

Transmittal Letter



PROJECT: *(Name and Address)*

Tulip Creek
 Eason Boulevard
 Tupelo, MS

Date: 5/6/2022

Project No.: 21052

TO: *(Name and Address)*

Department of Development Services
 Tupelo Planning Committee
 City of Tupelo

WE TRANSMIT:	<input checked="" type="checkbox"/>	Attached	<input type="checkbox"/>	Under separate cover	
VIA:	<input type="checkbox"/>	Overnight delivery	<input type="checkbox"/>	Mail	<input type="checkbox"/> E-mail
	<input type="checkbox"/>	Courier	<input type="checkbox"/>	Fax	<input checked="" type="checkbox"/> Other
FOR:	<input checked="" type="checkbox"/>	Approval / Action	<input type="checkbox"/>	Information	<input type="checkbox"/> Use as requested
	<input type="checkbox"/>	Comment	<input type="checkbox"/>	Distribution	<input type="checkbox"/> Other
THE FOLLOWING:	<input checked="" type="checkbox"/>	Drawings	<input type="checkbox"/>	Specifications	<input type="checkbox"/> Digital Files
	<input type="checkbox"/>	Submittals	<input type="checkbox"/>	Other	

NO. OF COPIES	DATE	DESCRIPTION
2	May 6, 2022	Major Site Plan Application

REMARKS:

We are submitting these on behalf of the owner/developer Britton Jones & Stewart Rutledge (Tulip Creek 2021, LP). If you have any questions please let me know. Thank you.

TRANSMITTED BY: J Bryan

COPIES TO: file

CITY OF TUPELO DEPARTMENT OF DEVELOPMENT SERVICES

MAJOR SITE PLAN APPLICATION

Department of Development Services
PO Box 1485, Tupelo, MS 38802-1485
Phone (662) 841-6510 FAX (662) 841-6550
<http://www.tupeloms.gov/developmentservices>

TO THE TUPELO PLANNING COMMITTEE:

As owner, developer, agent or engineer (indicate which), it is requested that the proposed development site plan as described below be given a major site plan approval by the Tupelo Planning Committee and the respective governing body in accordance with Tupelo Regulations.

The proposed development site is located: North Eason Blvd.

Name of Development: Tulip Creek

Describe in detail the proposed development: _____

Six new 2-story apartment buildings and one 1-story community building for the development.

ACRES IN THE ENTIRE PARCEL	NUMBER OF BUILDINGS	TOTAL NUMBER OF UNITS
14.53	7	48

List all existing structures on this property: N/A

Name, address and phone number of Owner of Land: _____
Current: Barbara Oswalt, 121 CR 500, Plantersville, MS 38862

Purchaser: Tulip Creek, 2021 LP - 1739 University Ave., Suite 116, Oxford, MS 662-202-8226

Name, address and phone number of Engineer, Surveyor or Draftsman: _____
Civil: ESI (John White) 1324 N. Veterans Blvd., Tupelo, MS 662-840-9063

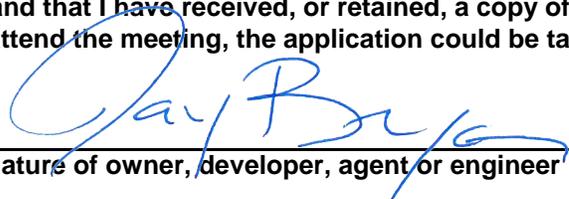
Architect: McCarty Architects (Jay Bryan) 533 W. Main St., Tupelo, MS 662-844-4400

Attached and made a copy of this application are the following:

1. 10 copies of the development site plan drawn in accordance with Development Code Requirements.
2. Application Fee - \$200.00 plus \$20.00 per commercial unit and / or \$10.00 per residential unit.

I hereby certify that all the above information is true and correct and that I have received, or retained, a copy of this application. I understand that if I or my representative does not attend the meeting, the application could be tabled or denied.

Date May 6, 2022


Signature of owner, developer, agent or engineer
662-844-4400

Mailing Address _____ Telephone Number _____

- NOTES:
1. Submit application no later than the four weeks prior to the next meeting of the Planning Committee. The Planning Committee meets on the first Monday of each month.
 2. Applicant must be represented at the meeting which is held at 6:00 PM in the City Hall Council Chambers on second floor of 71 East Troy Street.

SEE OTHER SIDE.

TULIP CREEK APARTMENTS

**EASON BOULEVARD
 TUPELO, MISSISSIPPI**

OFFICE / STUDIO ADDRESS
 McCARTY ARCHITECTS
 533 WEST MAIN STREET
 TUPELO, MS 38804
 (662) 844-4400

CIVIL ENGINEER
 ENGINEERING SOLUTIONS INC.
 1324 NORTH VETERANS BLVD.
 TUPELO, MS 38804
 (662) 840-9063

INDEX TO DRAWINGS

CIVIL

C000	EXISTING TOPOGRAPHY
C100	DEMOLITION PLAN
C101	PLAN PROFILE
C102	PLAN PROFILE
C103	PLAN PROFILE
C104	GRADING PLAN
C105	DRAINAGE PLAN
C106	EROSION CONTROL PLAN
C107	STRIPING PLAN
C108	LAYOUT PLAN
C109	UTILITY PLAN
C200	SITE DETAILS
C201	DRAINAGE AND UTILITY DETAILS

ARCHITECTURAL

L101	LANDSCAPE PLAN
A101	BLDG 1-6 FIRST AND SECOND FLOORPLANS
A201	EXTERIOR ELEVATIONS BLDGS 1-6
A501	COMMUNITY BUILDING PLANS AND SECTIONS
A502	COMMUNITY BUILDING EXTERIOR ELEVATIONS



LOCATION MAP 
 NORTH

SITE PLAN SUBMISSION

DATED: 06 MAY 2022

SET NUMBER:

PROJECT NUMBER: 21052

REVISIONS:

GENERAL NOTES

1. THE LOCATION OF ALL EXISTING UTILITIES IS BASED ON TOPOGRAPHIC DATA AND INFORMATION PROVIDED BY THE OWNER. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA.
2. THE LOCATION OF ALL EXISTING STORM DRAINAGE IS BASED ON TOPOGRAPHIC DATA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION, GRADE, SIZE AND TYPE OF EXISTING STORM DRAIN ITEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFELY MAINTAINING TRAFFIC AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
4. ANY EXISTING MANHOLES, WATER VALVES, METER BOXES, ETC. TO REMAIN WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH NEW CONSTRUCTION.

LEGEND

- TSW 000.00 → TOP SIDEWALK
- BSW 000.00 → BOTTOM SIDEWALK
- TBC 000.00 → TOP BACK CURB
- SW 000.00 → SIDEWALK
- 000.00 → SPOT GRADE
- FLUSH

GRADING NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY MAINTAINING TRAFFIC DURING THE CONSTRUCTION OF THE PROJECT.
2. EXCAVATION AND EMBANKMENT CONSTRUCTION MAY BEGIN AFTER THE REQUIRED DEMOLITION AND REMOVAL HAS BEEN COMPLETED AND APPROVED BY THE ARCHITECT. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. SEE SPECIFICATIONS FOR EMBANKMENT AND BACKFILL MATERIAL.
3. FINISH CONTOURS SHOWN REFLECT FINISH PAVEMENT GRADES (WHERE APPLICABLE). ROUGH GRADING SHALL BE DETERMINED BY SUBTRACTING THE STRUCTURE THICKNESS.
4. ANY EXISTING MANHOLES, WATER VALVES, GAS VALVES, METER BOXES, ETC. WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH THE NEW CONSTRUCTION.
5. ALL GRASSED AREAS SHALL BE GRADED TO DRAIN TO THE APPROPRIATE INLET OR SLOPE TO ENSURE POSITIVE DRAINAGE ACROSS THE PROPERTY.
6. SUBGRADE SHALL BE PREPARED AS OUTLINED IN THE GEOTECHNICAL REPORT PROVIDED BY THE ARCHITECT.
7. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WERE DETERMINED FROM ABOVE GROUND EVIDENCE AND INFORMATION PROVIDED BY THE SERVING UTILITY COMPANIES. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA. THE LOCATION OF ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
8. THE LOCATION OF EXISTING STORM DRAINAGE WAS DETERMINED FROM TOPOGRAPHIC SURVEY AND ABOVE GROUND EVIDENCE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
9. CROSS SLOPES FOR ALL SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2.00%.
10. EXISTING TOPSOIL SHALL BE STOCKPILED ON THE SITE FOR USE IN PLATING GRADED AREAS.

OFFICE ADDRESS:
515 WEST MAIN STREET
TUPELO, MS 38804
PHONE: 662.840.9063
FAX: 662.840.9064

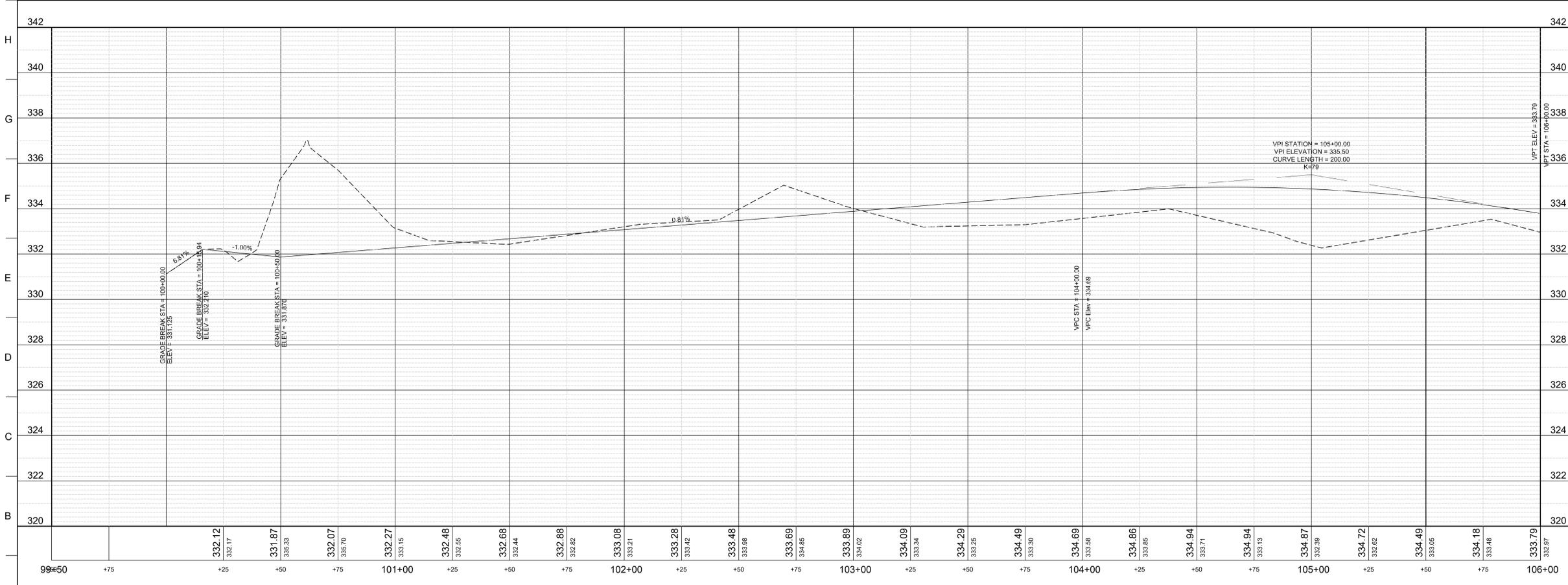
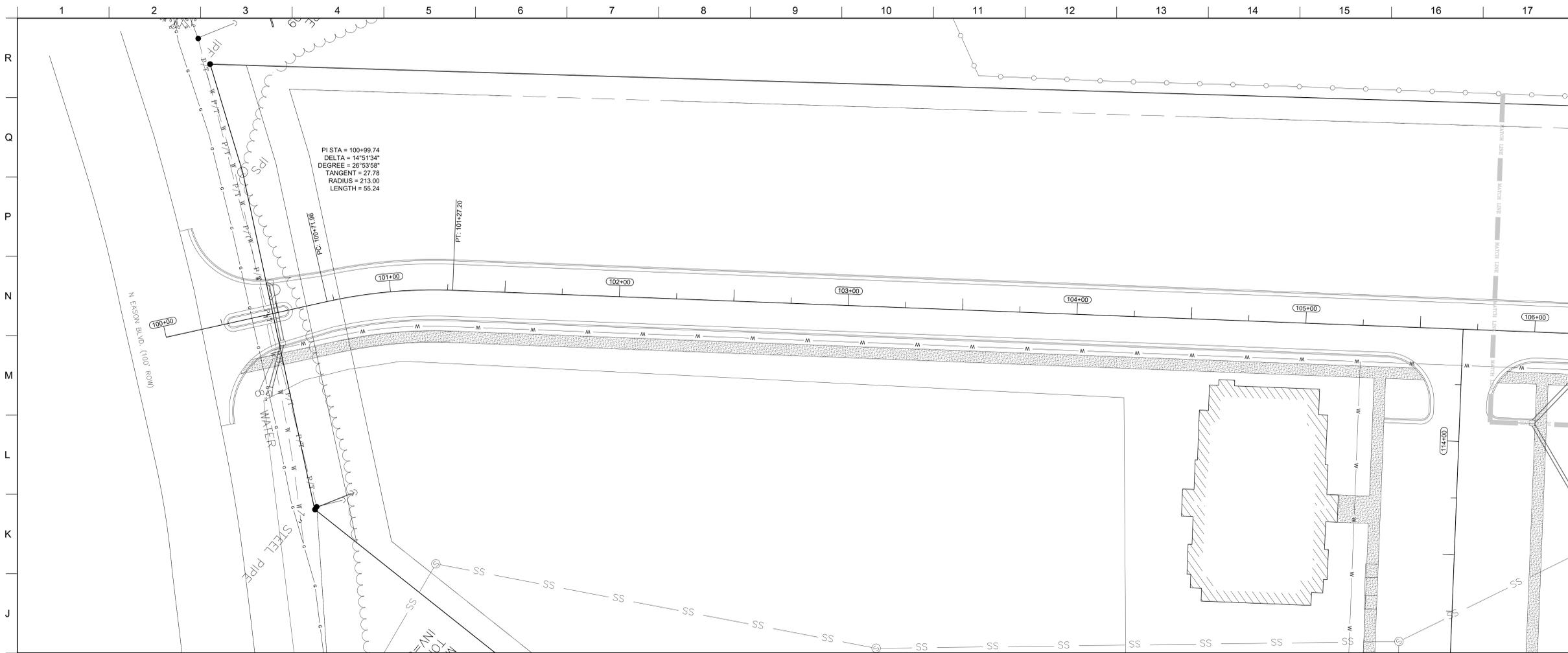
MCCARTY
ARCHITECTS
KURT SHETTLES, ARCHITECT

PROJECT TITLE
**TULIP CREEK
APARTMENTS**
NORTH EASON BLVD
TUPELO, MS

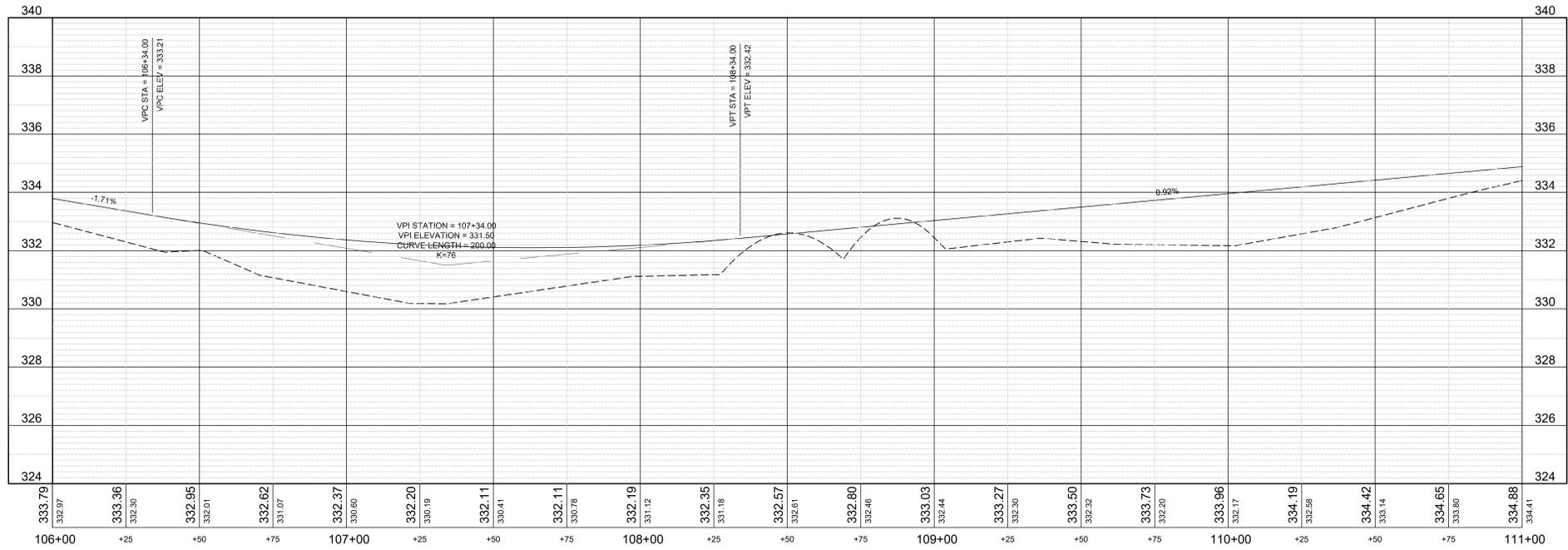
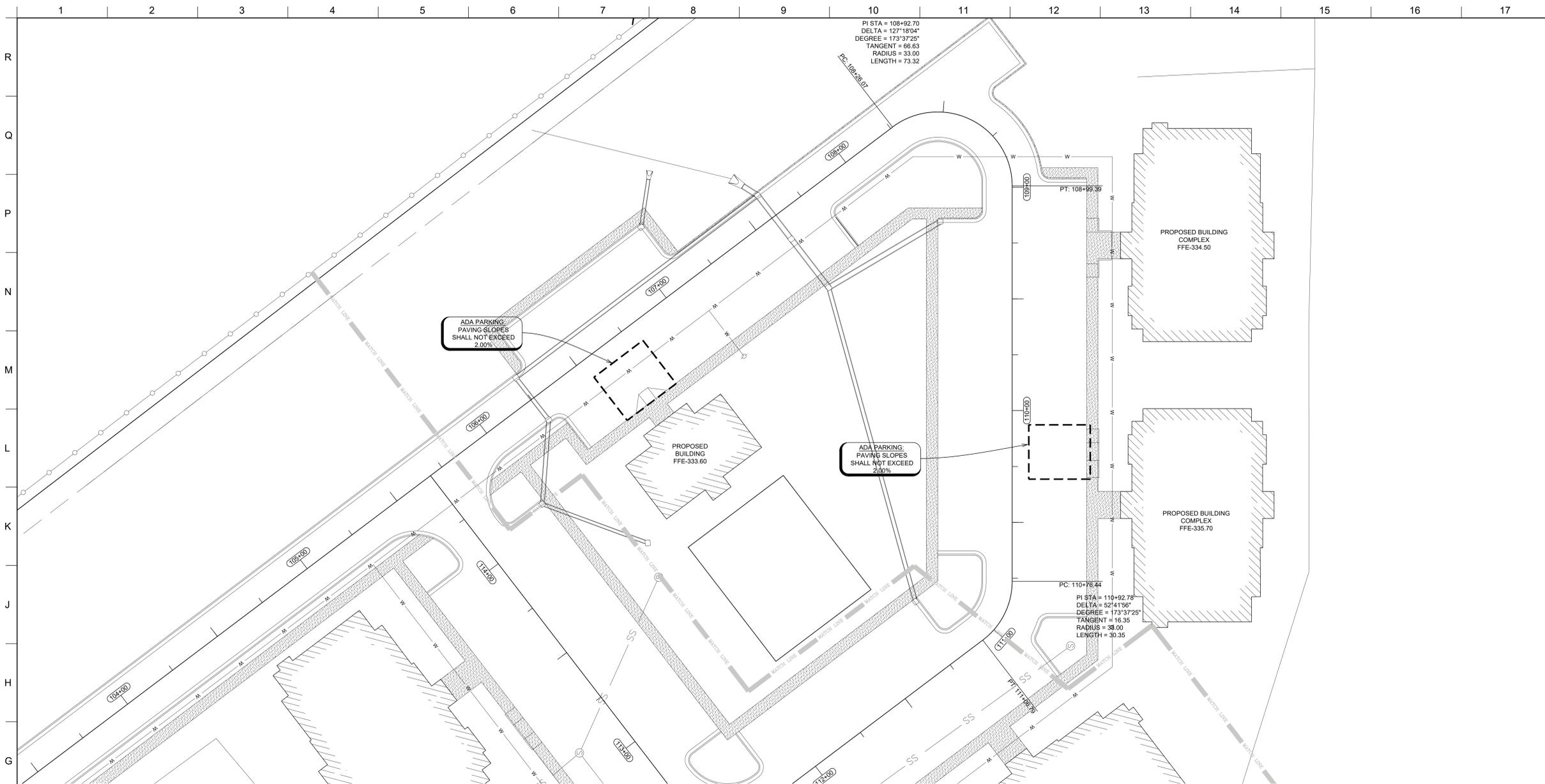
PROJECT NO:
• 21052
DRAWN BY:
• LH
CHECKED BY:
• JW
DATE ISSUED:
• 03 MAR 2022

SHEET TITLE
**PLAN
PROFILE**

SHEET NUMBER
C101
of



A1 PLAN PROFILE
1"=20'
NORTH



GENERAL NOTES

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OFFICE ADDRESS:
515 WEST MAIN STREET
TUPELO, MS 38804
PHONE: 662.840.9063
FAX: 662.840.9064



PROJECT TITLE
**TULIP CREEK
APARTMENTS**
NORTH EASON BLVD
TUPELO, MS

PROJECT NO:
• 21052
DRAWN BY:
• LH
CHECKED BY:
• JW
DATE ISSUED:
• 03 MAR 2022

REVISIONS & ADDENDUMS

NO.	DESCRIPTION

SHEET TITLE
**PLAN
PROFILE**

SHEET NUMBER
C102
of



GENERAL NOTES

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DRAINAGE NOTES

POSITIVE DRAINAGE AWAY FROM BUILDING IS REQUIRED IN ALL AREAS. CONTRACTOR TO ENSURE FINAL GRADING AND PAVING MEET THIS REQUIREMENT.

THE FLOW LINE ELEVATIONS SHOWN WERE SET BASED ON TOPOGRAPHIC INFORMATION AND PROPOSED FINISH GRADES.

ALL STORM DRAIN PIPING TO BE BEDDED AND BACKFILLED PER ASTM-E2321.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCHING OPERATIONS ARE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS.

OFFICE ADDRESS:
 615 WEST MAIN STREET
 TUPELO, MS 38801
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 FAX: 662.840.9064

MCCARTY
 ARCHITECTS
 KURT SHETTLES, ARCHITECT

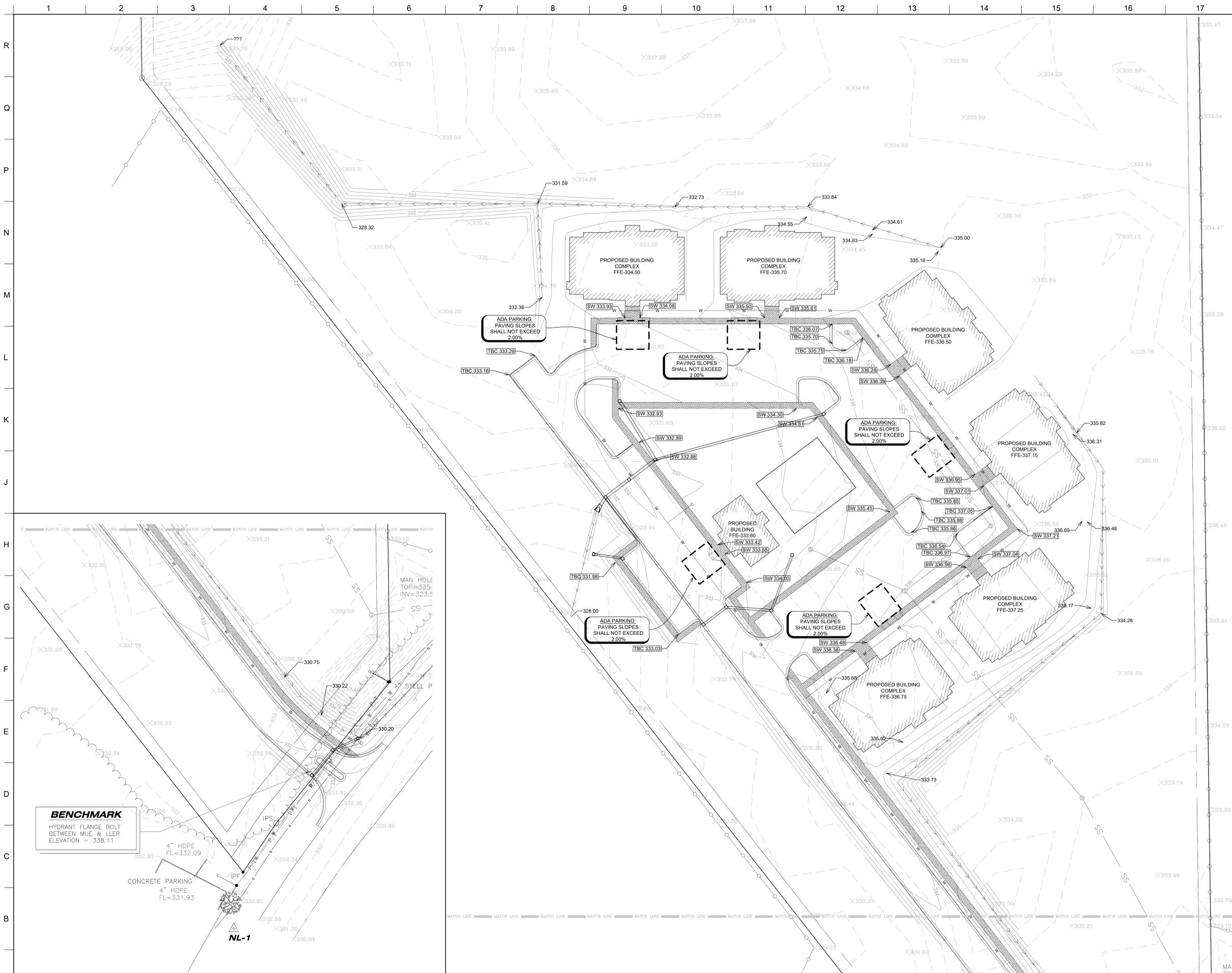
PROJECT TITLE
TULIP CREEK
APARTMENTS
 NORTH EASON BLVD
 TUPELO, MS

PROJECT NO:
 • 21052
 DRAWN BY:
 • LH
 CHECKED BY:
 • JW
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 • 03 MAR 2022

REVISIONS & ADDENDUMS

SHEET TITLE
GRADING PLAN

SHEET NUMBER
C104
 of



A1 GRADING PLAN
 1"=30'

NORTH

A7 GRADING PLAN
 1"=30'

NORTH

1/17/2022 1:39:51 PM

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MCCARTY
ARCHITECTS
KURT SHETTLES, ARCHITECT

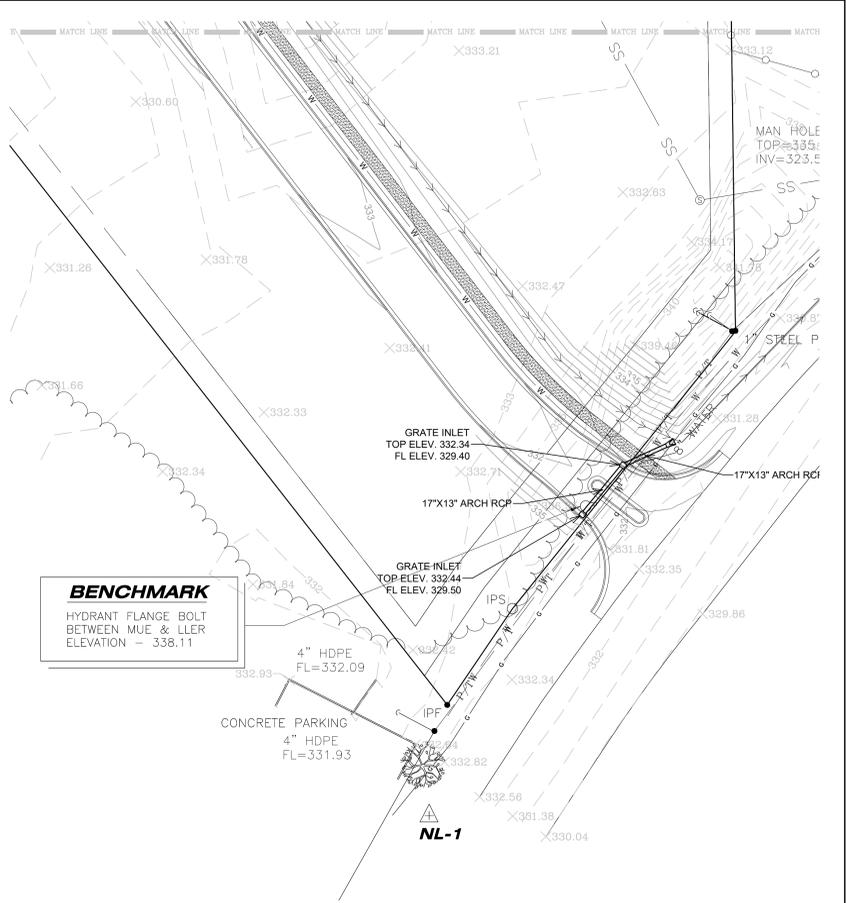
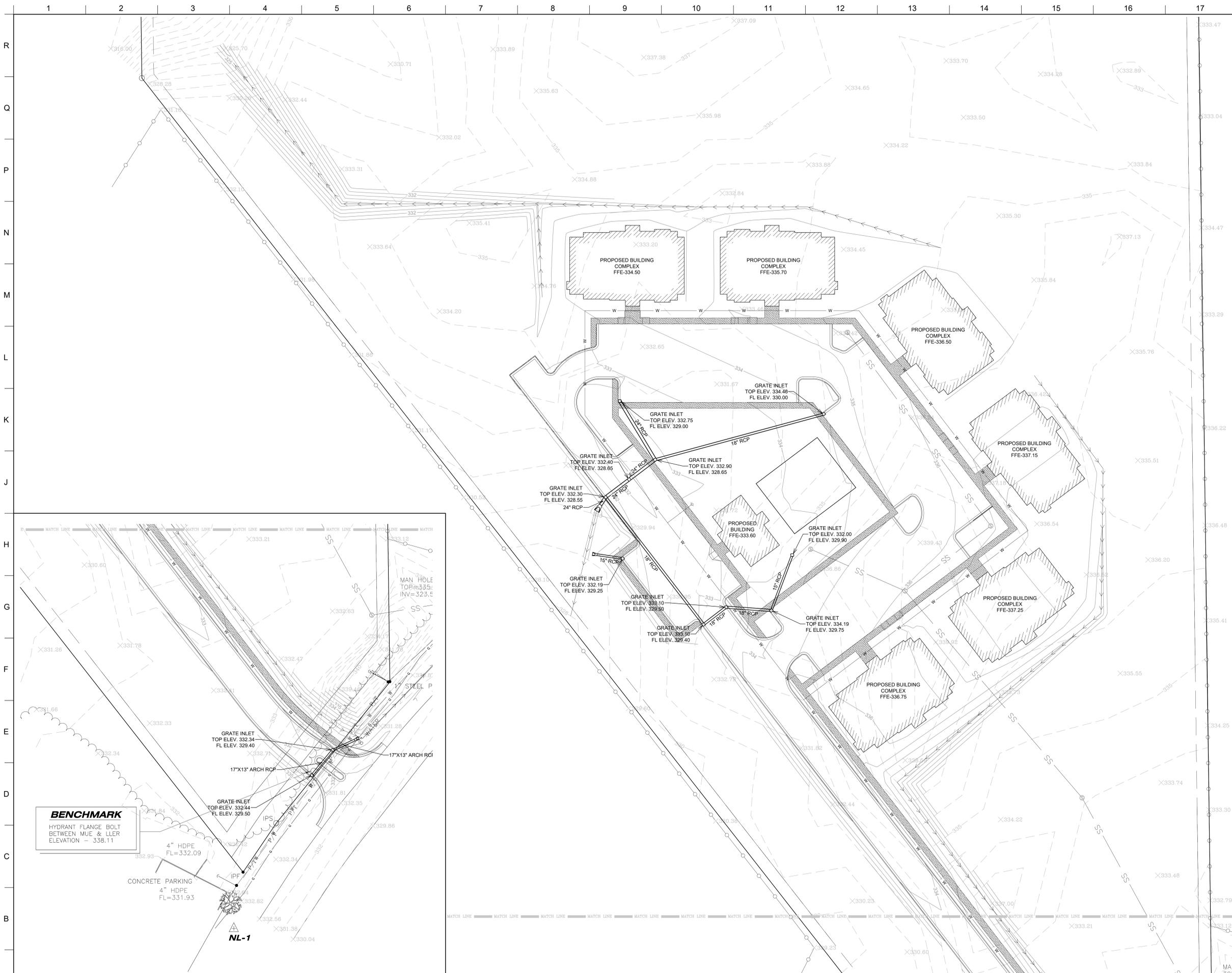
PROJECT TITLE
**TULIP CREEK
APARTMENTS**
NORTH EASON BLVD
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PROJECT NO:
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DATE ISSUED:
• 03 MAR 2022

REVISIONS & ADDENDUMS

SHEET TITLE
**DRAINAGE
PLAN**

SHEET NUMBER
C105
of



A1 DRAINAGE PLAN
1\"/>

A7 DRAINAGE PLAN
1\"/>

GENERAL NOTES

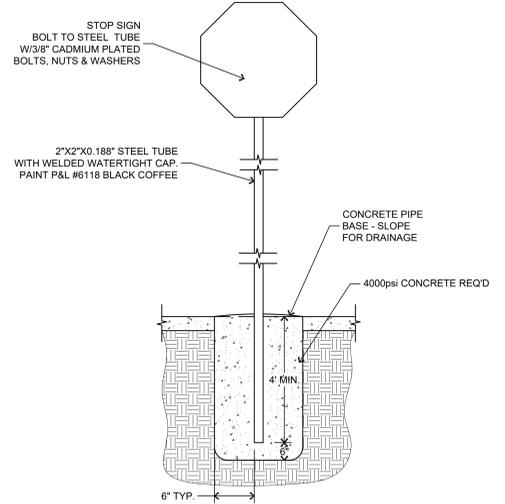
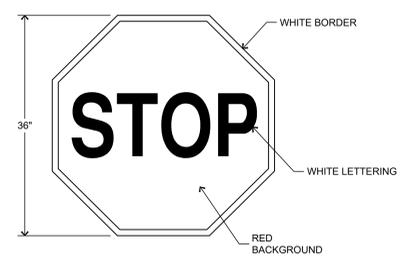
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STRIPING NOTES

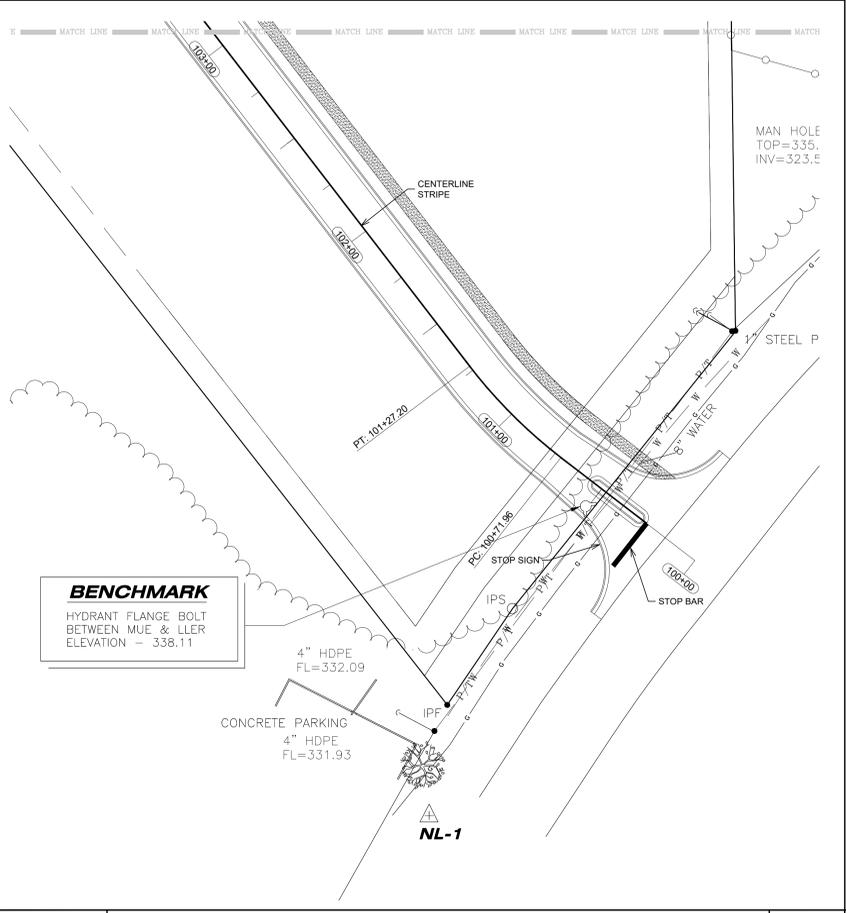
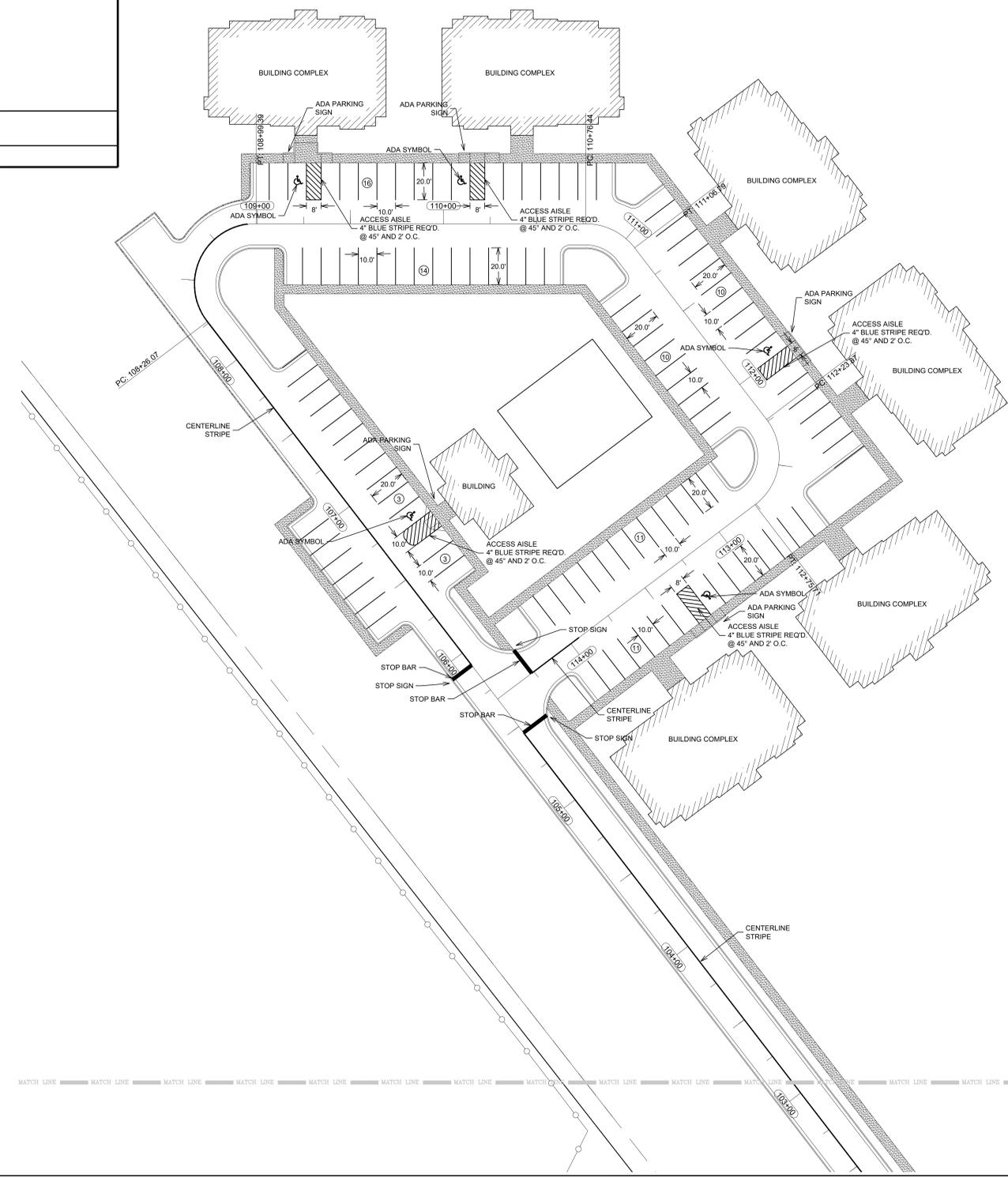
1. OUTLINE OF BUILDING SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
2. ALL PARKING LOT STRIPING SHALL BE 4" WHITE REFLECTORIZED PAINT, EXCEPT FOR ADA STRIPING, WHICH SHALL BE BLUE REFLECTORIZED PAINT.
3. 107 TOTAL PARKING SPACES INCLUDING 5 ADA SPACES

REVISIONS & ADDENDUMS

NO.	DESCRIPTION



M1	STOP SIGN	M5	STOP SIGN DETAIL
N.T.S.		N.T.S.	



A1	STRIPING PLAN	A7	STRIPING PLAN
1"=30'		1"=30'	



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UTILITY NOTES

1. COORDINATE INSTALLATION OF ALL UTILITIES WITH THE ARCHITECT SUCH THAT BEDDING OF ALL PIPING CAN BE VERIFIED AND ALL PIPING TESTS CAN BE WITNESSED PRIOR TO BACKFILLING.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCHING OPERATIONS ARE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS AND ACCEPTED PRACTICES.
3. ALL NEW PIPING SHALL HAVE A MINIMUM OF 36" GROUND COVER. ALL NEW BURIED NONMETALLIC PIPING, INCLUDING IRRIGATION PIPING, SHALL BE TRACED WITH IDENTIFICATION METALLIC BASED TRACER TAPE, COLOR CODED AND LABELED PER FUNCTION AND ANSI STANDARDS AND INSTALLED AT APPROXIMATELY 12" BELOW FINISH GRADE.
4. ALL UTILITY TRENCHES IN PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE GRANULAR MATERIAL AND COMPACTED TO REQUIRED DENSITY. PAVEMENT TO BE REPLACED AS DIRECTED.
5. ALL UTILITY TRENCHES IN UN-PAVED AREAS SHALL BE BACKFILLED WITH APPROVED MATERIAL, COMPACTED, PROTECTED FROM SETTLEMENT AND THEN REGRADED AS DIRECTED.
6. INSTALLATION OF ALL UTILITY LINES AND CONNECTIONS SHALL BE IN ACCORDANCE WITH ALL LOCAL RULES AND GUIDELINES.
7. VALVE BOXES ARE REQUIRED FOR ALL VALVES.
8. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL SERVING UTILITIES ON ALL NEW TAPS AND CONNECTIONS TO UTILITY SYSTEMS. THE CONTRACT EXPENSE FOR THESE NEW TAPS AND TAP VALVES ARE BY THE CONTRACTOR REGARDLESS OF WHO MAKES THE TAP. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE LOCATIONS, TIMING, AND EXTENSION OF THOSE TAPS TO SERVE THIS PROJECT WITH THE SERVING UTILITIES.

OFFICE ADDRESS:
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FAX: (662) 840-9064



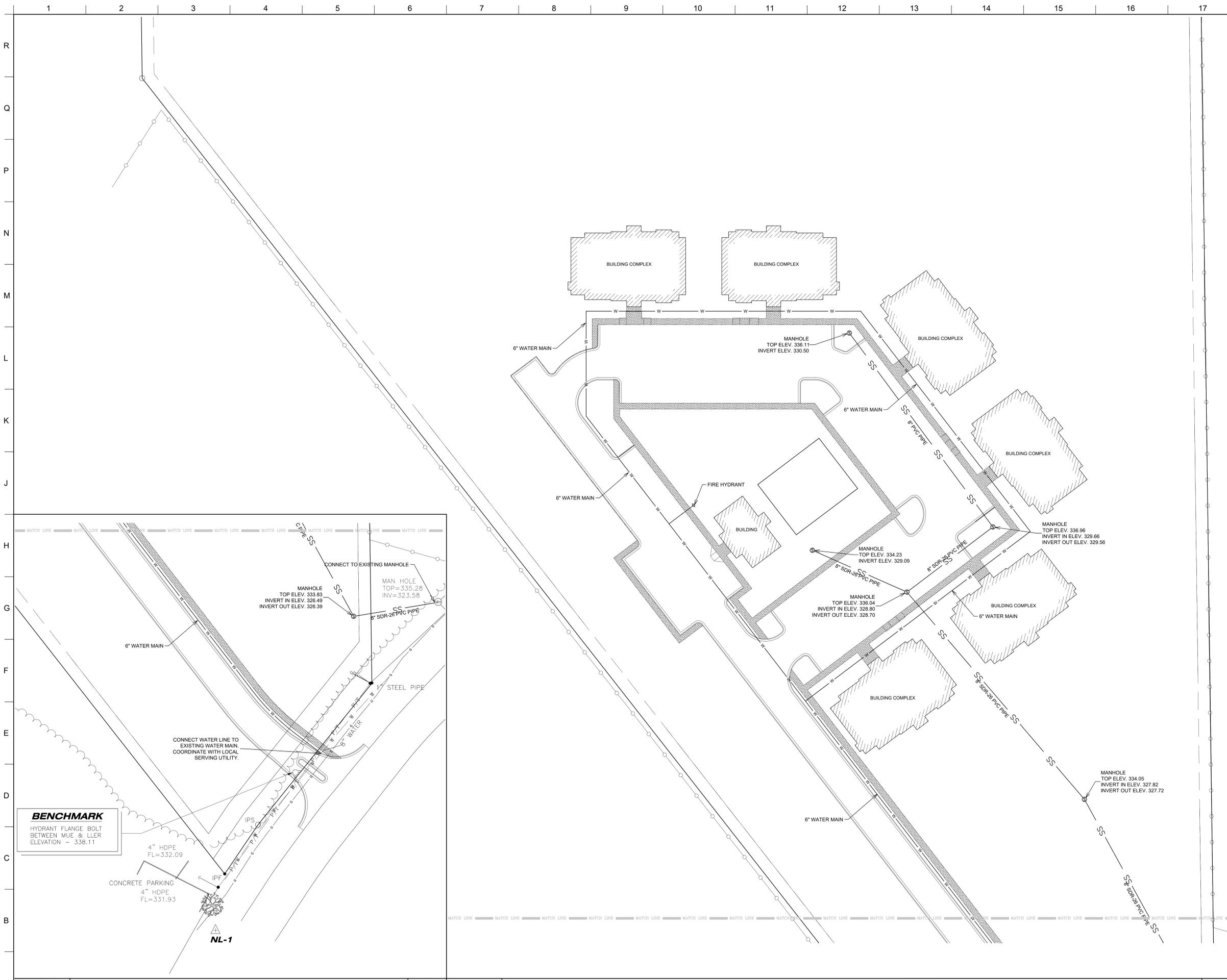
PROJECT TITLE
TULIP CREEK APARTMENTS
NORTH EASON BLVD
TUPELO, MS

PROJECT NO:
• 21052
DRAWN BY:
• Author
CHECKED BY:
• Checker
DATE ISSUED:
• 03 MAR 2022

REVISIONS & ADDENDUMS

SHEET TITLE
LAYOUT PLAN

SHEET NUMBER
C109
of

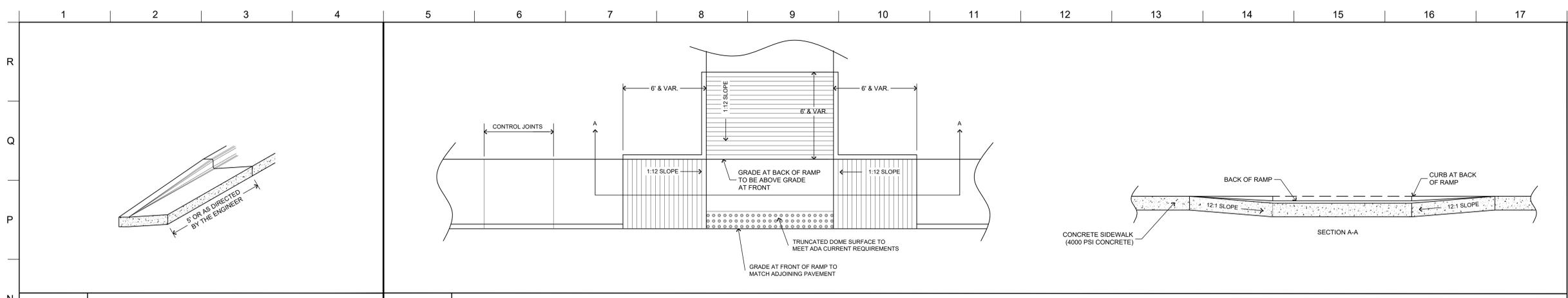


A1	LAYOUT PLAN	
1"=30'		

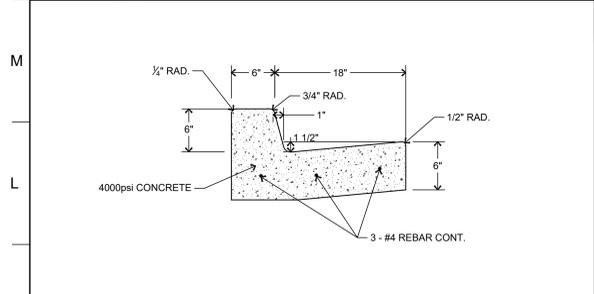
A7	LAYOUT PLAN	
1"=30'		

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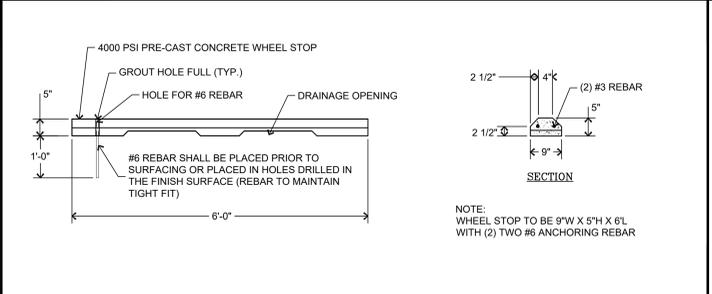
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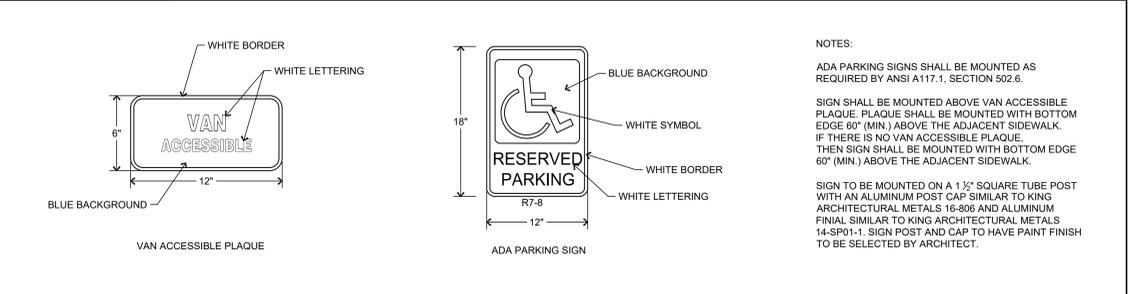
N1 CURB TRANSITION **N5 ADA RAMP DETAIL**



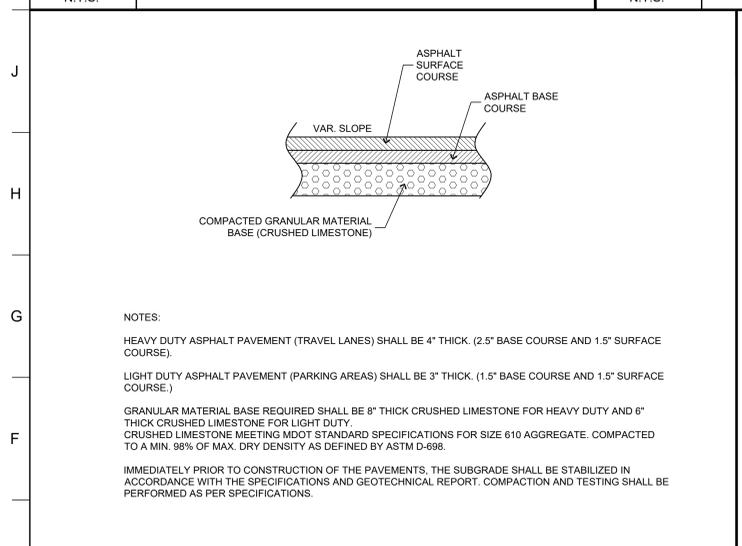
K1 CURB AND GUTTER DETAIL



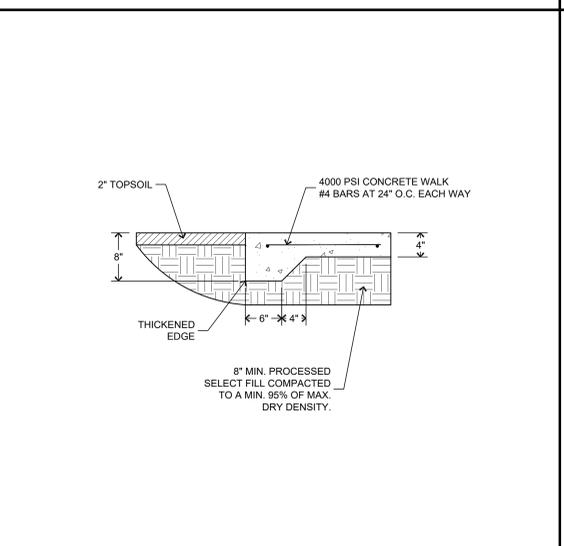
K5 CURB STOP DETAIL



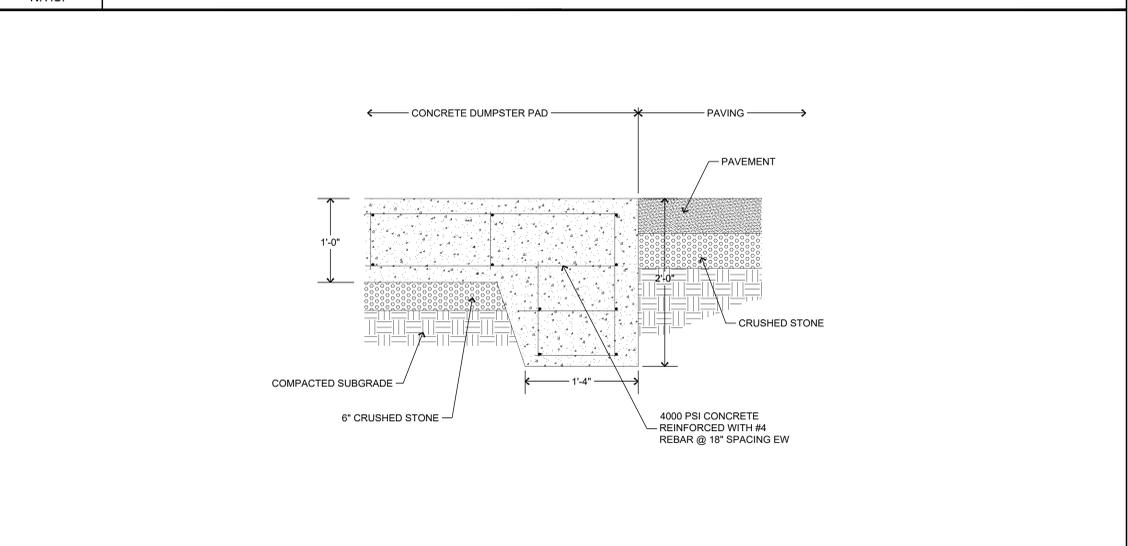
K10 ADA SIGNS



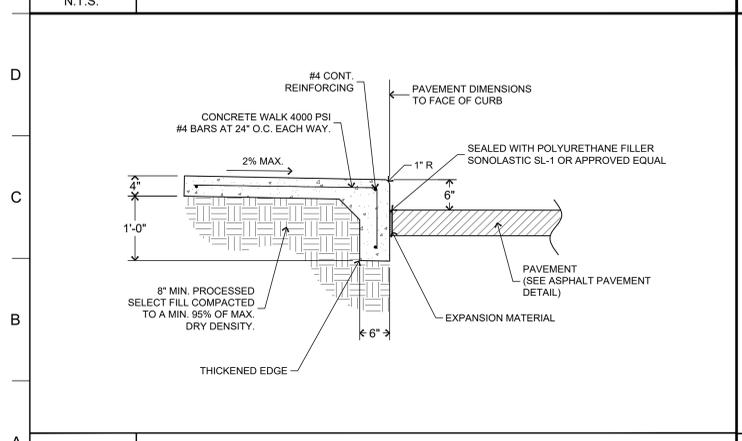
E1 ASPHALT PAVEMENT DETAIL



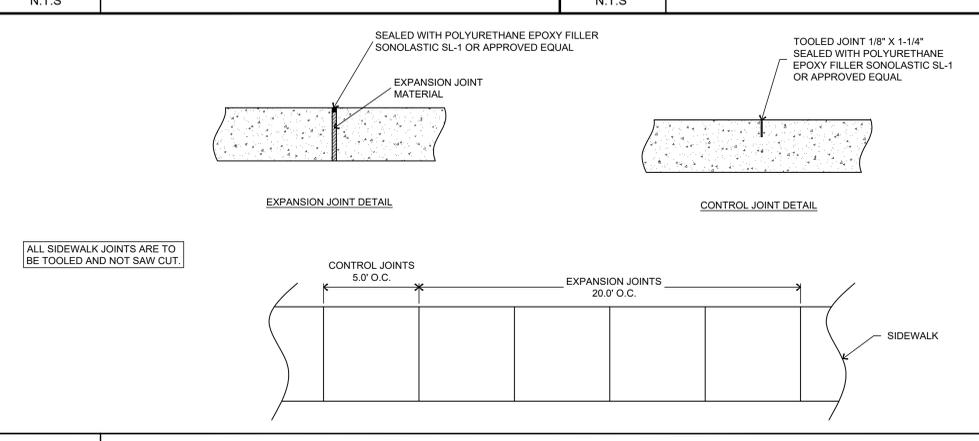
E6 SIDEWALK DETAIL



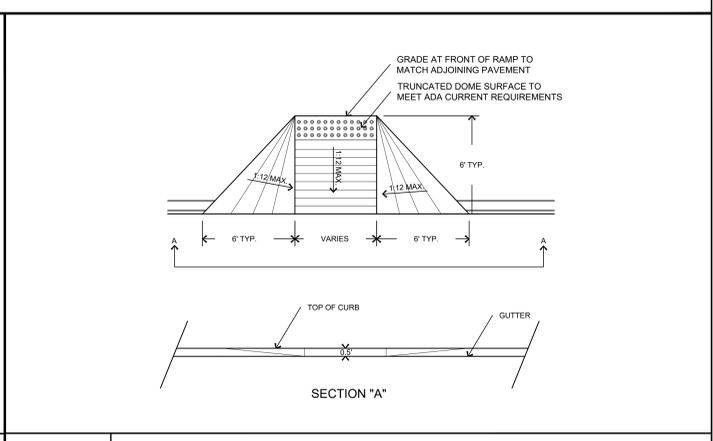
E10 DUMPSTER PAD DETAIL



A1 TURNED DOWN SIDEWALK DETAIL



A6 SIDEWALK SCORING AND JOINT DETAILS



A13 ADA RAMP DETAIL



OFFICE ADDRESS:
533 WEST MAIN STREET
TUPELO, MS 38864
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FAX: (662) 844-6000

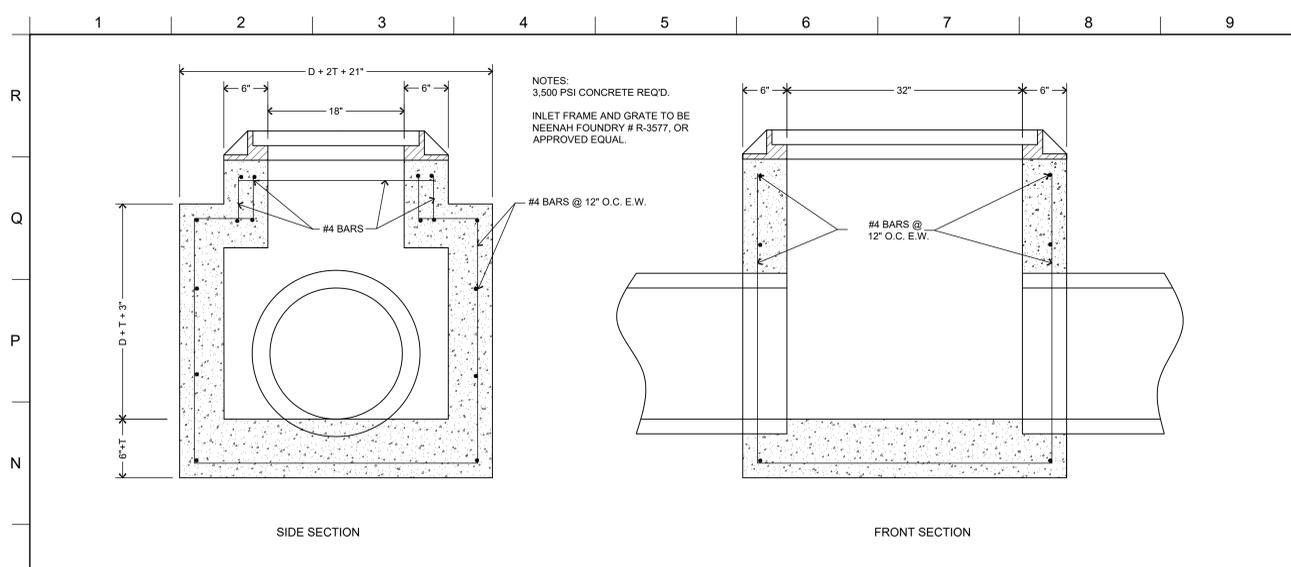


PROJECT TITLE
TULIP CREEK APARTMENTS
NORTH LEASON BLVD
TUPELO, MS

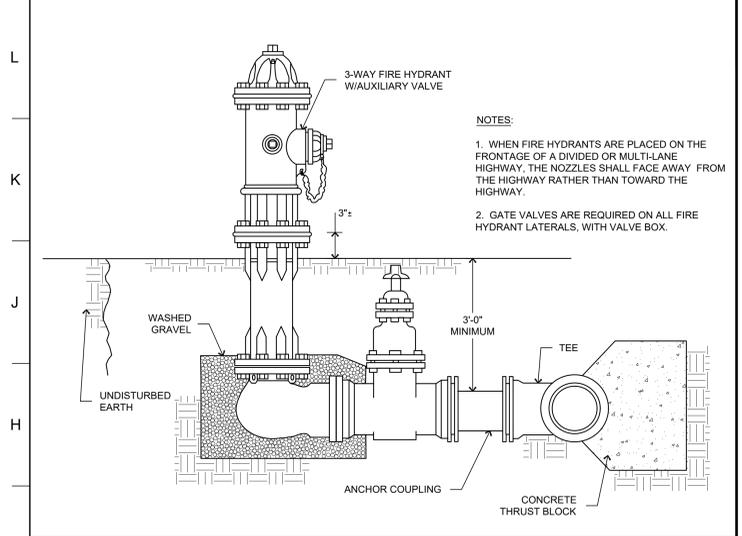
PROJECT NO:
• 21052
DRAWN BY:
• LH
CHECKED BY:
• JW
DATE ISSUED:
• 03 MAR 2022
REVISIONS & ADDENDUMS

SHEET TITLE
SITE DETAILS

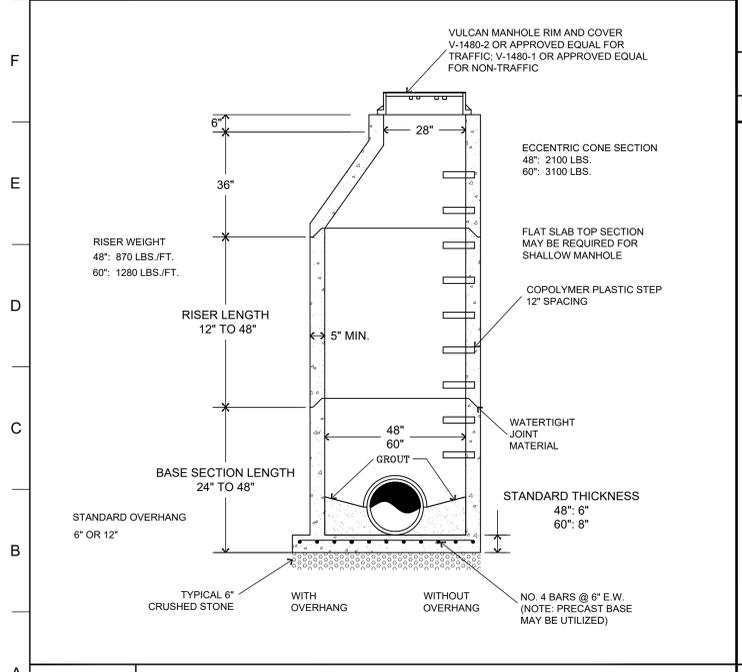
SHEET NUMBER
C200
of



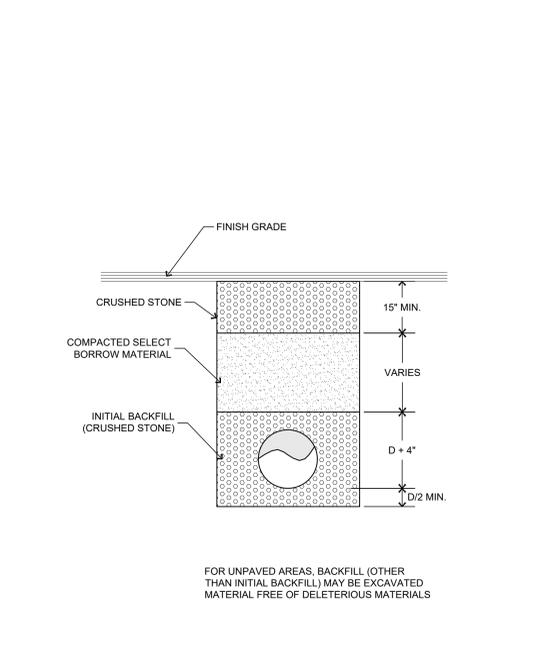
M1 GRATE INLET DETAIL
NOT TO SCALE



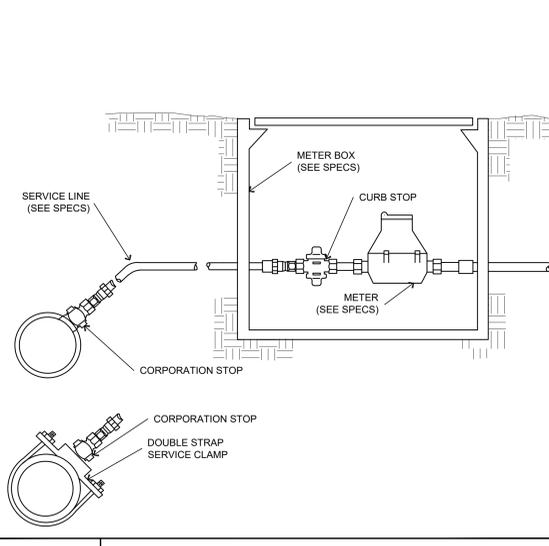
G1 FIRE HYDRANT DETAIL
N.T.S.



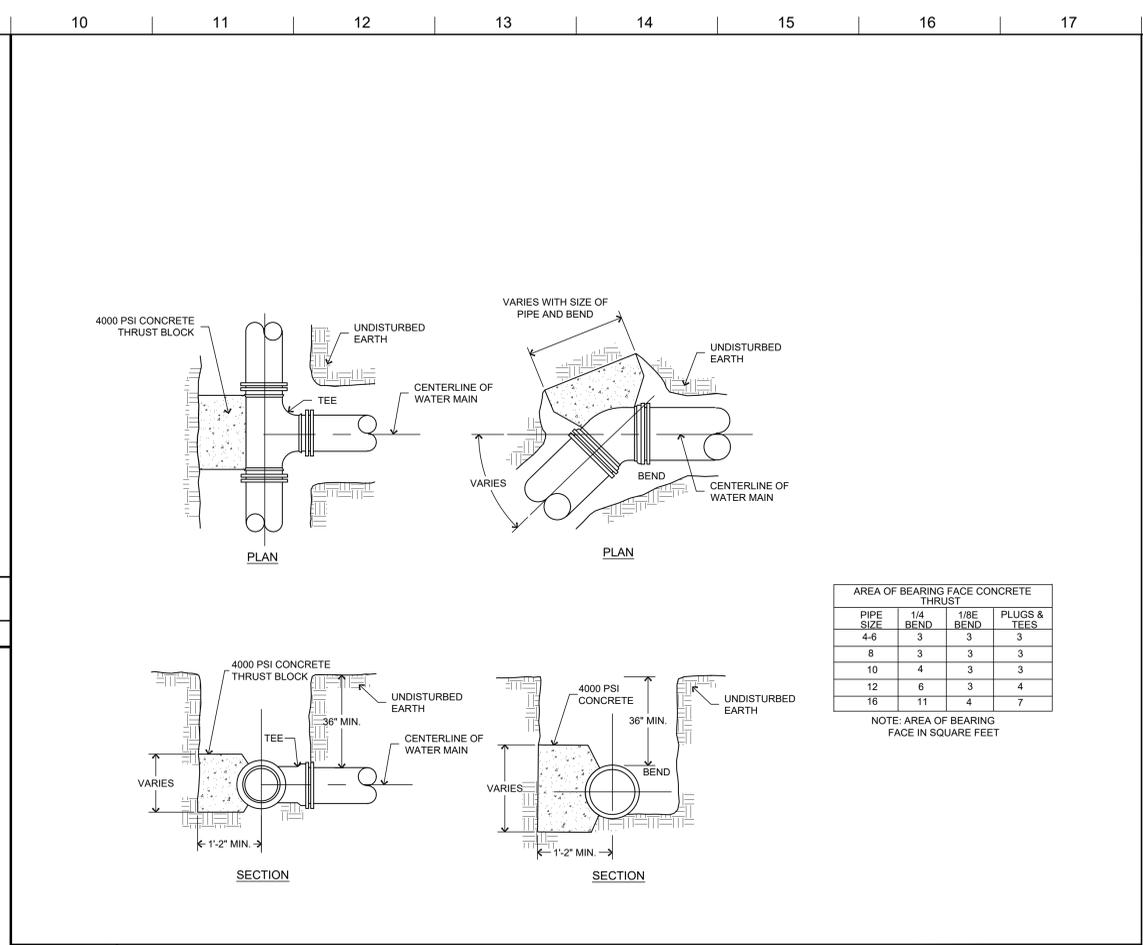
A1 MANHOLE DETAIL
N.T.S.



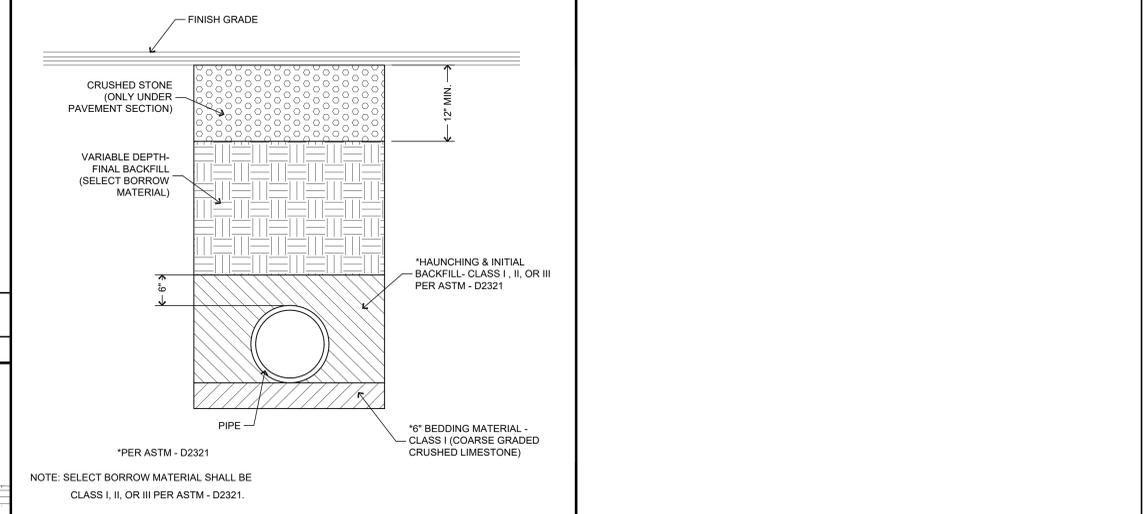
F6 SEWERLINE TRENCHING
N.T.S.



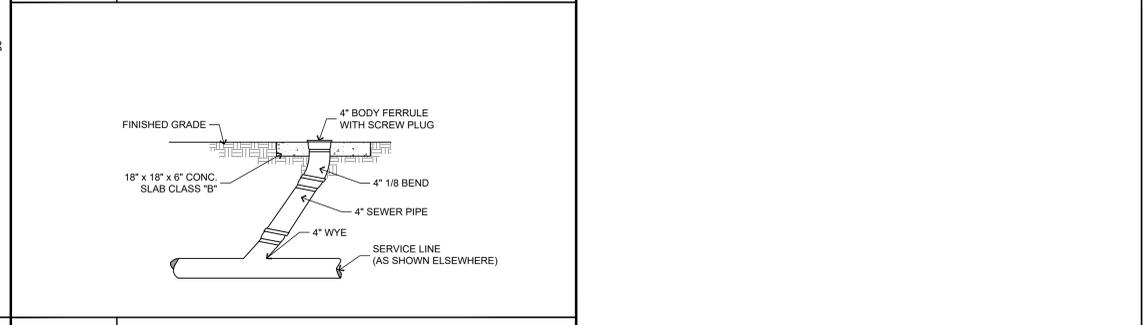
A6 TYP. WATER SERVICE ASSEMBLY
N.T.S.



J10 THRUST BLOCK DETAILS FOR TEES & BENDS
N.T.S.



D10 PIPE BEDDING DETAIL
N.T.S.



A10 SEWER SERVICE CLEANOUT
N.T.S.



OFFICE ADDRESS:
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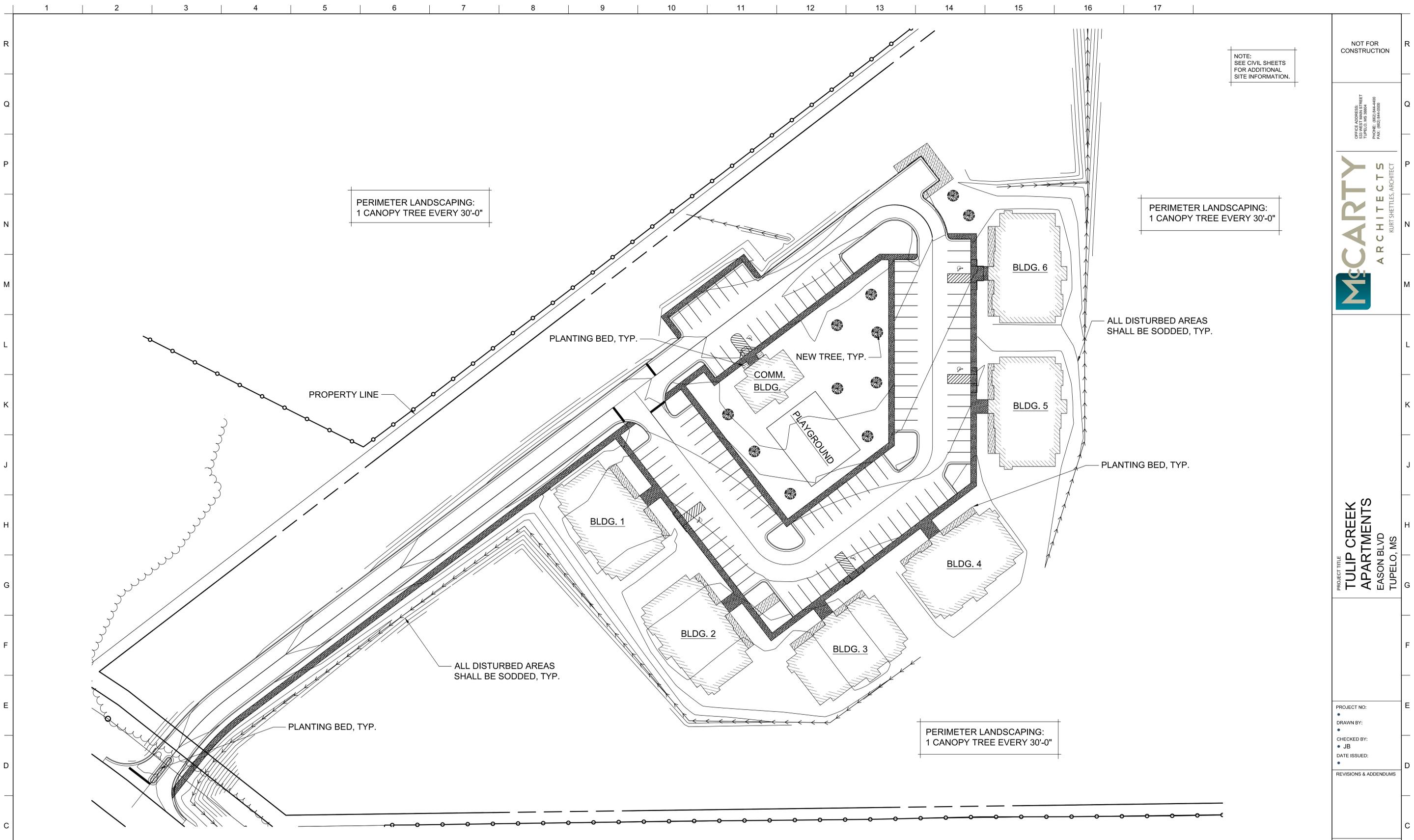


PROJECT TITLE
TULIP CREEK APARTMENTS
NORTH LEASON BLVD
TUPELO, MS

PROJECT NO:
• 21052
DRAWN BY:
• LH
CHECKED BY:
• JW
DATE ISSUED:
• 03 MAR 2022
REVISIONS & ADDENDUMS

SHEET TITLE
DRAINAGE AND UTILITY DETAILS

SHEET NUMBER
C201
of



NOTE:
SEE CIVIL SHEETS
FOR ADDITIONAL
SITE INFORMATION.

NOT FOR
CONSTRUCTION

OFFICE ADDRESS:
525 WEST MAIN STREET
TUPELO, MS 38801
PHONE: (662) 844-4000
FAX: (662) 844-4000



PROJECT TITLE
**TULIP CREEK
APARTMENTS**
EASON BLVD
TUPELO, MS

PROJECT NO:
DRAWN BY:
CHECKED BY:
DATE ISSUED:

SHEET TITLE
LANDSCAPE
PLAN

SHEET NUMBER
L101
of

E1 LANDSCAPE PLAN
1" = 30'
SEE CIVIL SHEETS FOR ADDITIONAL SITE INFO

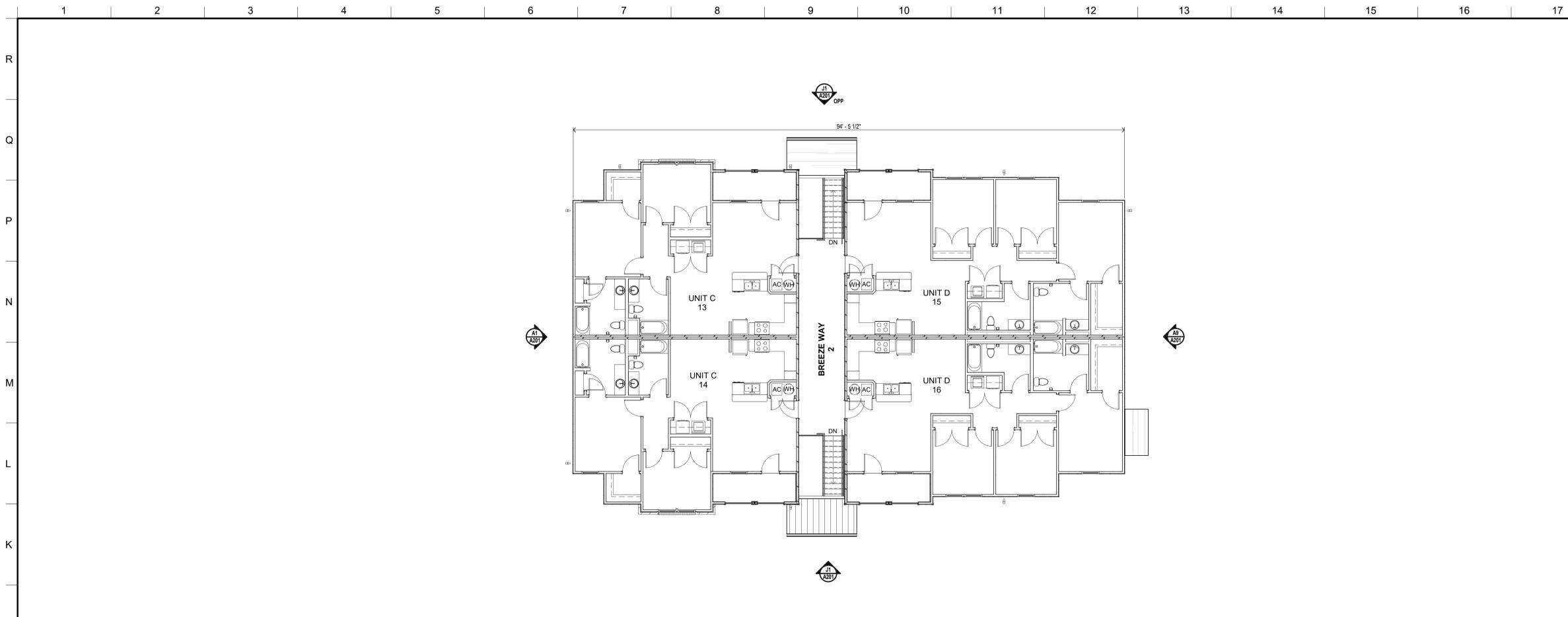
DUMPSTER LOCATION SHALL BE
ENCLOSED WITH BRICK WALLS AND
WOOD GATES.

ALL GROUND MOUNTED
MECHANICAL/ELECTRICAL EQUIPMENT
SHALL BE SCREENED.

SCOPE
SCOPE OF WORK INCLUDES 48-UNIT APARTMENT
DEVELOPMENT, SIX 2-STORY BUILDINGS
SLAB-ON-GRADE WOOD FRAMED STRUCTURES, ONE
1-STORY COMMUNITY BUILDING.

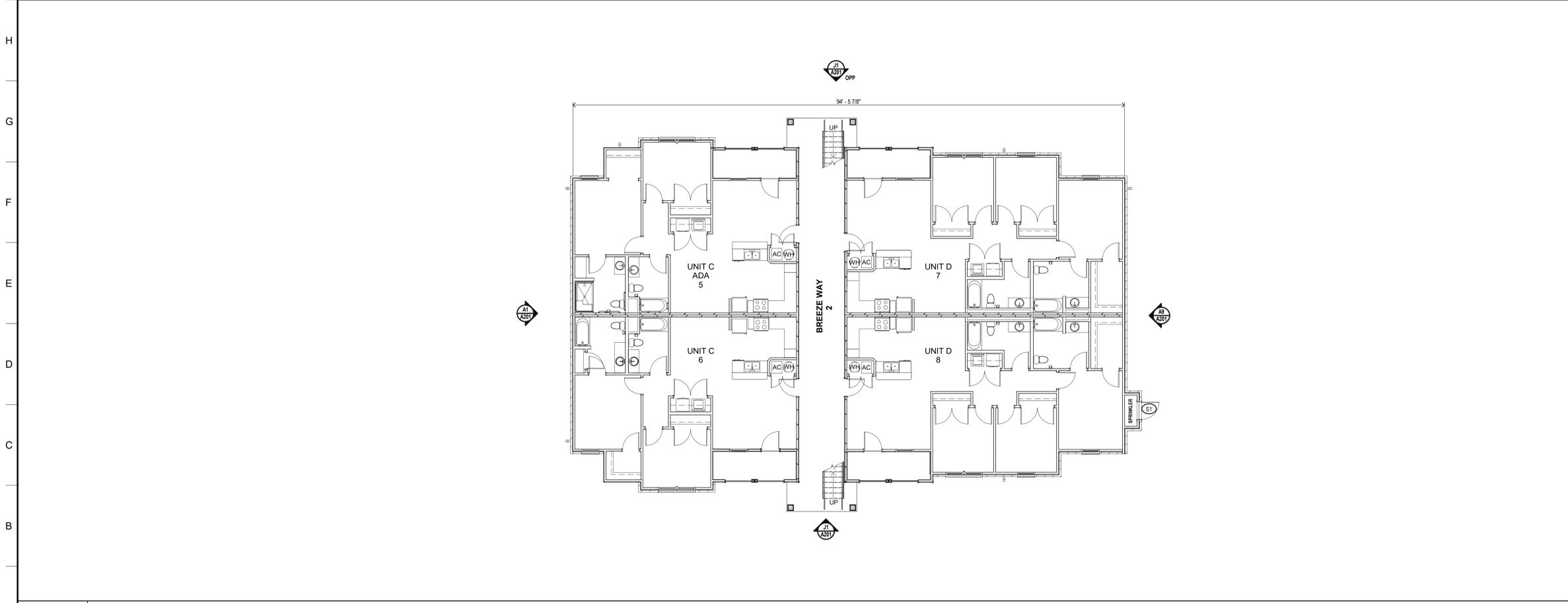
SITE DATA
1. OWNER: TULIP CREEK
2. ARCHITECT: McCARTY ARCHITECTS
3. CIVIL: ESI
4. ACREAGE: 14.53 ACRES
5. PARKING: 110 SPACES

BLDG SCHEDULE				
TYPE	UNIT C 2 BR / 2 BATH	UNIT D 3 BR / 2 BATH	TOTAL UNITS/ BLDG	HEATED SF
BLDG. 1	4	4	8	8,948
BLDG. 2	4	4	8	8,948
BLDG. 3	4	4	8	8,948
BLDG. 4	4	4	8	8,948
BLDG. 5	4	4	8	8,948
BLDG. 6	4	4	8	8,948
SUBTOT	24	24	48	53,688
TOTALS	24	24	48	53,688



J1 SECOND FLOOR PLAN - BLDG 1-6

1/8" = 1'-0" GSF-4,474



A1 FIRST FLOOR PLAN - BLDG 1-6

1/8" = 1'-0" GSF-4,474

BLDG SCHEDULE

TYPE	UNIT C 2 BR / 2 BATH	UNIT D 3 BR / 2 BATH	TOTAL UNITS / BLDG	HEATED SF
BLDG. 1	4	4	8	8,948
BLDG. 2	4	4	8	8,948
BLDG. 3	4	4	8	8,948
BLDG. 4	4	4	8	8,948
BLDG. 5	4	4	8	8,948
BLDG. 6	4	4	8	8,948
SUBTOT.	24	24	48	53,688
CB				1,590
TOTALS	24	24	48	55,278

UNIT SCHEDULE

UNIT TYPE	# UNITS	SF	HEATED SF
UNIT C 2 BR/2 BATH	21	1,023	21,483
UNIT C-ADA 2 BR/2 BATH	3	1,023	3,069
UNIT D 3 BR/2 BATH	24	1,214	29,136
SUBTOTALS	48	-	53,688
COMMUNITY BUILDING	1	1,590	1,590
TOTALS	49	-	55,278

NOT FOR CONSTRUCTION

OFFICE ADDRESS:
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TUPALO, MS 38884-4400
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MCCARTY
ARCHITECTS
KURT SHETTLES, ARCHITECT

PROJECT TITLE
**TULIP CREEK
APARTMENTS
EASON BLVD.
TUPELO, MS**

PROJECT NO:
• 21052
DRAWN BY:
• jbf
CHECKED BY:
• JB
DATE ISSUED:
• 06 MAY 2022

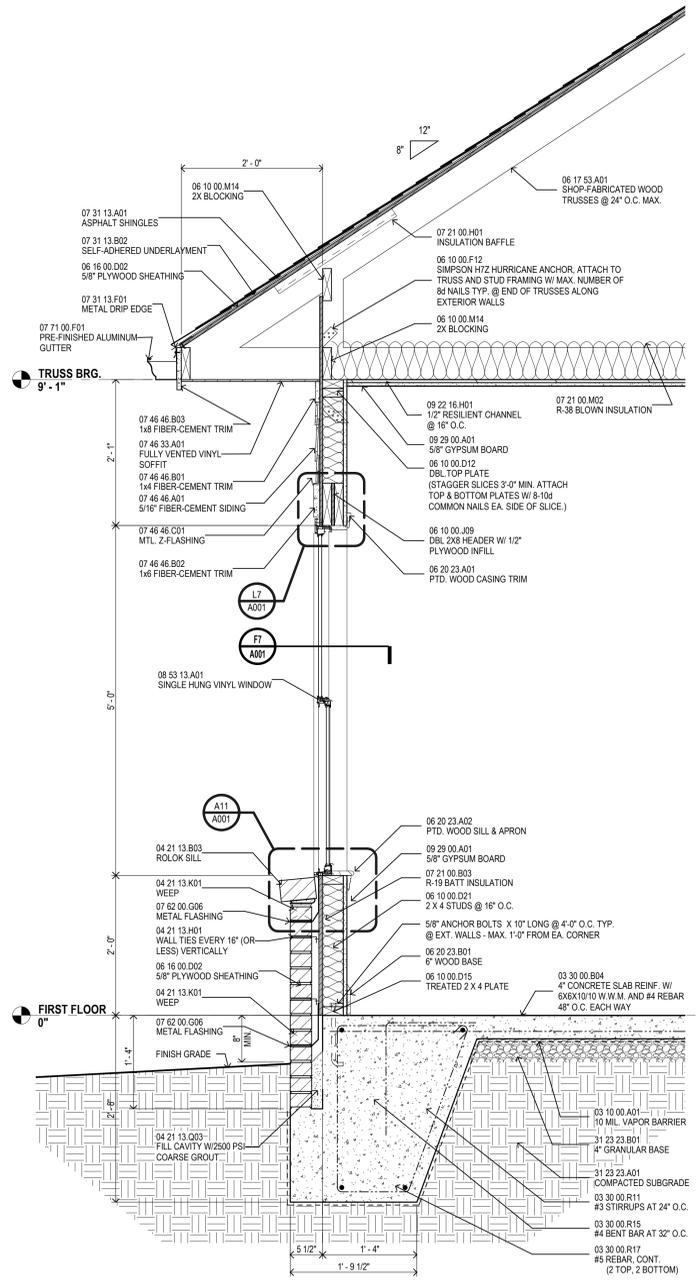
REVISIONS & ADDENDUMS

NO.	DESCRIPTION

SHEET TITLE
**BLDG 1-6 FIRST
& SECOND
FLOOR PLANS**

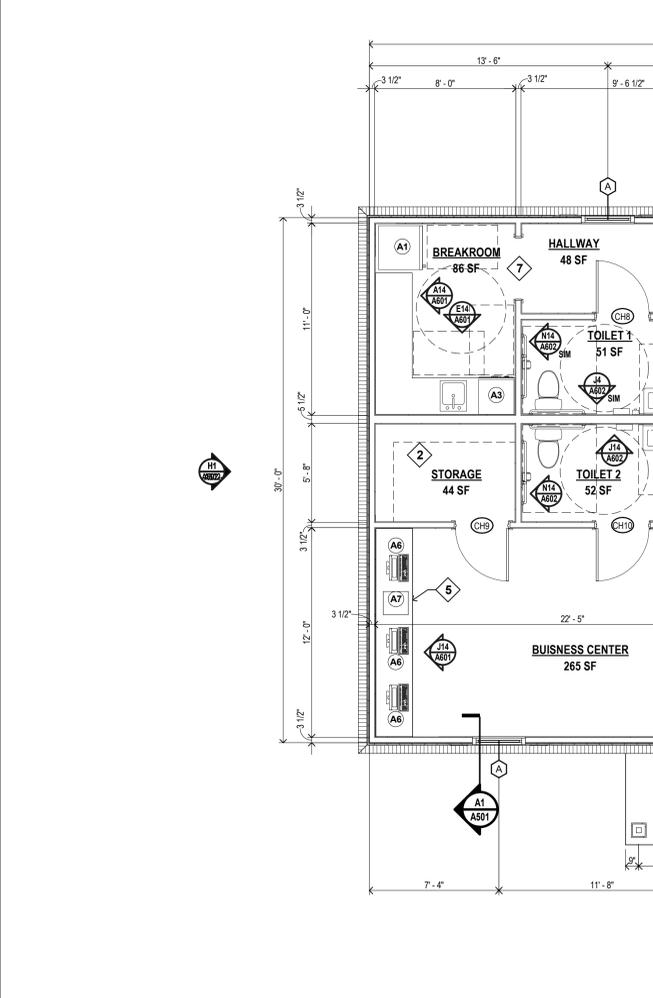
SHEET NUMBER
A101
— of —

***NOTE:**
 1. TRUSSES ARE UNSTABLE UNTIL PLYWOOD DECKING IS IN PLACE. CONTRACTOR TO PROVIDE TEMPORARY TRUSS BRACING IN ACCORDANCE WITH THE LATEST RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES H1B PUBLISHED BY THE TRUSS PLATE INSTITUTE AND BY THE WOOD TRUSS COUNCIL OF AMERICA.



K6 ROOF PLAN

1/8" = 1'-0"



A6 FLOOR PLAN - COMMUNITY BLDG.

1/4" = 1'-0"

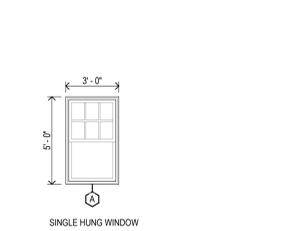


MARK	SIZE			TYPE	MAT'L	CLOSER	LABEL	REMARKS
	WIDTH	HGT	THK					
CH1	6'-0"	6'-8"	1-3/8"	1	STL			
CH2	3'-0"	6'-8"	1-3/8"	3	WD			
CH3	3'-0"	6'-8"	1-3/8"	3	WD			
CH4	3'-0"	6'-8"	1-3/8"	3	WD			
CH5	6'-0"	6'-8"	1-3/8"	4	WD			
CH6	3'-0"	6'-8"	1-3/8"	5	WD	Y	45 MIN	
CH7	3'-0"	6'-8"	1-3/8"	1	STL	Y		
CH8	3'-0"	6'-8"	1-3/8"	3	WD			
CH9	3'-0"	6'-8"	1-3/8"	3	WD			
CH10	3'-0"	6'-8"	1-3/8"	3	WD			
CH11	5'-2"	6'-8"	1-3/8"	3	WD			
CH12	3'-0"	6'-8"	1-3/8"	2	STL	Y		

ROOF BRACING KEYNOTES

- 1 CONTINUOUS 2X4 BRACING AT BOTTOM CHORD OF TRUSSES SPACED AT 8 TO 10 FEET ON CENTER.
- 2 2X4 VERTICAL "X" BRACING AT 16'-0" OC MAX AND AT EACH END AS SHOWN. BRACING TO EXTEND FROM TOP CHORD TO BOTTOM CHORD OF TRUSSES. NAIL TO EACH TRUSS MEMBER.
- 3 2X4 BRACING INSTALLED AT ABOUT 45 DEGREES ALONG BOTTOM CHORDS. NAIL TO EACH TRUSS MEMBER.

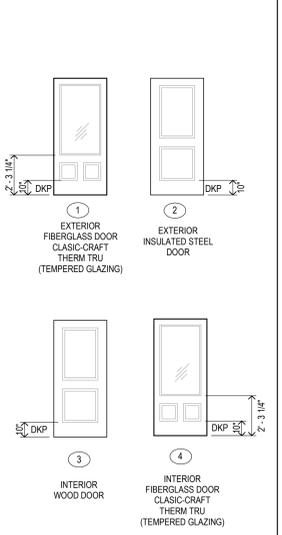
WINDOW TYPES



ROOF COMPOSITION

- ASPHALT SHINGLES
- SELF ADHERING UNDERLAYMENT
- 5/8" PLYWOOD SHEATHING
- PRE-FABRICATED WOOD TRUSSES*

DOOR TYPES



NOTE:
 1. EXT. DOORS 3'-0" X 6'-8"
 2. INT. DOORS 2'-10" X 6'-8", U.N.O.

LEDGEND

DS	07 62 00.B01 DOWNSPOUT/W/ CONC. SPLASH BLOCK
DKP	DOOR KICKPLATE ARE AT THE BOTTOM OF THE DOOR THAT IS MINIMUM 10" APP. ABOVE THE FLOOR SURFACE WHEN INSTALLED.

MATERIAL KEYING

03 10 00.A01	10 MIL. VAPOR BARRIER
03 30 00.B04	4" CONCRETE SLAB REINF. W/ 6X6X10'10 W.W.M. AND #4 REBAR 48" O.C. EACH WAY
03 30 00.R11	#3 STIRRUPS AT 24" O.C.
03 30 00.R15	#4 BENT BAR AT 32" O.C.
03 30 00.R17	#5 REBAR, CONT.
04 21 13.B03	ROLOK SILL
04 21 13.H01	WALL TIES EVERY 16" (OR LESS) VERTICALLY
04 21 13.K01	WEEP
04 21 13.Q03	FILL CAVITY W/2500 PSI COARSE GROUT
06 10 00.D12	DBL TOP PLATE
06 10 00.D15	TREATED 2 X 4 PLATE
06 10 00.D21	2 X 4 STUDS @ 16" O.C.
06 10 00.F12	SIMPSON HTZ HURRICANE ANCHOR, ATTACH TO TRUSS AND STUD FRAMING W/ MAX. NUMBER OF 8# NAILS TYP. @ END OF TRUSSES ALONG EXTERIOR WALLS
06 10 00.J09	DBL 2X6 HEADER W/ 1/2" PLYWOOD INFILL
06 10 00.M14	2X BLOCKING
06 16 00.D02	5/8" PLYWOOD SHEATHING
06 17 53.A01	SHOP-FABRICATED WOOD TRUSSES @ 24" O.C. MAX.
06 20 23.A01	PTD. WOOD CASING TRIM
06 20 23.A02	PTD. WOOD SILL & APRON
06 20 23.B01	6" WOOD BASE
07 21 00.B03	R-19 BATT INSULATION
07 21 00.H01	INSULATION BAFFLE
07 21 00.M02	R-38 BLOWN INSULATION
07 31 13.A01	ASPHALT SHINGLES
07 31 13.B02	SELF-ADHERED UNDERLAYMENT
07 31 13.E01	RIDGE VENT
07 31 13.F01	METAL DRIP EDGE
07 46 33.A01	FULLY VENTED VINYL SOFFIT
07 46 46.A01	5/8" FIBER-CEMENT SIDING
07 46 46.B01	1/4" FIBER-CEMENT TRIM
07 46 46.B02	1/4" FIBER-CEMENT TRIM
07 46 46.B03	1/4" FIBER-CEMENT TRIM
07 46 46.C01	MTL. Z-FLASHING
07 62 00.G06	METAL FLASHING
07 71 00.F01	PRE-FINISHED ALUMINUM GUTTER
08 53 13.A01	SINGLE HUNG VINYL WINDOW
09 22 16.H01	1/2" RESILIENT CHANNEL @ 16" O.C.
09 29 00.A01	5/8" GYPSUM BOARD
31 23 23.A01	COMPACTED SUBGRADE
31 23 23.B01	4" GRANULAR BASE

CODE INFO

CODE REFS.	ED.	ABBREV.
INTERNATIONAL CODE	2015	IBC
ICC ANS A117.1 ACCESSIBILITY CODE	2009	ANSI
NATIONAL ELECTRICAL CODE	2014	NEC
NATIONAL FIRE CODE	2015	NFC
ADA ACCESSIBILITY GUIDELINES	2010	ADAA
FAIR HOUSING ACT-DESIGN MANUAL		

OCCUPANCY CLASS.

GROUP	BUSINESS GROUP B	IBC 304
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CONSTRUCTION TYPE

TYPE	VB	IBC 602.5
(NON-SPRINKLERED)		

ALLOWABLE AREAS & HEIGHTS

MAX HEIGHT =	40 FT.	IBC TABLE 504.3
MAX STORES =	2	IBC TABLE 504.4
MAX AREA =	9,000 SQ. FT.	IBC TABLE 506.2

TABULATED (ACTUAL) AREA

HEIGHT:	21 FT.	IBC TABLE 601
STORIES:	1	
AREA:	1,590 SF	

FIRE RESISTANCE REQUIRED

FIRE RESISTANCE ELEMENT RATING	IBC TABLE 601
STRUCTURAL FRAME	0 HOUR
EXTERIOR BEARING WALLS	0 HOUR
EXTERIOR NON-BEARING WALL	0 HOUR
INTERIOR BEARING WALLS	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR

OCCUPANCY LOAD

BUSINESS	150 GROSS	IBC TABLE 1004.5
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KEYNOTES

- 10 1" SQUARE COLUMN
- 2 (4) PTD. WOOD SHELF ON ADJUSTABLE STANDARDS
- 3 ATTIC ACCESS PANEL
- 4 1/4" GLAZING IN WOOD FRAME AND TRIM
- 5 PLASTIC LAMINATE COUNTER, 30" HIGH
- 6 WORK COUNTER (36" HIGH) WITH OPEN SHELVING
- 7 3" - 6" x 6" - 8" CASED OPENING
- 8 GARAGE DOOR WITH OPENER
- 9 MAIL DROP
- 10 1-HR FIRE RATED WALL (U.L. 305) 2X4 WOOD STUDS AT 16" O.C. 5/8" TYPE "X" GYP BD BOTH SIDES. FIRESTOPPING SEALANT AT PENETRATIONS. TAKE TO ROOF DECK.
- 11 45 MIN RATED DOOR & FRAME, WITH CLOSER.

FURNISHED EQUIPMENT

MARK	DESCRIPTION
A1	REFRIGERATOR
A2	ELECTRIC RANGE & VENT HOOD
A3	DISHWASHER
A4	WASHER
A5	ELECTRIC DRYER
A6	PC WORKSTATION
A7	PRINTER

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 TUCUMPHOC, MS 38788-0000
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 FAX: (662) 844-5500

MCCARTY ARCHITECTS
 KURT SHETTLES, ARCHITECT

PROJECT TITLE
TULIP CREEK APARTMENTS
 TUPELO, MS

PROJECT NO:
 • 21052
 DRAWN BY:
 • jbf
 CHECKED BY:
 • JB
 DATE ISSUED:
 • 06 MAY 2022

REVISIONS & ADDENDUMS

SHEET TITLE
COMMUNITY BUILDING PLAN & SECTION

SHEET NUMBER
A501
 of

MATERIAL NOTES	
1.	FIBER CEMENT: PAINTED SIDING - SHERWIN WILLIAMS 2822 PAINTED TRIM - SHERWIN WILLIAMS 2829 PAINTED RAILING - SHERWIN WILLIAMS 7514
2.	ASPHALT SHINGLE: OWENS CORNING SAND DUNE
3.	VINYL WINDOWS: VIMNTECH (COLOR: WHITE)
*VERIFY ALL COLORS WITH OWNER.	

ELEVATION NOTES	
MARK	DESCRIPTION
(1)	NOT USED
(2)	FIBER CEMENT TRIM
(3)	FIBER CEMENT SHINGLE SIDING
(4)	FIBER CEMENT PANELS W/ BATTEN TRIM
(5)	ASPHALT SHINGLES
(6)	STANDING SEAM METAL ROOF
(7)	NOT USED
(8)	PRE-FINISHED ALUMINUM GUTTER
(9)	DOWN SPOUT & CONCRETE SPLASH BLOCK
(10)	36" VINYL RAILING
(11)	SQUARE COLUMN 10"
(12)	VINYL WINDOW (SINGLE HUNG)
(13)	PRE-HUNG INSULATED DOOR
(14)	BRICK VENEER
(15)	BRICK ROLOCK SILL
(16)	BRICK SOLDIER COURSE

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PHONE: (662) 844-4450
FAX: (662) 844-6500

McCARTY
ARCHITECTS
KURT SHETTLES, ARCHITECT

PROJECT TITLE
**TULIP CREEK
APARTMENTS**
TUPELO, MS

PROJECT NO:
• 21052
DRAWN BY:
• jbf
CHECKED BY:
• JB
DATE ISSUED:
• 06 MAY 2022

NO.	REVISIONS & ADDENDUMS

SHEET TITLE
**COMMUNITY
BUILDING
EXTERIOR
ELEVATIONS**

SHEET NUMBER
A502
— of —



H1 LEFT ELEVATION
1/4" = 1'-0" A501



H10 REAR ELEVATION
1/4" = 1'-0" A501



A1 RIGHT ELEVATION
1/4" = 1'-0" A501



A10 FRONT ELEVATION
1/4" = 1'-0" A501

4/29/2022 11:31:32 AM