



**TWO
RIVERS**
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT Dean Jacobs TELEPHONE 920-323-7010

MAILING ADDRESS 4216 Columbus St Two Rivers WI (Street) (City) (State) (Zip) 54241

PROPERTY OWNER Dean Jacobs TELEPHONE 920-323-7010

MAILING ADDRESS 4216 Columbus St. Two Rivers WI (Street) (City) (State) (Zip) 54241

REQUEST FOR:

<input checked="" type="checkbox"/>	Comprehensive Plan Amendment	<input type="checkbox"/>	Conditional Use
<input type="checkbox"/>	Site/Architectural Plan Approval	<input type="checkbox"/>	Annexation Request
<input type="checkbox"/>	Subdivision Plat or CSM Review	<input type="checkbox"/>	Variance/Board of Appeals
<input type="checkbox"/>	Zoning District Change	<input type="checkbox"/>	Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 12th P Monroe TYPE OF STRUCTURE Garage

PRESENT ZONING I1 REQUESTED ZONING I1

PROPOSED LAND USE Storage & Workshop

PARCEL # 053-000-090-070.06 ACREAGE 0.209

LEGAL DESCRIPTION _____

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Dean Jacobs (Property Owner) Date 8-28-23

Fee Required

\$ 350	Comprehensive Plan Amendment
\$ t/b/d	Site/Architectural Plan Approval (Listed in Sec 1-2-1)
\$ t/b/d	CSM Review (\$10 lot/\$30 min)
	Subdivision Plat (fee to be determined)
\$ 350	Zoning District Change
\$ 350	Conditional Use
\$ t/b/d	Annexation Request (State Processing Fees Apply)
\$ 350	Variance/Board of Appeals
\$ t/b/d	Other

Schedule

Application Submittal Date	_____
Date Fee(s) Paid	_____
Plan(s) Submittal Date	_____
Plan Comm Appearance	_____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



From:
Elizabeth Runge,
Community
Development Director

PLAN COMMISSION

Action: Site and Architectural Review, Business Storage with CUP for Flea Markets – Conditional Use Permit (CUP) Pending

Current Zoning: (I-1) Industrial District

Background

The proposed development is for a 900 square foot building on a lot located on the corner of 12th Street and Monroe Street. The parcel is 0.209 acres in size.

The proposed use is to store inventory for a family owned antique business. Owner also plans to store some personal property too. The owner has applied for a Conditional Use Permit to have 2 to 3 flea market sales a year at this location.

There will be a public hearing and action on the CUP by the City Council on October 2, 2023.

Building Design

The front of the building is oriented toward 12th Street. A walkway is shown from the entrance connecting to the existing sidewalk on Monroe Street.

Outdoor Storage

If the owner wishes to pursue open storage, in the I-1 District, the provision for open storage is, to be “out of public view or contained within an opaque fence or wall eight feet high or a visual screen consisting of evergreen or evergreen-type hedges or shrubs...” . These provisions within the I-District are to be met.

Trash Collection

The owner indicated an onsite dumpster is not necessary. The owner is to provide information regarding how trash is to be disposed of this location.

Landscaping Information

Owner is to provide a description of the landscaping shown outside the front entrance.





Transportation, Utilities and Stormwater Management

Utility coordination is necessary with the electric, water, and public works departments for connection to services. Specific plan review comments are provided by the Public Works Director, Matt Heckenlaible, and are attached following this memo.

Access

The access to the property is proposed on Monroe Street. There currently are points of access along Monroe Street onto this property. Driveway access and design is to comply with the City's ordinance, Public Works Section 4-1-11 B. (2). The driveway to the north is recommended to be closed and grass planted in the terrace as shown on the site plan.

Recommended Action:

This proposed development supports the Comprehensive Plan goals to develop properties and support investment within the community. Staff recommends the approval of this proposal with the **conditions** below.

1. Any additional requirements identified by city engineering, utility, and/or water department director(s) including the specifics listed below and any other requirements identified during the coordination process.
2. Driveway access onto Monroe Street is to be designed in accordance with Public Works Ordinance Section 4-1-11 B. (2).
3. Northern driveway apron is to be closed and replaced with grass as shown on the site plan.
4. An updated, final site plan is to be provided identifying the location of water and sanitary sewer services connecting to this proposed development. Stormwater sewer water inlets are to be identified for protection during construction.
5. An updated, final site plan, or a separate drainage plan, showing the details identified by public works to address the questions regarding the drainage on the site.
6. Identify the plantings shown as "Landscaping Plan".





TWO RIVERS

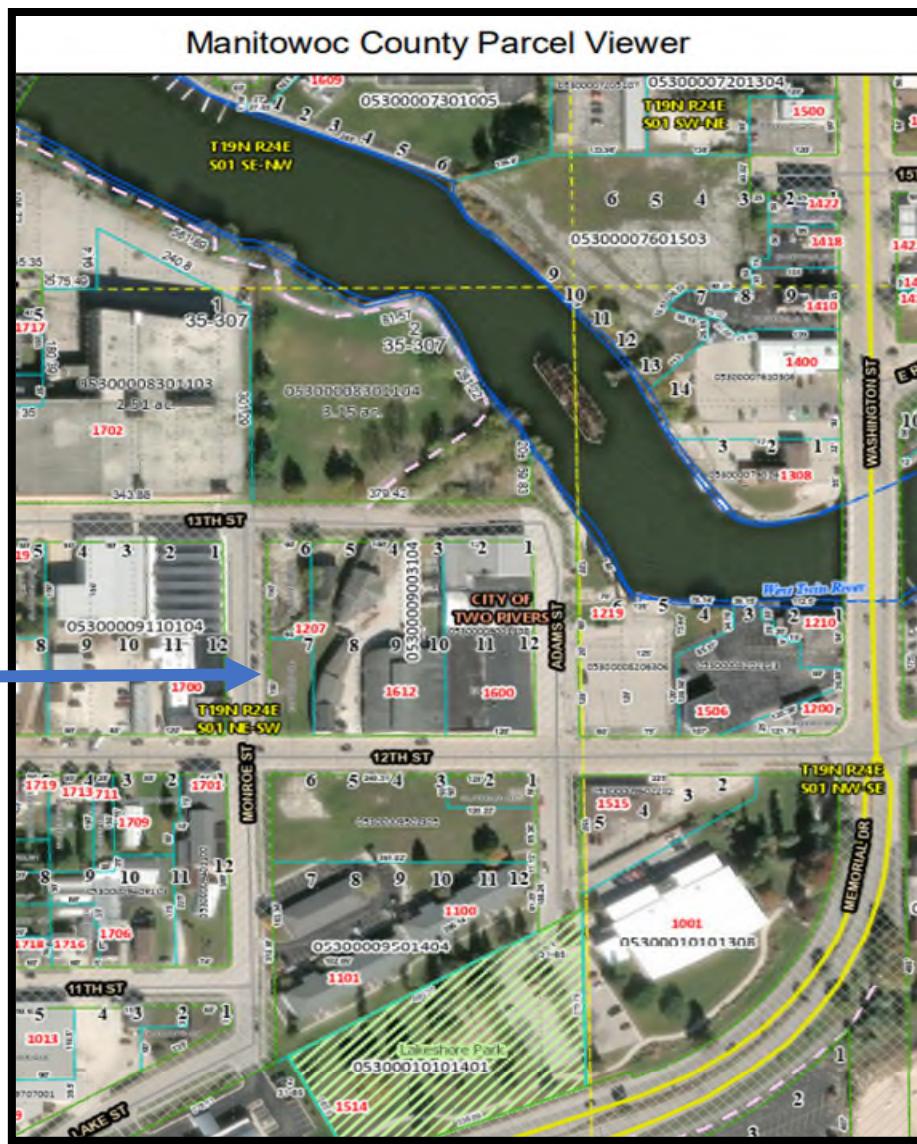
WISCONSIN

COMMUNITY DEVELOPMENT

1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



7. Erosion control plan and permit submittal to the public works department per the requirements of the program.
8. Any additional requirements from the state of Wisconsin.
9. All required permits are obtained prior to construction.



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920.793.5564



920.793.5512



Memorandum

Department of Public Works

Date: September 6, 2023

To: Elizabeth Runge

From: Matthew R Heckenlaible
Public Works Director / City Engineer

Re Dean Jacobs 12th Street & Monroe Street Site
 DPW Plan Review / Comments

- Show existing utilities (Sanitary, Storm, Water, Electric, Gas) within the road rights-of-way.
- Show existing and proposed utility service locations that will service the proposed building.
- Public storm inlets need to be shown so that they can be ‘protected’ as part of the Erosion Control Best Management Practice during construction.
- Existing driveway apron is non-conforming. The driveway has radiused curbed apron which is inconsistent with the City’s current flared / tapered driveway apron. This curbed apron shall be removed and replaced with a conforming driveway apron.
- The northerly driveway apron needs to be closed and the terrace replaced with grass.
- Show the distance between the east building wall and the east property line.
- Upon review of the plans, it appears the potential area of disturbance exceeds 4,000 SF. In this case, a City issued Erosion Control Permit be applied for and granted by the Department of Public Works.
- Must prepare, submit and implement an appropriate Erosion Control Plan and Narrative as part of the application process. Erosion control best management practices (BMPs) are to be implemented and maintained during the construction process until final restoration is achieved. (BMPs) may include perimeter control (silt fence, silt sock), tracking pad, inlet protection, showing and protecting soil stockpile locations.





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PUBLIC WORKS
Engineering Division
1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



- Ground elevations at the building corners were identified but proposed elevations for the remainder of the site appear to be missing. There is a concern that water from the easterly adjacent property may be trapped if fill is brought in between the easterly building edge and the property line. Additionally, runoff water from the proposed development site cannot adversely impact the adjacent property. Provide additional detail as to how drainage around the site, especially along the easterly property line will be addressed.
- Stormwater runoff appears to be ponding near the southeast corner of the building. How is that going to be resolved without negatively impacting the adjacent property?
- The proposed flow arrows shown in some cases are running parallel to what is believed to be existing contours. Clarify proposed drainage.
- Stormwater Management will not be required for this redevelopment project, under 20,000 SF.



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920.793.5539



920.793.5537



DRAWN BY

TMR

DATE:
5-31-2022

REVISION BY
7-6-2023 TMR
8-8-2023 TMR

DISTRIBUTORS - FABRICATORS
3303 MENASHA AVENUE
MANITOWOC, WI 54220
PH: 920 - 682 - 0143
FAX: 920 - 682 - 0384

BUILDING CENTER

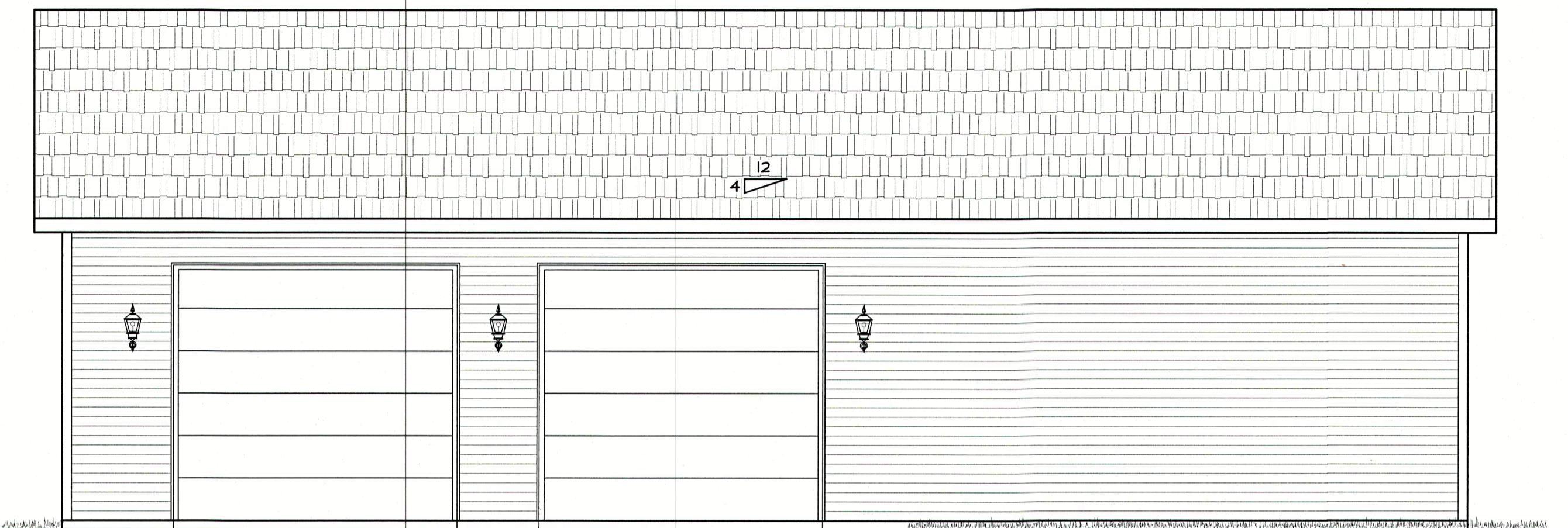
IBRAUN

DEAN JACOBS

SHOP PLAN

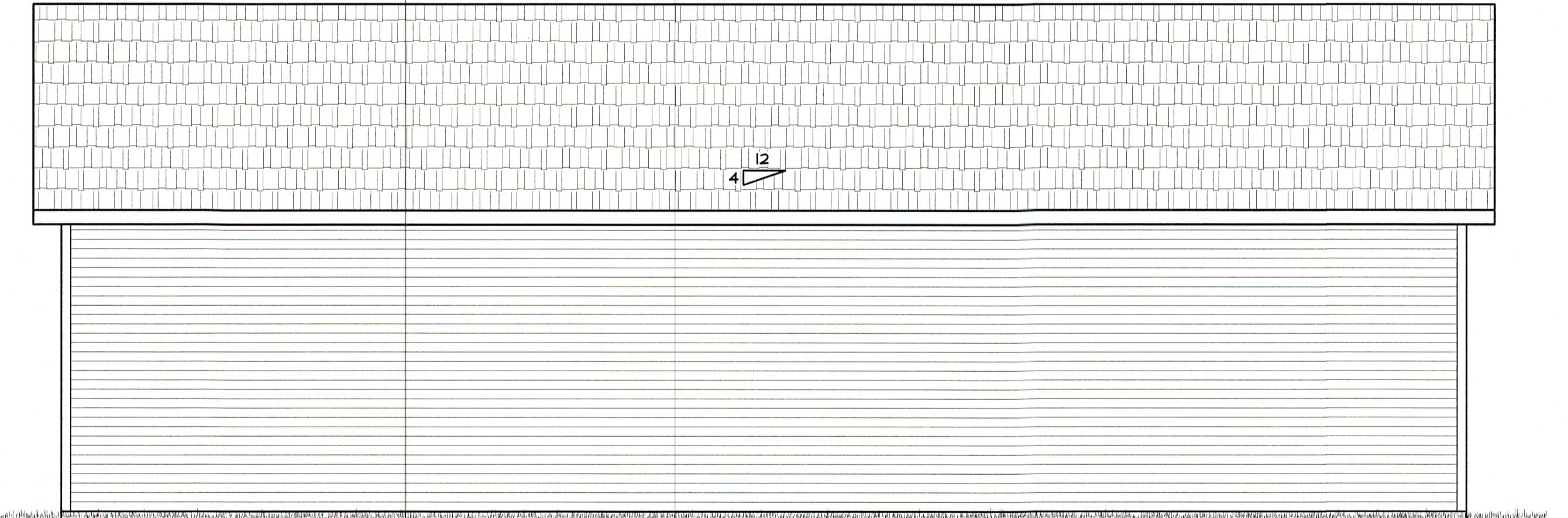
NOTE ALTHOUGH EVERY EFFORT
BEEN MADE IN PREPARING THE
PLANS AND CHECKING THEM
FOR ACCURACY, THE CONTRA
MUST CHECK ALL DETAILS
DIMENSIONS BE RESPONSIBLE
FOR THE SAME.

**DRAWING
NUMBER**



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

THIS DRAWING IS THE PROPERTY OF
BRAIN BUILDING CENTER
REPRODUCTION OR USE OF THIS PLAN
WITHOUT CONSENT IS PROHIBITED.

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DATE:
5-31-2022

REVISION BY

7-6-2023 TMR

8-8-2023 TMR

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MANITOWOC, WI 54220-0143
PH: 920-662-0584
FAX: 920-662-0584

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DEAN JACOBS
SHOP PLAN-NOTE-
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THIS DRAWING, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS BE RESPONSIBLE FOR THE SAME.

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2



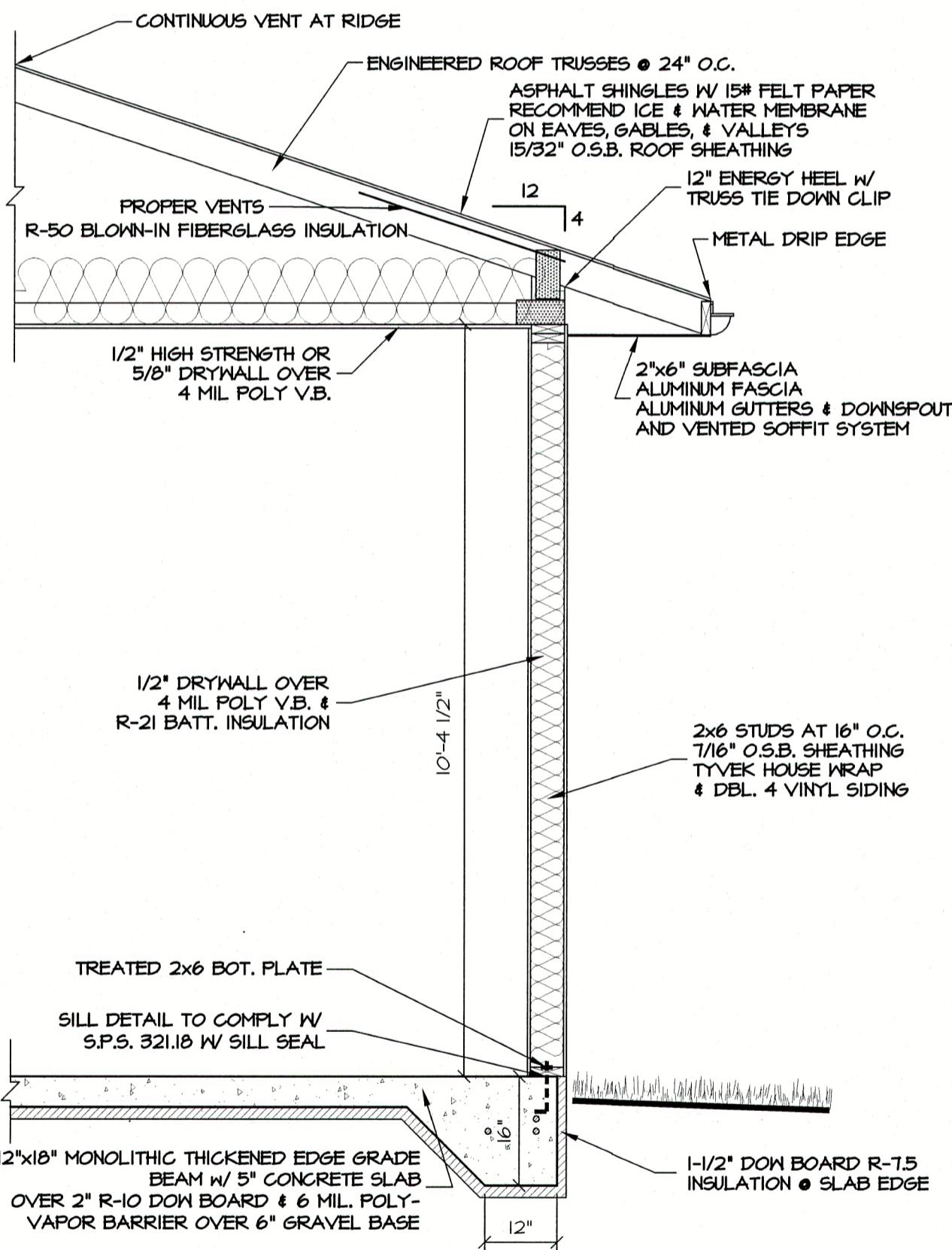
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

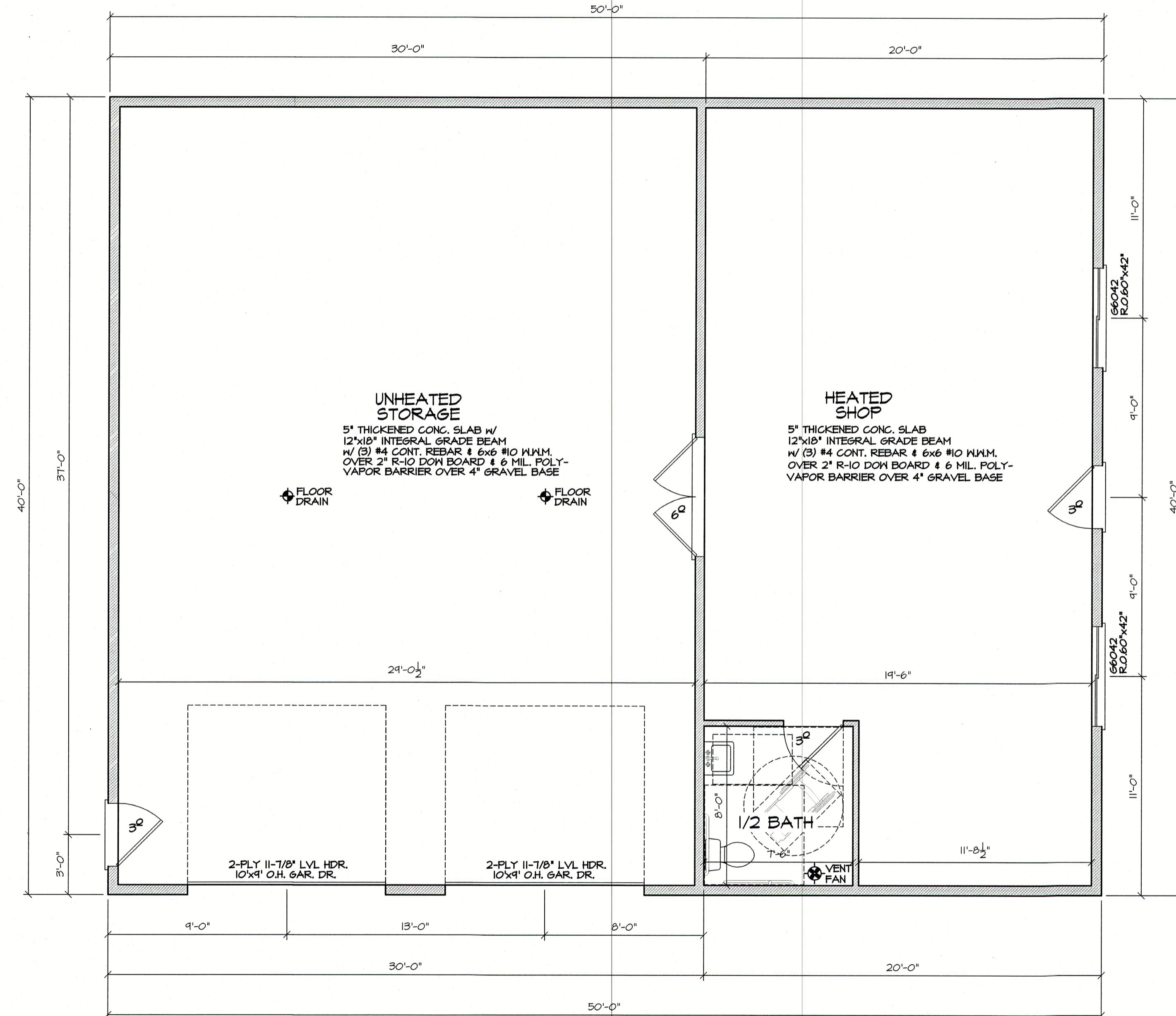


LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
10'-4 1/2" WALL HEIGHT

ALL WINDOWS ARE DESIGNED AND
SPECIFIED AS ALLIANCE WINDOWS

THIS DRAWING IS THE PROPERTY OF
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WITHOUT CONSENT IS PROHIBITED.

ALL LVL HEADERS AND I-JOISTS ARE
DESIGNED AT MINIMUM AS TRUSS JOIST I-9E
MICROLLAM LVL & TRUSS JOIST TJI 210
I-JOISTS w/ L/600 MINIMUM LIVE LOAD
DEFLECTION, UNLESS OTHERWISE SPECIFIED
AS STRONGER ON ESTIMATE OR PLAN.

ROOF TRUSS SPEC.'S

ROOF LOAD DESIGNED FOR ZONE 2
LOADING: TCOL = 30#
TCDL = 7#
BCDL = 10#
SPACING: 24" O.C. (UNLESS NOTED ON TRUSS PLAN)
DURATION: 1.15 %
DEFLECTION: L/240 MINIMUM
ROOF PITCH: 6/12
HEEL HEIGHT: 12"
O.H.'s (INCLUDING 2x6 FASCIA): 24" EAVE & 12" GABLE

FLOOR PLAN GENERAL NOTES

1. EXTERIOR FRAMED WALLS ARE DRAWN AT 4" AND 6".
"EXTERIOR DIMENSIONS INCLUDE 1/2" SHEATHING".
INTERIOR FRAMED WALLS ARE DRAWN AT 3 1/2" & 5 1/2".
2. A MINIMUM OF A SINGLE COMMON STUD AND DOUBLE
SHOULDER STUDS MUST BE USED FOR ALL HEADERS
GREATER THAN 6'-0" IN LENGTH.
3. BOTTOM OF WINDOW AND DOOR HEADERS ARE 6'-10"
ABOVE THE SUBFLOOR UNLESS OTHERWISE NOTED.
4. ALL HEADERS ABOVE OPENINGS IN FRAMED WALLS ARE
2-PLY 2x10's UNLESS OTHERWISE NOTED ON ESTIMATE.
5. CONTRACTOR TO VERIFY ALL CATHEDRAL, COffered,
VAULTED, RAISED HEIGHT, AND TRAY CEILINGS WITH
OWNER PRIOR TO TRUSS CONSTRUCTION.
6. BUILDER TO PROVIDE AN ATTIC SCUTTLE AS NEEDED

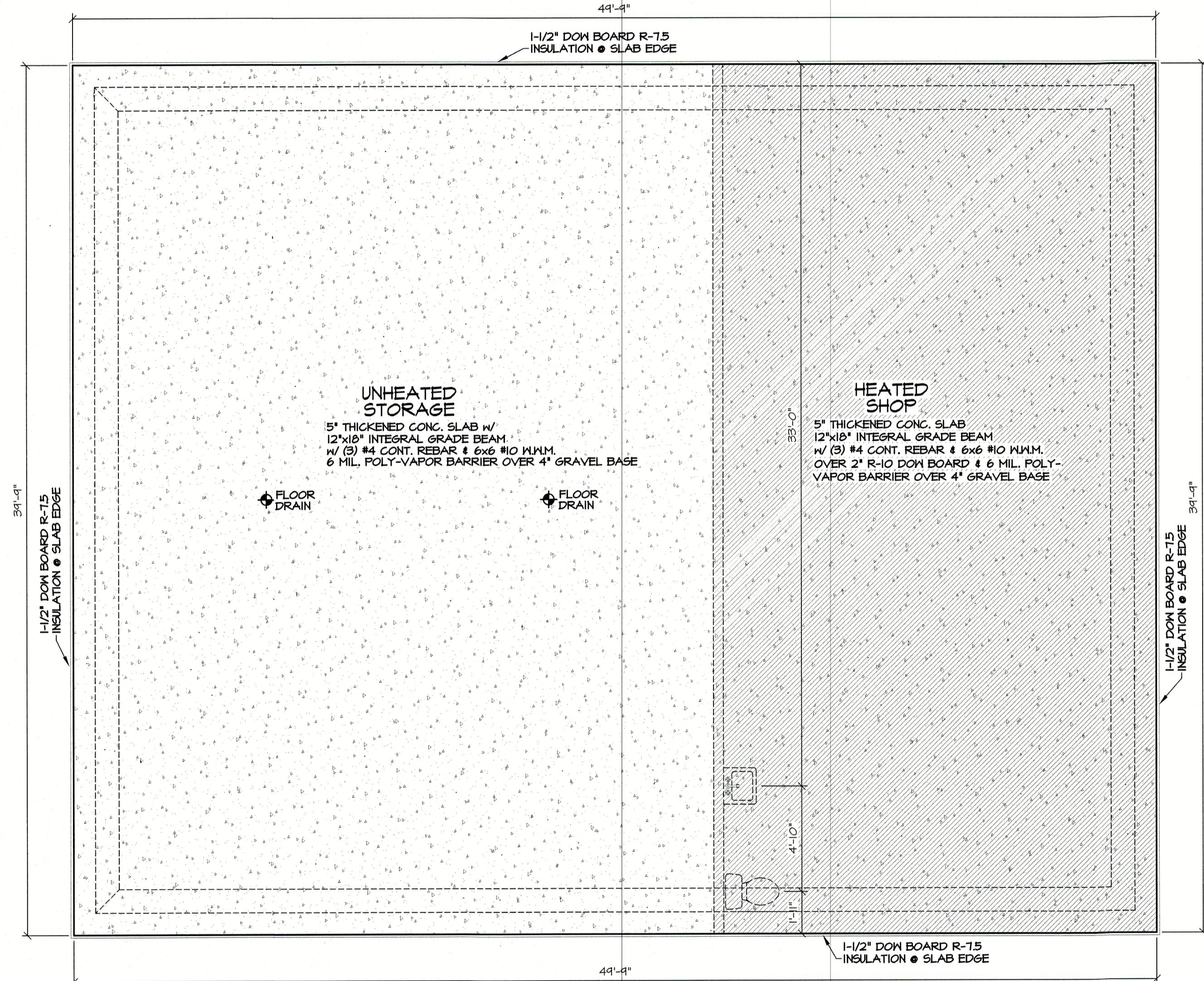
DEAN JACOBS
SHOP PLAN

-NOTE-
ALTHOUGH EVERY EFFORT HAS
BEEN MADE TO PREPARE THIS
DRAWING ACCURATELY, THE CONTRACTOR
MUST CHECK ALL DETAILS AND
DIMENSIONS BE RESPONSIBLE
FOR THE SAME.

DRAWING NUMBER

3

DRAWN BY
TMR
DATE:
5-31-2022
REVISION BY
7-6-2023 TMR
8-8-2023 TMR
DISTRIBUTORS - FABRICATORS
3303 MENASHA AVENUE
MANITOWOC, WI 54220
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FAX: 920-682-0364



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
12"x18" GRADE BEAM

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WITHOUT CONSENT IS PROHIBITED.

FOUNDATION GENERAL NOTES

1. CONCRETE CONTRACTOR & BUILDER ARE RESPONSIBLE TO VERIFY SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 312.15 - SPS 321.18, ACI 318-14, & ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED.
2. ASSUMED SOIL BEARING CAPACITY IS 3000 PSF, FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS.
3. EXTERIOR FRAMED WALLS ARE DRAWN AT 4" AND 6". "EXTERIOR DIMENSIONS INCLUDE 1/2" SHEATHING". INTERIOR FRAMED WALLS ARE DRAWN AT 3 1/2" & 5 1/2".
4. ALL HEADERS ABOVE OPENINGS IN FRAMED WALLS ARE 2-PLY 2x10's UNLESS OTHERWISE NOTED ON ESTIMATE.
5. DIMENSIONS ON THE FOUNDATION PLAN INCLUDE ALL BRICK LEDGES AND CONCRETE SLAB BEARING LEDGES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR AND VERIFY ALL LEDGE AND DIMENSION LOCATIONS.
6. THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
FURNACE FLOOR DRAINS
ELECTRICAL SERVICES WATER HEATER
SUMP PIT & PUMP WATER TREATMENT EQUIP.
7. BUILDER TO VERIFY BMT. WINDOW LOCATION WITH OWNER PRIOR TO CONSTRUCTION, AND PROVIDE HEADERS AT BASEMENT WINDOWS WHERE NEEDED.
8. Poured concrete footings to bear on undisturbed soil below the frost line.
9. STRAIGHT FOUNDATION WALLS 40'-0" AND LONGER ARE TO HAVE PILASTERS. PILASTER SPACING VARIES WITH WALL LENGTH BUT CANNOT EXCEED 40'-0" ON CENTER.

DEAN JACOBS
SHOP PLAN

BRAIN BUILDING
CENTER

-NOTE-
ALTHOUGH EVERY EFFORT HAS
BEEN MADE IN PREPARING THESE
PLANS AND CHECKING THEM FOR
ACCURACY, THE CONTRACTOR,
ARCHITECT, ENGINEER, AND
BUILDER ARE EACH RESPONSIBLE
FOR THE SAME.
DRAWING
NUMBER
4

DISTRIBUTORS - FABRICATORS
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