



TWO RIVERS
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT City of TR - Senior Center TELEPHONE _____

MAILING ADDRESS PO Box 89 Two Rivers WI 54241
(Street) (City) (State) (Zip)

PROPERTY OWNER same as above TELEPHONE _____

MAILING ADDRESS _____
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1520-17 St TYPE OF STRUCTURE commercial

PRESENT ZONING D-1 REQUESTED ZONING D-1 W/CUP

PROPOSED LAND USE drive thru service window

PARCEL # 053-000-057-040-02 ACREAGE 1.25 +/-

LEGAL DESCRIPTION Lts 4-10 Blk 57 Original Plat

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] Date 02/07/2022
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date 02-07-22
- Date Fee(s) Paid na
- Plan(s) Submittal Date _____
- Plan Comm Appearance 02-14-22

\$ 0 TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY VQ

CONDITIONAL USE
PERMIT
City of Two Rivers

DRAFT

Document Number

Permit No. 2022-05

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 1520 - 17th Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

Original Plat, Lots 4 through 10, Block 57 in the City of Maps in the City of Two Rivers, Manitowoc County, Wisconsin.

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-000-057-040.02

Zoning Classification of the Premises is: B-1 Business District/Conditional Use for a Drive-Thru Facility.
Mailing Address of the Premises is: PO Box 87, Two Rivers, WI 54241-0087

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

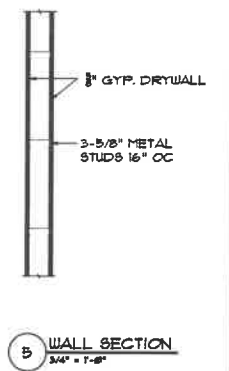
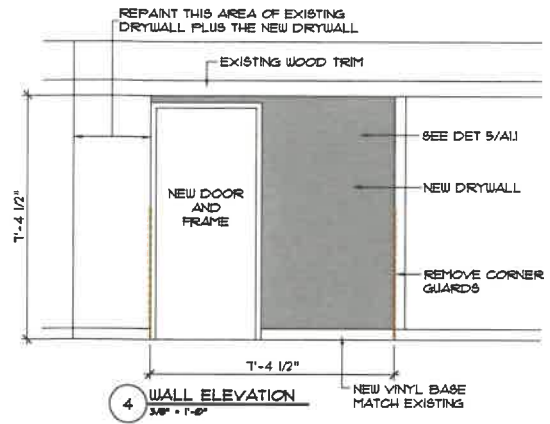
Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a drive-thru facility.

Permitted by action of the City Council of the City of Two Rivers on March 7, 2022.

Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit shall be void unless proper application, pursuant to the Building and Zoning Codes of this Municipality, for appropriate Building and Zoning Use Permits in conformity to this Permit, is made within twelve (12) months of the date hereof.
3. This Permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
4. Construction and operation of the use permitted shall be in strict conformity with the approved Site and Architectural Plans and such plans are incorporated herein by reference as if set forth in detail herein.
5. Any substantial change or expansion of the facilities permitted by the initial issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
6. This Permit is specifically issued to the City of Two Rivers/Senior Center and shall lapse upon a change in ownership or tenancy of the subject premises.
7. Conditions of Operations:
 - a. Hours of operation: Drive-thru window service during regular business hours.
 - b. Signage in accord with the City's Sign Code.



DOOR SCHEDULE

DOOR NO.	DOOR		FRAME		HWDE SET	REMARKS
	SIZE	TYPE	FINISH	TYPE		
1	4'-0" X 7'-0"	SFI	FF	-	FF	1
2	3'-0" X 7'-0"	A	SV	I	PANT	2
3	3'-0" X 7'-0"	A	SV	I	PANT	3
1A	3'-0" X 7'-0"	EXTG	FF	-	FF	EXTG 1, 2

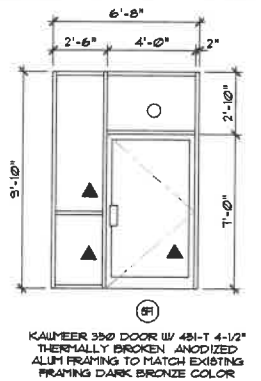
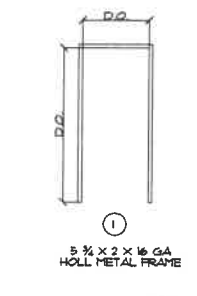
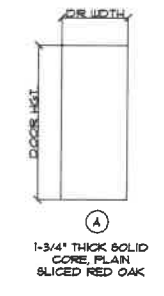
KEY TO REMARKS

- REMOVE, SALVAGE AND REINSTALL EXISTING STOREFRONT SYSTEM INCLUDING FRAMING, DOOR, GLAZING, DOOR HARDWARE, AUTOMATIC OPERATION COMPONENTS
- ELECTRICIAN PROVIDE LINE VOLTAGE AND LOW VOLTAGE WIRING ASSOCIATED WITH CHANGE IN DOOR LOCATION

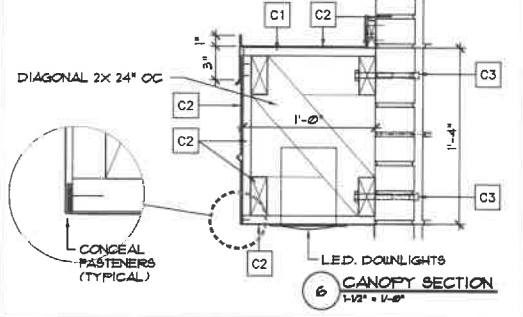
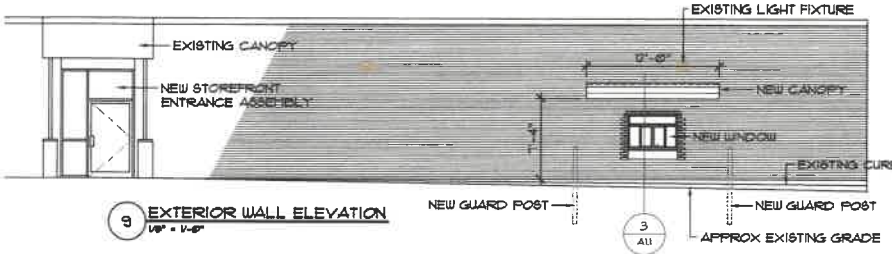
- C1 3/4" PRESSURE TREATED PLYWOOD 4 2X FRAMING
- C2 24 GA. CUSTOM FABRICATED PREFINISHED SHEET METAL PAC-CLAD DARK BRONZE KYNAR 5000 FINISH
- C3 1/2" DIA. EPOXYED ANCHORS MAX. 24" OC, EMBED 4"

HWDE SCHED

- HW-1**
1 CYLINDER - ALL OTHER HWDE PROVIDED BY DOOR SUPPLIER
- HW-2**
3 BUTTS
1 LOCKSET
1 STOP
- HW-3**
3 BUTTS
1 PASSAGE SET
1 STOP
- 4-1/2" X 4-1/2" 626 ND1000, LEVER HANDLE, 626 WALL TYPE
- 4-1/2" X 4-1/2" 626 ND1000, LEVER HANDLE, 626 WALL TYPE

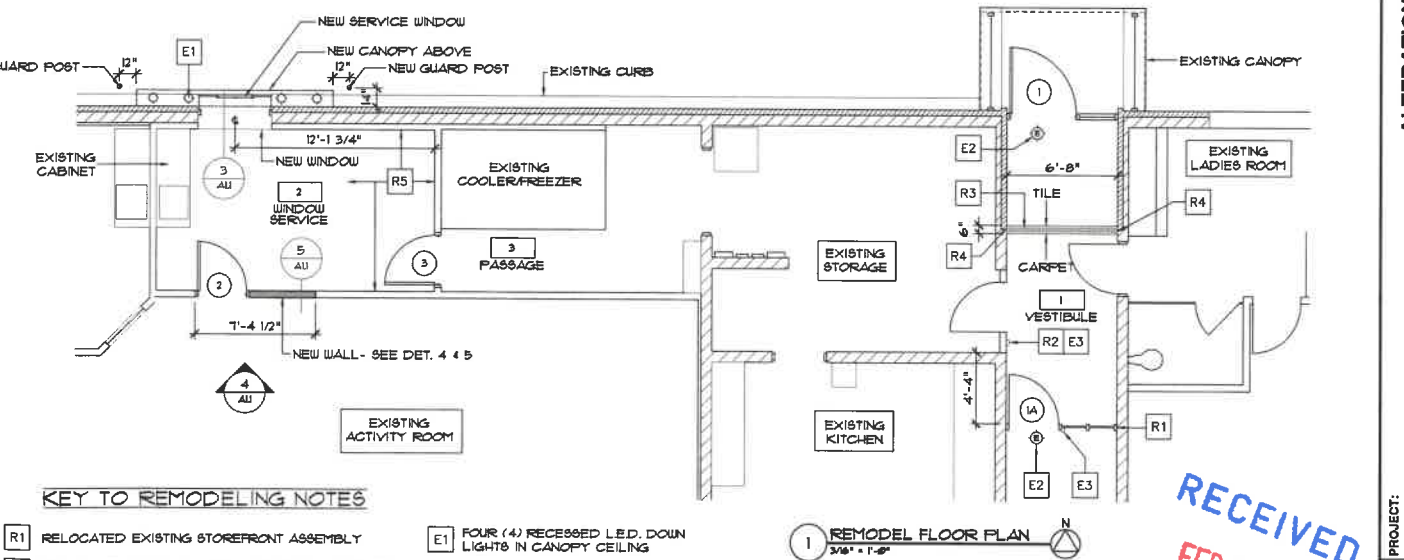
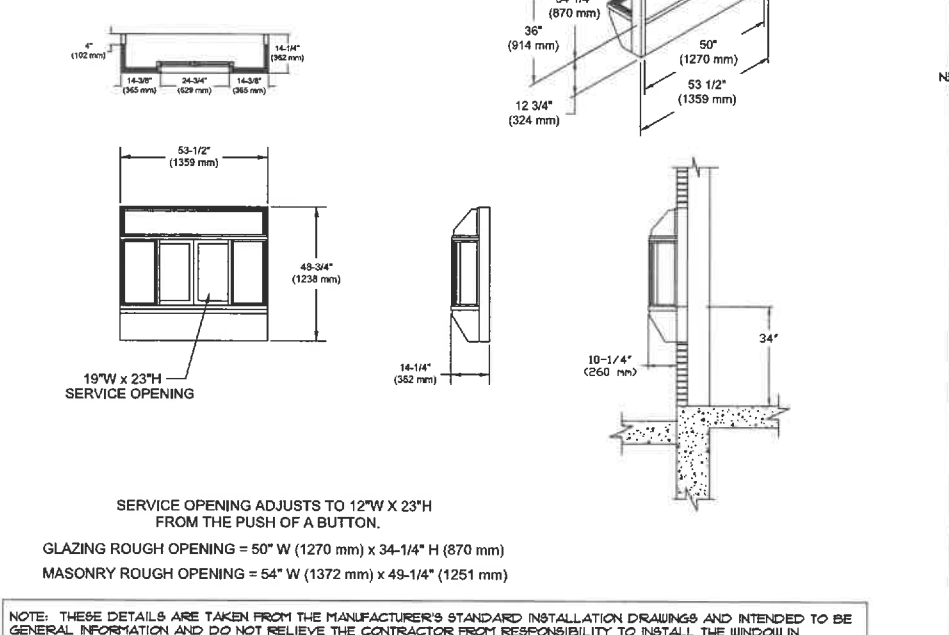
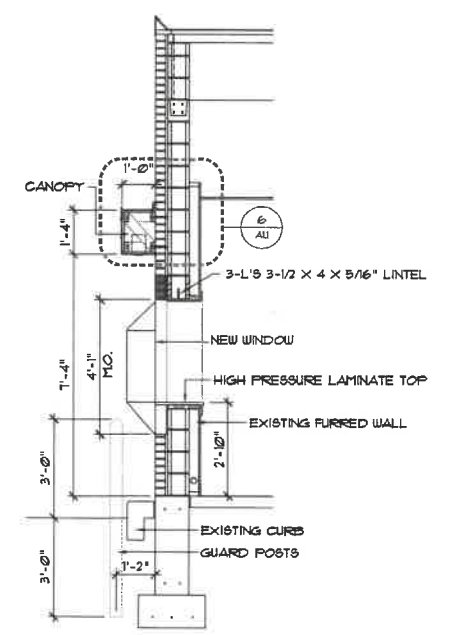
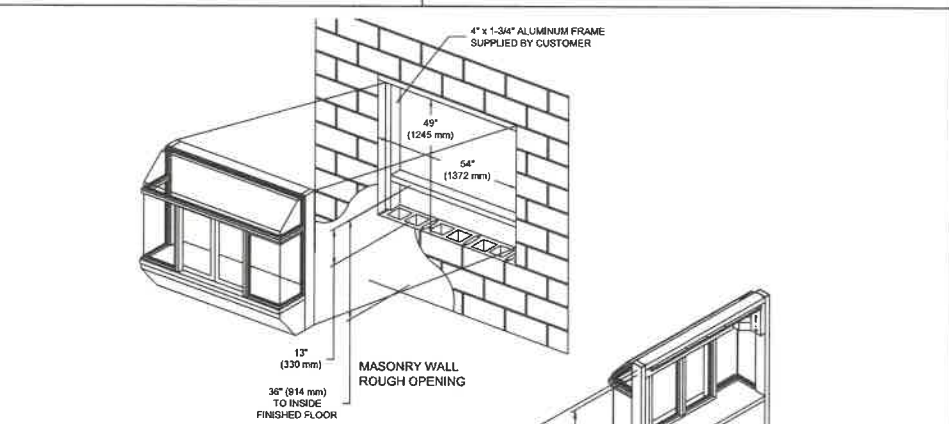
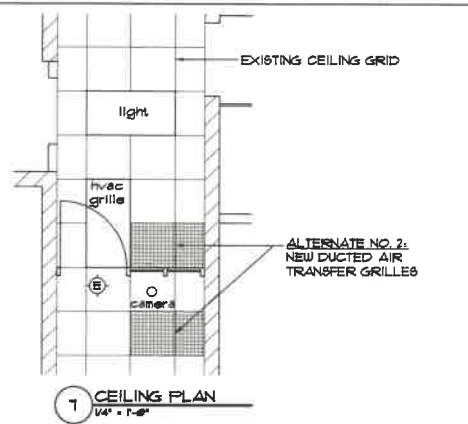
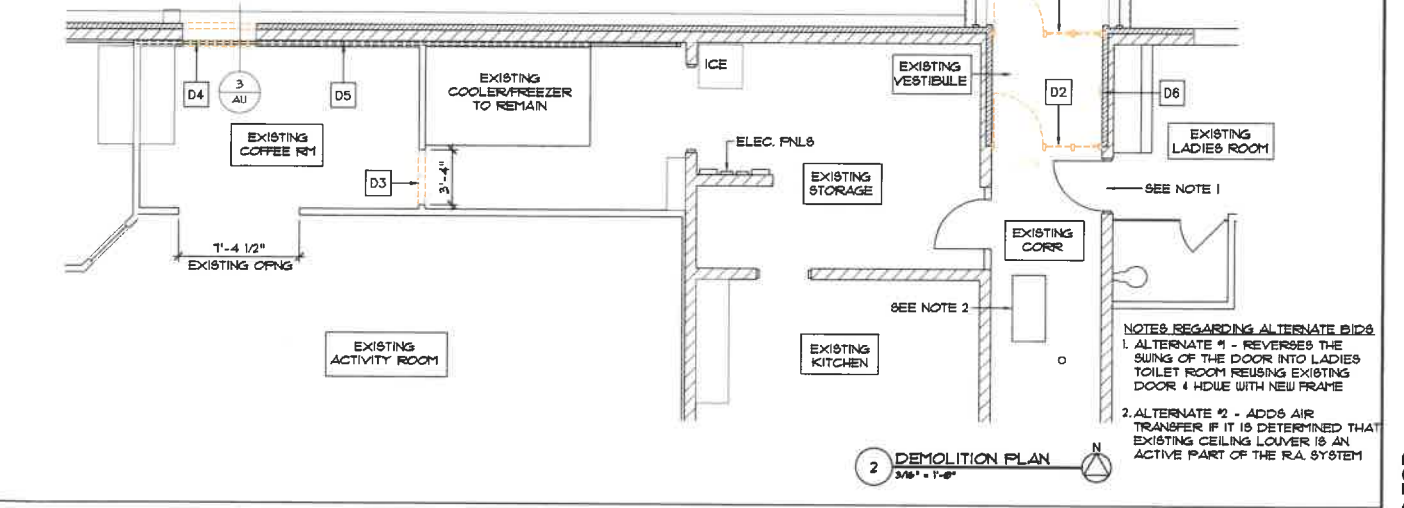


- GLAZING**
- ▲ 1" TEMPERED CLEAR INSULATING GLASS
 - 1" CLEAR INSULATING GLASS
- HARDWARE BY STOREFRONT CONTRACTOR**
- CONTINUOUS GEARED HINGE
PANIC HARDWARE
SURFACE MOUNTED CLOSER
ARCHITECT'S CLASSIC PUSH/PULLS
ADA COMPLIANT THRESHOLD
BULB WEATHERSTRIPPING IN FRAME
- AUTOMATIC DOOR OPENING / CLOSING**
- STANLEY "MAGIC-SWING" AUTOMATIC DOOR OPERATOR



KEY TO DEMOLITION NOTES

- D1 REMOVE EXISTING STOREFRONT WORK. PREP OPENING TO RECEIVE NEW STOREFRONT
- D2 REMOVE AND RELOCATE EXISTING STOREFRONT WORK INCLUDING HARDWARE, ELECTRIC OPENER & CONTROLS
- D3 CREATE NEW OPENING THROUGH EXISTING WALL TO RECEIVE NEW DOOR AND FRAME. PATCH WALLS AND FLOOR TO MATCH EXISTING FINISHES
- D4 CREATE NEW OPENING THROUGH EXISTING MASONRY WALL TO RECEIVE NEW DRIVE-THRU WINDOW UNIT. REFER TO MFGR SPECIFICATIONS
- D5 IT IS BELIEVED THAT 2" SINK DRAIN PIPING EXISTS IN WALL HERE. FIELD VERIFY THAT HEIGHT OF PIPE ABOVE FLOOR DOES NOT CONFLICT WITH INSTALLATION OF NEW SERVICE WINDOW
- D6 REMOVE EXISTING DOOR OPERATOR BUTTONS. REUSE ONE BUTTON AT DOOR #1A



KEY TO REMODELING NOTES

- R1 RELOCATED EXISTING STOREFRONT ASSEMBLY
- R2 RELOCATED EXISTING OPERATOR BUTTON FOR DR. #A. FIELD VERIFY WIRING CHANGES REQUIRED
- R3 PATCH FLOOR W/ CERAMIC TILE TO MATCH EXISTING
- R4 PATCH/PAINT WALL TO MATCH EXISTING
- R5 REPAINT ALL WALLS IN ROOM #2
- E1 FOUR (4) RECESSED L.E.D. DOWN LIGHTS IN CANOPY CEILING
- E2 NEW CODE COMPLYING L.E.D. EXIT SIGN
- E3 WIRE TO DOOR OP. BUTTONS

RECEIVED
FEB 07 2022

WORK IN PROGRESS - NOT FOR CONSTRUCTION

ALTERATIONS FOR
TWO RIVERS SENIOR CENTER
1520 17TH STREET - TWO RIVERS, WI 54241

PROJECT: DATE: REVISIONS:

CITY OF TWO RIVERS, WISCONSIN
1717 EAST PARK STREET
TWO RIVERS, WI 54241

CLIENT: SM CIVIL AND STRUCTURAL ENGINEERS
102 REVERE DRIVE
MANITOWOC, WI 54220-3147
PHONE: (920) 684-5553
www.smanitowoc.com

DATE: 1-6-22
DRAWN BY: GM/JG
JOB NO.: 21-303-BU
SHEET: **A1.1**