



TWO RIVERS
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. Building Service Inc. (Derek Petska) TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26th Street Manitowoc WI 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER Sauve's Auto (Thomas Christensen) TELEPHONE 920-973-2273

MAILING ADDRESS 1421 Washington St. Two Rivers WI 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- | | | | |
|-------------------------------------|----------------------------------|-------------------------------------|---------------------------|
| <input type="checkbox"/> | Comprehensive Plan Amendment | <input checked="" type="checkbox"/> | Conditional Use |
| <input checked="" type="checkbox"/> | Site/Architectural Plan Approval | <input type="checkbox"/> | Annexation Request |
| <input type="checkbox"/> | Subdivision Plat or CSM Review | <input type="checkbox"/> | Variance/Board of Appeals |
| <input type="checkbox"/> | Zoning District Change | <input type="checkbox"/> | Other |

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1421 Washington St. TYPE OF STRUCTURE Wood & PEMB

PRESENT ZONING B-1 Business District REQUESTED ZONING N/A

PROPOSED LAND USE No change in land use requested - Addition to existing building

PARCEL # 05300007705007; 05300007704109; 05300007704000 ACREAGE 0.55

LEGAL DESCRIPTION Lots 4 and 5 Excepting Therefrom the South 20 Feet and All of Lot 3 of Block 77 of the Original Plat, All Located in Government Lot 4, Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin.

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Date 08/23/2024
(Property Owner)

<u>Fee Required</u>	<u>Schedule</u>
\$ 350 Comprehensive Plan Amendment	Application Submittal Date _____
\$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)	Date Fee(s) Paid _____
\$ t/b/d CSM Review (\$10 lot/\$30 min)	Plan(s) Submittal Date _____
Subdivision Plat (fee to be determined)	Plan Comm Appearance _____
\$ 350 Zoning District Change	
\$ 350 Conditional Use	
\$ t/b/d Annexation Request (State Processing Fees Apply)	
\$ 350 Variance/Board of Appeals	
\$ t/b/d Other	

\$ 550.00 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

August 26, 2024

City Building Inspections Office
1717 E Park Street
Two Rivers WI 54241

RE: Sauve's Auto
Building Addition & Site Improvement @ 1421 Washington St.

To Whom It May Concern:

The proposed building addition and added parking spaces will replace the two-story residential building and garage on the north side of the property that are scheduled to be demolished. The proposed building expansion will be 3,620 square feet. Exterior finishes will complement the existing building, including metal & EPDM roofing, metal wall panel, aluminum fascia, soffit, gutter, and downspouts. All colors of exterior finishes to match complement the existing as depicted in the conceptual renderings.

The north and east sides of the expansion will consist of off-street asphalt parking. The north side of the expansion will also be landscaped with shrubs, and perennial plants and stone mulch. The project results in a net add of approximately 16,500 square feet of impervious area. The stormwater drainage pattern of the site will not change. The proposed building addition downspouts will be connected to the city of Two Rivers' storm sewer.

The following calculation was used to determine adequacy of off-street parking spaces per Sec. 10-1-13 "Off-street parking and loading" from the City of Two Rivers Municipal Code:

Total building area (including expansion): 6,600 s.f.

Per section 10-1-13: (1) for each vehicle connected with the business, (1) for each employee on duty when fully staffed, (1) for the owner or manager, plus (3) for each bay intended for service, repair or other use.

Included for this project: (4) vehicles connected with the business, (5) full time employees, (1) owner, (7) bays for service.

Shown per plan (18) off-street parking spaces are being provided.

(2) new LED wall-pack lights with photo sensors will be mounted on the exterior of the building located on the north wall and (2) on east exterior wall of the proposed expansion.

Construction is scheduled to begin mid-October and be completed in the spring of 2025.

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 9-1-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 1421 Washington Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

FERD BOHTE'S ADD ALL EXC N 35` OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-000-077-040.00

Zoning Classification of the Premises is: B-1 Business District/Conditional Use for a Gas Station / Automobile Service
Mailing Address of the Premises Operator: 1421 Washington Street, Two Rivers WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a Gas Station / Automobile Service

Permitted by action of the City Council of the City of Two Rivers on October 7, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Lakeshore Commercial LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land uses ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
6. Conditions of Operations:
 - a. Hours of operation: 24 hours per day, seven days per week.
 - b. Any outdoor display of merchandise shall be limited to on the fuel islands beneath the canopy not exceeding three feet in height; and, immediately adjacent to the front wall of the building not exceeding the height of the window base.
 - c. A separate Conditional Use Permit shall be required for any land use which would include a drive-thru component.
 - d. Light fixtures under the canopy shall not glare into public streets and shall not glare into adjacent properties. Diffusers shall be installed as necessary to minimize glare of canopy lights.
 - e. Signage in accord with the City's Sign Code.
 - f. All landscaping plantings shall be maintained and kept in good health or be replaced; and all landscaped areas shall be maintained in such a manner to be free of weeds.

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator

**PROPOSED EXPANSION FOR
SAUVE'S AUTO SERVICE
1421 WASHINGTON STREET**





**TWO
RIVERS**
WISCONSIN

COMMUNITY DEVELOPMENT

1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



PLAN COMMISSION

Action: Conditional Use Application & S&A Review
Location: 1421 Washington Street (Sauve's)
Current Zoning: Business (B-1)
Date: September 9, 2024

The owner of this property is requesting a Conditional Use Permit for an existing gas station/automobile service use, as well as Site & Architectural Review for an addition at 1421 Washington Street. Gas stations/Automobile Services are a conditional use in the B-1 District

Background

The owner recently combined the parcels to allow for the proposed addition. The addition will allow for more space to service vehicles as well as a bigger parking lot.

Questions and Discussion points from the Director of Public Works include the following:

- Green Space - removing paved terraces and replacing with turf grass
- Creating green buffers in unused parking island areas
- ADA parking
- Where are mechanicals going to be located and are they screened
- Outdoor tire storage adjacent to Kozlowski Tire - screened
- No stormwater management required
- Exterior dumpster? Screening?
- Not a planning item but where internal plumbing is going to discharge to, specifically the sinks and drains in the shop area



www.two-rivers.org



920.793.5564



920.793.5512

A NEW BUILDING ADDITION FOR: SAUVE'S AUTO TWO RIVERS, WISCONSIN

MATERIAL INDEX-PLANS, SECTIONS

EARTH	RIGID INSULATION	ROUGH LUMBER/ BLOCKING
COMPACTED FILL	BATT INSULATION	PLYWOOD
GRAVEL FILL	DRYWALL	FINISHED LUMBER
POURED CONCRETE/ PRECAST	STEEL	EXISTING WALL TO BE REMOVED
CONCRETE BLOCK	SPRAY FOAM INSULATION	EXISTING WALL TO REMAIN
FACE BRICK	BITUMINOUS PAVING	CONSTRUCT NEW WALL

REFERENCE SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)

SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
DRAWING NUMBER ON WHICH SECTION APPEARS

PLAN DETAIL / ENLARGED PLAN SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

DETAIL CUT SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

ELEVATION MARK - NEW

ELEVATION MARK - EXISTING

DRAWING SYMBOLS

DOOR TAG

REVISION NUMBER

GLAZING TAG

COLUMN LINE DESIGNATION- NEW

WALL TYPE

STAIRWAY DIRECTION INDICATION

KEYNOTE MARK - ACCESSORIES

KEYNOTE MARK - DEMOLITION NOTES

KEYNOTE MARK - PLAN NOTES

SPOT ELEVATION MARKER

PROJECT DATA

GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	1B-B
OCCUPANCY CLASSIFICATION	BUSINESS (B), STORAGE (S-1)
LOCAL ZONING AUTHORITY	CITY OF TWO RIVERS
BUILDING SPRINKLED	NO (NO CHANGE)
BUILDING AREA:	
FIRST FLOOR EXIST. BUILDING:	2,987 S.F.
FIRST FLOOR NEW ADDITION	3,645 S.F.
PROJECT AREA:	4,110 S.F. (INCLUDING INTERIOR REMODEL @ EXIST. WAITING AREA)
TOTAL BUILDING SQ. FT.:	6,632 S.F.

PROJECT LOCATION

1421 WASHINGTON STREET
TWO RIVERS, WISCONSIN 54241



INDICATES PROJECT LOCATION
AERIAL PLAN
NO SCALE



INDICATES PROJECT LOCATION
VICINITY PLAN
NO SCALE



IMPORTANT NOTES:
INFORMATION SHOWN ON THESE DRAWINGS (FOR PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION) IS FOR GENERAL DESIGN INTENT/BIDDING PURPOSES ONLY.

ALL CONTRACTORS TO COMPLY WITH ALL LOCAL/STATE CODES AND ORDINANCES.

ALL PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION CONTRACTORS ARE RESPONSIBLE FOR DESIGN, STATE SUBMITTAL AND ALL FEES/PERMITS ASSOCIATED WITH THESE TRADES FOR COMPLETION OF WORK OUTLINED.

IMPORTANT CONTRACTORS NOTES:
ALL CONTRACTORS TO SUBMIT DESIGN/BUILD (PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION) DRAWINGS FOR OWNER REVIEW PRIOR TO STARTING WORK.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK.

NOTE:
ALL PRODUCT SUBSTITUTIONS MUST BE SUBMITTED TO ARCHITECT PRIOR TO BIDDING.

SHEET INDEX

GENERAL
C-S COVER SHEET

ARCHITECTURAL
D-1.0 DEMOLITION PLAN
A-1.1 OVERALL FLOOR PLAN
A-2.1 ROOM FINISH SCHEDULE, INTERIOR WALL TYPES, & ENLARGED TOILET ROOMS
A-3.1 OPENING SCHEDULE, DOOR & FRAME ELEVATIONS
A-3.2 CASEWORK ELEVATIONS & DETAILS
A-4.1 EXTERIOR ELEVATIONS
A-4.2 EXTERIOR ELEVATIONS
A-5.1 BUILDING SECTIONS
A-6.1 WALL SECTIONS
A-6.2 WALL SECTIONS
A-6.3 WALL SECTIONS
A-6.4 PIT SECTIONS
A-7.1 DETAILS
A-8.1 ROOF PLAN
A-9.1 REFLECTED CEILING PLAN

STRUCTURAL
S-0.0 GENERAL NOTES
S-0.1 GENERAL NOTES & STRUCTURAL LOADS
S-1.0 FOUNDATION PLAN
S-2.0 ROOF FRAMING PLAN
S-4.0 FOUNDATION DETAILS & SCHEDULES
S-4.1 FOUNDATION DETAILS
S-4.2 GENERAL FRAMING NOTES & DETAILS
S-4.3 FASTENING SCHEDULES & DETAILS
S-4.4 MASONRY SCHEDULES & DETAILS

NO.	REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3810 SOUTH 28TH STREET | MANITOWOC, WISCONSIN 54220
PHONE 920-881-1051 | WWW.ACEBUILDINGSERVICE.COM

Civil & Structural
A DIVISION OF ACE BUILDING SERVICE

SMI
SUPERVISING PROFESSIONAL

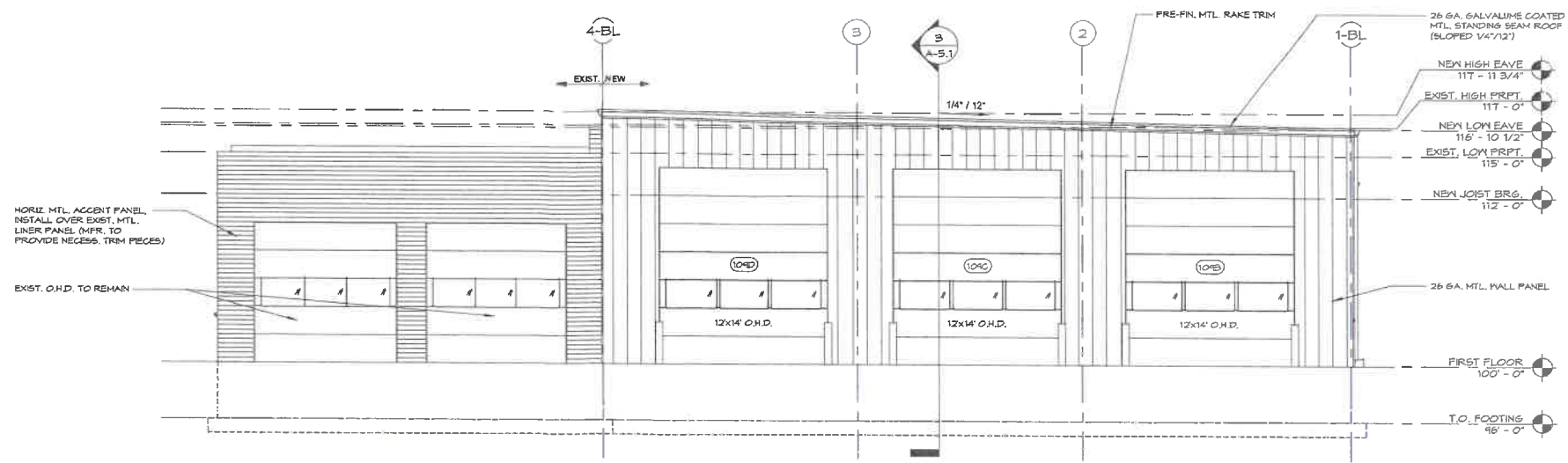
PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

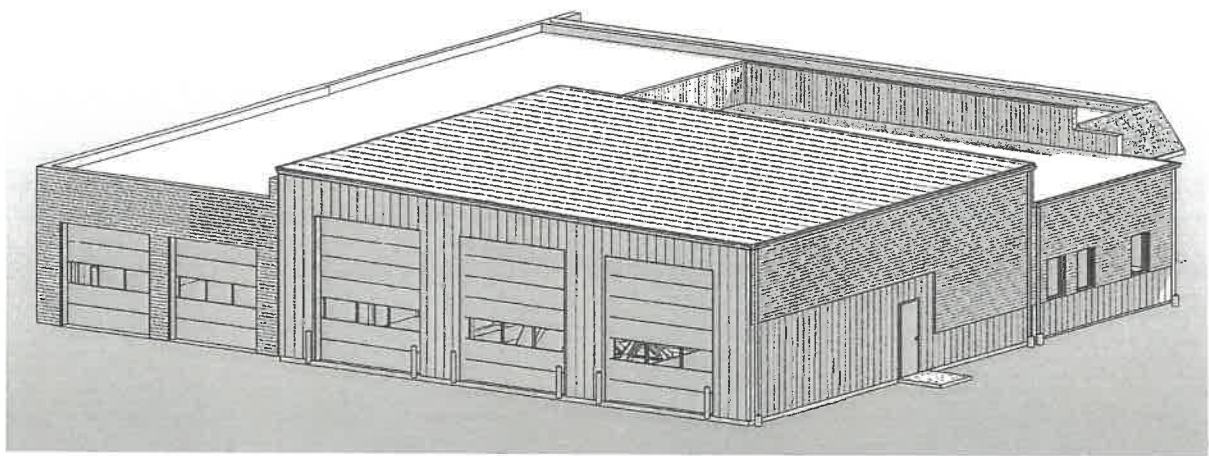
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A.C.E. JOB NO. _____
DATE: 08-19-204
DRAWN BY: DAH
SCALE: As Indicated

COVER SHEET

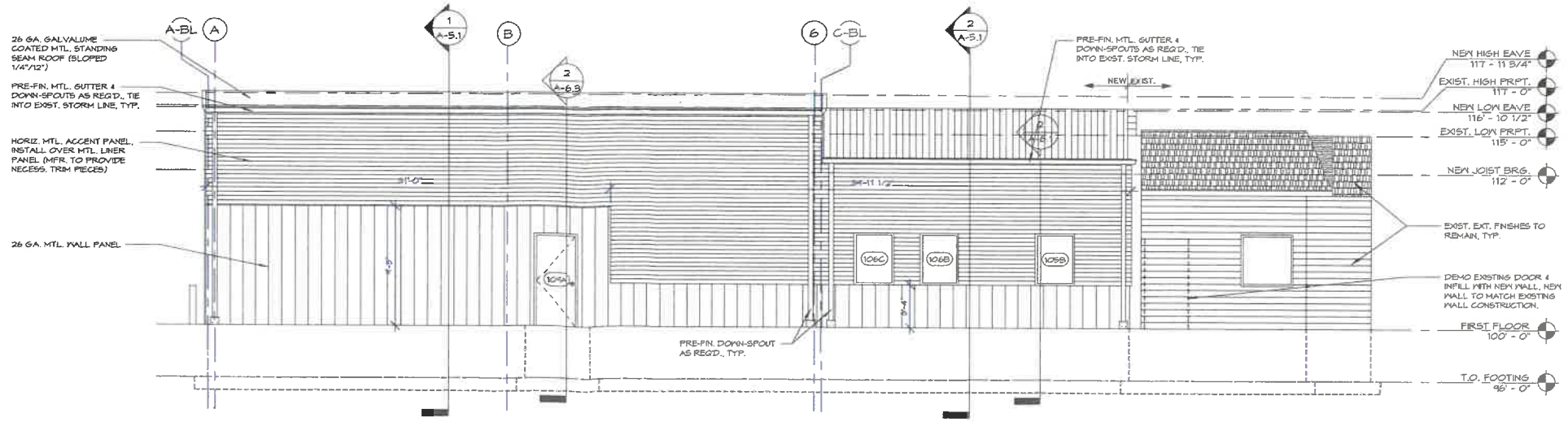
SHEET
C-S



3 BUILDING ELEVATION - EAST
3/16" = 1'-0"



1 3D - NORTHEAST PERSPECTIVE
1/4" = 1'-0"



2 BUILDING ELEVATION - NORTH
3/16" = 1'-0"

NO.	REVISION DESCRIPTION	DATE	REV. BY

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3510 SOUTH 26TH STREET | MANITOWOC, WISCONSIN 54220
PHONE 920-82-8105 | WWW.ACEBUILDINGSERVICE.COM

Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE

SMI
SUPERVISING PROFESSIONAL

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SHEET INFORMATION

A.C.E. JOB NO.	08-19-204
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	3/16" = 1'-0"

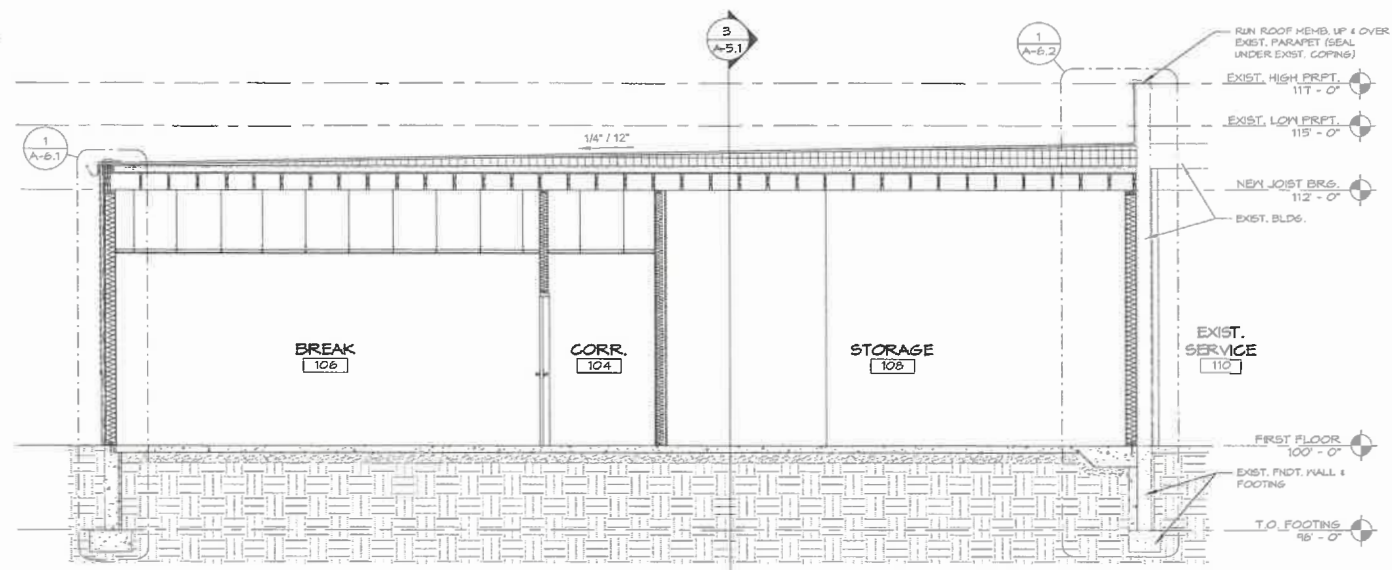
EXTERIOR ELEVATIONS

SHEET

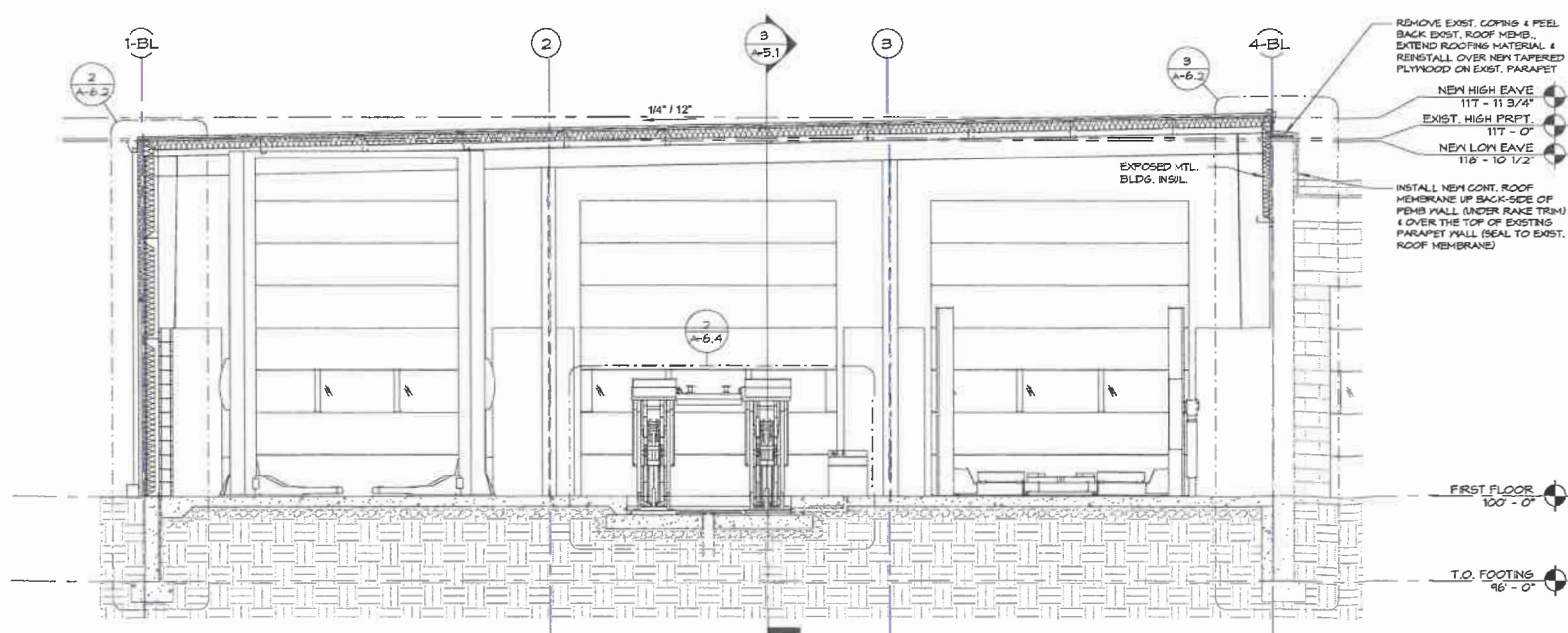
A-4.1



3 BUILDING SECTION - OFFICE/SERVICE BAY
1/4" = 1'-0"



2 BUILDING SECTION @ OFFICE
1/4" = 1'-0"



1 BUILDING SECTION @ SERVICE GARAGE
1/4" = 1'-0"

NOTE:
BUILDING SECTIONS FOR MASSING
ONLY. REFER TO WALL SECTIONS &
DETAILS FOR ADDTL. INFO.

REV. BY	DATE	REVISION DESCRIPTION

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3810 ROUTE 88TH STREET | MANITOWIC, WISCONSIN 53220
PHONE 888-888-1038 | WWW.ACEBUILDINGSERVICE.COM

Civil & Structural
A MEMBER OF ACE BUILDING SERVICE

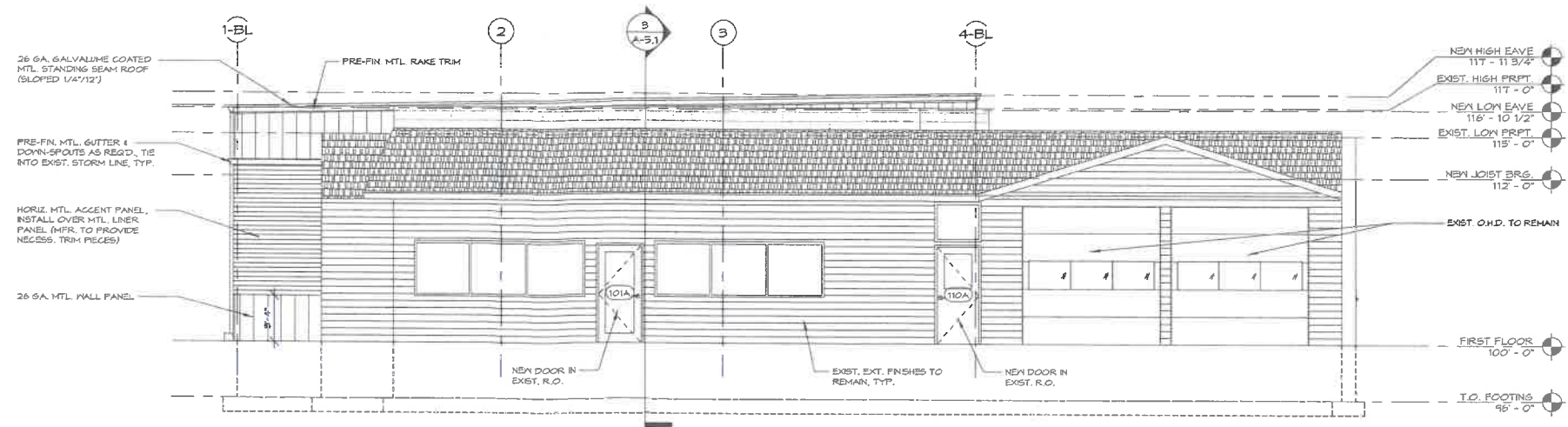
SMI
SUPERVISING PROFESSIONAL

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

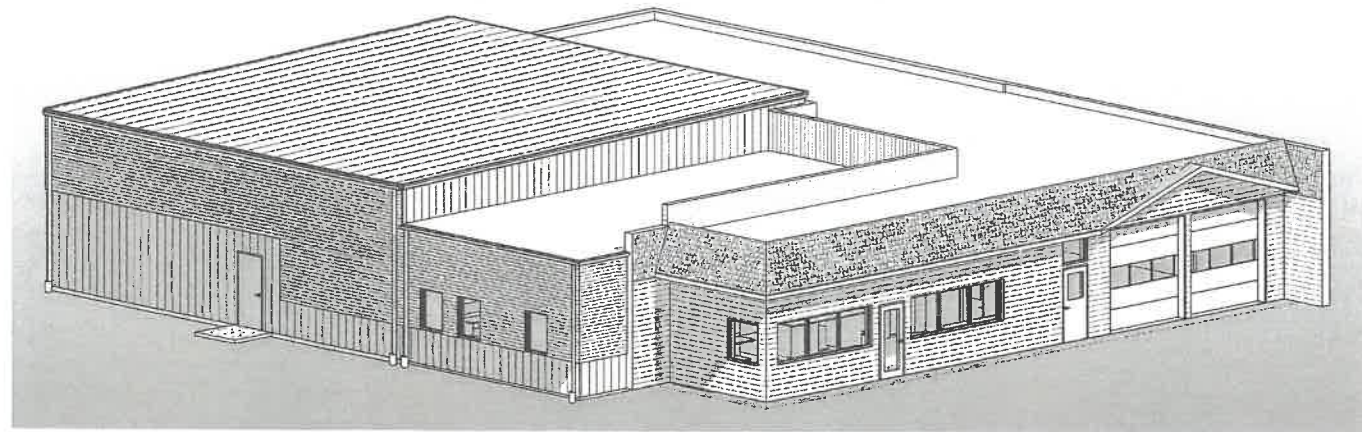
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SHEET INFORMATION	
A.C.E. JOB NO.	08-19-204
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	1/4" = 1'-0"

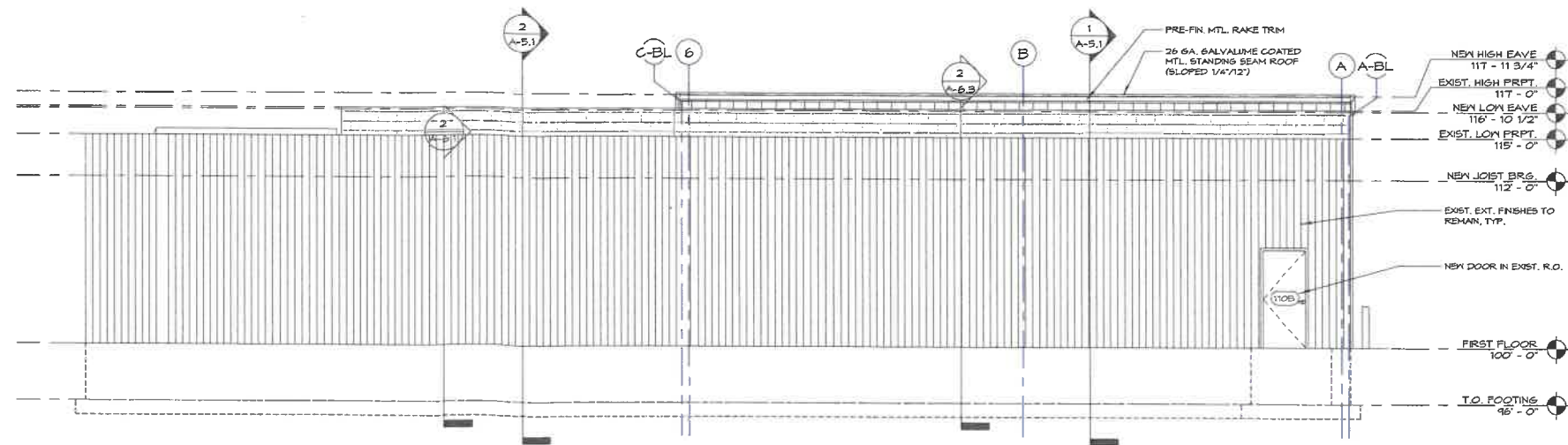
BUILDING SECTIONS
SHEET
A-5.1



1 BUILDING ELEVATION - WEST
 A-4.2 3/16" = 1'-0"



3 3D - NORTHWEST PERSPECTIVE
 A-4.2



2 BUILDING ELEVATION - SOUTH
 A-4.2 3/16" = 1'-0"

NO. REVISION DESCRIPTION DATE REV. BY

A.C.E. BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 2818 SOUTH 28TH STREET | MANITOWISH, WISCONSIN 54901
 PHONE 822-882-8158 | WWW.ACEBUILDINGSERVICE.COM

SMT Civil & Structural
 A DIVISION OF A.C.E. BUILDING SERVICE

SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:
SAUVE'S AUTO
 TWO RIVERS, WISCONSIN

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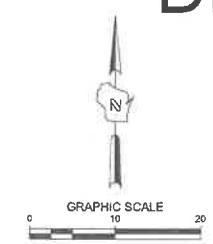
SHEET INFORMATION
 A.C.E. JOB NO.
 DATE: 08-19-204
 DRAWN BY: DAH
 SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

SHEET

A-4.2

DRAFT



GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINTS ON 8/19/2024.
4. DATUM FOR THE PROJECT SURVEY IS WGS 84. BENCHMARK FOR THE PROJECT SURVEY IS HYDRANT PUMPER NOZZLE, AT NORTHWEST CORNER OF 15TH STREET AND JEFFERSON STREET, AND HYDRANT FLANGE BOLT, AT NORTHWEST CORNER OF 15TH STREET AND WASHINGTON STREET.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

LEGEND:

- SECTION 1/4 SECTION LINE
- PROPERTY LINE
- EASEMENT
- X-X- CHAIN LINK FENCE
- O-O- GUARD RAIL
- METAL FENCE
- WOOD FENCE
- - - TREE LINE
- OH --- OVERHEAD UTILITY LINE
- E --- ELECTRIC
- T --- TELEPHONE
- FO --- FIBER OPTIC
- CTV --- CABLE TV
- SAN --- SANITARY SEWER
- FS --- FORCE MAIN
- ST --- STORM SEWER
- W --- WATER MAIN
- G --- GAS
- 670- EXISTING CONTOUR
- WET --- WETLAND
- FP --- FLOODPLAIN
- ⊕ UNKNOWN MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ STORM MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ MMSD MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ CLEANOUT
- ⊕ CATCH BASIN
- ⊕ CATCH BASIN (ROUND)
- ⊕ ROOF DRAIN
- ⊕ CULVERT END
- ⊕ HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ ELECTRIC METER
- ⊕ UTILITY PEDESTAL
- ⊕ HANDHOLE
- ⊕ VENT
- ⊕ MONITORING WELL
- ⊕ IRON PIPE FOUND/SET
- ⊕ REBAR FOUND/SET
- ⊕ CHISELED CROSS FOUND/SET
- ⊕ PK NAIL FOUND/SET
- ⊕ SPIKE/MAIL
- ⊕ MONUMENT
- ⊕ BENCHMARK
- ⊕ SIGN
- ⊕ PARKING METER
- ⊕ FLAG POLE
- ⊕ DECIDUOUS TREE
- ⊕ CONIFEROUS TREE
- ⊕ BUSH
- ⊕ POST
- ⊕ SOIL BORING
- ⊕ TRAFFIC SIGNAL
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ GUY POLE

PROJECT INFORMATION:

SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

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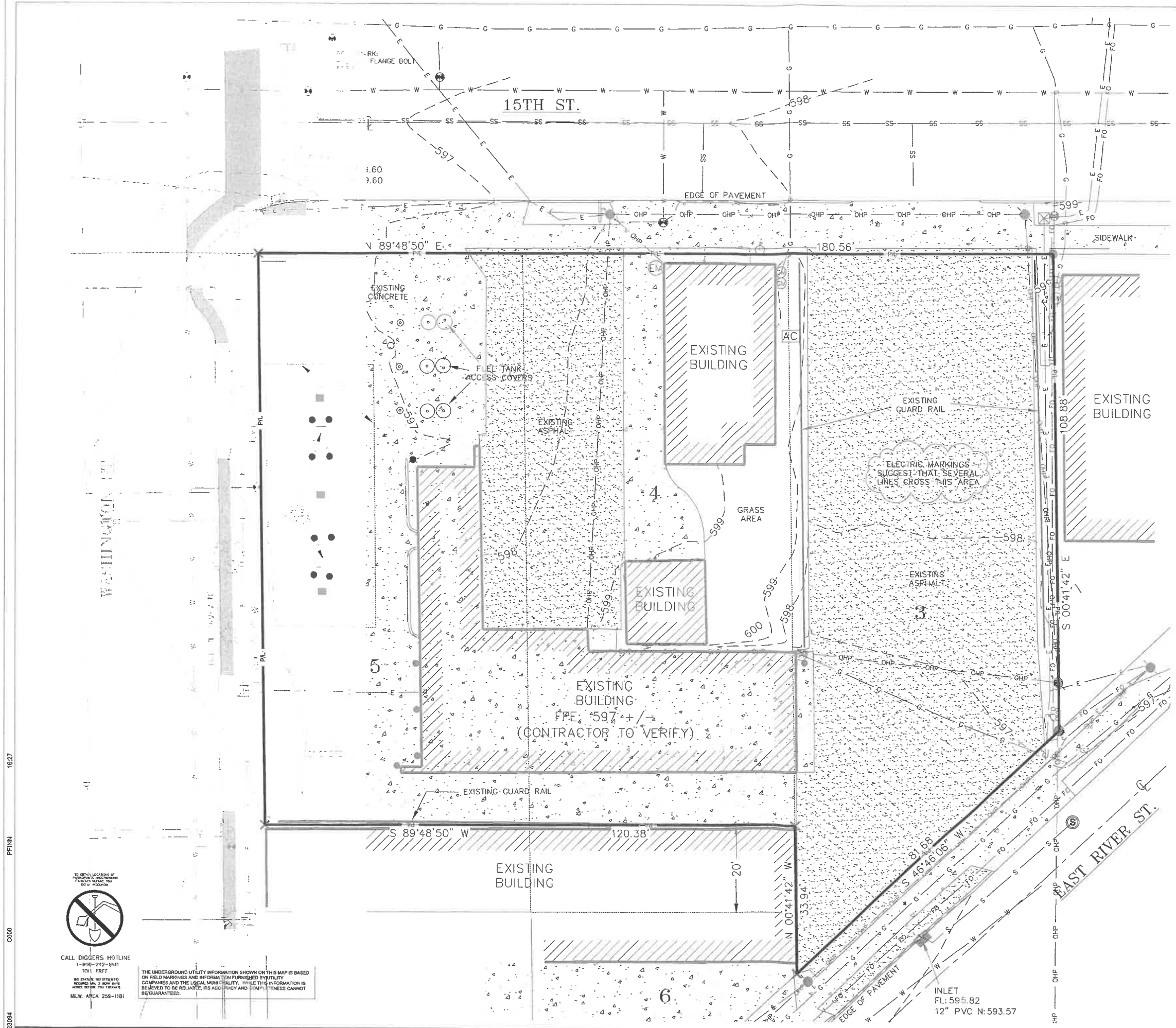
SHEET INFORMATION

A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'

SHEET

REV. BY	DATE	REVISION DESCRIPTION

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM



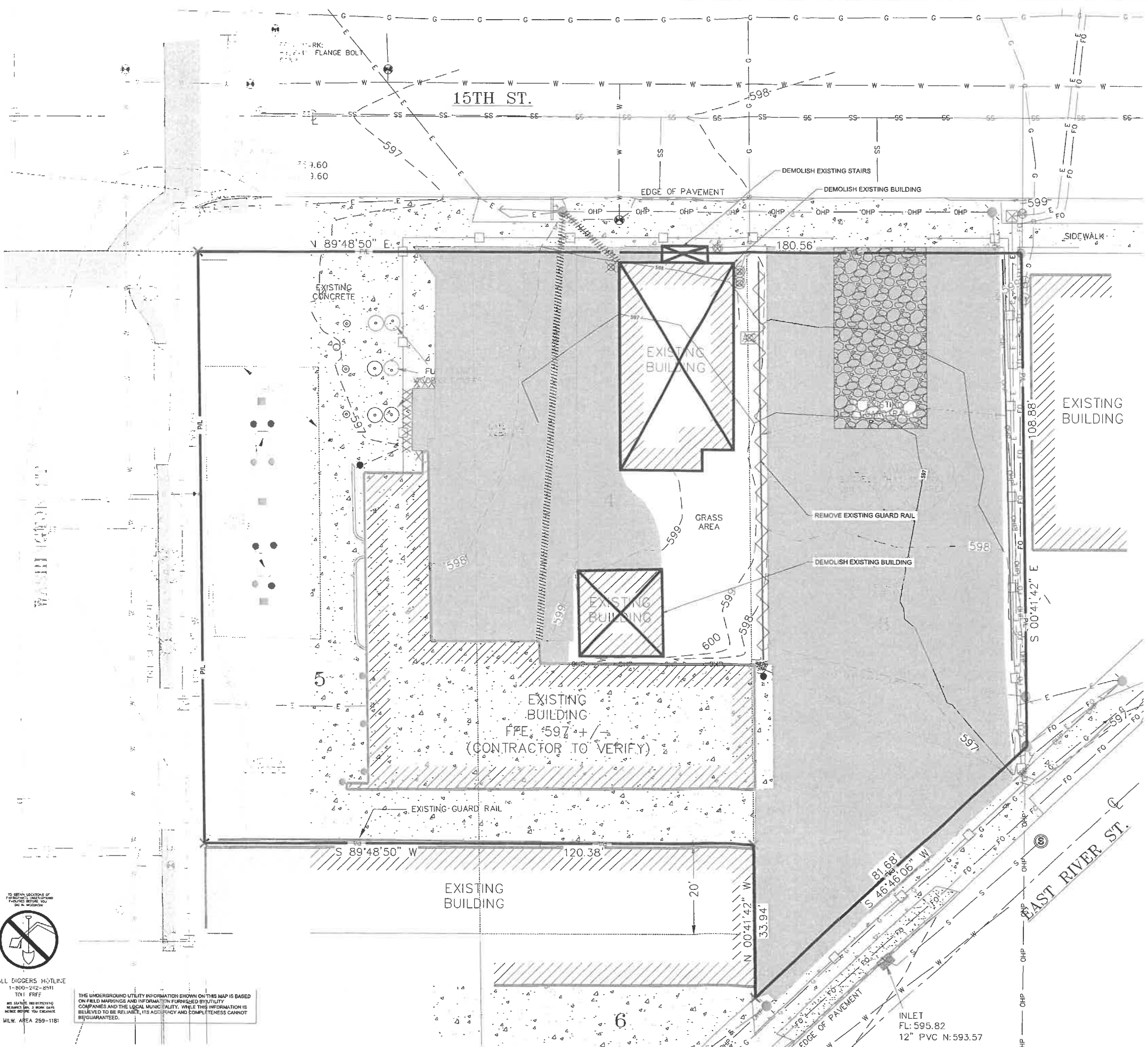
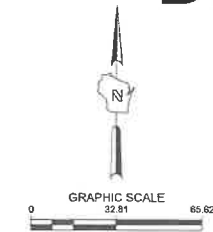
CALL DIGGERS HOTLINE
1-800-242-8111
TOLL FREE

WE STRONGLY RECOMMEND THAT YOU CALL THE DIGGERS HOTLINE BEFORE YOU BEGIN ANY WORK IN AN AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

23084 C000 1627 PF11N

DRAFT



- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. WORK TO BE COMPLETED IS INDICATED BY BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

- LEGEND:**
- (A C400) PROPOSED SEDIMENT LOG
 - (B C400) PROPOSED TRACKING PAD
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - ||||| UTILITY REMOVAL
 - XXXXXX SAWCUT
 - ⊗ STRUCTURE REMOVAL
 - REMOVE AND REPLACE EXISTING PAVEMENT

REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

SAUVE'S AUTO SERVICE
 1421 WASHINGTON ST.
 TWO RIVERS, WI 54241

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SHEET INFORMATION
 A.C.E. JOB NO. 302/23
 DATE: 8-15-24
 DRAWN BY: TLG
 SCALE: 1" = 10'
 SHEET **C100**



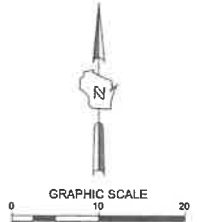
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WE GUARANTEE NO DAMAGE TO YOUR PROPERTY OR NEIGHBORS IF YOU CALL BEFORE YOU DIG!
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD LOCATIONS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

1627
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 23094

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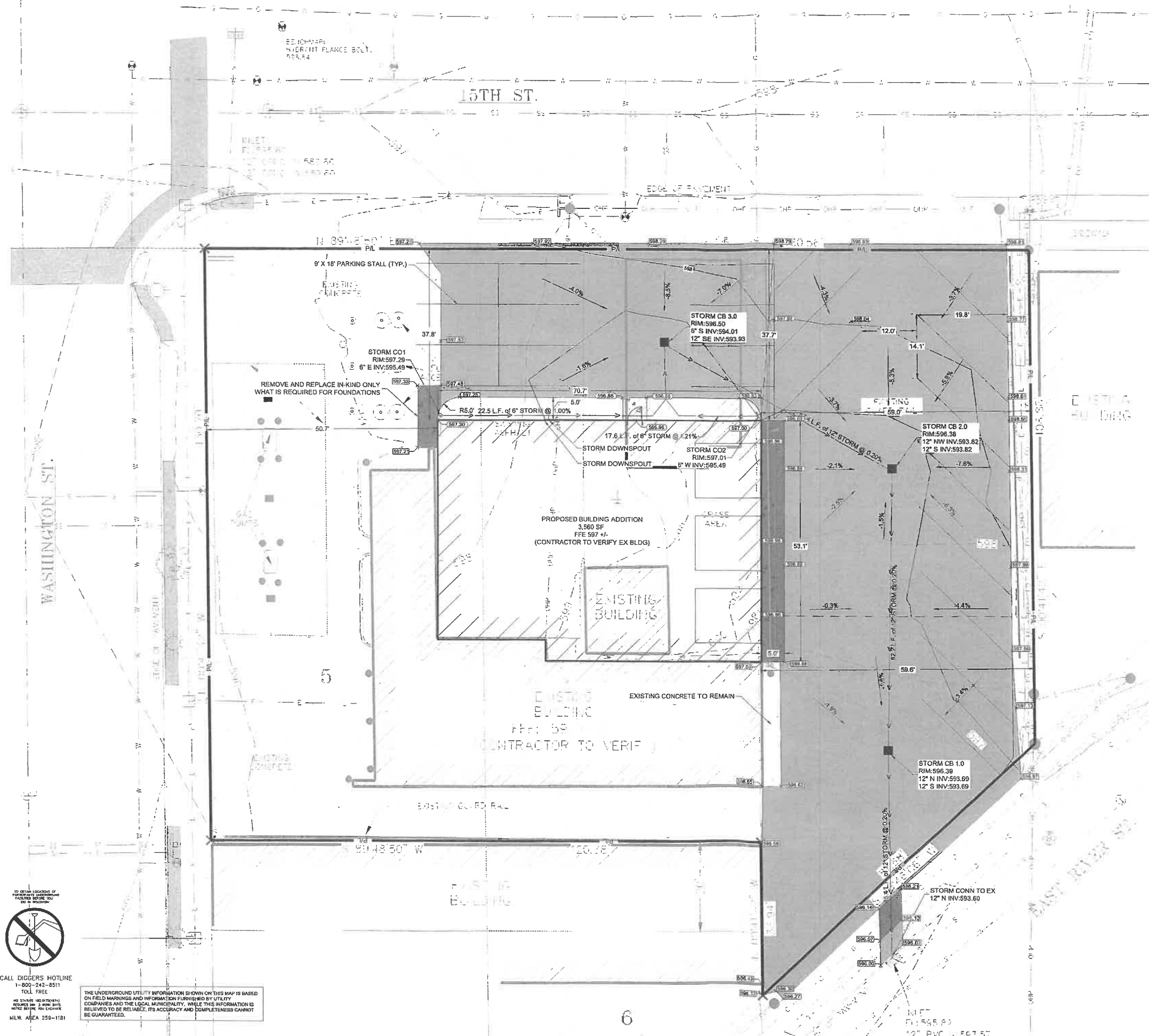
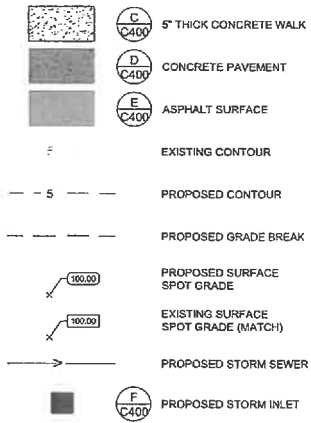
SITE INFORMATION		
SITE AREA	23984	0.550 AC
SITE DISTURBED AREA	14117	0.324 AC
EXISTING IMPERVIOUS AREA	21896	0.503 AC 91.4 %
PROPOSED IMPERVIOUS AREA	23168	0.532 AC 96.7 %
TOTAL PARKING SPACES	18	
ADA PARKING SPACES	--	



GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

LEGEND:



TO OBTAIN LOCATIONS OF
PARTICULAR UNDERGROUND
UTILITIES, CONTACT THE
FACILITIES DEPARTMENT
OF THE CITY OF MILWAUKEE.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WE STRIVE FOR EXCELLENCE
AND YOUR SATISFACTION IS OUR
TOP PRIORITY. PLEASE CONTACT
US WITH ANY COMMENTS OR
QUESTIONS.

MILWAUKEE AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

DATE	REV. BY

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

AC.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-662-6105 • FAX: 920-662-7700 • WWW.AC.EBUILDINGSERVICE.COM

SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'
SHEET	C200

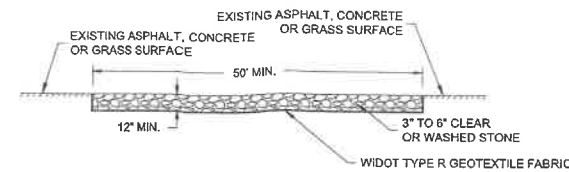
SITE IMPROVEMENT PLAN

EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORKDAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

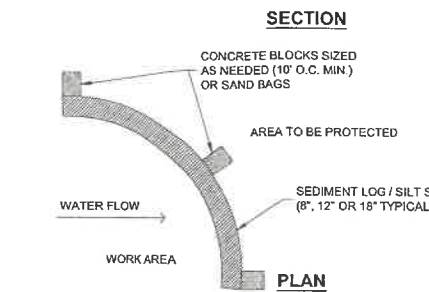
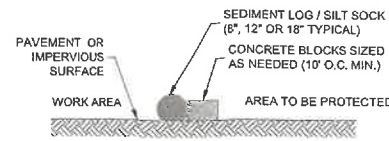
CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- DEMOLISH EXISTING STRUCTURES AS NOTED ON PLAN.
- STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. PER WDNR TECHNICAL STANDARD 1059, AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
- INSTALL PAVEMENTS.
- STABILIZE AREAS REMAINING WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

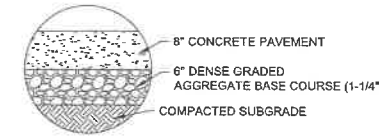


GENERAL NOTE:
 1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
 2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

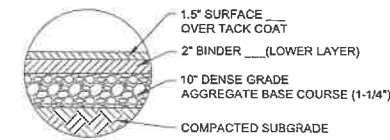
A CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE: NTS



C CONCRETE SIDEWALK SECTION
SCALE: NTS



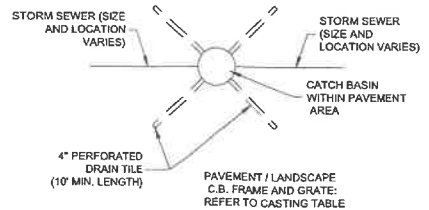
D CONCRETE PAVEMENT SECTION
SCALE: NTS



E ASPHALT PAVEMENT SECTION
SCALE: NTS

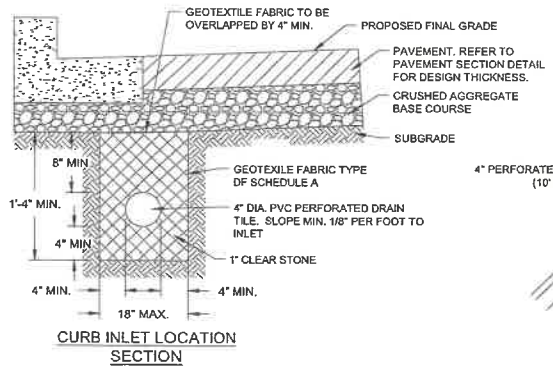
B SEDIMENT LOG - SILT SOCK ON PAVEMENT
SCALE: NTS

CATCH BASIN WITHIN LOW POINT OF PAVEMENT AREA

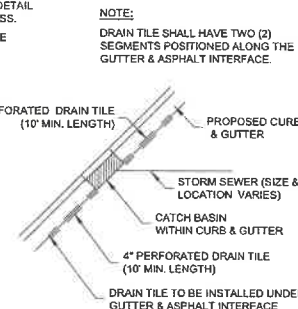


NOTES:
 1. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
 2. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
 3. 3" MIN. BEDDING OF STONE UNDER BASE REQUIRED. ADDITIONAL BEDDING STONE MAY BE REQUIRED ON WET SUB-GRADE.
 4. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

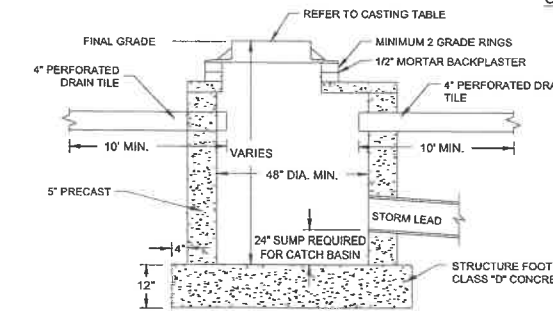
F INLET AND CATCH BASIN
SCALE: NTS



G CURB INLET LOCATION SECTION



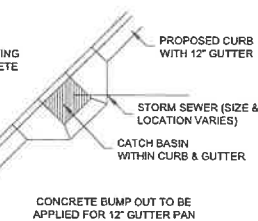
H CURB INLET WITHIN CURB & GUTTER PLAN



CURB INLET	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
AREA INLET	NEENAH R-3067	A	NEENAH R-3067	A	NEENAH R-3225H	C

NOTE:
 DRAIN TILE SHALL HAVE TWO (2) SEGMENTS POSITIONED ALONG THE GUTTER & ASPHALT INTERFACE.

I CATCH BASIN / INLET CASTING TABLE



J CONCRETE BUMP OUT TO BE APPLIED FOR 12\"/>

REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
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 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

SAUVE'S AUTO SERVICE
 1421 WASHINGTON ST.
 TWO RIVERS, WI 54241

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SHEET INFORMATION

A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	
SHEET	

DRAFT

Table with 2 columns: DATE, REV. BY

Table with 2 columns: REVISION DESCRIPTION, DATE

PROJECT INFORMATION: SAUVE'S AUTO SERVICE, 1421 WASHINGTON ST. TWO RIVERS, WI 54241. SHEET INFORMATION: A.C.E. JOB NO. 302/23, DATE: 8-15-24, DRAWN BY: TLG, SCALE: 1/8"=1'-0", SHEET

SHEET INFORMATION

GENERAL:

- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

SITE CLEARING:

- 1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BE REMOVED FROM PROJECT SITE.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
3. SALVAGE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
18. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

STORM DRAINAGE:

- 1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
16. AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(1/4) OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

EARTH MOVING:

- 1. ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL.
16. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS.
32. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.

CONCRETE PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES, JOB-MIX DESIGNS.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

ASPHALTIC PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES, JOB-MIX DESIGNS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
32. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SPECIFICATIONS

C500

16:28

JRICCHIO

C500

23094