ANCHOR ROD LAYOUT

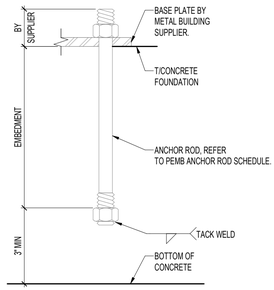


TYPE B ANCHOR ROD LAYOUT



JAMB EQ. VALUES	
J	EQ.
7"	2"
8.5"	2-3/4"
10"	3-1/2"
11-1/2"	4-1/4"

TYPE C ANCHOR ROD LAYOUT



PEMB COLUMN ANCHOR ROD SCHEDULE

TYPE MARK	ANCHOR ROD DIAMETER	ANCHOR ROD EMBEDMENT	PLATE WASHER	REMARKS
A	3/4"	18"	-	-
B	3/4"	18"	-	-
C	1/2"	18"	-	-

NOTES:
1. ANCHOR RODS DESIGNED BY METAL BUILDING SUPPLIER, INSTALLED BY GENERAL CONTRACTOR.
2. GC TO CONFIRM ANCHOR ROD GRADE, LOCATIONS, QUANTITY, AND DIAMETER, w/ METAL BUILDING SUPPLIER DRAWINGS.
3. GC CONFIRM BASEPLATE DIMENSIONS w/ METAL BUILDING SUPPLER.

10 S-4.0 CONCRETE PIER TYPES AND ANCHOR ROD LAYOUT

11 S-4.0 ANCHOR ROD DETAIL AT METAL BUILDING

CONCRETE PIER SCHEDULE

MARK	DIMENSIONS		VERTICAL REINFORCEMENT	PIER TIES	TIE TYPE	DOWELS	REMARKS
	WIDTH	LENGTH					
P18	18"	18"	(12) #5	#3 AT 8" o/c			

CONCRETE PIER SCHEDULE NOTES:
1. REFER TO PLAN FOR TOP OF CONCRETE PIER ELEVATION.
2. PROVIDE (3) #3 TIES OR (2) #4 DISTRIBUTED WITHIN THE TOP 5" OF THE CONCRETE PIER.
3. WHERE NO DOWELS ARE SHOWN FROM THE CONCRETE PIER TO THE CONCRETE FOOTING, EMBED VERTICAL PIER REINFORCEMENT TO BOTTOM OF FOOTING w/ 3" CONCRETE COVERAGE AND PROVIDE A STANDARD 90 DEGREE HOOK.
4. CENTER CONCRETE PIER BELOW COLUMN ABOVE UNLESS DETAILED OTHERWISE.
5. LAP VERTICAL REINFORCEMENT 30 BAR DIAMETERS OR 24", WHICH EVER IS GREATER.

CLASS 'B' TENSION LAP SPLICE LENGTHS (INCHES)

BAR SIZE	f'c = 3,000 psi		f'c = 4,000 psi		f'c = 5,000 psi		f'c = 6,000 psi		f'c = 8,000 psi	
	BOT	TOP	BOT	TOP	BOT	TOP	BOT	TOP	BOT	TOP
#3	22	28	19	24	17	22	16	20	13	17
#4	29	37	25	32	22	29	21	27	18	23
#5	36	47	31	40	28	36	26	33	22	29
#6	43	56	37	48	33	43	31	40	26	34
#7	63	81	54	70	49	63	45	58	38	50
#8	72	93	62	80	55	72	51	66	44	57
#9	81	105	70	91	63	81	57	74	49	64
#10	91	118	79	102	70	91	64	84	56	72
#11	101	131	87	113	78	101	71	93	62	80

NOTES (d$_b$ = BAR DIAMETER, C-C = CENTER TO CENTER):
1. ***THIS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT INTENDED TO COVER ALL SITUATIONS. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL REQUIRED LAP LENGTHS.***
2. SCHEDULE BASED ON NORMAL WEIGHT CONCRETE AND CLEAR COVER > 1 d$_b$ AND C-C > 2 d$_b$
3. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER CURRENT EDITION OF ACI-318.
4. TOP BARS ARE DEFINED AS HORIZONTAL BARS HAVING 12" OR MORE OF CONCRETE CAST BELOW THE BARS.
5. VALUES IN THIS SCHEDULE ARE BASED ON NON-EPOXY COATED BARS. FOR EPOXY COATED BARS, MULTIPLY VALUES IN THIS TABLE BY 1.5.
6. THESE LAPS ARE TO BE USED UNLESS ALTERNATIVE LENGTH LAPS SPECIFICALLY INDICATED ON PLANS OR IN DETAILS.

ISOLATED FOOTING SCHEDULE

MARK	DIMENSIONS			BOTTOM REINFORCING		TOP REINFORCING		REMARKS
	WIDTH	LENGTH	THICKNESS	LONG	SHORT	LONG	SHORT	
F50	5'-0"	5'-0"	1'-4"	(6)-#5	(6)-#5	(6)-#5	(6)-#5	
F66E	6'-6"	6'-6"	1'-5"	(6) #6	(6) #6	(6) #6	(6) #6	
F80	8'-0"	8'-0"	1'-4"	(9)-#5	(9)-#5	(9)-#5	(9)-#5	
F80E	8'-0"	8'-0"	1'-4"	(12)-#5	(12)-#5	(12)-#5	(12)-#5	

ISOLATED FOOTING SCHEDULE NOTES:
1. REFER TO STRUCTURAL NOTES SHEET FOR MINIMUM COVER REQUIREMENTS.
2. REFER TO FOUNDATION PLAN FOR TOP OF FOOTING ELEVATIONS.
3. REFER TO FOUNDATION AND EARTHWORK GENERAL NOTES AND DESIGN CRITERIA FOR ADDITIONAL REQUIREMENTS.
4. ALL LAPS IN STEEL REINFORCING SHALL BE CLASS "B" LAP SPLICES UNLESS NOTED OTHERWISE.

THICKENED SLAB SCHEDULE

MARK	DIMENSIONS		REINFORCEMENT		REMARKS
	WIDTH (xCONT)	THICKNESS	LONGITUDINAL	TRANSVERSE	
TS20	2'-0"	1'-0"	(2) #5		
TS36	3'-6"	1'-0"	(4) #5	(4) #5	

CONTINUOUS FOOTING SCHEDULE

MARK	DIMENSIONS		REINFORCEMENT		REMARKS
	WIDTH (xCONT)	THICKNESS	LONGITUDINAL	TRANSVERSE	
W16	1'-6"	1'-0"	(2) #5		
W20	2'-0"	1'-0"	(2) #5		

CONTINUOUS FOOTING SCHEDULE NOTES:
1. REFER TO STRUCTURAL NOTES SHEET FOR MINIMUM COVER REQUIREMENTS.
2. REFER TO FOUNDATION PLAN FOR TOP OF FOOTING ELEVATIONS.
3. REFER TO FOUNDATION AND EARTHWORK GENERAL NOTES AND DESIGN CRITERIA FOR ADDITIONAL REQUIREMENTS.
4. ALL LAPS IN STEEL REINFORCING SHALL BE CLASS "B" LAP SPLICES UNLESS NOTED OTHERWISE.

No.	REVISION DESCRIPTION	DATE	REV. BY

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PHONE 920-682-6105 | WWW.ACEBUILDINGSERVICE.COM
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Civil & Structural
SMI
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

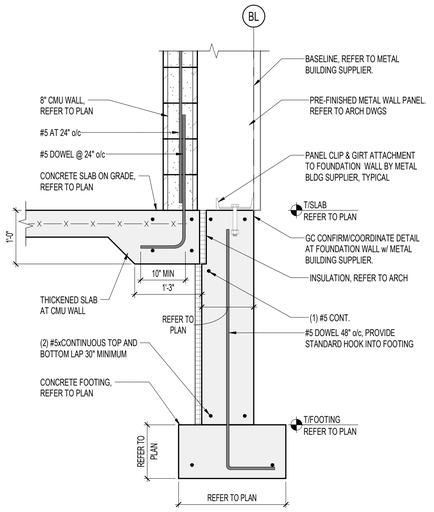
SHEET INFORMATION

A.C.E. JOB NO.	
DATE:	08-19-2024
DRAWN BY:	PE
SCALE:	As indicated

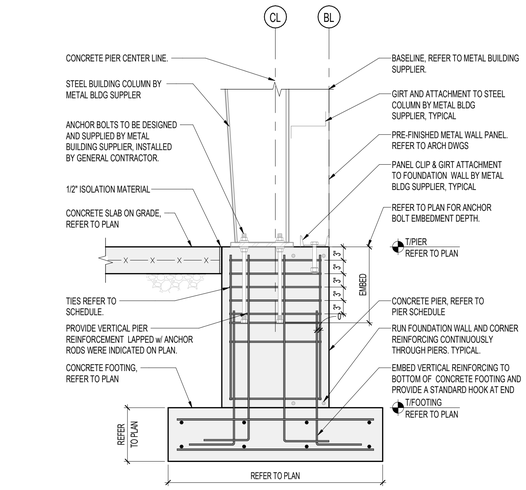
STRUCTURAL DETAILS

SHEET
S-4.0

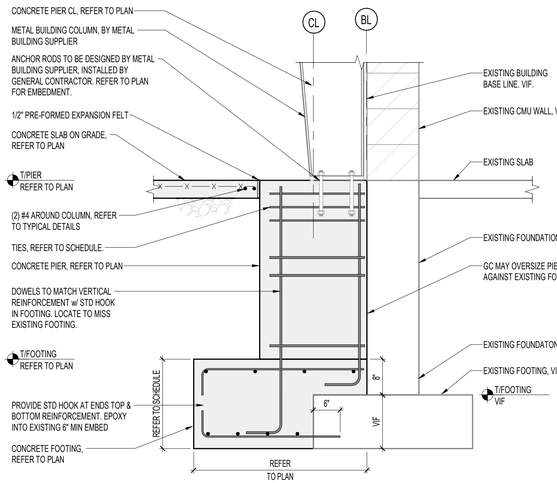
PIERCE ENGINEERS, INC.
181 N. Broadway Ave
Milwaukee, WI 53202
414.278.6060
www.pierceengineers.com
PE Project: 240407



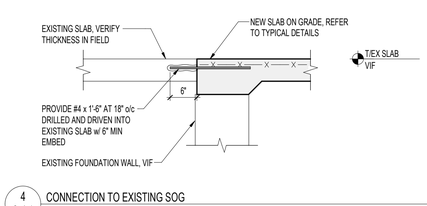
1 S-4.1 TYPICAL METAL BUILDING EXTERIOR CONCRETE FOUNDATION WALL



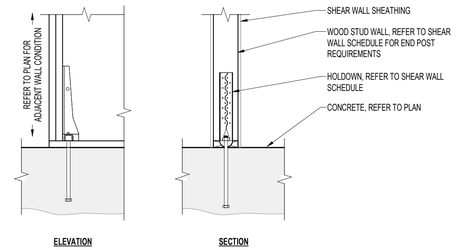
2 S-4.1 SECTION AT METAL BUILDING PIER



3 S-4.1 NEW PIER CONNECTED DETAILS TO EXISTING FOUNDATION WALL



4 S-4.1 CONNECTION TO EXISTING SOG



5 S-4.1 SHEARWALL HOLDOWN ATTACHMENT

6 S-4.1 SHEAR WALL HOLDDOWN ATTACHMENT AT FROST WALL

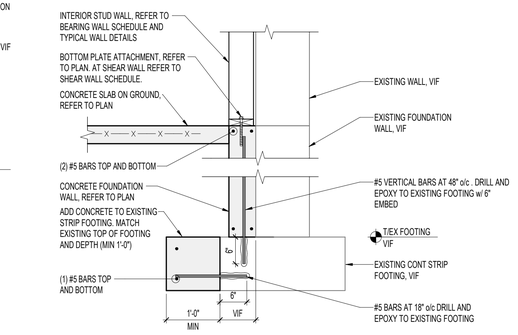
7 S-4.1 TYPICAL EXTERIOR CONCRETE FOUNDATION WALL

8 S-4.1 SECTION

9 S-4.1 INTERIOR WOOD STUD WALL ON THICKENED SLAB

10 S-4.1 FOOTING STEP AT EXISTING

11 S-4.1 CONNECTION TO EXISTING STRIP FOOTING



12 S-4.1 CONNECTION TO EXISTING STRIP FOOTING

PLAN VIEW AT PERIMETER COLUMN ISOLATION JOINT

13 S-4.1 PLAN VIEW AT BUILDING COLUMN

PLAN VIEW AT CORNER COLUMN ISOLATION JOINT

14 S-4.1 SECTION AT LIFT

15 S-4.1 STEEL COLUMN SITTING ON INTERIOR CONCRETE FOOTING WITH BOX-OUT ISOLATION JOINT

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-2024
DRAWN BY:	PE
SCALE:	3/4" = 1'-0"
STRUCTURAL DETAILS	

SHEET
S-4.1

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PE Project: 240407

WOOD STUD BEARING WALL SCHEDULE

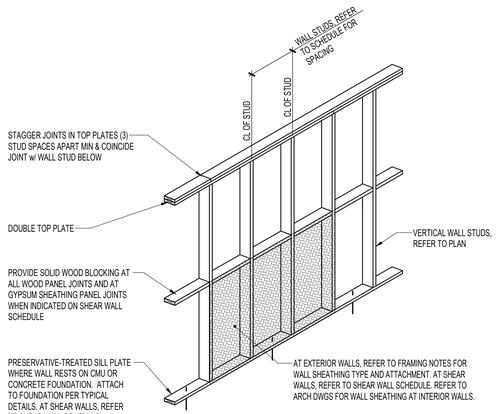
	CORRIDOR, EXTERIOR, INTERIOR 2x6 WALLS	INTERIOR 2x4 WALLS
TOP PLATES:	(2) 2x6	(2) 2x4
STUDS:	2x6 AT 24" o/c	2x4 AT 12" o/c
BOTTOM PLATE:	(1) TREATED 2x6	(1) TREATED 2x4

WOOD STUD BEARING WALL SCHEDULE NOTES:
1. ALL LUMBER IS SPRUCE-PINE-FIR (SPF) No.2 OR BETTER, UNO.

HOLDOWN / STRAP SCHEDULE

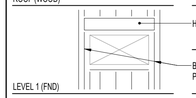
MARK	MODEL NO.	HOLDOWN/STRAP ATTACHMENT	MINIMUM END POST
HD1	HDU8-SDS2.5	(20) SDS 1/4" x 2 1/2" SCREWS INTO END POST (1) 7/8" DIA A36 THREADED ROD (9" MIN EMBED) TO BASE.	(3) 2x

HOLDOWN / STRAP SCHEDULE NOTES:
1. HOLDOWN / STRAPS SPECIFIED ARE SIMPSON STRONG-TIE MODELS. USP EQUIVALENT IS ACCEPTABLE IN LIEU OF SIMPSON CONNECTOR.
2. ATTACH END STUDS TOGETHER w/ (2) ROWS 10d NAILS AT 8" o/c AT LOWEST LEVEL. (2) ROWS AT 12" o/c ELSEWHERE.
3. AT HOLDOWN CONNECTORS, THREADED ROD TO BE EPOXIED INTO THE FOUNDATION.



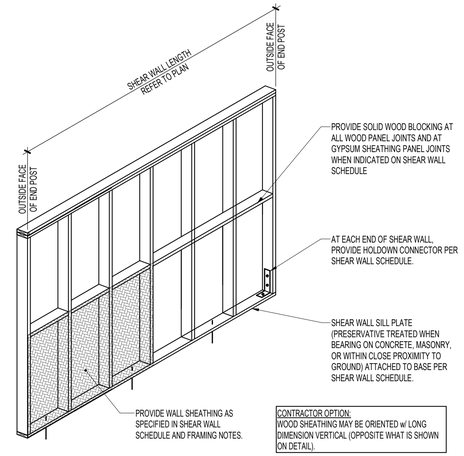
1 S-4.2 TYPICAL WOOD STUD BEARING WALL CONSTRUCTION

WOOD HEADER/POST SCHEDULE



	HP1	HP2	HP3
HEADER:	(2) 2x8	(3) 2x4	(3) 2.0E 2500Fb LVL 1 3/4" x 11 1/2"
BEARING STUDS/ POST	(1) 4x4	(1) 2x6	(4) 2x6

WOOD HEADER/POST SCHEDULE NOTES:
1. REFER TO MATERIAL STRENGTHS SECTION ON GENERAL NOTES SHEET FOR DIMENSIONAL LUMBER SPECIES AND GRADE, UNO.
2. WOOD MOISTURE CONTENT SHALL NOT EXCEED 19% MAXIMUM.
3. HEADER MEMBERS SHALL BE NAILED TOGETHER w/ 16d NAILS AT 12" o/c TOP & BOTTOM.
4. WHERE HEADER WIDTH IS LESS THAN WALL WIDTH, PROVIDE CONTINUOUS SOLID WOOD BLOCKING MATCHING HEADER DEPTH AS NEEDED TO MAKE OVERALL HEADER WIDTH EQUAL TO WALL WIDTH.
5. ALIGN WOOD POSTS ABOVE AND BELOW A FLOOR LINE.
6. WOOD POST CONSISTING OF MULTIPLE 2x MEMBERS SHALL BE NAILED TOGETHER w/ 16d NAILS AT 6" o/c STAGGERED.
7. WHERE GIRDER TRUSS WIDTH EXCEEDS POST WIDTH, ADD ADDITIONAL 2x MEMBERS AS REQUIRED TO MATCH GIRDER WIDTH.
8. ALL WOOD HEADERS SHOWN IN STUD WALLS ARE DROPPED HEADERS AND SHALL BE PLACED AT WALL OPENING HEIGHT UNLESS NOTED OTHERWISE. REFER TO ARCH DRAWINGS FOR OPENING HEIGHTS. ALL OTHER HEADERS SHALL BE FLUSH w/ BOTTOM OF FLOOR FRAMING, TYPICAL.
9. EXTERIOR WOOD POST SHALL BE PRESERVATIVE TREATED.
10. REFER TO TYPICAL WOOD WALL DETAILS FOR FRAMING AROUND OPENING THRU WOOD STUD BEARING WALL.
11. U.N.O., PROVIDE BEARING STUDS EQUAL TO THE PLIES IN HEADER.
12. U.N.O., PROVIDE KING STUDS AT EXTERIOR OPENINGS PER THE FOLLOWING:
    - A. 0'-0" < OPENING ≤ 5'-0" (1) STUD
    - B. 5'-0" < OPENING ≤ 8'-0" (2) STUDS
    - C. 8'-0" < OPENING ≤ 12'-0" (3) STUDS
    - D. 12'-0" < OPENING ≤ 16'-0" (4) STUDS
13. U.N.O PROVIDE KING STUDS AT INTERIOR OPENINGS PER THE FOLLOWING:
    - A. 0'-0" < OPENING ≤ 8'-0" (1) STUD
    - B. 8'-0" < OPENING ≤ 16'-0" (2) STUDS
14. WINDOW SILL PLATE: MATCH TYPICAL STUD WIDTH.
    - A. 0'-0" < OPENING ≤ 10'-0" (1) SILL PLATE
    - B. 10'-0" < OPENING ≤ 16'-0" (2) SILL PLATES



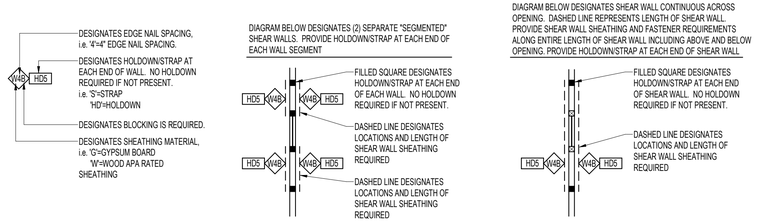
2 S-4.2 TYPICAL SINGLE-STORY WOOD SHEAR WALL CONSTRUCTION

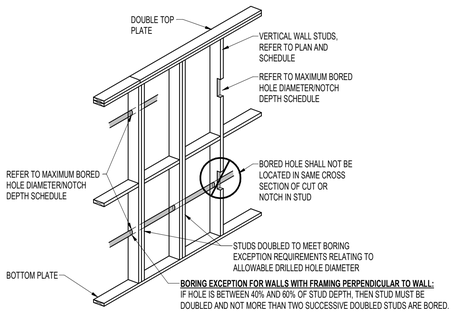
WOOD SHEAR WALL SCHEDULE

MARK	SHEATHING	SHEATHING ATTACHMENT	BLOCKING	RIM BOARD ATTACHMENT TO TOP PLATES BELOW	BOTTOM PLATE ATTACHMENT TO RIM BOARD BELOW	BOTTOM PLATE ATTACHMENT TO TOP PLATES/TRUSS BELOW	BOTTOM PLATE ATTACHMENT (FOUNDATION OR TOP OF POD/UM)	DRAG TRUSS LOAD [1]
ZS-3	ZIP SHEATHING R6 (1" INSULATION)	0.131" DIA NAILS (1 1/2" MIN. PENETRATION) AT 3"/12" o/c	YES	10d TOE-NAILS AT 6" o/c	16d NAILS AT 8" o/c	(2) 16d NAILS AT 16" o/c	5/8" DIA SIMPSON TITEN HD AT 4'-0" o/c (4 1/8" EMBED). MIN (2) PER WALL	1-SIDED = 234 PLF
GB	5/8" GYPSUM BOARD	No. 6 x 1 1/4" TYPE S OR W DRYWALL SCREWS AT 8"/12" o/c	NO	10d TOE-NAILS AT 6" o/c	16d NAILS AT 16" o/c	16d NAILS AT 16" o/c	5/8" DIA SIMPSON TITEN HD AT 4'-0" o/c (4 1/8" EMBED). MIN (2) PER WALL	1-SIDED = 70 PLF 2-SIDED = 140 PLF

SHEAR WALL SCHEDULE NOTES:
1. REFER TO STANDARD DETAILS FOR TYPICAL WOOD SHEAR WALL CONSTRUCTION.
2. REFER TO WOOD STUD BEARING WALL SCHEDULE FOR VERTICAL WALL STUD AND PLATE DESIGNATION AND SPACING. IF GYPSUM TOPPING IS TO BE PLACED PRIOR TO WALL SHEATHING, PROVIDE BLOCKING BETWEEN WALL STUDS FOR SHEATHING ATTACHMENT AT SHEAR WALLS. FASTEN BLOCKING TO CONTINUOUS BOTOM PLATE PER BOTTOM PLATE ATACHMENT SPECIFIED IN SHEAR WALL SCHEDULE. (BLOCKING TO BE FIELD INSTALLED AFTER BOTTOM PLATE FASTENED PER SHEAR WALL SCHEDULE.)
3. ALL SPECIFIED NAILS ARE COMMON NAIL SIZES. REFER TO GUN NAIL CONVERSION TABLE FOR ALLOWABLE GUN NAIL SUBSTITUTION.
4. BLOCKING IS REQUIRED BEHIND ALL APA RATED WOOD SHEATHING. FLAT 2x BLOCKING MAY BE USED FOR 8d NAILS ONLY.
5. 8d NAILS TO HAVE MINIMUM PENETRATION INTO FRAMING MEMBER OF 1 3/8"
6. 10d NAILS TO HAVE MINIMUM PENETRATION INTO FRAMING MEMBER OF 1 1/2"
7. SHEATHING ATTACHMENT, X"/X" CALL OUT REFERS TO EDGE SPACING/FIELD SPACING RESPECTIVELY. IF ONLY ONE SPACING IS PROVIDED, USE FOR EDGE AND FIELD.
8. TYPE S OR TYPE W DRYWALL SCREWS SHALL CONFORM TO ASTM C1002.
9. ANCHORS IN CONTACT w/ PRESERVATIVE-TREATED WOOD OR EXPOSED TO WEATHER SHALL BE MECHANICALLY OR HOT-DIPPED GALVANIZED.
10. END JOINTS OF GYPSUM SHEATHING PLACED PERPENDICULAR TO STUDS SHALL NOT OCCUR OVER THE SAME STUD. IT IS ACCEPTABLE AT ENDS OF SHEAR WALLS.
11. ALL FASTENER LENGTHS INDICATED ARE MINIMUM. COORDINATE LENGTH REQUIREMENTS (UL, ETC) w/ ARCHITECTURAL WALL TYPES.
12. PROVIDE MINIMUM (2) PLY END POST AT EACH END OF WALLS DESIGNATED AS SHEAR WALLS.
13. FOR DRAG TRUSS LOADS, "1-SIDED" AND "2-SIDED" REFERS TO NUMBER OF SIDES OF SHEAR WALL SHEATHING INDICATED FOR WALL SEGMENT ON FRAMING PLAN.

SHEAR WALL MARK/HOLDOWN KEY:

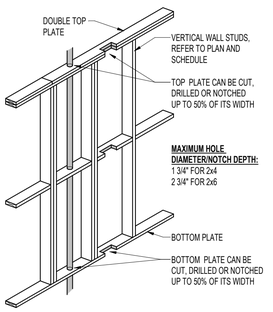




MAXIMUM BORED HOLE DIAMETER / NOTCH DEPTH SCHEDULE			
STUD SIZE	WALL USAGE	MAX HOLE DIAMETER	MAX NOTCH DEPTH
2x4	INTERIOR STRUCTURAL WALLS (FRAMING PARALLEL TO WALL)	2 1/8"	1 3/8"
2x4	INTERIOR STRUCTURAL WALLS (FRAMING PERPENDICULAR TO WALL)	1 3/8"	7/8"
2x4	ALL EXTERIOR WALLS	1 3/8"	7/8"
2x6	INTERIOR STRUCTURAL WALLS (FRAMING PARALLEL TO WALL)	3 1/4"	2 3/16"
2x6	INTERIOR STRUCTURAL WALLS (FRAMING PERPENDICULAR TO WALL)	2 3/16"	1 3/8"
2x6	ALL EXTERIOR WALLS	2 3/16"	1 3/8"

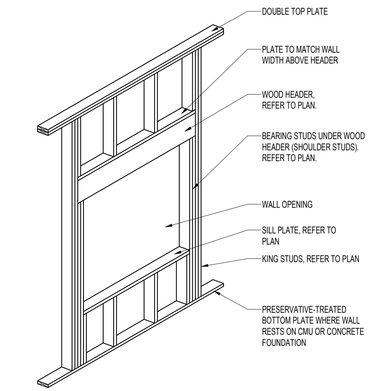
NOTES:
1. MAX HOLE SIZES PER IBC SECTIONS 2308.5.9 AND 2308.5.10.
2. EDGE OF HOLE SHALL NOT BE LESS THAN 5/8" FROM EDGE OF STUD.
3. STRUCTURAL WALLS INCLUDE EXTERIOR WALLS, INTERIOR SHEAR WALLS, INTERIOR CORRIDOR WALLS, AND ALL OTHER INTERIOR WALLS WITH FRAMING PERPENDICULAR TO WALL.
4. IF HOLES ARE REQUIRED LARGER THAN THESE MAXIMUM ALLOWABLE SIZES, CONTACT SEOR.

3 S-4.2 MAXIMUM ALLOWABLE PENETRATION WIDTHS IN STRUCTURAL WALLS - STUDS

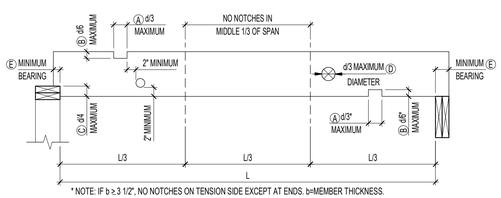


NOTE: IF HOLES OR NOTCHES ARE REQUIRED LARGER THAN THESE MAXIMUM ALLOWABLE SIZES, CONTACT SEOR.

4 S-4.2 MAXIMUM ALLOWABLE PENETRATION WIDTHS IN STRUCTURAL WALLS - TOP AND BOTTOM PLATES



5 S-4.2 TYPICAL FRAMING AROUND AN OPENING IN A WOOD STUD BEARING WALL

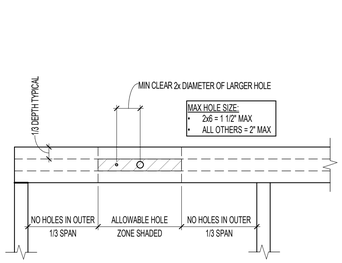


* NOTE: IF b ≥ 3 1/2", NO NOTCHES ON TENSION SIDE EXCEPT AT ENDS. b=MEMBER THICKNESS.

JOIST SIZE	Ⓐ MAXIMUM NOTCH LENGTH	Ⓑ MAXIMUM NOTCH DEPTH	Ⓒ MAXIMUM END NOTCH DEPTH	Ⓓ MAXIMUM HOLE DEPTH	Ⓔ MINIMUM (1) BEARING LENGTH	
2x6	1 13/16"	7/8"	1 3/8"	1 13/16"	1 1/2"	3"
2x8	2 3/8"	1 3/16"	1 13/16"	2 3/8"	1 1/2"	3"
2x10	3 1/16"	1 1/2"	2 5/16"	3 1/16"	1 1/2"	3"
2x12	3 3/4"	1 7/8"	2 13/16"	3 3/4"	1 1/2"	3"

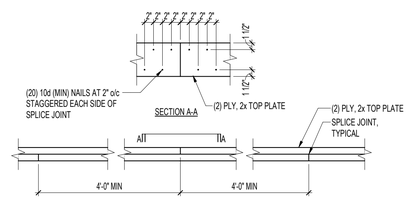
NOTES:
1. MINIMUM BEARING: 1 1/2" ON WOOD OR STEEL; 3" ON CONCRETE OR MASONRY.

6 S-4.2 ALLOWABLE NOTCHES AND HOLES IN SAWN LUMBER JOISTS



NOTES:
1. ALLOWABLE HOLE ZONE SHOWN IS ONLY FOR UNIFORMLY LOADED BEAMS.
2. RECTANGULAR HOLES ARE NOT ALLOWED.
3. DO NOT PLACE HOLES IN CANTILEVER BEAMS WITHOUT STRUCTURAL ENGINEER'S PRIOR APPROVAL.
4. PRIOR TO ANY HOLES BEING ADDED, STRUCTURAL ENGINEER SHALL BE NOTIFIED IF PROPOSED HOLES DO NOT MEET THE SCHEMATIC CRITERIA.

7 S-4.2 ALLOWABLE HOLES IN LVL/PSL BEAMS



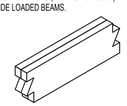
8 S-4.2 TOP PLATE SPLICE DETAIL

1 3/4" WIDE PIECES:
1. MINIMUM OF (2) ROWS 12d (3 1/4") COMMON NAILS AT 12" o/c.
2. MINIMUM OF (3) ROWS 12d (3 1/4") COMMON NAILS AT 12" o/c FOR 14", 16", 18", AND 20" BEAMS.
3. NAILED CONNECTIONS REQUIRE AN ADDITIONAL ROW OF NAILS WHEN NAIL SIZE IS SMALLER THAN SPECIFIED ABOVE (MINIMUM 0.128"x3")
4. LOAD MUST BE APPLIED EVENLY ACROSS ENTIRE BEAM WIDTH, OTHERWISE, USE CONNECTION FOR SIDE LOADED BEAMS.

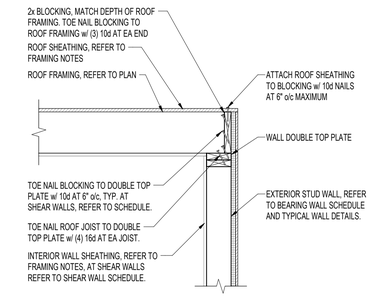
3 1/2" WIDE PIECES:
1. MINIMUM OF (2) ROWS 1/2" BOLTS AT 24" o/c, STAGGERED.

FOR ALL OTHER TWO PIECE, CONTINUOUS HEADERS, PROVIDE 16d COMMON NAILS AT 16" o/c ALONG EACH EDGE, UNLESS NOTED OTHERWISE.

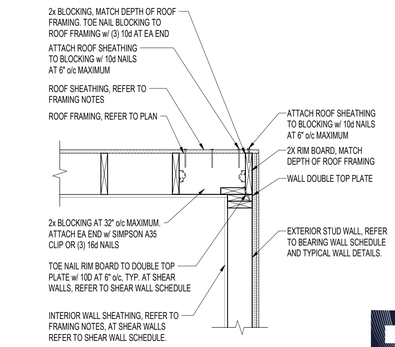
NOTE:
MULTIPLE PIECES OF MICROLAM LVL OR TIMBERSTRAND LSL CAN BE NAILED OR BOLTED TOGETHER TO FORM A HEADER OR BEAM OF THE REQUIRED SIZE, UP TO A MAXIMUM OF 7"



9 S-4.2 MULTIPLE MEMBER CONNECTION (TOP LOAD BEAMS)



10 S-4.2 ROOF FRAMING AT EXTERIOR WALL



11 S-4.2 ROOF JOIST AT EXTERIOR WALLS

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SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION

A.C.E. JOB NO.	
DATE:	08-19-2024
DRAWN BY:	PE
SCALE:	As indicated

STRUCTURAL DETAILS

SHEET
S-4.2

PIERCE ENGINEERS, INC.
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Milwaukee, WI 53202
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PE Project: 240407

IBC 2015 TABLE 2304.10.1 MINIMUM FASTENING SCHEDULE, UNO

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF		
1. BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	(3) 8d COMMON (2 1/2" x 0.131"); OR (3) 10d BOX (3" x 0.128"); OR (3) 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	EACH END, TOENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATE, TO RAFTER OR TRUSS	(2) 8d COMMON (2 1/2" x 0.131") (2) 3" x 0.131" NAILS (2) 3" x 14 GAGE STAPLES	EACH END, TOENAIL
	(2) 16d COMMON (3 1/2" x 0.162") (3) 3" x 0.131" NAILS (3) 3" x 14 GAGE STAPLES	END NAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON (3 1/2" x 0.162") AT 6" o/c 3" x 0.131" NAILS AT 6" o/c 3" x 14 GAGE STAPLES AT 6" o/c	FACE NAIL
2. CEILING JOISTS TO TOP PLATE	(3) 8d COMMON (2 1/2" x 0.131"); OR (3) 10d BOX (3" x 0.128"); OR (3) 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	EACH JOIST, TOENAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (NO THRUST). (SEE SECTION 2308.7.3.1, TABLE 2308.7.3.1)	(3) 16d COMMON (3 1/2" x 0.162"); OR (4) 10d BOX (3" x 0.128"); OR (4) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION 2308.7.3.1, TABLE 2308.7.3.1)	PER TABLE 2308.7.3.1	FACE NAIL
5. COLLAR TIE TO RAFTER	(3) 10d COMMON (3" x 0.148"); OR (4) 10d BOX (3" x 0.128"); OR (4) 3" x 0.131" NAILS; OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
6. RAFTER TO ROOF TRUSS TO TOP PLATE (SEE SECTION 2308.7.5, TABLE 2308.7.5)	(3) 10d COMMON (3" x 0.148"); OR (3) 16d BOX (3 1/2" x 0.135"); OR (4) 10d BOX (3" x 0.128"); OR (4) 3" x 0.131" NAILS; OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	TOENAIL [c]
7. ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO (2) INCH RIDGE BEAM	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (3" x 0.128"); OR (3) 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	END NAIL
	(3) 10d COMMON (3 1/2" x 0.148"); OR (3) 16d BOX (3 1/2" x 0.135"); OR (4) 10d BOX (3" x 0.128"); OR (4) 3" x 0.131" NAILS; OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	TOENAIL
WALL		
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162")	24" o/c FACE NAIL
	10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	16" o/c FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162")	16" o/c FACE NAIL
	16d BOX (3 1/2" x 0.135")	12" o/c FACE NAIL
	3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	12" o/c FACE NAIL
10. BUILT-UP HEADER (2" TO 2" HEADER)	16d COMMON (3 1/2" x 0.162")	16" o/c EACH EDGE, FACE NAIL
	16d BOX (3 1/2" x 0.135")	12" o/c EACH EDGE, FACE NAIL
11. CONTINUOUS HEADER TO STUD	(4) 8d COMMON (2 1/2" x 0.131"); OR (4) 10d BOX (3" x 0.128")	TOENAIL
12. TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" x 0.162")	16" o/c FACE NAIL
	10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	12" o/c FACE NAIL
13. TOP PLATE TO TOP PLATE, AT END JOINTS	(8) 16d COMMON (3 1/2" x 0.162"); OR (12) 10d BOX (3" x 0.128"); OR (12) 3" x 0.131" NAILS; OR (12) 3" x 14 GAGE STAPLES, 7/16" CROWN	EACH SIDE OF END JOINT, FACE NAIL (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162")	16" o/c FACE NAIL
	16d BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS; OR 3" x 14 GAGE STAPLES, 7/16" CROWN	12" o/c FACE NAIL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 16d BOX (3 1/2" x 0.135"); OR (4) 3" x 0.131" NAILS; OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	16" o/c FACE NAIL
16. STUD TO TOP OR BOTTOM PLATE	(4) 8d COMMON (2 1/2" x 0.131"); OR (4) 10d BOX (3" x 0.128"); OR (4) 3" x 0.131" NAILS; OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	TOENAIL
	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (3" x 0.128"); OR (3) 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	END NAIL
17. TOP OR BOTTOM PLATE TO STUD	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (3" x 0.128"); OR (3) 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	END NAIL
18. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (3" x 0.128"); OR (3) 3" x 0.131" NAILS; OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
19. 1" BRACE TO EACH STUD AND PLATE	(2) 8d COMMON (2 1/2" x 0.131"); OR (2) 10d BOX (3" x 0.128"); OR (2) 3" x 0.131" NAILS; OR (2) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
20. 1" x 6" SHEATHING TO EACH BEARING	(2) 8d COMMON (2 1/2" x 0.131"); OR (2) 10d BOX (3" x 0.128")	FACE NAIL
21. 1" x 8" AND WIDER SHEATHING TO EACH BEARING	(3) 8d COMMON (2 1/2" x 0.131"); OR (3) 10d BOX (3" x 0.128")	FACE NAIL

IBC 2015 TABLE 2304.10.1 MINIMUM FASTENING SCHEDULE, UNO

WOOD STRUCTURAL PANELS (WSP), SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING [a]

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
31. 3/8" - 1/2"	6d COMMON OR DEFORMED (2" x 0.113") (SUBFLOOR AND WALL)	6	12
	8d BOX OR DEFORMED (2 1/2" x 0.113") (ROOF)	6	12
	2 3/8" x 0.113" NAIL (SUBFLOOR AND WALL)	6	12
	1 3/4" x 16 GAGE STAPLES, 7/16" CROWN (SUBFLOOR AND WALL)	4	8
	2 3/8" x 0.113" NAIL (ROOF)	4	8
	1 3/4" x 16 GAGE STAPLES, 7/16" CROWN (ROOF)	3	6
32. 19/32" - 3/4"	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2" x 0.113")	6	12
	2 3/8" x 0.113" NAIL; OR 2" x 16 GAGE STAPLES, 7/16" CROWN	4	8
33. 7/8" - 1 1/4"	10d COMMON (3" x 0.148"); OR 8d DEFORMED (2 1/2" x 0.131")	6	12
OTHER EXTERIOR WALL SHEATHING			
34. 1/2" FIBERBOARD SHEATHING [b]	1 1/2" GALVANIZED ROOFING NAIL (7/16" DIAMETER HEAD); OR 1 1/4" x 16 GAGE STAPLES w/ 7/16" CROWN OR 1" CROWN	3	6
35. 25/32" FIBERBOARD SHEATHING [b]	1 3/4" GALVANIZED ROOFING NAIL (7/16" DIAMETER HEAD); OR 1 1/2" x 16 GAGE STAPLES w/ 7/16" CROWN OR 1" CROWN	3	6
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
36. 3/4" AND LESS	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2" x 0.113")	6	12
37. 7/8" - 1"	8d COMMON (2 1/2" x 0.131"); OR 8d DEFORMED (2 1/2" x 0.131")	6	12
38. 1 1/8" - 1 1/4"	10d COMMON (3" x 0.148"); OR 8d DEFORMED (2 1/2" x 0.131")	6	12
PANEL SIDING TO FRAMING			
39. 1/2" AND LESS	6d CORROSION-RESISTANT SIDING (1 7/8" x 0.106"); OR 6d CORROSION-RESISTANT CASING (2" x 0.099")	6	12
40. 5/8"	8d CORROSION-RESISTANT SIDING (2 3/8" x 0.128"); OR 8d CORROSION-RESISTANT CASING (2 1/2" x 0.113")	6	12
INTERIOR PANELING			
41. 1/4"	4d CASING (1 1/2" x 0.080"); OR 4d FINISH (1 1/2" x 0.072")	6	12
42. 3/8"	6d CASING (2" x 0.099"); OR 6d FINISH (PANEL SUPPORTS AT 24 INCHES)	6	12

MINIMUM FASTENER SCHEDULE NOTES:

[a] NAILS SPACED AT 6 INCHES AT INTERMEDIATE SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.

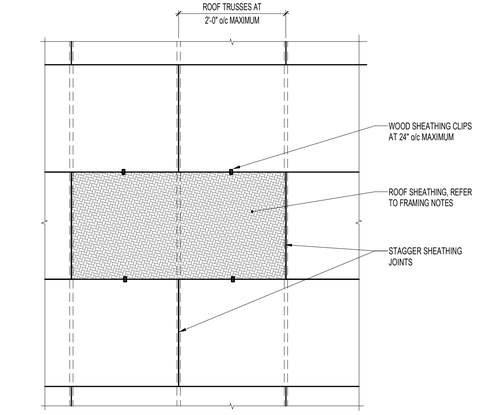
[b] SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

[c] WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

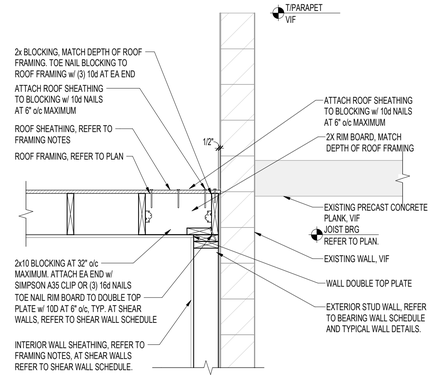
WOOD GUN NAIL CONVERSION

USE	SPECIFIED COMMON NAILS	GUN NAIL EQUIVALENT
FLOOR & ROOF SHEATHING	10d AT 6" o/c	0.131"x3" AT 4" o/c
SHEAR WALLS: TYPE "W6B"	10d AT 6" o/c	0.131"x3" AT 4" o/c
	8d AT 6" o/c	0.131"x3" AT 6" o/c
SHEAR WALLS: TYPE "W4B"	10d AT 4" o/c	0.131"x3" AT 3" o/c
	8d AT 4" o/c	0.131"x3" AT 4" o/c
TYPICAL FASTENER CONDITIONS	(2) 10d OR (2) 16d	(3) 0.131"x3"
	(3) 10d OR (3) 16d	(4) 0.131"x3"
	(4) 10d OR (4) 16d	(6) 0.131"x3"
	10d AT 6" o/c	0.131"x3" AT 4" o/c
	16d AT 16" o/c	0.131"x3" AT 12" o/c
	16d AT 12" o/c	0.131"x3" AT 8" o/c

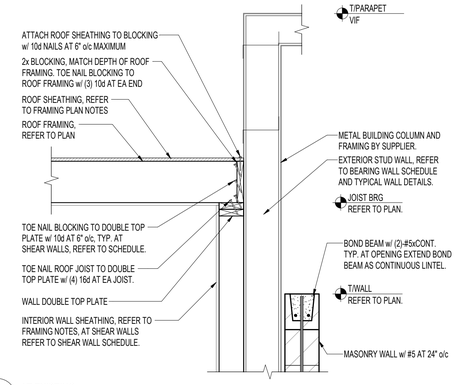
GUN NAIL CONVERSION SCHEDULE NOTES:
1. REFER TO MINIMUM FASTENING SCHEDULE FOR ITEMS NOT COVERED HERE.
2. MINIMUM PENETRATION INTO BASE WOOD MEMBER = 1 1/2".
3. GUN NAILS SHALL HAVE FULL ROUND HEADS.



1 S-4.3 TYPICAL ROOF SHEATHING LAYOUT



2 S-4.3 AT EXISTING



3 S-4.3 AT EXISTING

No.	REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3510 SOUTH 26TH STREET | MANITOWOC, WISCONSIN 54220
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SUPERVISING PROFESSIONAL:
Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE

PROJECT INFORMATION:
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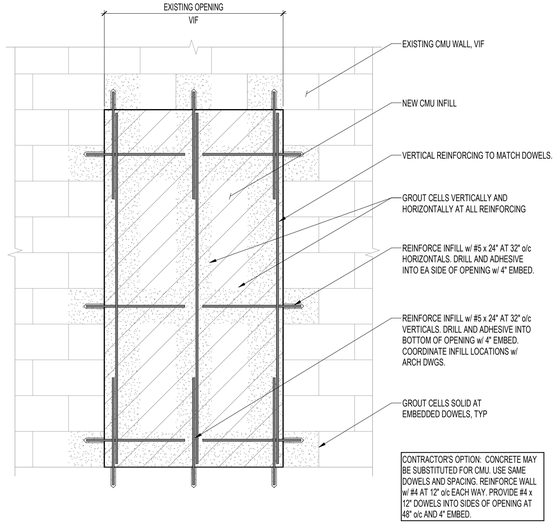
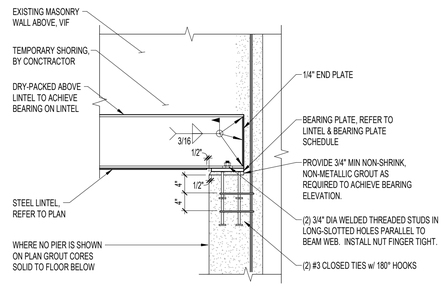


1 S-4.4 TYPICAL LOAD BEARING CMU WALL INFILL

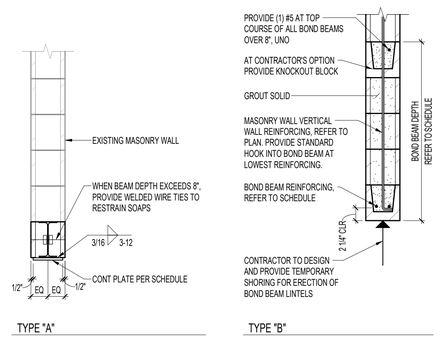


2 S-4.4 STEEL LINTEL BEARING ON EXISTING MASONRY WALL

LOAD BEARING LINTEL SCHEDULE

MARK	TYPE	BEAM SIZE OR BOND BEAM DEPTH	CONT PLATE THICKNESS	BOND BEAM BOTTOM REINF. UNO	STIRRUPS	BEARING PLATE SIZE	REMARKS
L1	A	W16x26	5/16"	--	--	3/8"x6"x0'-8" w/ (2) 1/2" DIA x 10" HEADED STUDS AT 5" GAGE	
L2	SEE PLAN	W16x31	--	--	--	--	
L3	SEE PLAN	W8x10	--	--	--	--	
L4	B	8"	--	(2) #5	--		

LOAD BEARING LINTEL SCHEDULE NOTES:
1. UNLESS STEEL LINTEL BEAM CONNECTS TO A COLUMN, PROVIDE 8" BEARING AT EACH END OF LINTEL.
2. EXTEND BOND BEAM REINFORCING 30" PAST OPENING EXTENTS. REINFORCING THAT CANNOT ACHIEVE 30" PAST OPENING SHALL TERMINATE IN A 180° HOOK AND EXTEND AT LEAST 18" PAST OPENING. NOTIFY ENGINEER IF THIS CANNOT BE ACHIEVED.
3. DO NOT INSTALL CONTROL JOINT WITHIN BOND BEAM REINFORCING EXTENTS.
4. EXTERIOR LINTELS TO BE HOT DIPPED GALVANIZED, UNLESS NOTED OTHERWISE. WHERE ARCH DRAWINGS CALL OUT PAINTED LINTELS, COORDINATE PREP AND CLEAN LINTEL FOR PAINTING AFTER GALVANIZING WITH ARCHITECT AND PAINTING CONTRACTOR.
5. REFER TO ARCH DRAWINGS FOR OPENING LOCATIONS, ELEVATIONS, AND SIZES.
6. REFER TO TYPICAL DETAILS FOR ADDITIONAL INFORMATION.
7. GROUT CONCRETE MASONRY UNITS SOLID FULL HEIGHT AND LENGTH OF BOND BEAM LINTEL.



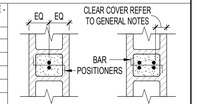
NON-LOAD BEARING INTERIOR MASONRY WALL REINFORCING SCHEDULE

CLEAR HEIGHT	WALL THICKNESS	VERTICAL REINFORCEMENT & SPACING	REMARKS
H ≤ 8'-0"	8"	#5 AT 24" o/c MAX. CENTERED	

NON-LOAD BEARING INTERIOR MASONRY WALL REINFORCING SCHEDULE NOTES:
1. WALLS THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS ARE CONSIDERED NON-LOAD BEARING. REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALL LOCATIONS AND DIMENSIONS.
2. REFER TO ARCHITECTURAL DRAWINGS FOR OPENING LOCATIONS, ELEVATIONS, AND SIZES.
3. GROUT CONCRETE MASONRY UNITS SOLID FULL HEIGHT OF BUILDING AT REINFORCEMENT LOCATIONS.
4. UNLESS NOTED OTHERWISE, PROVIDE #4 x 16" LONG DOWELS WITH 3" ADHESIVE EMBED INTO LOWER CONCRETE SUPPORT. SPACING TO MATCH VERTICAL WALL REINFORCING.
5. REFER TO DETAIL SHEETS FOR TOP OF WALL BRACING.
6. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF SOLIDLY GROUTED WALLS.

MASONRY (CMU) REINFORCEMENT DEVELOPMENT AND LAP SPLICE SCHEDULE

BAR SIZE	CENTERED						CLEAR COVER - EACH FACE - ALL BLOCK - ASD	
	6" BLOCK	8" BLOCK	10" BLOCK	12" BLOCK	14" BLOCK	16" BLOCK	1 1/2"	2"
#3	12"	12"	12"	12"	12"	12"	15"	12"
#4	16"	12"	12"	12"	12"	12"	26"	20"
#5	25"	18"	14"	12"	12"	12"	41"	31"
#6	47"	34"	26"	21"	18"	17"	77"	58"
#7	---	47"	36"	29"	25"	22"	104"	78"
#8	---	71"	55"	45"	38"	32"	156"	117"
#9	---	---	70"	57"	48"	41"	198"	149"

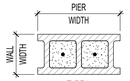


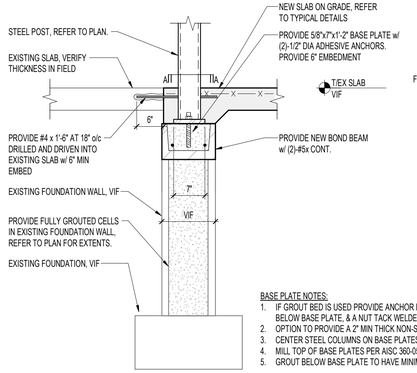
MASONRY (CMU) REINFORCING DEVELOPMENT AND LAP SPLICE SCHEDULE NOTES:
1. ***THIS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT INTENDED TO COVER ALL SITUATIONS. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL REQUIRED LAP LENGTHS.***
2. VALUES IN THIS SCHEDULE ARE BASED ON NORMAL WEIGHT MASONRY BLOCK, f'm = 2,500 psi.
3. LOCATE BAR POSITIONERS AT SPLICES, TOP AND BOTTOM OF WALLS, AND AT INTERVALS NOT EXCEEDING 8'-0".
4. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER CURRENT ADDITION OF TMS 402/ACI 530.

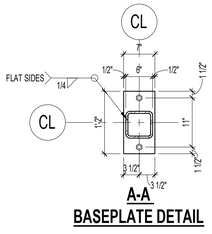
MASONRY PIER SCHEDULE

MARK	SIZE	VERTICAL REINFORCEMENT	PIER TIES	TYPE MARK	REMARKS
MP1	8"xWALL WIDTH	(1) #5	--	I	
MP2	16"xWALL WIDTH	(2) #5	--	I	
MP3-E	16"xWALL WIDTH	(1) #4	--	I	REFER TO DETAIL 2/S4.4

MASONRY PIER SCHEDULE NOTES:
1. AT TOP OF MASONRY PIER SUPPORTING STEEL BEAM, PROVIDE (2) #3 CLOSED TIES w/ 180° HOOKS MINIMUM. PROVIDE FIRST TIE BELOW TOP OF WALL, PIER, BEAM BEARING, ROOF AND/OR FLOOR SLAB AT HALF THE REQUIRED TIE SPACING INDICATED.
2. GROUT CONCRETE MASONRY UNITS SOLID FOR FULL HEIGHT AND CROSS SECTION OF PIERS.
3. PROVIDE DOWELS INTO CONCRETE FOOTING TO MATCH VERTICAL MASONRY WALL REINFORCEMENT. DOWELS TO TERMINATE IN STANDARD 90° HOOK IN FOOTING.
4. CENTER MASONRY PIER BELOW BEAM ABOVE UNLESS DETAILED OTHERWISE.
5. PROVIDE FIRST TIE ABOVE TOP OF FOOTING AT HALF THE REQUIRED TIE SPACING INDICATED.
6. TIES SHALL BE PLACED IN THE GROUT AND NOT THE MORTAR JOINT.
7. CONTRACTORS OPTION TO USE PREFORMED COLUMN AND PILASTER SHAPES IN LIEU OF STANDARD BLOCK SHAPE COURSING INDICATED.
8. REFER TO GENERAL NOTES FOR CLEAR COVER REQUIREMENTS.



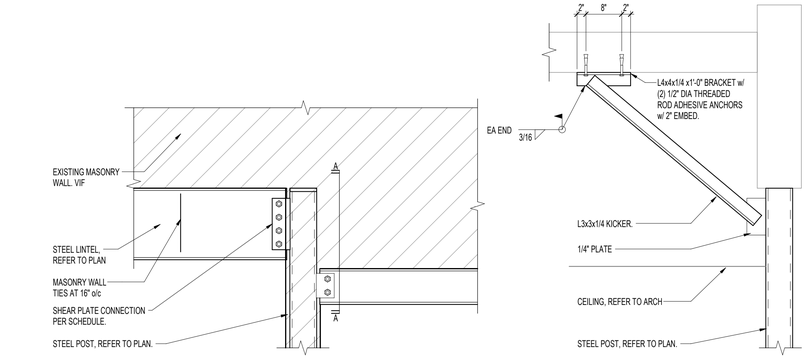




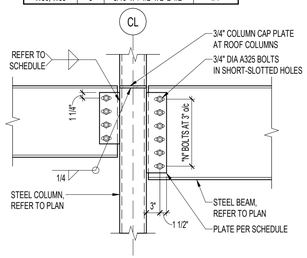
BASE PLATE NOTES:
1. IF GROUT BED IS USED PROVIDE ANCHOR BOLTS w/ A NUT & WASHER ABOVE BASE PLATE. LEVELING NUT & WASHER BELOW BASE PLATE, & A NUT TACK WELDED AT EMBEDDED END UNLESS NOTED OTHERWISE.
2. OPTION TO PROVIDE A 2" MIN THICK NON-SHRINK, NON-METALLIC GROUT BED BELOW BASE PLATE.
3. CENTER STEEL COLUMNS ON BASE PLATES AND PIERS/FOOTINGS, UNLESS NOTED OTHERWISE.
4. MILL TOP OF BASE PLATES PER AISC 360-05, SEC M2.8 IF FLATNESS TOLERANCE IS EXCEEDED.
5. GROUT BELOW BASE PLATE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 8,000 psi.

3 S-4.4 STEEL POST AT EXISTING

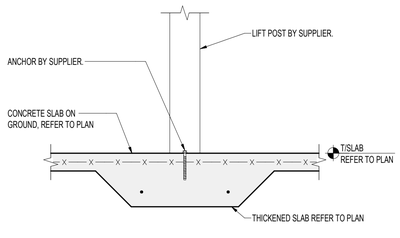
BEAM DEPTH	N	PLATE	WELD
W8, W10	2	5/16" x 4 1/2" x 0'-5 1/2"	1/4"
W12, W14	3	5/16" x 4 1/2" x 0'-8 1/2"	1/4"
W16	4	5/16" x 4 1/2" x 0'-11 1/2"	1/4"
W18	5	5/16" x 4 1/2" x 1'-2 1/2"	1/4"
W21	6	5/16" x 4 1/2" x 1'-5 1/2"	1/4"
W24	7	5/16" x 4 1/2" x 1'-8 1/2"	1/4"
W27	8	5/16" x 4 1/2" x 1'-11 1/2"	1/4"
W30, W33	9	5/16" x 4 1/2" x 2'-2 1/2"	1/4"



4 S-4.4 STEEL LINTEL w/ COLUMN



5 S-4.4 TYPICAL SHEAR PLATE CONNECTION



7 S-4.4 LIFT ON THICKENED SLAB

No.	REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3510 SOUTH 26TH STREET | MANITOWOC, WISCONSIN 54220
PHONE 920-682-6105 | WWW.ACEBUILDINGSERVICE.COM
SUPERVISING PROFESSIONAL:
Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

SHEET INFORMATION

A.C.E. JOB NO.	
DATE:	08-19-2024
DRAWN BY:	PE
SCALE:	As indicated

STRUCTURAL DETAILS

SHEET
S-4.4

PIERCE ENGINEERS, INC.
161 N. Broadway Ave
Milwaukee, WI 53202
414.278.6060
www.pierceengineers.com
PE Project: 240407

DRAFT

BENCHMARK:
HYDRANT FLANGE BOLT
598.84

15TH ST.

INLET
FL: 595.60
12" CONC. N: 589.60
12" CONC. W: 589.60

EDGE OF PAVEMENT

N 89°48'50" E 180.56'

P/L

EXISTING CONCRETE

FUEL TANK ACCESS COVERS

CANOPY

GAS PUMPS

EXISTING ASPHALT

EXISTING BUILDING

EXISTING GUARD RAIL

ELECTRIC MARKINGS SUGGEST THAT SEVERAL LINES CROSS THIS AREA

GRASS AREA

EXISTING BUILDING
FFE: 597 +/-
(CONTRACTOR TO VERIFY)

EXISTING BUILDING

SIDEWALK

EXISTING BUILDING

WASHINGTON ST.

EDGE OF PAVEMENT

N 00°41'42" W 130.70'

S 89°48'50" W 120.38'

N 00°41'42" W 53.94'

S 00°41'42" E 108.88'

S 46°46'06" W 21.68'

EAST RIVER ST.

INLET
FL: 595.82
12" PVC N: 593.57

EDGE OF PAVEMENT

20'

EXISTING GUARD RAIL

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

GRAPHIC SCALE
0 10 20

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINTS ON 6/19/2024.

4. DATUM FOR THE PROJECT SURVEY IS WGS 84. BENCHMARK FOR THE PROJECT SURVEY IS HYDRANT PUMPER NOZZLE, AT NORTHWEST CORNER OF 15TH STREET AND JEFFERSON STREET, AND HYDRANT FLANGE BOLT, AT NORTHWEST CORNER OF 15TH STREET AND WASHINGTON STREET..

5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

LEGEND:

	SECTION 1/4 SECTION LINE
	PROPERTY LINE
	EASEMENT
	CHAIN LINK FENCE
	GUARD RAIL
	METAL FENCE
	WOOD FENCE
	TREE LINE
OH	OVERHEAD UTILITY LINE
E	ELECTRIC
T	TELEPHONE
FO	FIBER OPTIC
CTV	CABLE TV
SAN	SANITARY SEWER
FS	FORCE MAIN
ST	STORM SEWER
W	WATER MAIN
G	GAS
670	EXISTING CONTOUR
WET	WETLAND
FP	FLOODPLAIN
UNKNOWN MANHOLE	IRON PIPE FOUND/SET
SANITARY MANHOLE	REBAR FOUND/SET
STORM MANHOLE	CHISELED CROSS FOUND/SET
ELECTRIC MANHOLE	PK NAIL FOUND/SET
MMSD MANHOLE	SPIKE/NAIL
TELEPHONE MANHOLE	MONUMENT
CLEANOUT	BENCHMARK
CATCH BASIN	SIGN
CATCH BASIN (ROUND)	PARKING METER
ROOF DRAIN	FLAG POLE
CULVERT END	DECIDUOUS TREE
HYDRANT	CONIFEROUS TREE
WATER VALVE	BUSH
GAS VALVE	POST
GAS METER	SOIL BORING
ELECTRIC METER	TRAFFIC SIGNAL
UTILITY PEDESTAL	LIGHT POLE
HANDHOLE	UTILITY POLE
VENT	GUY WIRE
MONITORING WELL	GUY POLE

SITE SURVEY

REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'

SHEET
C000

16:27 PFINN C000 23094

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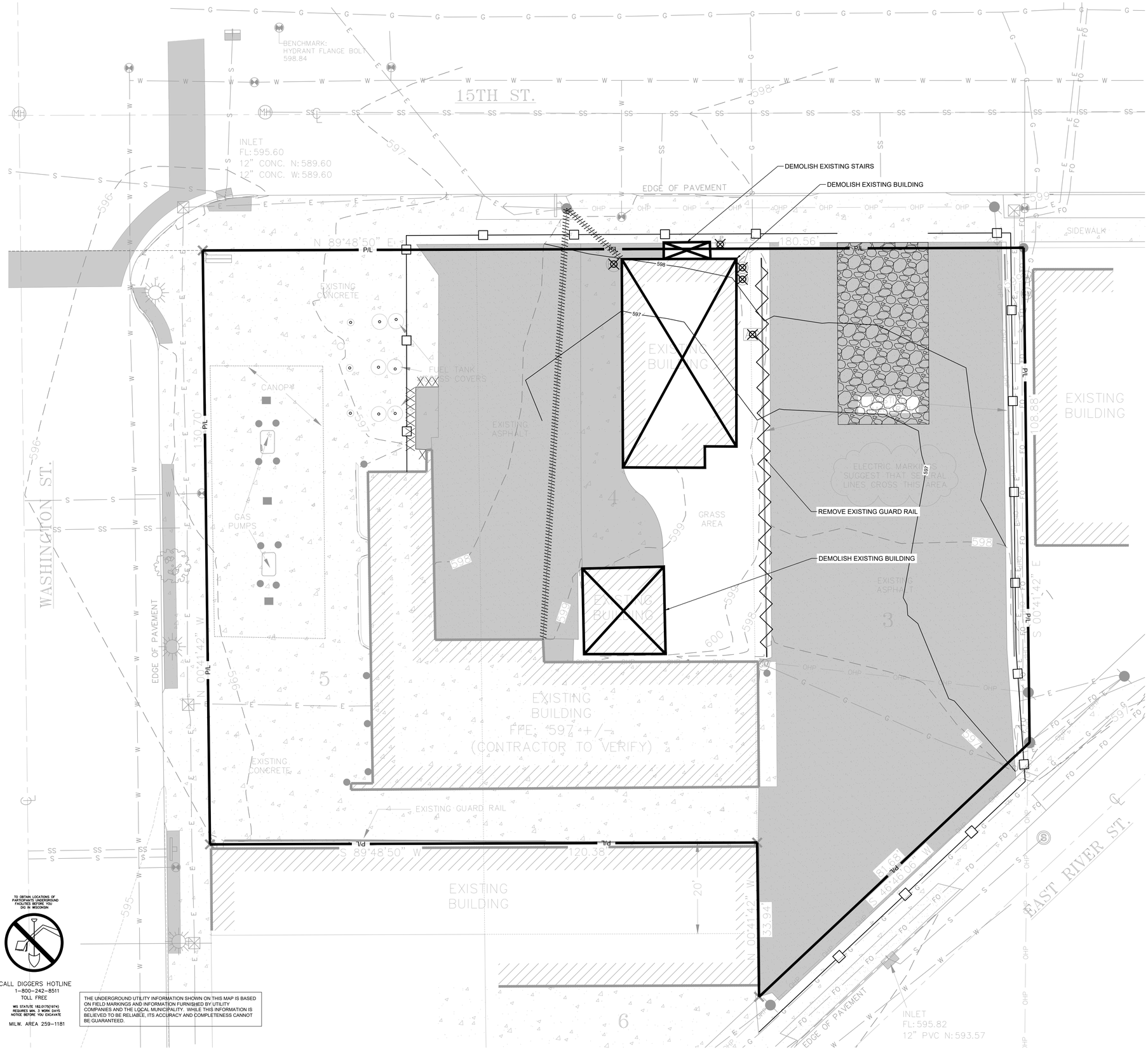
DRAFT



GRAPHIC SCALE
0 32.81 65.62

GENERAL NOTES:

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2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

LEGEND:

- A / C400 — PROPOSED SEDIMENT LOG
- B / C400 — PROPOSED TRACKING PAD
- EXISTING CONTOUR
- 5 — PROPOSED CONTOUR
- UTILITY REMOVAL
- SAWCUT
- STRUCTURE REMOVAL
- REMOVE AND REPLACE EXISTING PAVEMENT

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MILW. AREA 259-1181

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SITE PREPARATION & EROSION CONTROL PLAN

REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'

SHEET
C100

16:27 PFINN C100 23094

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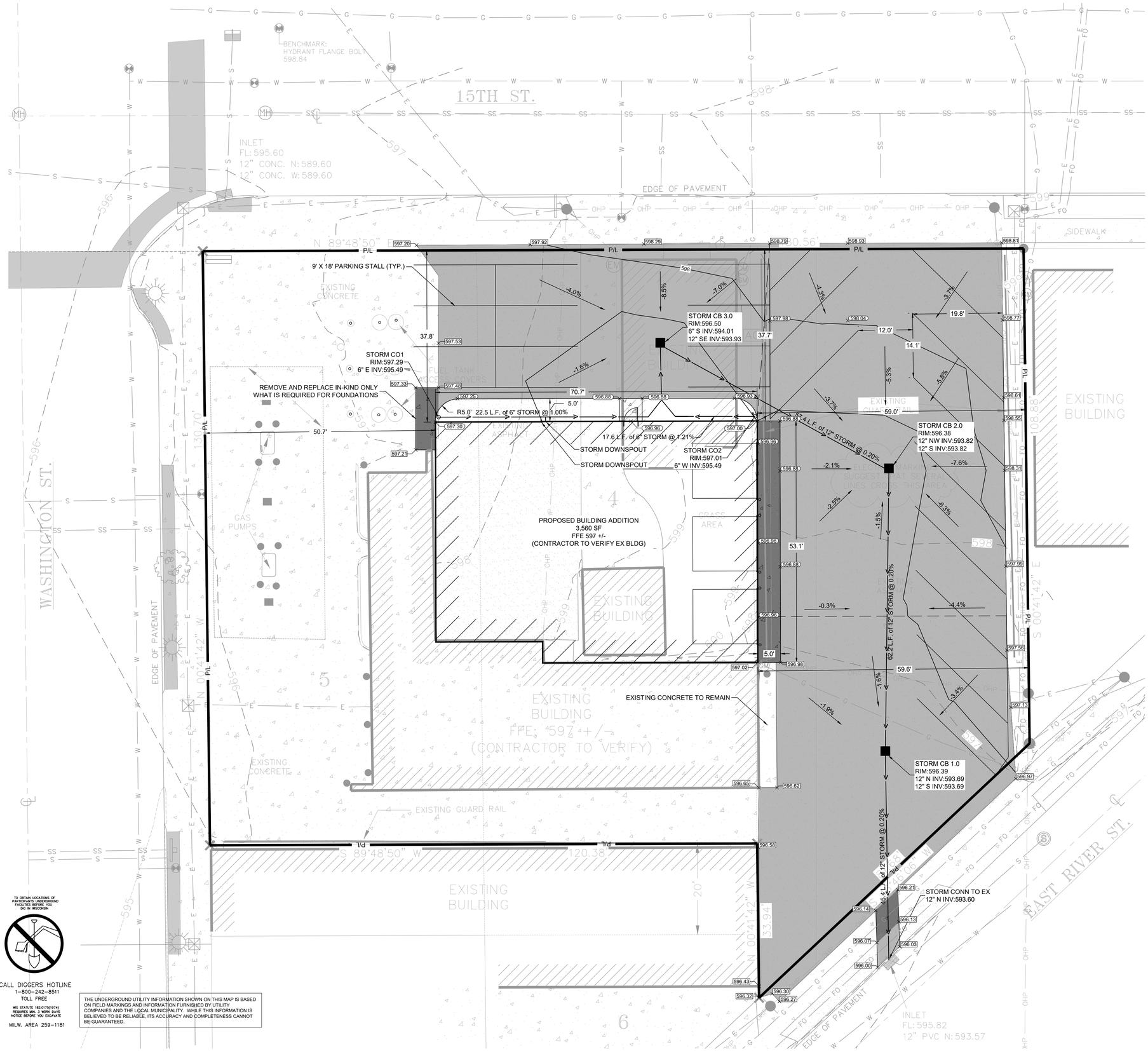

SITE INFORMATION			
SITE AREA	23964	0.550 AC	
SITE DISTURBED AREA	14117	0.324 AC	
EXISTING IMPERVIOUS AREA	21896	0.503 AC	91.4 %
PROPOSED IMPERVIOUS AREA	23168	0.532 AC	96.7 %
TOTAL PARKING SPACES	18		
ADA PARKING SPACES	----		

GRAPHIC SCALE
0 10 20

GENERAL NOTES:

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2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

LEGEND:

- C C400 — 5" THICK CONCRETE WALK
- D C400 — CONCRETE PAVEMENT
- E C400 — ASPHALT SURFACE
- 5 — EXISTING CONTOUR
- 5 — PROPOSED CONTOUR
- PROPOSED GRADE BREAK
- 100.00 — PROPOSED SURFACE SPOT GRADE
- 100.00 — EXISTING SURFACE SPOT GRADE (MATCH)
- PROPOSED STORM SEWER
- F C400 — PROPOSED STORM INLET

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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MILW. AREA 259-1181

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SITE IMPROVEMENT PLAN

REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
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PHONE: 920-682-0105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'

SHEET
C200

16:27 PFINN C200 23094

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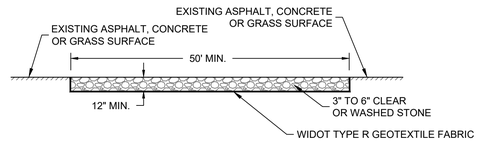
DRAFT

EROSION CONTROL NOTES:

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
8. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
9. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
10. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
12. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
13. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
14. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
15. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
16. NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
17. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
18. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
19. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
20. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
21. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
22. WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
23. CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
24. PERMAMENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
25. IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

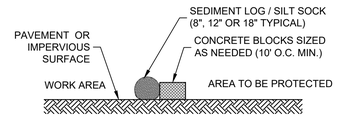
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCING.
3. INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
4. DEMOLISH EXISTING STRUCTURES AS NOTED ON PLAN.
5. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
6. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
7. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
8. INSTALL PAVEMENTS.
9. STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
10. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.



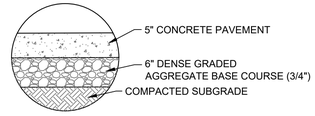
GENERAL NOTE:

1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

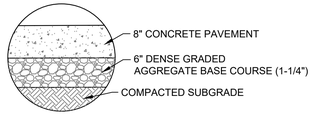
A CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE:NTS



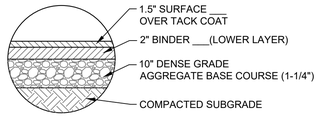
B SEDIMENT LOG - SILT SOCK ON PAVEMENT
SCALE:NTS



C CONCRETE SIDEWALK SECTION
SCALE:NTS

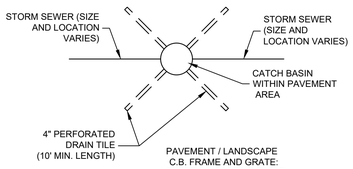


D CONCRETE PAVEMENT SECTION
SCALE:NTS



E ASPHALT PAVEMENT SECTION
SCALE:NTS

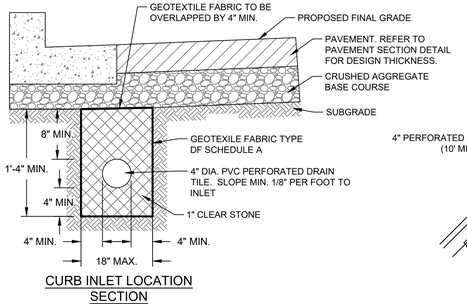
CATCH BASIN
WITHIN LOW POINT OF PAVEMENT AREA



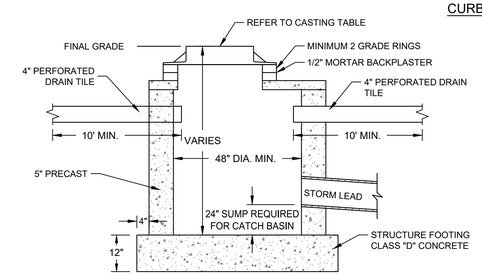
NOTES:

1. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
2. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
3. 3" MIN. BEDDING OF STONE UNDER BASE REQUIRED , ADDITIONAL BEDDING STOME MAY BE REQUIRED ON WET SUB-GRADE.
4. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

F INLET AND CATCH BASIN
SCALE:NTS



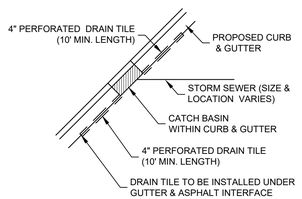
CURB INLET LOCATION SECTION



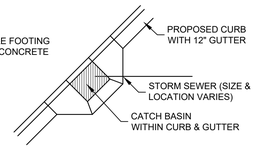
CATCH BASIN / INLET CASTING TABLE						
	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3067	A	NEENAH R-3067	A	NEENAH R-3228H	C
AREA INLET	NEENAH R-2050	C				

NOTE:

DRAIN TILE SHALL HAVE TWO (2) SEGMENTS POSITIONED ALONG THE GUTTER & ASPHALT INTERFACE.



CURB INLET WITHIN CURB & GUTTER PLAN



CONCRETE BUMP OUT TO BE APPLIED FOR 12" GUTTER PAN

DETAILS

REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-0105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:

SAUVE'S AUTO SERVICE

1421 WASHINGTON ST.
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	

SHEET

C400

16:28
PFINN
C400
23094

DRAFT

GENERAL:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

SITE CLEARING:

1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
3. SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
4. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
5. DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
6. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
7. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
8. PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
9. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
10. EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
11. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
12. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
13. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
14. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
15. REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
17. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
18. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

STORM DRAINAGE:

1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
4. REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
5. HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
6. CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
7. FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.
8. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
9. MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
10. SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
11. PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
12. CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
13. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
14. MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
15. CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.
16. AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)4 OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

EARTH MOVING:

1. ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
3. CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
4. OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
5. FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.
6. SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER.
7. UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.
8. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.
9. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.
10. BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
11. DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
12. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
13. PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
14. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
15. SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
16. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.
17. PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER TIRED VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.
18. DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINTILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINTILES SHALL BE 0.5%.
19. CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.
20. ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
21. EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.
22. WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
23. A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)
24. UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
25. BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.
26. UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557).
27. COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.
28. AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
29. GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
30. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
31. FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.
32. BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.
33. PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.
34. FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.
35. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
36. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.

CONCRETE PAVING:

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

ASPHALTIC PAVING:

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANC

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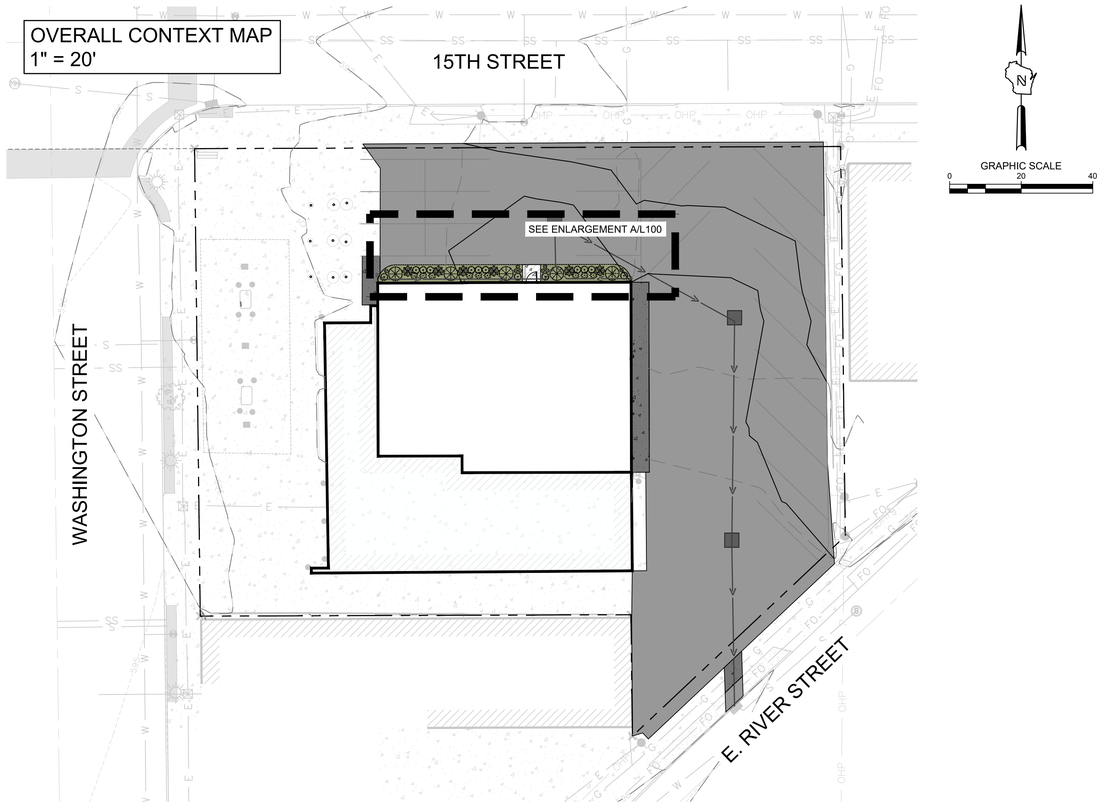

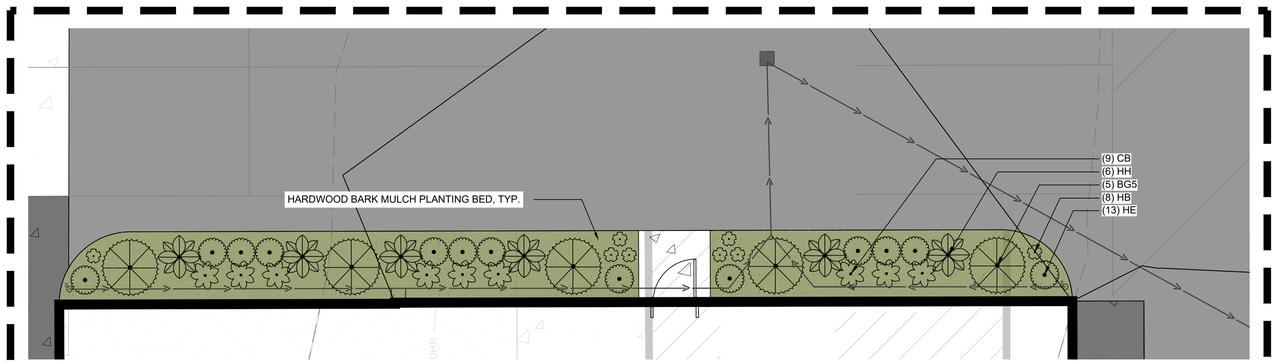

PLANTING ENLARGEMENT A
1" = 5'

LANDSCAPE LEGEND:

- HARDWOOD BARK MULCH PLANT BED
- PROPERTY LINE
- SHEET MATCHLINE

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
EVERGREEN SHRUBS					
	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood	3 gal.	Cont.	5
ORNAMENTAL GRASSES					
	CB	Calamagrostis brachytricha / Korean Feather Reed Grass	1 gal.	Cont.	9
PERENNIALS					
	HE	Heuchera x 'TNHEUFR' / Forever® Red Coral Bells	1 gal.	Cont.	13
	HB	Hosta x 'Blue Mouse Ears' / Blue Mouse Ears Hosta	1 gal.	Cont.	8
	HH	Hosta x 'Halcyon' / Halcyon Hosta	1 gal.	Cont.	6

LANDSCAPE GENERAL NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
4. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
6. PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

LANDSCAPE PLAN

REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-8105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-26-24
DRAWN BY:	HLY
SCALE:	1" = 5'

SHEET
L100

15:44
HJOHN
L100
23094

I:\ACE Building Services\23094 Sauve Auto\060 CAD\030_Production Sheets\400_Landscape\L100 Landscape Plan.dwg

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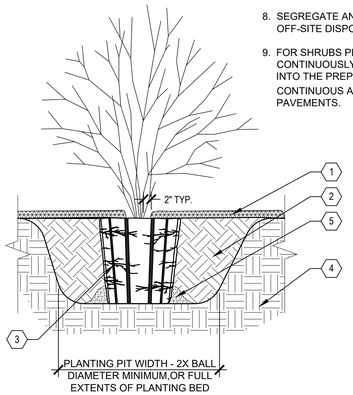
NOTES:
1. MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING TO LOOSEN POT-BOUND ROOTS.
2. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN ⅓ OF THE ORIGINAL PLANT MASS.
8. SEGREGATE ANY SOIL FROM BELOW WARNING LAYER EXCAVATED DURING PLANTING FOR OFF-SITE DISPOSAL. COORDINATE DISPOSAL WITH ENVIRONMENTAL CONSULTANT.
9. FOR SHRUBS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD ½" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.

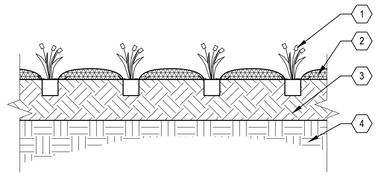


KEYED LEGEND

1. 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 2" CLEAR OF STEMS
2. PLANTING SOIL AS SPECIFIED, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
3. 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
4. PREPARED SUBGRADE
5. TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

A TYPICAL SHRUB PLANTING
SCALE:N.T.S.

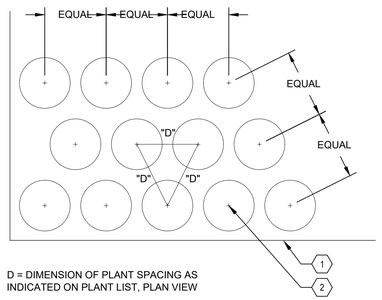
NOTES:
1. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
4. WATER ALL PLANTS THOROUGHLY WITHIN 2 HOURS OF INSTALLATION.
5. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY OR DEAD PLANT PARTS. DO NOT REMOVE MORE THAN ⅓ OF THE ORIGINAL PLANT MASS.
6. FOR PLANTS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD ½" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.



KEYED LEGEND

1. PERENNIAL, ORNAMENTAL GRASS, OR GROUNDCOVER PLUG, SEE LANDSCAPE PLAN SHEETS L100-L103
2. 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 3" CLEAR OF STEMS
3. PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
4. PREPARED SUBGRADE

B TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE:N.T.S.



D = DIMENSION OF PLANT SPACING AS INDICATED ON PLANT LIST, PLAN VIEW

NOTES
1. SET FINISH GRADE OF PLANTING AREA 2" BELOW FINISH SURFACE OF PAVING, CURB, OR HEADER
2. SEE PLANTING SCHEDULE FOR SPACING OF ALL SHRUBS AND GROUNDCOVERS
3. ALL SHRUBS / GROUNDCOVER TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON PLANS.
4. TO DETERMINE APPROPRIATE PLANT QUANTITIES REFER TO THE PLANTING SCHEDULE OR PLAN.

KEYED LEGEND

1. EDGE OF ADJACENT PAVEMENT
2. SHRUB, PERENNIAL OR ORNAMENTAL GRASS PLANT CENTER LOCATION

C TYPICAL PLANT SPACING
SCALE:N.T.S.

PLANTING QUALITY ASSURANCE

1. PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
3. TREES:
   - 3.1. SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED.
   - 3.2. WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE, CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER ¾" DIAMETER THAT ARE NOT COMPLETELY CALLUSED WILL BE REJECTED.
   - 3.3. SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.
   - 3.4. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.
4. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

PLANTING PROJECT CONDITIONS:

1. VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
2. INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:
   - 2.1. NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
   - 2.2. DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
3. PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:
   - 3.1. DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.
   - 3.2. NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15
4. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
5. CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLACED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.
6. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
   - 6.1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.
   - 6.2. DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

PLANTING DELIVERY, STORAGE, & HANDLING:

1. BULK MATERIALS;
   - 1.1. DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
2. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
3. HANDLE PLANTING STOCK BY ROOT BALL.
4. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
   - 4.1. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
   - 4.2. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.

EXCAVATION FOR SHRUBS

1. EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.
   - 1.1. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.
   - 1.2. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
   - 1.3. IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.
   - 1.4. MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.
   - 1.5. MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS.
   - 1.6. KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
2. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.
3. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
4. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

SHRUB PLANTING

1. BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
2. PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
4. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.
5. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
   - 5.1. USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.
   - 5.2. CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
   - 5.3. BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
   - 5.4. CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

SHRUB MATERIAL:

1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS;, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
   - 1.1. COLLECTED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.
   - 1.2. PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS ACCEPTABLE.
2. FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
3. SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE

1. INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 8" DEPTH.
2. DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
3. PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT). THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING.
   - 3.1. THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.
   - 3.2. STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%, VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

BARK MULCH MATERIAL & INSTALLATION

1. TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR ALL AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON PLANTING PLANS.
   - 1.1. SIZE RANGE: MAXIMUM 2.5" TO 3"
   - 1.2. COLOR: NATURAL, UN-DYED
   - 1.3. PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.
2. KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

CLEAN-UP AND PROTECTION

1. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
2. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
3. AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

LANDSCAPE DETAILS & SPECIFICATIONS

REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
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PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-26-24
DRAWN BY:	HLY
SCALE:	

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