



**TWO
RIVERS**
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT Dean Jacobs TELEPHONE 920-323-7010

MAILING ADDRESS 4216 Columbus St Two Rivers WI 54241
(Street) (City) (State) (Zip)

PROPERTY OWNER Dean Jacobs TELEPHONE 920-323-7010

MAILING ADDRESS 4216 Columbus St Two Rivers WI 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Conditional Use |
| <input checked="" type="checkbox"/> Site/Architectural Plan Approval | <input type="checkbox"/> Annexation Request |
| <input type="checkbox"/> Subdivision Plat or CSM Review | <input type="checkbox"/> Variance/Board of Appeals |
| <input type="checkbox"/> Zoning District Change | <input type="checkbox"/> Other |

STATUS OF APPLICANT: ☐ Owner ☐ Agent ☐ Buyer ☐ Other

PROJECT LOCATION 12th & Monroe TYPE OF STRUCTURE Garage

PRESENT ZONING I1 REQUESTED ZONING I1

PROPOSED LAND USE Storage & Workshop

PARCEL # 053-000-090-070.06 ACREAGE 0.209

LEGAL DESCRIPTION _____

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Dean Jacobs Date 8-28-23
(Property Owner)

Fee Required

- | | |
|----------|--|
| \$ 350 | Comprehensive Plan Amendment |
| \$ t/b/d | Site/Architectural Plan Approval (Listed in Sec 1-2-1) |
| \$ t/b/d | CSM Review (\$10 lot/\$30 min) |
| | Subdivision Plat (fee to be determined) |
| \$ 350 | Zoning District Change |
| \$ 350 | Conditional Use |
| \$ t/b/d | Annexation Request (State Processing Fees Apply) |
| \$ 350 | Variance/Board of Appeals |
| \$ t/b/d | Other |

Schedule

Application Submittal Date _____
Date Fee(s) Paid _____
Plan(s) Submittal Date _____
Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY _____



**TWO
RIVERS**
WISCONSIN

COMMUNITY DEVELOPMENT

1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



From:

Elizabeth Runge,
Community
Development Director

PLAN COMMISSION

Action:

Site and Architectural Review, Business Storage with CUP for Flea
Markets – Conditional Use Permit (CUP) Pending

Current Zoning:

(I-1) Industrial District

Background

The proposed development is for a 900 square foot building on a lot located on the corner of 12th Street and Monroe Street. The parcel is 0.209 acres in size.

The proposed use is to store inventory for a family owned antique business. Owner also plans to store some personal property too. The owner has applied for a Conditional Use Permit to have 2 to 3 flea market sales a year at this location.

There will be a public hearing and action on the CUP by the City Council on October 2, 2023.

Building Design

The front of the building is oriented toward 12th Street. A walkway is shown from the entrance connecting to the existing sidewalk on Monroe Street.

Outdoor Storage

If the owner wishes to pursue open storage, in the I-1 District, the provision for open storage is, to be “out of public view or contained within an opaque fence or wall eight feet high or a visual screen consisting of evergreen or evergreen-type hedges or shrubs...” . These provisions within the I-District are to be met.

Trash Collection

The owner indicated an onsite dumpster is not necessary. The owner is to provide information regarding how trash is to be disposed of this location.

Landscaping Information

Owner is to provide a description of the landscaping shown outside the front entrance.



www.two-rivers.org



920.793.5564



920.793.5512



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Transportation, Utilities and Stormwater Management

Utility coordination is necessary with the electric, water, and public works departments for connection to services. Specific plan review comments are provided by the Public Works Director, Matt Heckenlaible, and are attached following this memo.

Access

The access to the property is proposed on Monroe Street. There currently are points of access along Monroe Street onto this property. Driveway access and design is to comply with the City's ordinance, Public Works Section 4-1-11 B. (2). The driveway to the north is recommended to be closed and grass planted in the terrace as shown on the site plan.

Recommended Action:

This proposed development supports the Comprehensive Plan goals to develop properties and support investment within the community. Staff recommends the approval of this proposal with the **conditions** below.

1. Any additional requirements identified by city engineering, utility, and/or water department director(s) including the specifics listed below and any other requirements identified during the coordination process.
2. Driveway access onto Monroe Street is to be designed in accordance with Public Works Ordinance Section 4-1-11 B. (2).
3. Northern driveway apron is to be closed and replaced with grass as shown on the site plan.
4. An updated, final site plan is to be provided identifying the location of water and sanitary sewer services connecting to this proposed development. Stormwater sewer water inlets are to be identified for protection during construction.
5. An updated, final site plan, or a separate drainage plan, showing the details identified by public works to address the questions regarding the drainage on the site.
6. Identify the plantings shown as "Landscaping Plan".



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**TWO
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PUBLIC WORKS
Engineering Division
1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



Memorandum

Department of Public Works

Date: September 6, 2023

To: Elizabeth Runge

From: Matthew R Heckenlaible
Public Works Director / City Engineer

Re Dean Jacobs 12th Street & Monroe Street Site
DPW Plan Review / Comments

- Show existing utilities (Sanitary, Storm, Water, Electric, Gas) within the road rights-of-way.
- Show existing and proposed utility service locations that will service the proposed building.
- Public storm inlets need to be shown so that they can be ‘protected’ as part of the Erosion Control Best Management Practice during construction.
- Existing driveway apron is non-conforming. The driveway has radiused curbed apron which is inconsistent with the City’s current flared / tapered driveway apron. This curbed apron shall be removed and replaced with a conforming driveway apron.
- The northerly driveway apron needs to be closed and the terrace replaced with grass.
- Show the distance between the east building wall and the east property line.
- Upon review of the plans, it appears the potential area of disturbance exceeds 4,000 SF. In this case, a City issued Erosion Control Permit be applied for and granted by the Department of Public Works.
- Must prepare, submit and implement an appropriate Erosion Control Plan and Narrative as part of the application process. Erosion control best management practices (BMPs) are to be implemented and maintained during the construction process until final restoration is achieved. (BMPs) may include perimeter control (silt fence, silt sock), tracking pad, inlet protection, showing and protecting soil stockpile locations.





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- Ground elevations at the building corners were identified but proposed elevations for the remainder of the site appear to be missing. There is a concern that water from the easterly adjacent property may be trapped if fill is brought in between the easterly building edge and the property line. Additionally, runoff water from the proposed development site cannot adversely impact the adjacent property. Provide additional detail as to how drainage around the site, especially along the easterly property line will be addressed.
- Stormwater runoff appears to be ponding near the southeast corner of the building. How is that going to be resolved without negatively impacting the adjacent property?
- The proposed flow arrows shown in some cases are running parallel to what is believed to be existing contours. Clarify proposed drainage.
- Stormwater Management will not be required for this redevelopment project, under 20,000 SF.



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920.793.5539



920.793.5537



SURVEYED FOR:
DEAN JACOBS
4216 COLUMBUS STREET
TWO RIVERS, WI 54241

PARCEL NUMBER:
000-090-070-6

BEARINGS REFERENCED TO THE WEST
LINE OF LOT 7, BLOCK 90, ORIGINAL
PLAT OF THE CITY OF TWO RIVERS
ASSIGNED: N00°-47'-39"W PER THE
MANITOWOC COUNTY COORDINATE SYSTEM

R/W LINE

B.O.C.

MONROE ST.

ASPHALT
ROADWAY

CONCRETE
ROADWAY

LOT 6
ZONING: I-1

LOT 5
ZONING: I-1

LOT 4

ORIGINAL PLAT OF
THE CITY OF TWO RIVERS

BLOCK 90

LOT 8
ZONING: I-1

LOT 9

9,089 SQ. FT.
(0.209 ACRE)
DOC. NO. 1263312

LOT 7

PROPOSED
BUILDING

FIRST FLOOR
ELEVATION: 585.7'

VISION
CLEARANCE
25.00'

BENCHMARK

12TH ST.

R/W LINE

B.O.C.

R/W LINE

SITE PLAN

ALL OF LOT 7, BLOCK 90, ORIGINAL PLAT OF THE CITY OF TWO RIVERS,
LOCATED IN THE SW1/4 OF SECTION 1, T.19N., R.24E.,
CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

SURVEY NOTES:

-PROPERTY OWNER: DEAN JACOBS
4216 COLUMBUS STREET TWO RIVERS, WI 54241

PROPOSED ELEVATIONS:

GROUND AT FOUNDATION = 585.5'
TOP OF FINISHED FLOOR = 585.7' VERTICAL DATUM: = NAVD "88"
ZONED: I-1, LIGHT INDUSTRIAL
PARCEL AREA: 9,089 SQ. FT. (0.209 ACRES)
SITE ADDRESS: MONROE ST. TWO RIVERS, WI 54241

EROSION CONTROL NOTES:

INSTALL D.O.T. APPROVED SILT FENCE AS SHOWN PRIOR TO LAND
DISTURBANCE ACTIVITIES.
CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL
MEASURES ON DAILY BASIS.
MAINTAIN EROSION CONTROL MEASURES UNTIL ALL DISTURBED
AREAS HAVE BEEN REVEGETATED.

BMP'S SHALL BE PLACED AROUND ALL SOIL STOCKPILES. SOIL
STOCKPILES IN PLACE FOR 7 DAYS OR MORE SHALL BE
PROPERLY STABILIZED.

ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE
WITH THE APPROPRIATE DNR TECHNICAL STANDARDS.

DISTURBED AREAS AND SOIL STOCKPILES LEFT INACTIVE FOR
MORE THAN 7 DAYS SHALL BE STABILIZED BY SEEDING, OR BY
OTHER COVER, SUCH AS TARPING OR MULCHING.

UTILITY NOTES

BUILDING TO HAVE A 200 AMP ELECTRICAL SERVICE

FUTURE WATER AND SEWER CONNECTIONS ARE TO BE OFF OF
MONROE ST.

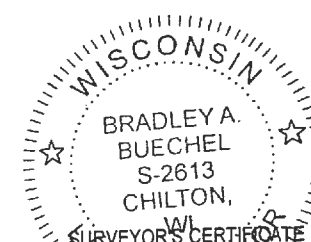
BENCHMARK INFORMATION

SITE BENCHMARK: (BM A)
SET 6" NAIL IN SOUTH FACE OF POWER POLE, LOCATED ON
THE NORTH SIDE OF 12TH STREET; ±1' ABOVE GROUND LEVEL
ELEVATION: 585.68'



LEGEND

- = 1" OUTSIDE DIA. X 18" IRON PIPE
SET, WT. 1.54 LBS. PER LINEAL FT.
- () = RECORDED INFORMATION
- ⊙ = EXISTING POWER POLE
- B.O.C. = BACK OF CURB
- 804.4' = PROPOSED GROUND AT
FOUNDATION ELEVATION
- 713.50'± = EXISTING SPOT ELEVATION
- ~ = PROPOSED DRAINAGE
- = PROPOSED SILT FENCE

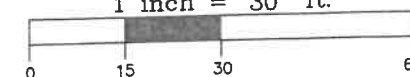


I, Bradley A. Buechel, Professional Land Surveyor
of Meridian Surveying, LLC, certify that I have surveyed the
described property and that the map shown is a true and accurate
representation thereof to the best of my knowledge and belief.

Dated this 28th day of August, 2023.

Bradley A. Buechel
WISCONSIN PROFESSIONAL LAND SURVEYOR
Bradley A. Buechel, S-2613

GRAPHIC SCALE
1 inch = 30 ft.

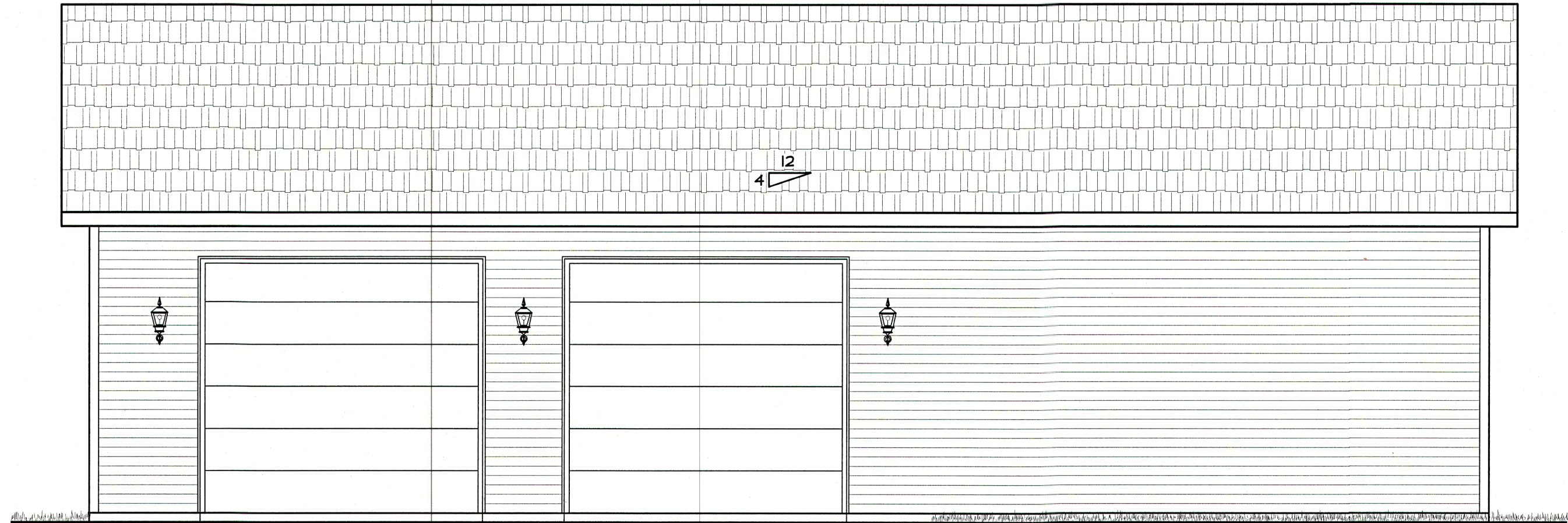


MERIDIAN
SURVEYING, LLC

2020 Madison Street Office: 920-993-0881
New Holstein, WI 53061 Fax: 920-273-6037

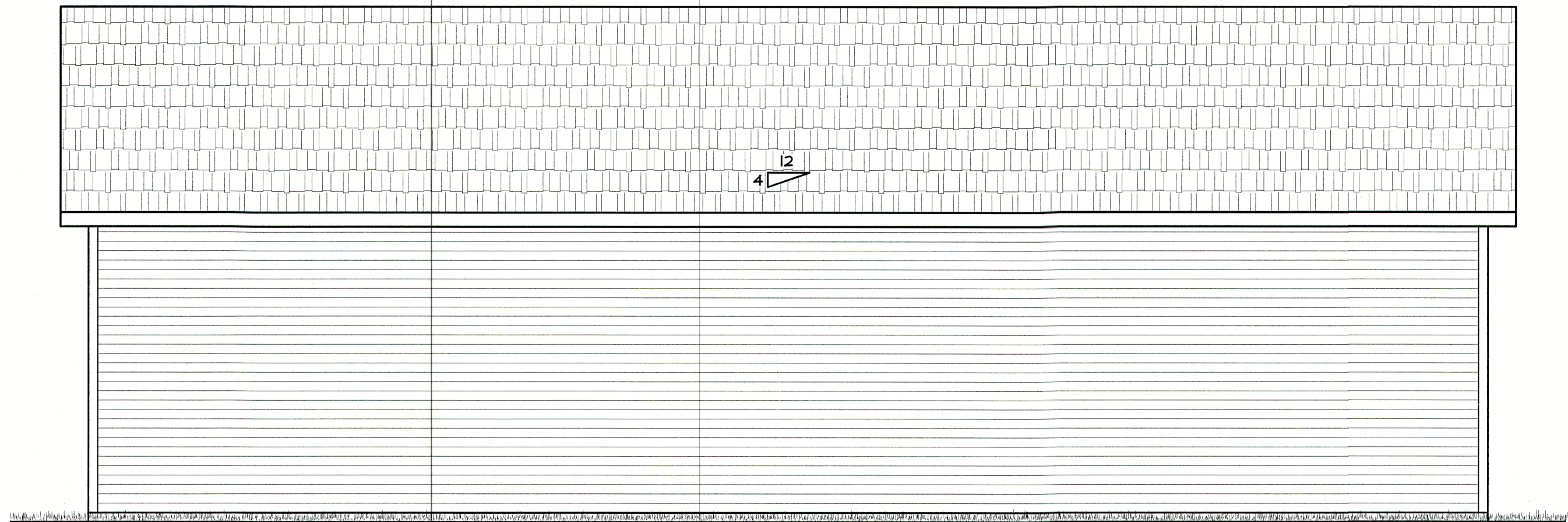
DRAWN BY: JD	FIELD WORK DATE: 7-12-23
CHECKED BY: BB	FIELD BOOK: NOTES
JOB NO.: 14721	SHEET 1 OF 1

THIS DRAWING IS THE PROPERTY OF
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

DRAWN BY
.....
TMP

DATE:
5-31-2022

REVISION BY
7-6-2023 TMP
8-8-2023 TMP

DISTRIBUTORS - FABRICATORS
9303 MENASHA AVENUE
MANITOWOC, WI 54220
PH: 920-662-0143
FAX: 920-662-0384

BUILDING
CENTER

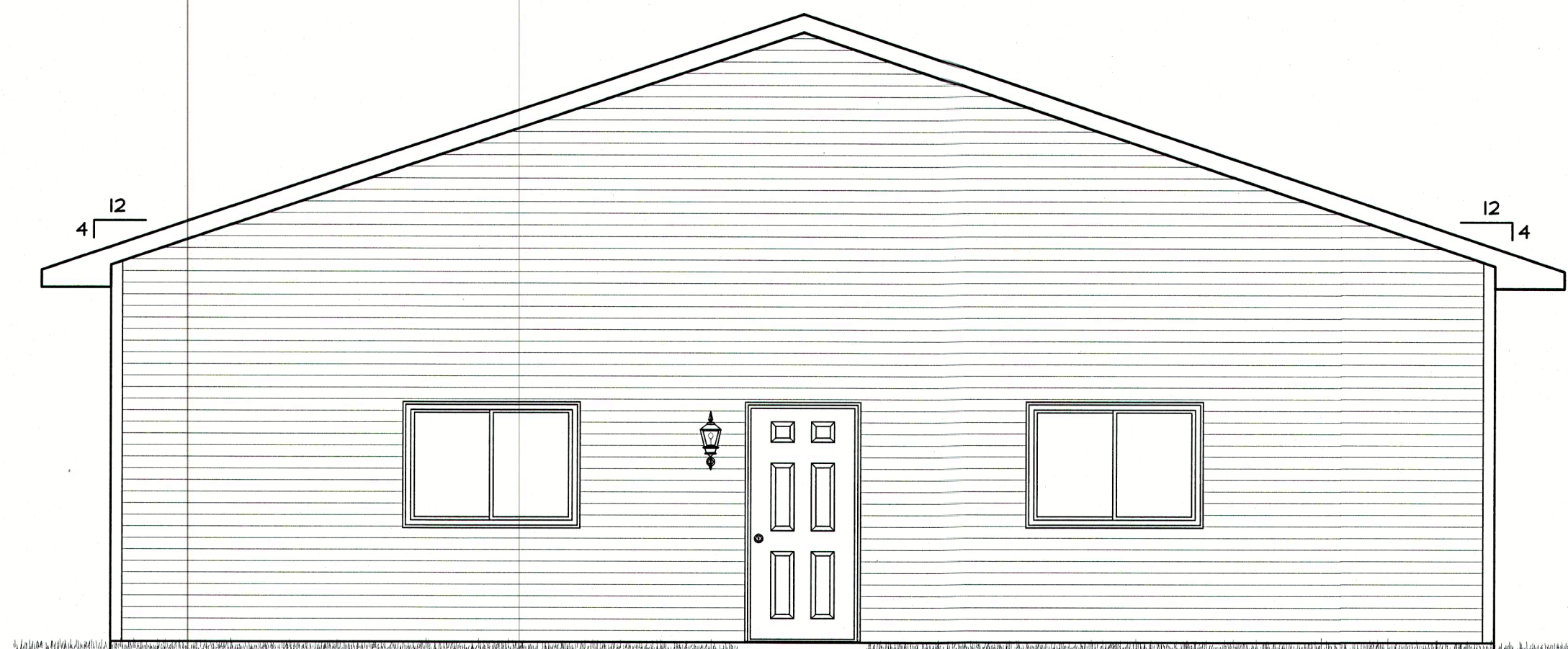
BRAUN

DEAN JACOBS
SHOP PLAN

-NOTE-
AUTOMATICALLY GENERATED LAYOUT HAS
BEEN MADE IN PREPARING THESE
PLANS AND CHECKING THEM FOR
CONFORMANCE WITH THE SPECIFICATIONS
MUST CHECK ALL DETAILS AND
DIMENSIONS BE RESPONSIBLE
FOR THE SAME

DRAWING
NUMBER
.....





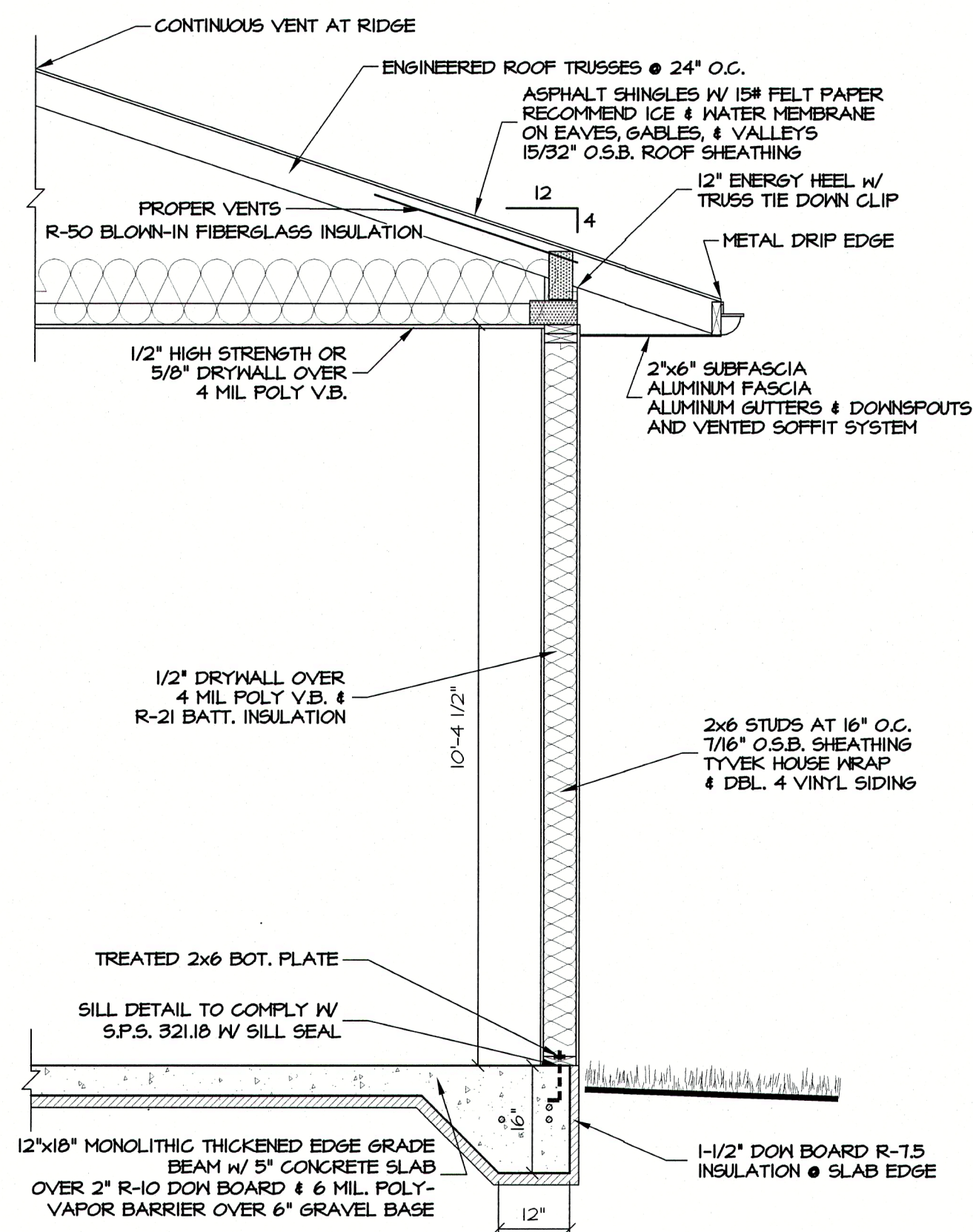
RIGHT ELEVATION

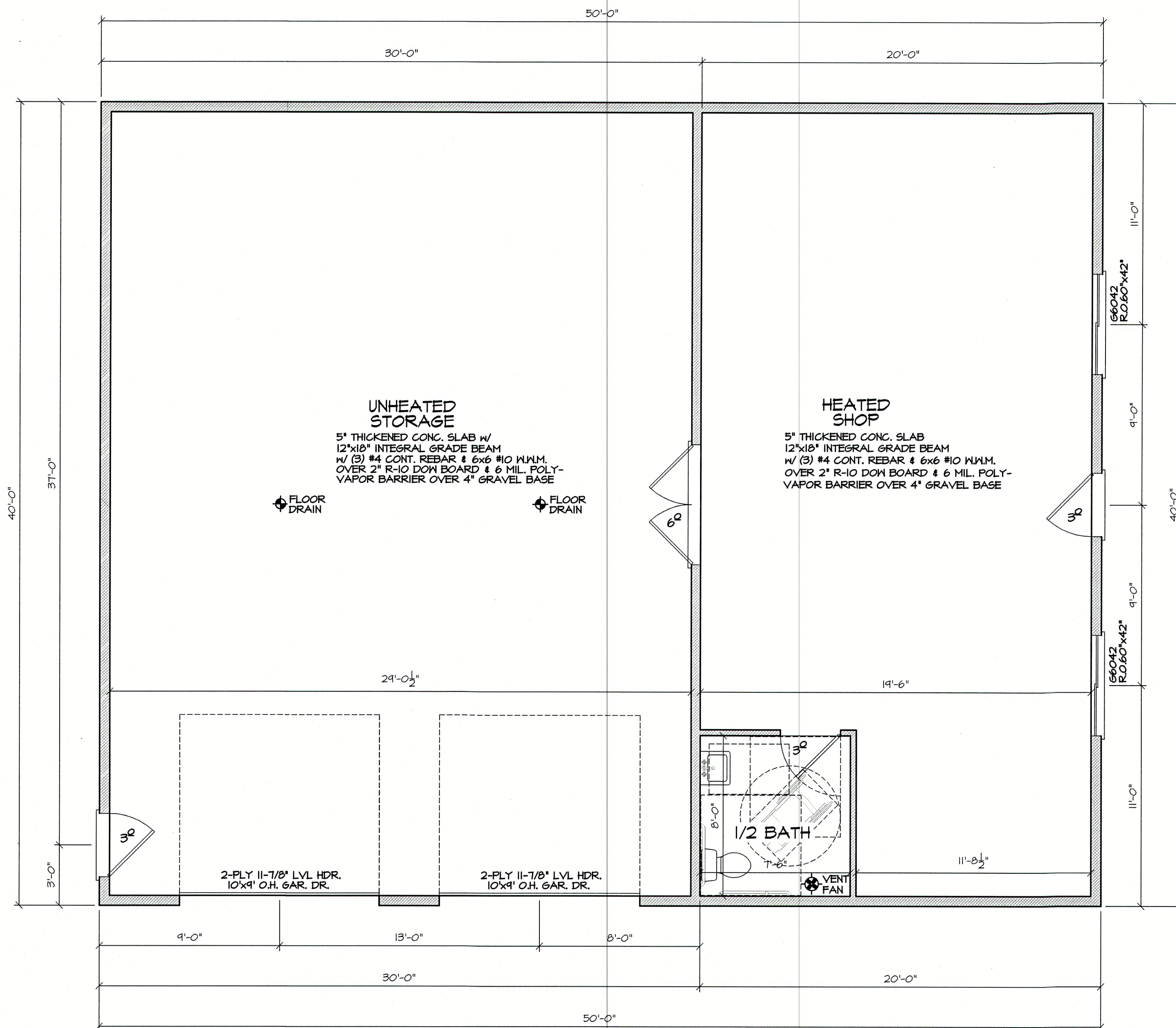
SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"





FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
10'-4 1/2" WALL HEIGHT

ALL WINDOWS ARE DESIGNED AND SPECIFIED AS ALLIANCE WINDOWS

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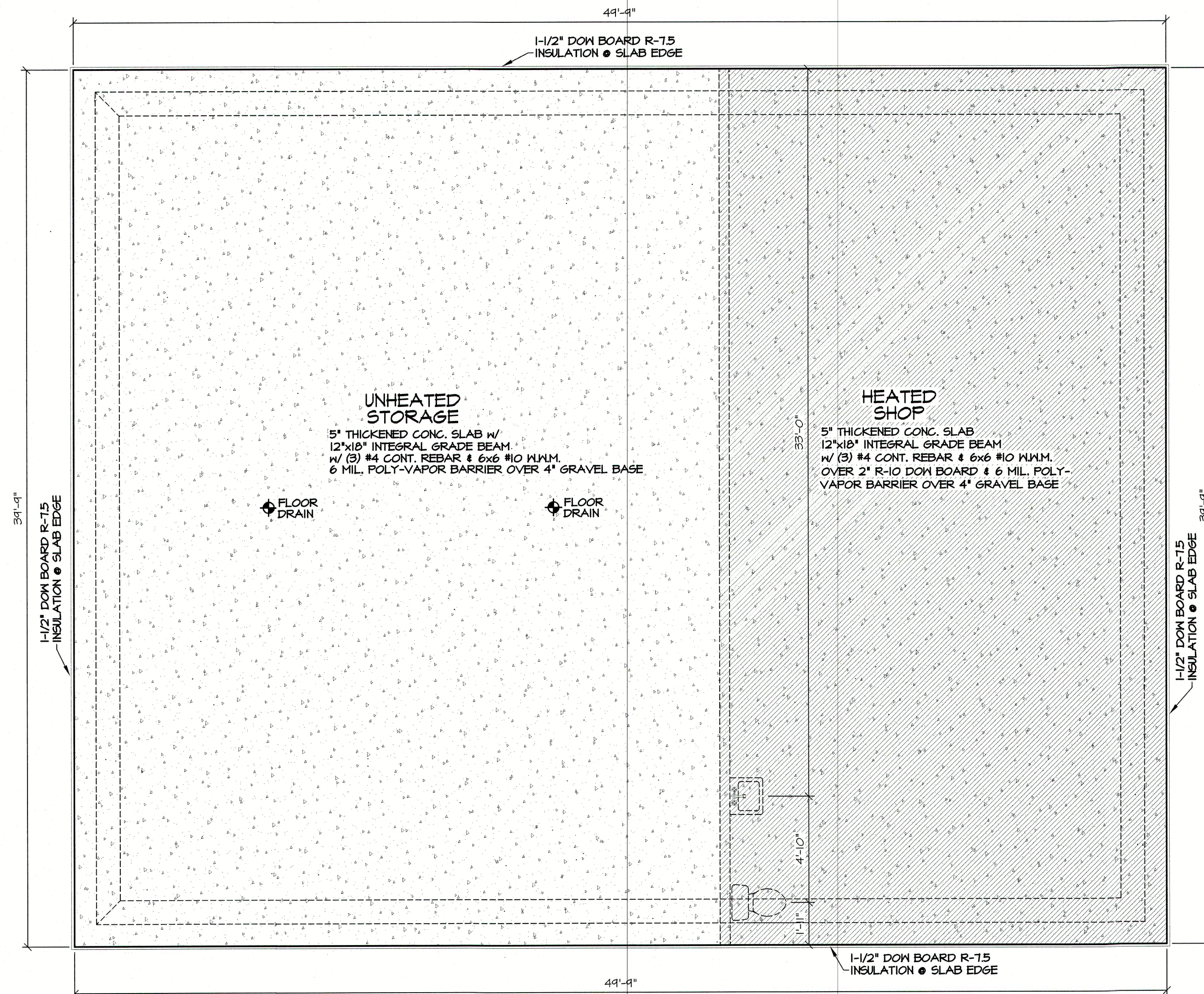
ALL LVL HEADERS AND I-JOISTS ARE DESIGNED AT MINIMUM AS TRUSS JOIST 1.9E MICROLLAM LVL & TRUSS JOIST TJI 210 I-JOISTS w/ L/600 MINIMUM LIVE LOAD DEFLECTION, UNLESS OTHERWISE SPECIFIED AS STRONGER ON ESTIMATE OR PLAN.

ROOF TRUSS SPEC.'s

ROOF LOAD DESIGNED FOR ZONE 2
LOADING: TOLL = 30#
TCDL = 7#
BCDL = 10#
SPACING: 24" O.C. (UNLESS NOTED ON TRUSS PLAN)
DURATION: 1.15 %
DEFLECTION: L/240 MINIMUM
ROOF PITCH: 6/12
HEEL HEIGHT: 12"
O.H.'s (INCLUDING 2x6 FASCIA): 24" EAVE & 12" GABLE

FLOOR PLAN GENERAL NOTES

1. EXTERIOR FRAMED WALLS ARE DRAWN AT 4" AND 6". "EXTERIOR DIMENSIONS INCLUDE 1/2" SHEATHING" INTERIOR FRAMED WALLS ARE DRAWN AT 3 1/2" & 5 1/2".
2. A MINIMUM OF A SINGLE COMMON STUD AND DOUBLE SHOULDER STUDS MUST BE USED FOR ALL HEADERS GREATER THAN 6'-0" IN LENGTH.
3. BOTTOM OF WINDOW AND DOOR HEADERS ARE 6'-10" ABOVE THE SUBFLOOR UNLESS OTHERWISE NOTED.
4. ALL HEADERS ABOVE OPENINGS IN FRAMED WALLS ARE 2-PLY 2x10'S UNLESS OTHERWISE NOTED ON ESTIMATE.
5. CONTRACTOR TO VERIFY ALL CATHEDRAL, COFFERED, VAULTED, RAISED HEIGHT, AND TRAY CEILINGS WITH OWNER PRIOR TO TRUSS CONSTRUCTION.
6. BUILDER TO PROVIDE AN ATTIC SCUTTLE AS NEEDED



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

12"x18" GRADE BEAM

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FOUNDATION GENERAL NOTES

1. CONCRETE CONTRACTOR & BUILDER ARE RESPONSIBLE TO VERIFY SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24, THE MOST RESTRICTIVE STANDARDS OF SPS 312.15, SPS 321.18, ACI 318-14, & ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED.
2. ASSUMED SOIL BEARING CAPACITY IS 3000 PSF, FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS.
3. EXTERIOR FRAMED WALLS ARE DRAWN AT 4" AND 6". "EXTERIOR DIMENSIONS INCLUDE 1/2" SHEATHING" INTERIOR FRAMED WALLS ARE DRAWN AT 3 1/2" & 5 1/2".
4. ALL HEADERS ABOVE OPENINGS IN FRAMED WALLS ARE 2-PLY 2x10's UNLESS OTHERWISE NOTED ON ESTIMATE.
5. DIMENSIONS ON THE FOUNDATION PLAN INCLUDE ALL BRICK LEDGES AND CONCRETE SLAB BEARING LEDGES. IT IS THE CONTRACTORS RESPONSIBILITY TO ACCOUNT FOR AND VERIFY ALL LEDGE AND DIMENSION LOCATIONS.
6. THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
FURNACE FLOOR DRAINS
ELECTRICAL SERVICES WATER HEATER
SUMP PIT & PUMP WATER TREATMENT EQUIP.
7. BUILDER TO VERIFY BSMT. WINDOW LOCATION WITH OWNER PRIOR TO CONSTRUCTION, AND PROVIDE HEADERS AT BASEMENT WINDOWS WHERE NEEDED.
8. POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE.
9. STRAIGHT FOUNDATION WALLS 40'-0" AND LONGER ARE TO HAVE PILASTER. PILASTER SPACING VARIES WITH WALL LENGTH BUT CANNOT EXCEED 40'-0" ON CENTER.

DRAWN BY
.....
TMP

DATE:
5-31-2022

REVISION BY
7-6-2023 TMP
8-8-2023 TMP

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BRAUN BUILDING CENTER

BRAUN

DEAN JACOBS

SHOP PLAN

-NOTE-
ALTHOUGH EVERY EFFORT HAS BEEN MADE TO MAKE THIS DRAWING ACCURATE, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS FOR THE SAME.

DRAWING NUMBER

4