

FLOWERDALE COMMONS TOWNHOMES

COLONIAL ESTATES ROAD
TUPELO, MISSISSIPPI



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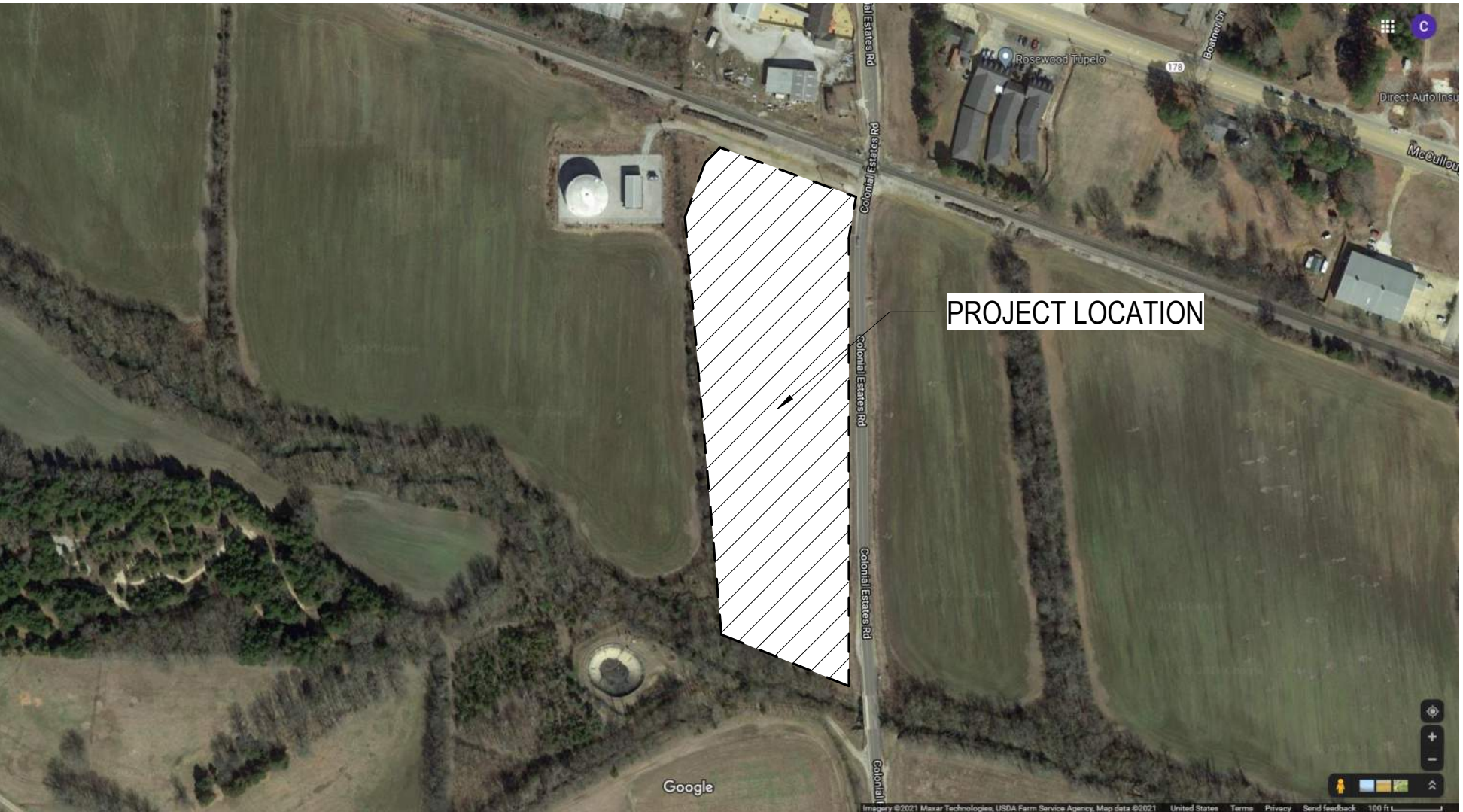
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CIVIL

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LOCATION MAP 

SITE PLAN SUBMISSION

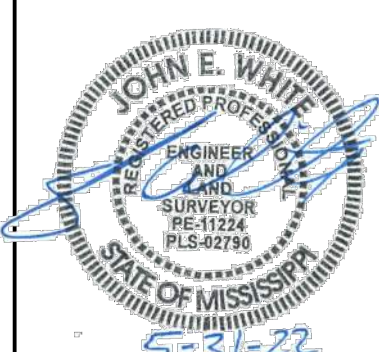
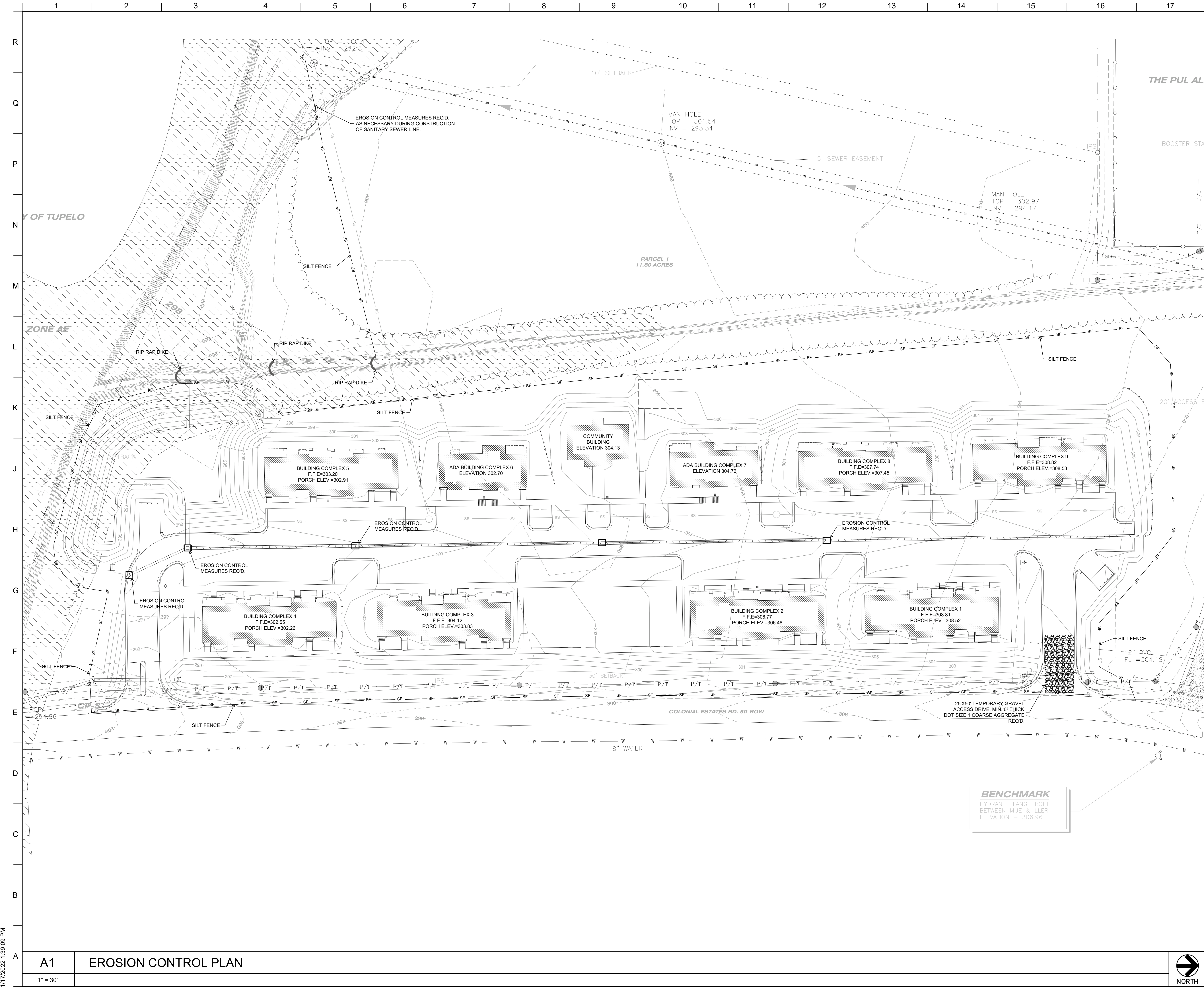
DATED: 31 MAY 2022

SET NUMBER:

PROJECT NUMBER: 21051

REVISIONS:

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GENERAL NOTES

1. THE LOCATION OF ALL EXISTING UTILITIES IS BASED ON TOPOGRAPHIC DATA BY OTHERS AND INFORMATION PROVIDED BY THE OWNER. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA.
2. THE LOCATION OF ALL EXISTING STORM DRAINAGE IS BASED ON TOPOGRAPHIC DATA BY OTHERS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION, GRADE, SIZE AND TYPE OF EXISTING STORM DRAIN ITEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFELY MAINTAINING TRAFFIC AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
4. ANY EXISTING MANHOLES, WATER VALVES, METER BOXES, ETC. TO REMAIN WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH NEW CONSTRUCTION.

LEGEND

- EROSION CONTROL MEASURES
- SILT FENCE

EROSION CONTROL NOTES

1. ANY DISTURBED AREAS ON WHICH WORK IS COMPLETED OR SUSPENDED FOR MORE THAN 14 DAYS SHALL IMMEDIATELY RECEIVE VEGETATIVE STABILIZATION COVER SUCH AS SEEDING AND MULCHING OR OTHER EROSION CONTROL MEASURES WHICH SHALL BE MAINTAINED UNTIL WORK CAN RESUME OR PROJECT IS COMPLETE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PROPERTY, STRUCTURES, AND IMPROVEMENTS (BOTH ON-SITE AND OFF-SITE) FROM SILTATION, AND SHALL CORRECT ANY DAMAGE RESULTING FROM FAILURE TO DO SO.
3. ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE USDA PLANNING AND DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORMWATER.
4. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS GOVERNING THE ELIMINATION AND CONTROL OF POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES AS REGULATED BY THE ENVIRONMENTAL PROTECTION AGENCY AND SET FORTH IN THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE TERMS AND CONDITIONS OF THE MDEQ STORM WATER POLLUTION PREVENTION PLANS AND BE ADVISED THAT HE OR HIS COMPANY, AND AS THE CASE MAY BE, IS RESPONSIBLE FOR COMPLIANCE WITH THESE RULES AND ANY OTHER APPLICABLE STATE AND FEDERAL LAWS. IF APPLICABLE, THE CONTRACTOR SHALL SUBMIT A N.O.I. TO THE STATE REGULATORY AGENCY AND SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR AGREES TO MAINTAIN INSPECTION RECORDS, FILE REQUIRED MAINTENANCE INSPECTION REPORT SUBMITTALS, PERFORM ANY REQUIRED REPAIRS, MAINTENANCE OR ADDITIONS TO THE EROSION CONTROLS. ANY ADDITIONAL REQUIRED PHASING PLANS SHALL BE SUBMITTED TO THE STATE BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. EROSION CONTROL MEASURES AS SHOWN ON PLANS ARE TO BE CONSIDERED MINIMUM REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AND TO ENSURE COMPLIANCE WITH STATE AND FEDERAL REGULATIONS FOR THE DURATION OF THE PROJECT BY WHATEVER MEANS NECESSARY.

PROJECT TITLE
**FLOWERDALE COMMONS
APARTMENTS**
COLONIAL ESTATES ROAD
TUPELO, MS

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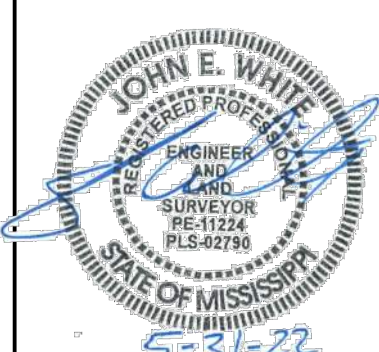
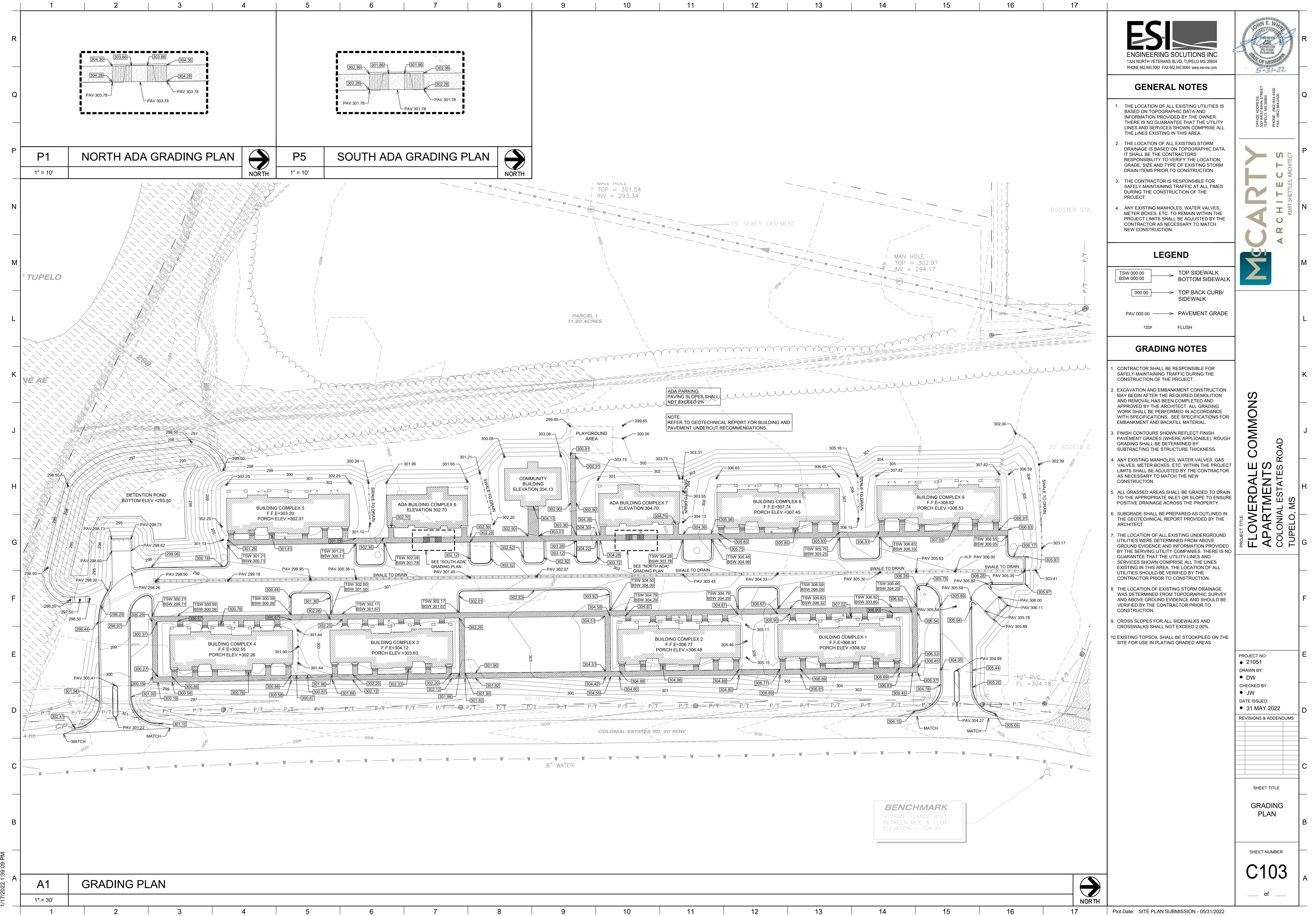
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SHEET TITLE
**EROSION
CONTROL PLAN**

SHEET NUMBER
C102
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Plot Date: SITE PLAN SUBMISSION - 05/31/2022



GENERAL NOTES

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- 2. THE LOCATION OF ALL EXISTING STORM DRAINAGE IS BASED ON TOPOGRAPHIC DATA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION, GRADE, SIZE AND TYPE OF EXISTING STORM DRAIN ITEMS PRIOR TO CONSTRUCTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR SAFELY MAINTAINING TRAFFIC AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
- 4. ANY EXISTING MANHOLES, WATER VALVES, METER BOXES, ETC. TO REMAIN WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH NEW CONSTRUCTION.

LEGEND

- TSW 000.00 TOP SIDEWALK
- BSW 000.00 BOTTOM SIDEWALK
- 000.00 TOP BACK CURB/ SIDEWALK
- PAV 000.00 PAVEMENT GRADE
- FLUSH

GRADING NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY MAINTAINING TRAFFIC DURING THE CONSTRUCTION OF THE PROJECT.
- 2. EXCAVATION AND EMBANKMENT CONSTRUCTION MAY BEGIN AFTER THE REQUIRED DEMOLITION AND REMOVAL HAS BEEN COMPLETED AND APPROVED BY THE ARCHITECT. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. SEE SPECIFICATIONS FOR EMBANKMENT AND BACKFILL MATERIAL.
- 3. FINISH CONTOURS SHOWN REFLECT FINISH PAVEMENT GRADES (WHERE APPLICABLE). ROUGH GRADING SHALL BE DETERMINED BY SUBTRACTING THE STRUCTURE THICKNESS.
- 4. ANY EXISTING MANHOLES, WATER VALVES, GAS VALVES, METER BOXES, ETC. WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH THE NEW CONSTRUCTION.
- 5. ALL GRASSED AREAS SHALL BE GRADED TO DRAIN TO THE APPROPRIATE INLET OR SLOPE TO ENSURE POSITIVE DRAINAGE ACROSS THE PROPERTY.
- 6. SUBGRADE SHALL BE PREPARED AS OUTLINED IN THE GEOTECHNICAL REPORT PROVIDED BY THE ARCHITECT.
- 7. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WERE DETERMINED FROM ABOVE GROUND EVIDENCE AND INFORMATION PROVIDED BY THE SERVING UTILITY COMPANIES. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA. THE LOCATION OF ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 8. THE LOCATION OF EXISTING STORM DRAINAGE WAS DETERMINED FROM TOPOGRAPHIC SURVEY AND ABOVE GROUND EVIDENCE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 9. CROSS SLOPES FOR ALL SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2.00%.
- 10. EXISTING TOPSOIL SHALL BE STOCKPILED ON THE SITE FOR USE IN PLATING GRADED AREAS.

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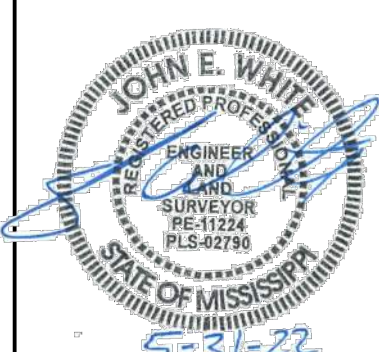
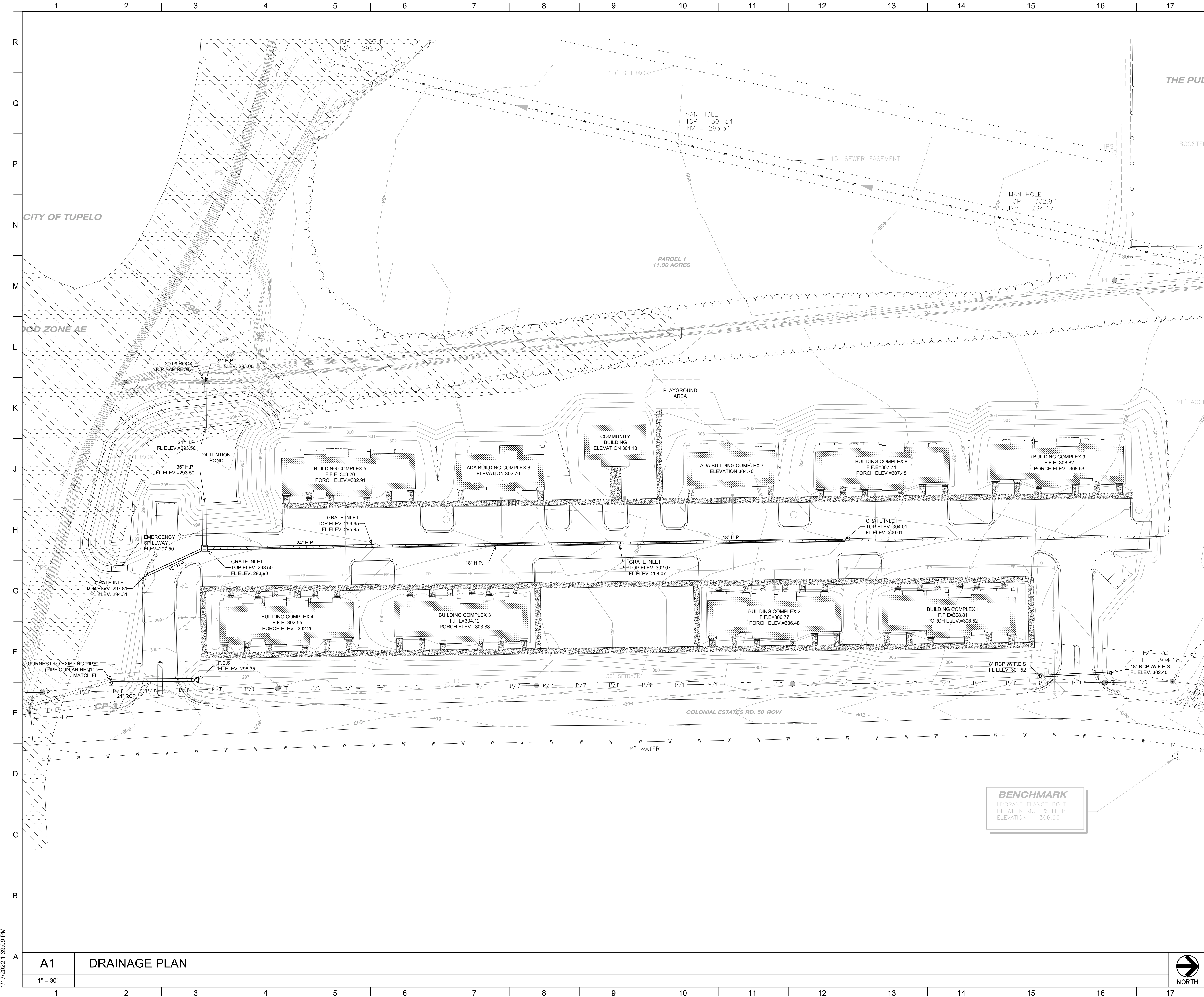
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SHEET TITLE
GRADING PLAN

SHEET NUMBER
C103

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DRAINAGE NOTES

1. POSITIVE DRAINAGE AWAY FROM BUILDING IS REQUIRED IN ALL AREAS. CONTRACTOR TO ENSURE FINAL GRADING AND PAVING MEET THIS REQUIREMENT.
2. THE FLOW LINE ELEVATIONS SHOWN WERE SET BASED ON TOPOGRAPHIC INFORMATION AND PROPOSED FINISH GRADES.
3. ALL STORM DRAIN PIPING TO BE BEDDED AND BACKFILLED PER ASTM-2321.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCHING OPERATIONS ARE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS.



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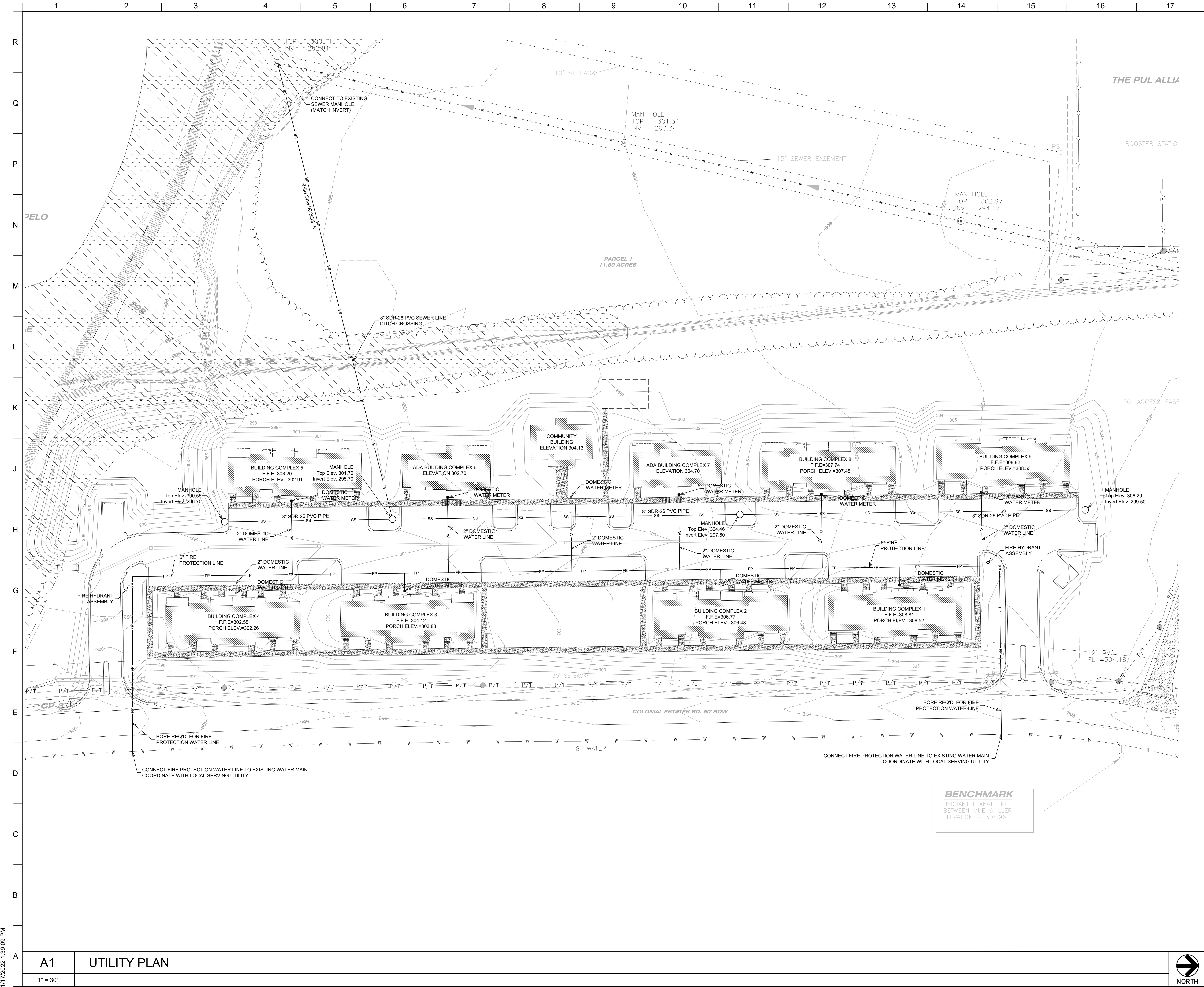
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SHEET TITLE
**DRAINAGE
PLAN**

SHEET NUMBER
C104
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UTILITY NOTES

1. COORDINATE INSTALLATION OF ALL UTILITIES WITH THE ARCHITECT SUCH THAT BEDDING OF ALL PIPING CAN BE VERIFIED AND ALL PIPING TESTS CAN BE WITNESSED PRIOR TO BACKFILLING.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCHING OPERATIONS ARE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS AND ACCEPTED PRACTICES.
3. ALL NEW PIPING SHALL HAVE A MINIMUM OF 36" GROUND COVER. ALL NEW BURIED NONMETALLIC PIPING, INCLUDING IRRIGATION PIPING, SHALL BE TRACED WITH IDENTIFICATION METALLIC BASED TRACER TAPE, COLOR CODED AND LABELED PER FUNCTION AND ANSI STANDARDS AND INSTALLED AT APPROXIMATELY 12" BELOW FINISH GRADE.
4. ALL UTILITY TRENCHES IN PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE GRANULAR MATERIAL AND COMPACTED TO REQUIRED DENSITY. PAVEMENT TO BE REPLACED AS DIRECTED.
5. ALL UTILITY TRENCHES IN UN-PAVED AREAS SHALL BE BACKFILLED WITH APPROVED MATERIAL, COMPACTED, PROTECTED FROM SETTLEMENT AND THEN REGRASSED AS DIRECTED.
6. INSTALLATION OF ALL UTILITY LINES AND CONNECTIONS SHALL BE IN ACCORDANCE WITH ALL LOCAL RULES AND GUIDELINES.
7. VALVE BOXES ARE REQUIRED FOR ALL VALVES.
8. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL SERVING UTILITIES ON ALL NEW TAPS AND CONNECTIONS TO UTILITY SYSTEMS. THE CONTRACT EXPENSE FOR THESE NEW TAPS AND TAP VALVES ARE BY THE CONTRACTOR REGARDLESS OF WHO MAKES THE TAP. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE LOCATIONS, TIMING, AND EXTENSION OF THOSE TAPS TO SERVE THIS PROJECT WITH THE SERVING UTILITIES.

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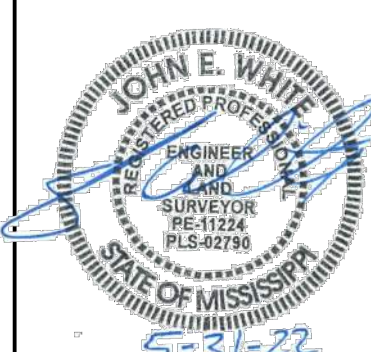
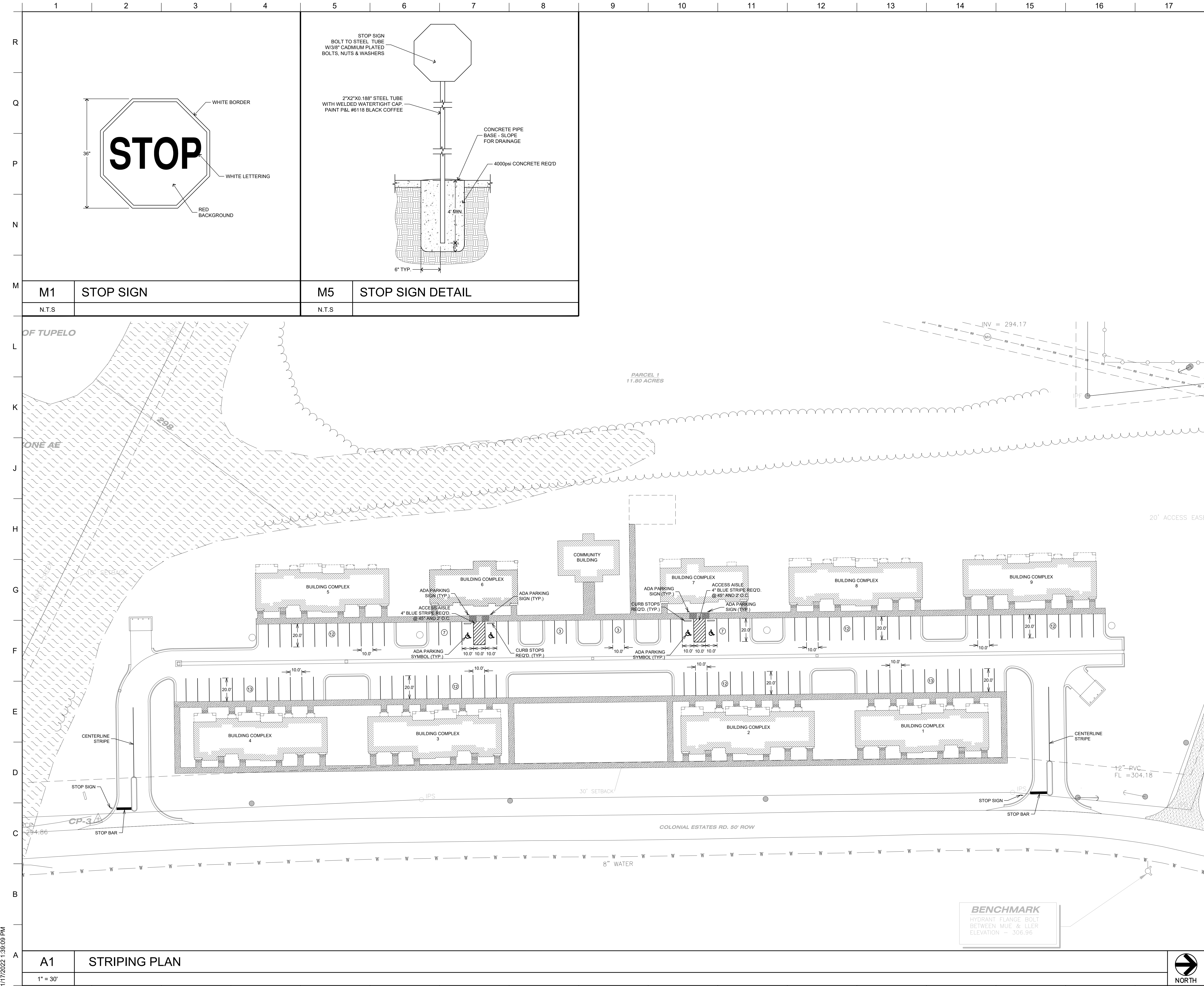
SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C105
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STRIPING NOTES

1. OUTLINE OF BUILDING SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
2. ALL PARKING LOT STRIPING SHALL BE 4" WHITE REFLECTORIZED PAINT, EXCEPT FOR ADA STRIPING, WHICH SHALL BE BLUE REFLECTORIZED PAINT.
3. 106 TOTAL PARKING SPACES INCLUDING 4 ADA SPACES



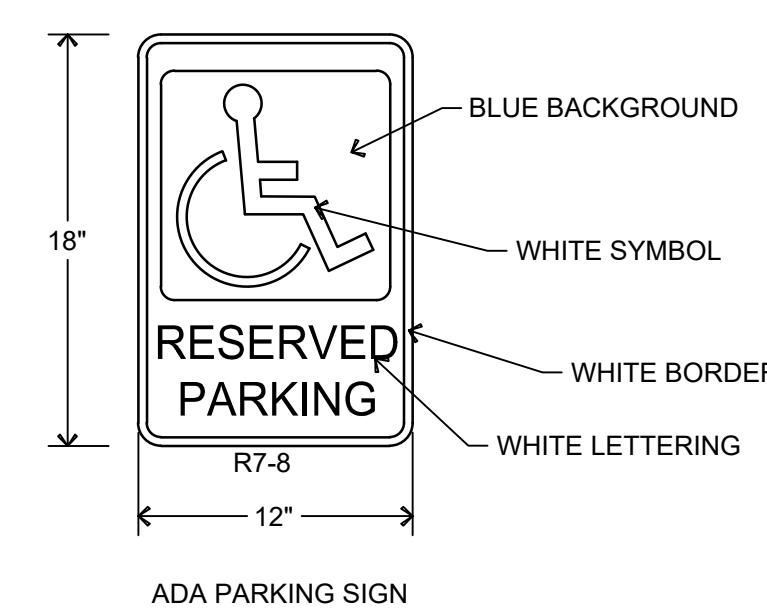
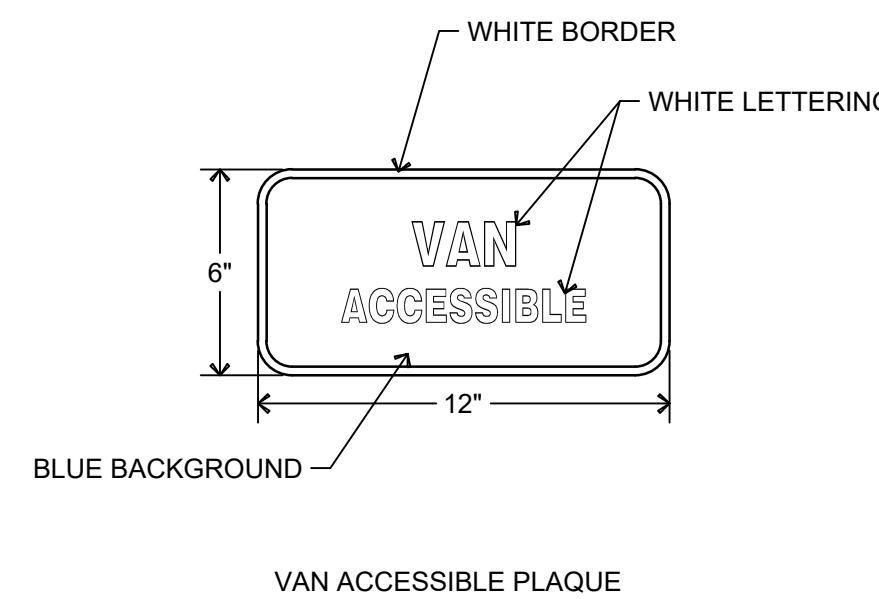
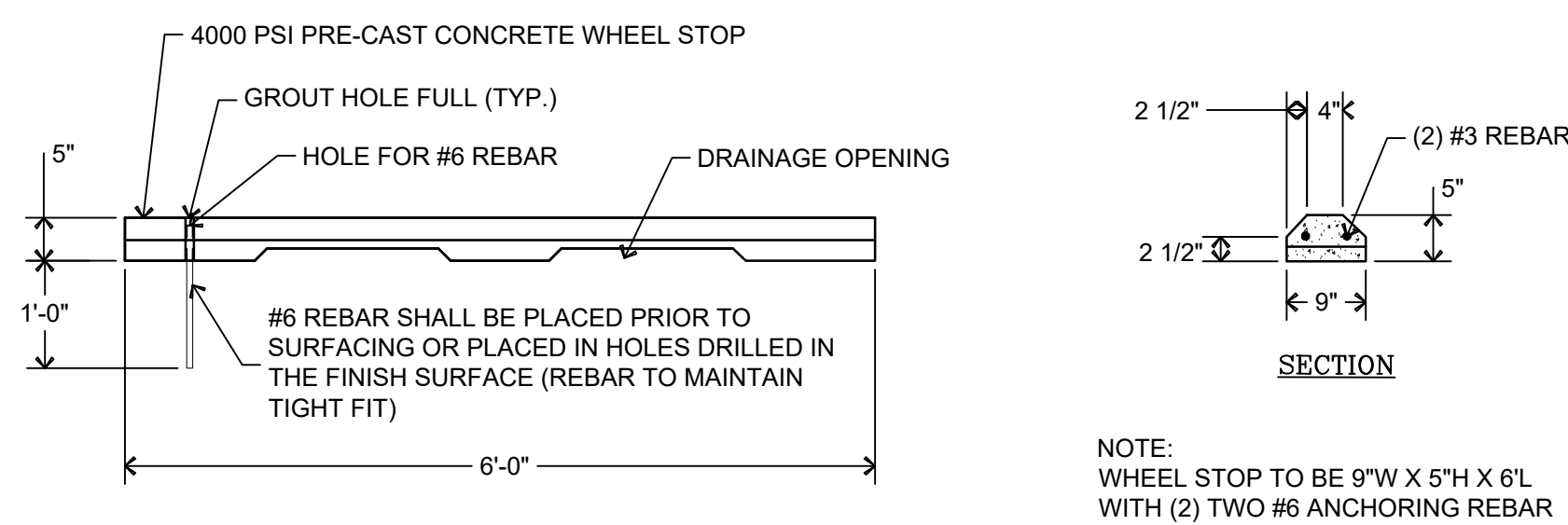
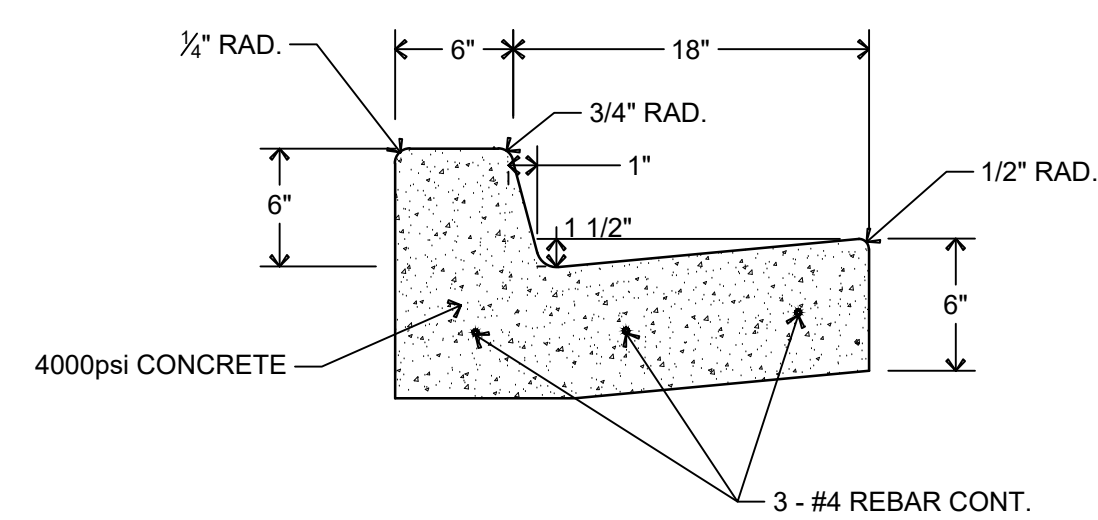
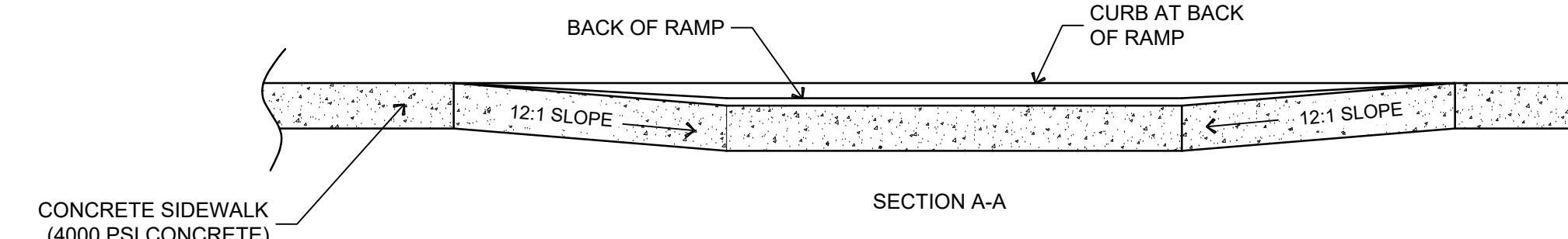
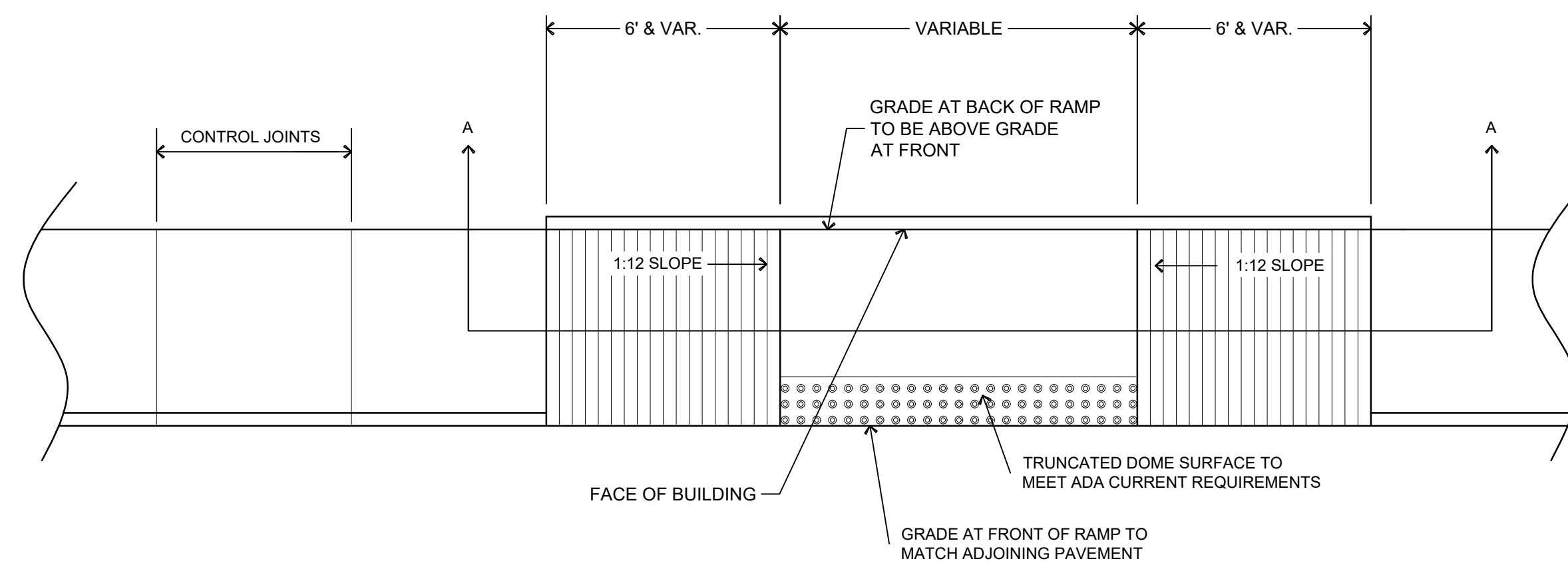
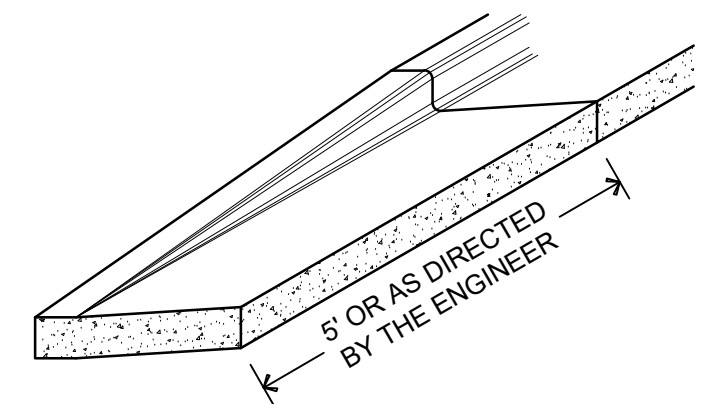
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APARTMENTS**
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TUPELO, MS

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DRAWN BY:
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SHEET TITLE
STRIPING PLAN

SHEET NUMBER
C107
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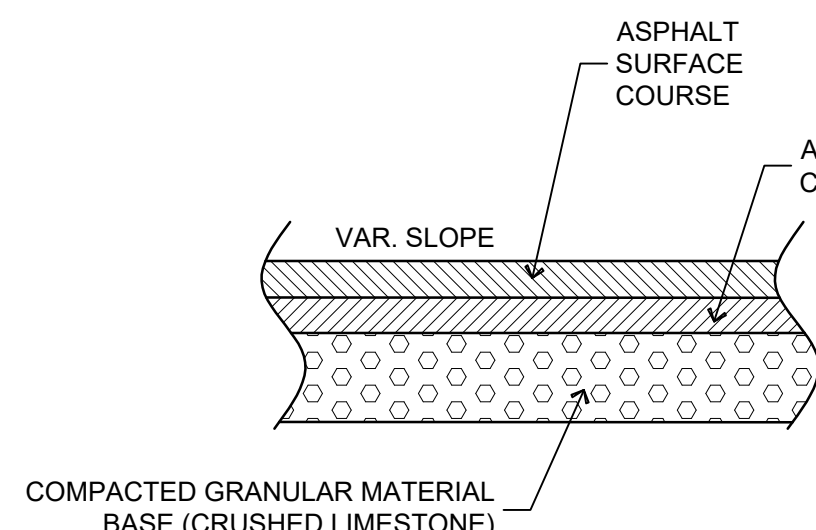
NOTES:

ADA PARKING SIGNS SHALL BE MOUNTED AS REQUIRED BY ANSI A117.1, SECTION 502.6.

SIGN SHALL BE MOUNTED ABOVE VAN ACCESSIBLE PLACQUE. PLACQUE SHALL BE MOUNTED WITH BOTTOM EDGE 60" (MIN.) ABOVE THE ADJACENT SIDEWALK.

IF THERE IS NO VAN ACCESSIBLE PLACQUE, THEN SIGN SHALL BE MOUNTED WITH BOTTOM EDGE 60" (MIN.) ABOVE THE ADJACENT SIDEWALK.

SIGN TO BE MOUNTED ON A 1 1/2" SQUARE TUBE POST WITH AN ALUMINUM POST CAP SIMILAR TO KING ARCHITECTURAL METALS 16-805 AND ALUMINUM FINAL SIMILAR TO KING ARCHITECTURAL METALS 14-SP01-1. SIGN POST AND CAP TO HAVE PAINT FINISH TO BE SELECTED BY ARCHITECT.



NOTES:

HEAVY DUTY ASPHALT PAVEMENT (TRAVEL LANES) SHALL BE 4" THICK. (2.5" BASE COURSE AND 1.5" SURFACE COURSE).

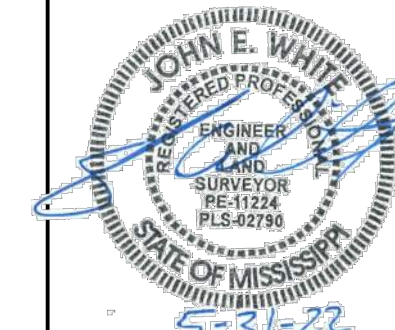
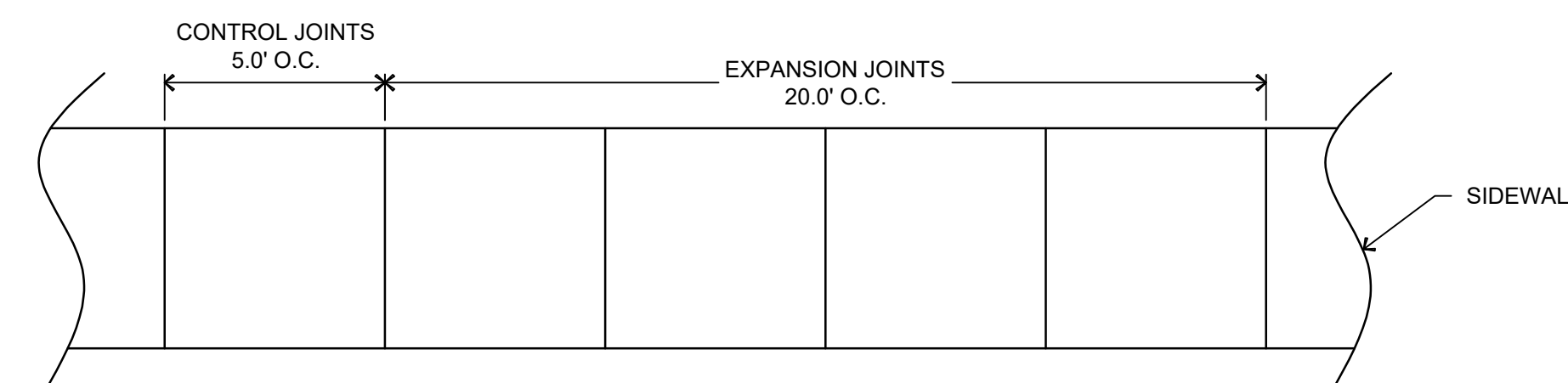
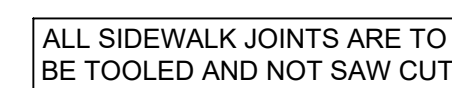
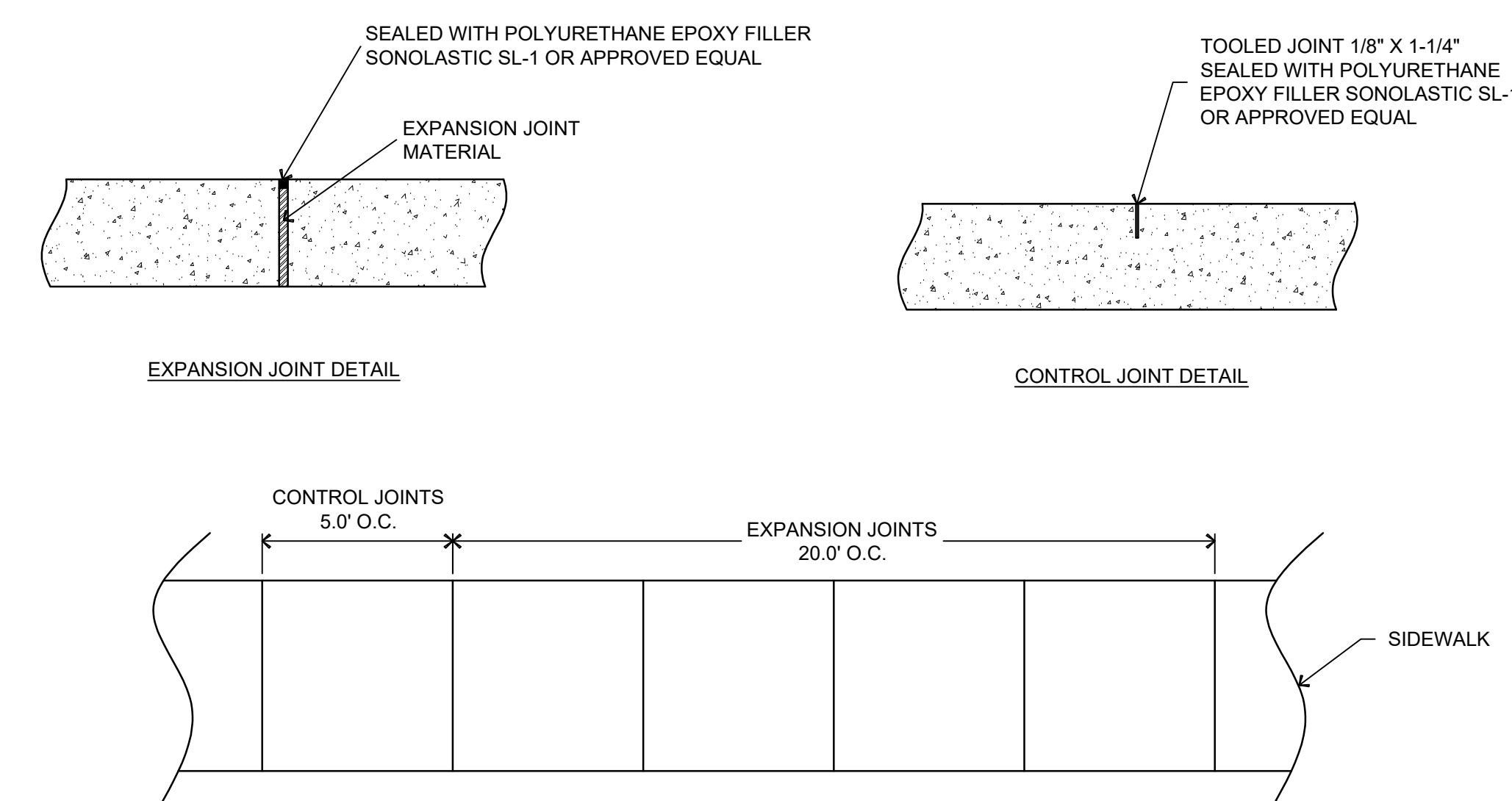
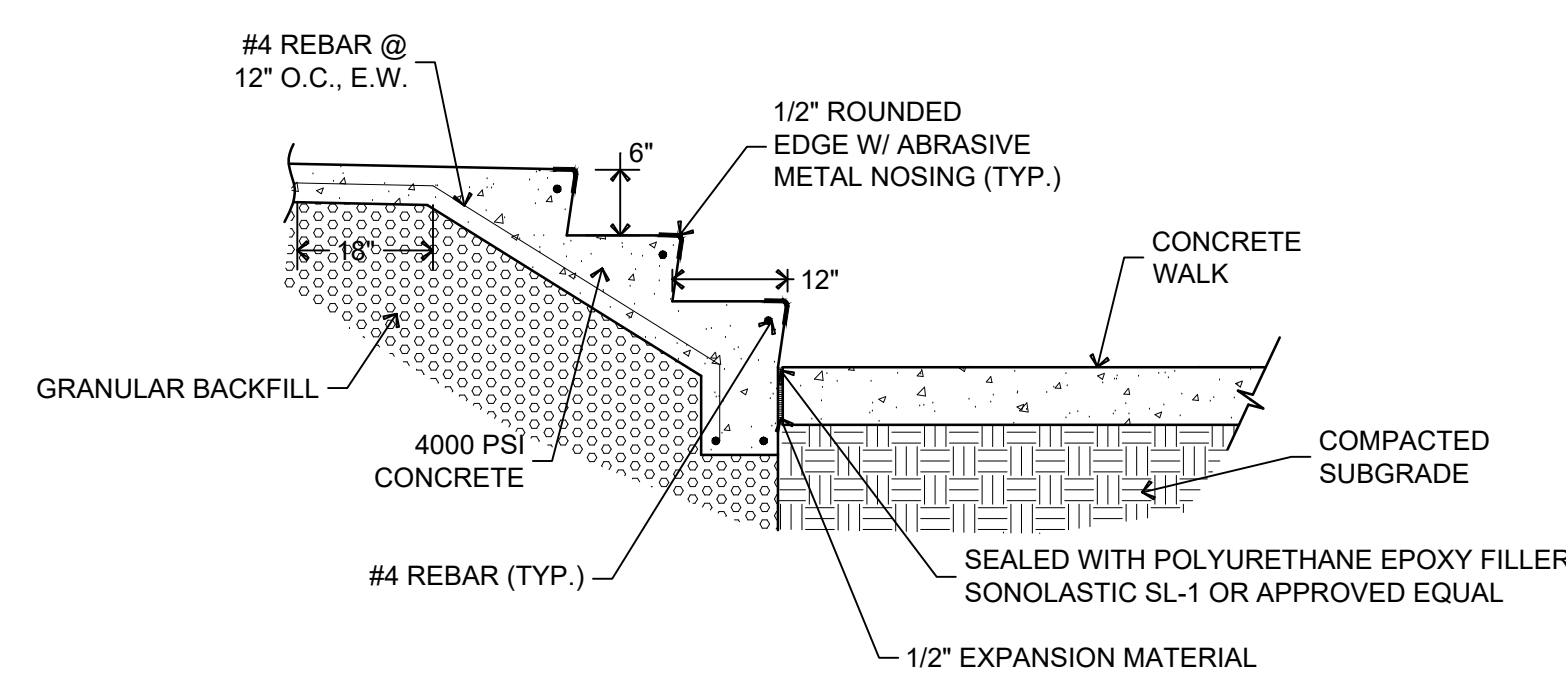
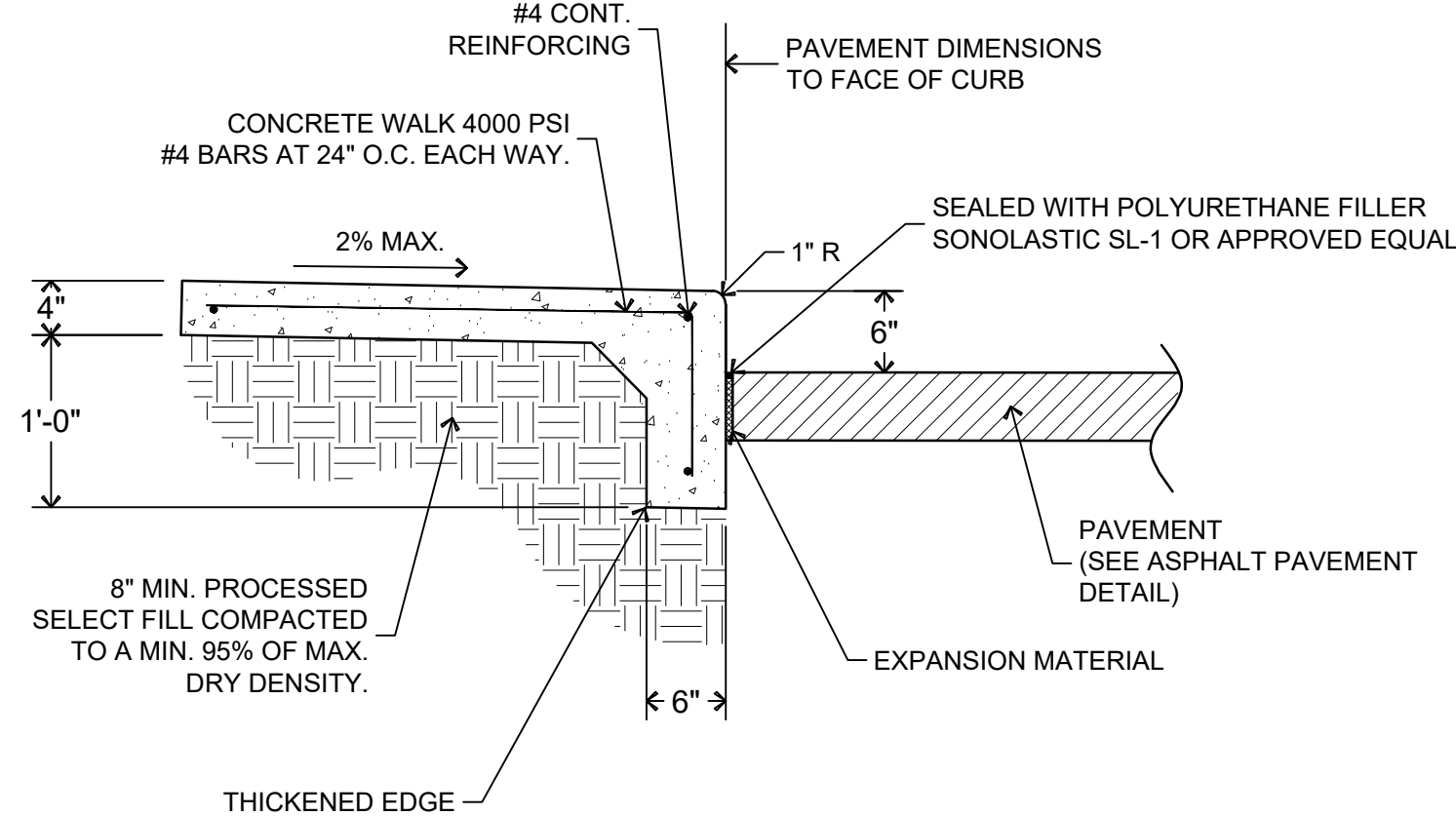
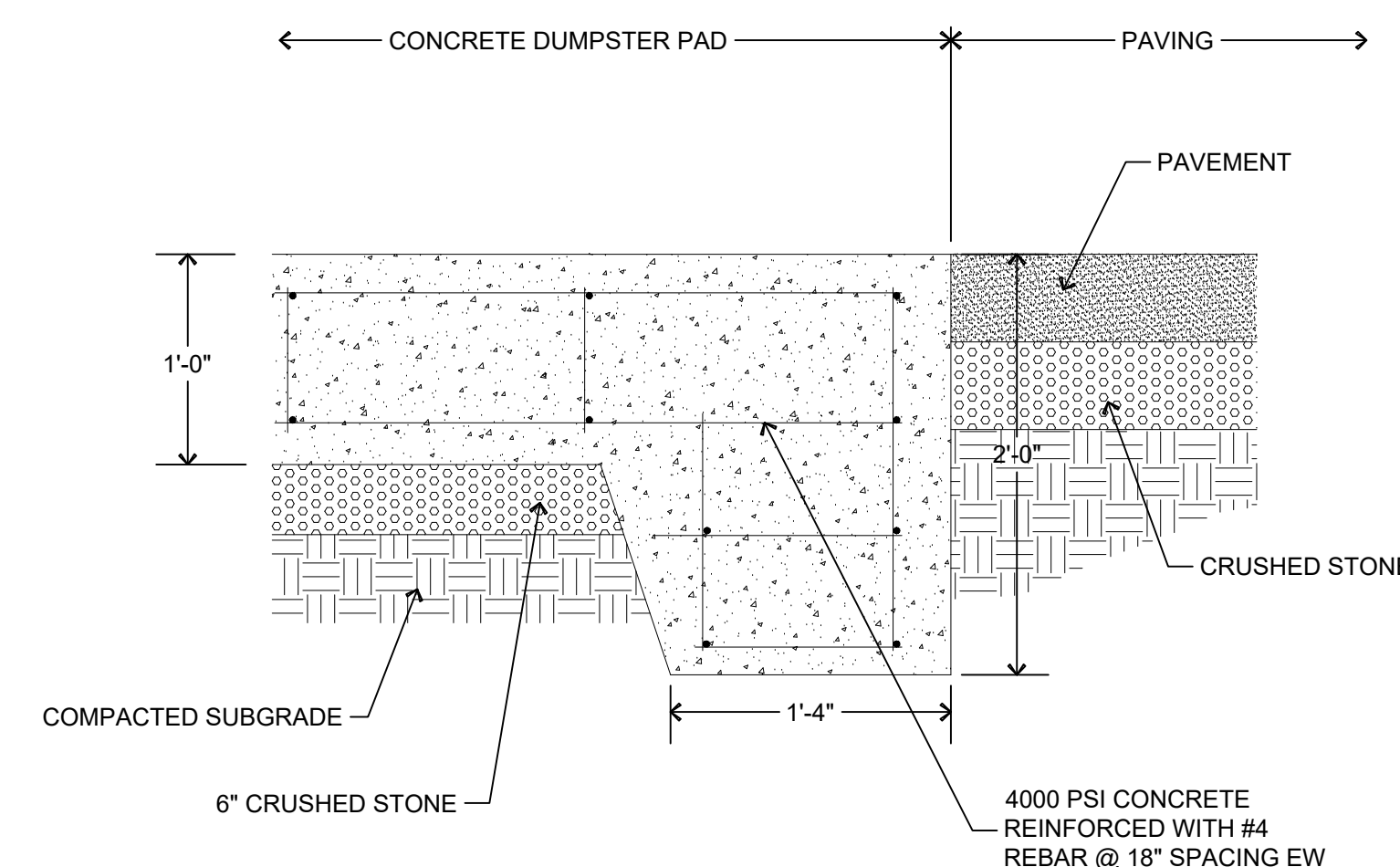
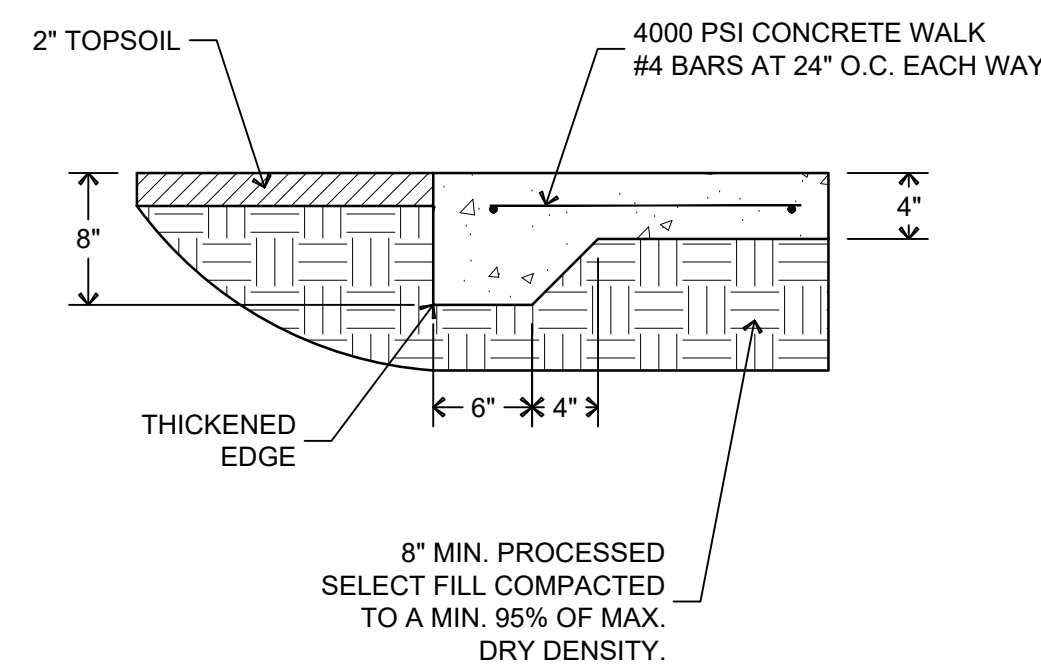
LIGHT DUTY ASPHALT PAVEMENT (PARKING AREAS) SHALL BE 3" THICK. (1.5" BASE COURSE AND 1.5" SURFACE COURSE).

GRANULAR MATERIAL BASE REQUIRED SHALL BE 8" THICK CRUSHED LIMESTONE FOR HEAVY DUTY AND 6" THICK CRUSHED LIMESTONE FOR LIGHT DUTY.

CRUSHED LIMESTONE MEETING MDOT STANDARD SPECIFICATIONS FOR SIZE 610 AGGREGATE. COMPACTED TO A MIN. 98% OF MAX. DRY DENSITY AS DEFINED BY ASTM D-698.

SUBGRADE REQUIRED SHALL BE 2 FEET MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL. COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.

IMMEDIATELY PRIOR TO CONSTRUCTION OF THE PAVEMENTS, THE SUBGRADE SHALL BE STABILIZED IN ACCORDANCE WITH THE SPECIFICATIONS AND GEOTECHNICAL REPORT. COMPACTION AND TESTING SHALL BE PERFORMED AS PER SPECIFICATIONS.



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PROJECT TITLE
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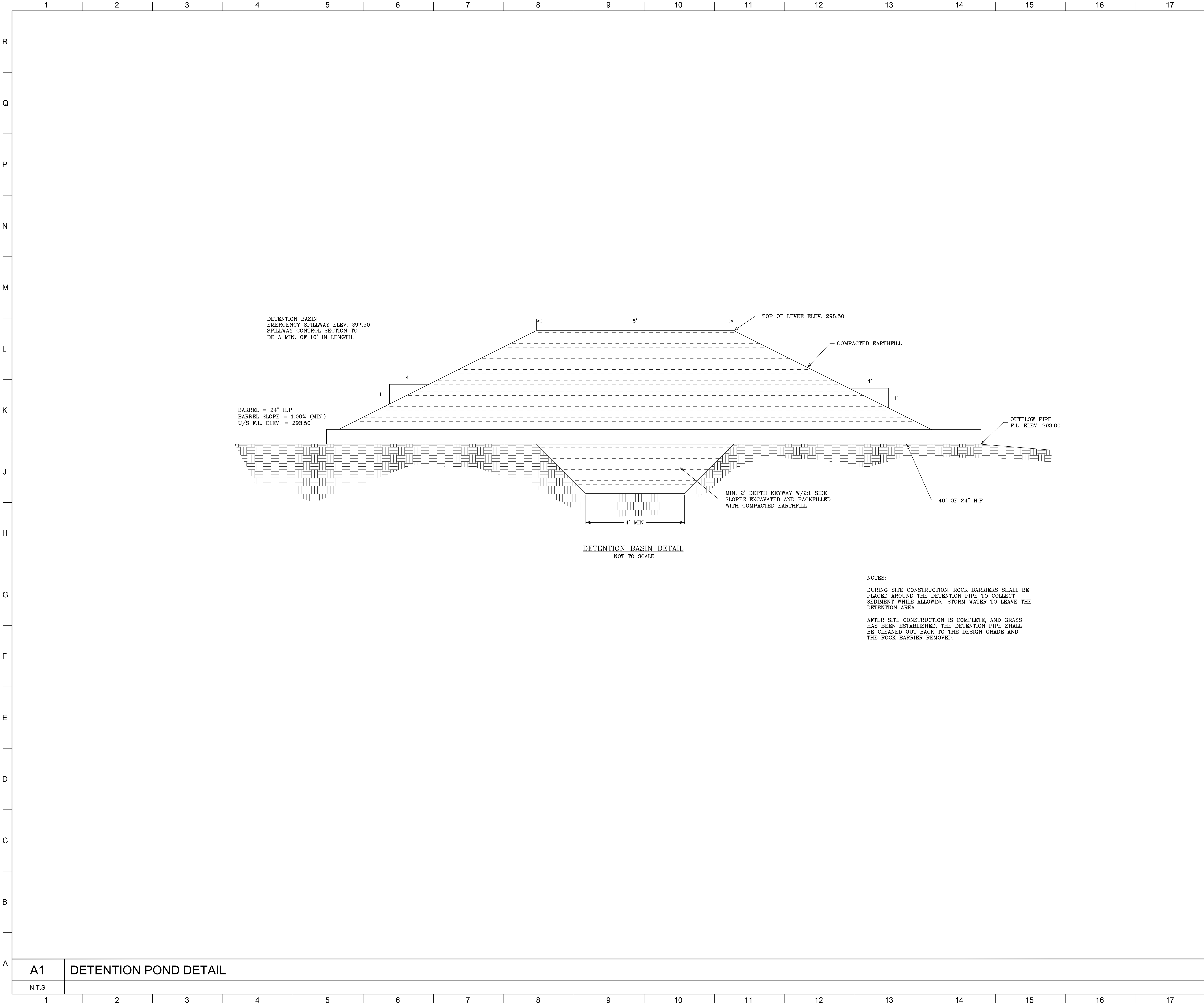
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**DETENTION
POND
DETAILS**

SHEET NUMBER
C202
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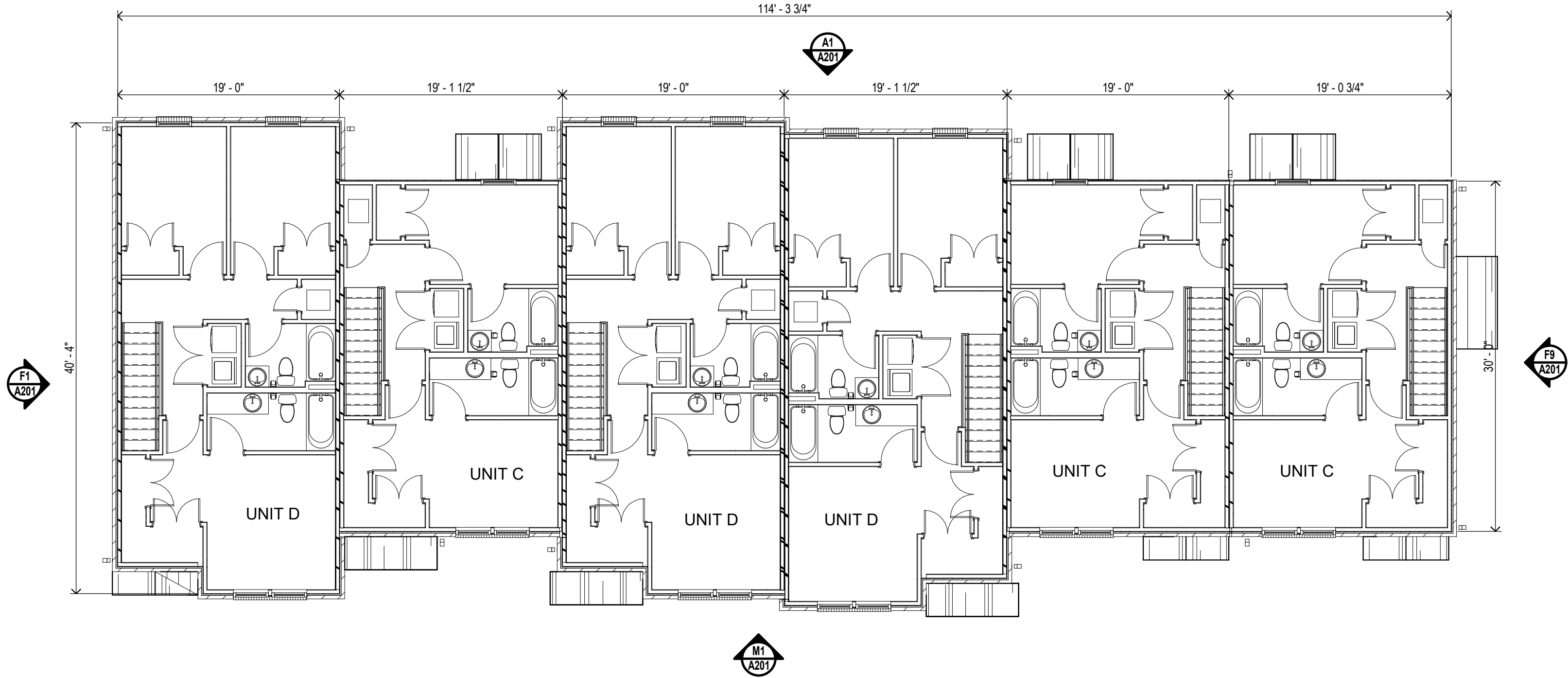
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L1

BUILDING 6 & 7 - FLOOR PLAN (ADA)

1/8" = 1'-0"

2,356 SQFT

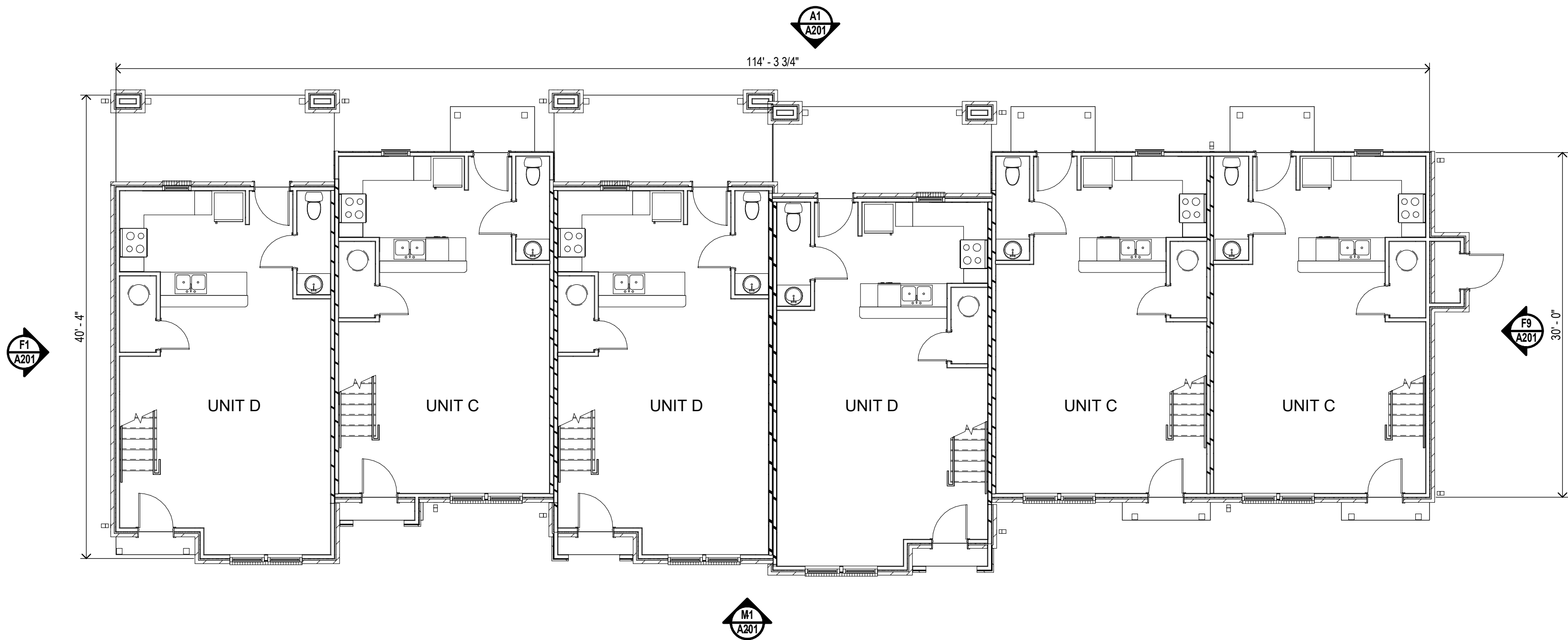


F1

BUILDINGS 2,4,5 & 8 AND BUILDINGS 1,3 & 9 (OPP.) - SECOND FLOOR PLAN

1/8" = 1'-0"

3,957 SQFT



A1

BUILDINGS 2,4,5 & 8 AND BUILDINGS 1,3 & 9 (OPP.) - FIRST FLOOR PLAN

1/8" = 1'-0"

3,501 SQFT

BLDG SCHEDULE

TYPE	UNIT C 2 BR / 2 BATH	UNIT D 3 BR / 2 BATH	TOTAL UNITS / BLDG	HEATED SF
BLDG. 1	3	3	6	7,458
BLDG. 2	3	3	6	7,458
BLDG. 3	3	3	6	7,458
BLDG. 4	3	3	6	7,458
BLDG. 5	3	3	6	7,458
BLDG. 6	1	1	2	2,356
BLDG. 7	1	1	2	2,356
BLDG. 8	3	3	6	7,458
BLDG. 9	3	3	6	7,458
SUBTOT.	23	23	46	56,918
CB			1	1,590
TOTALS	-	-	47	58,508

UNIT SCHEDULE

UNIT TYPE	# UNITS	SF	HEATED SF
UNIT C 2 BR/2 BATH	21	1,140	23,940
UNIT C-ADA 2 BR/2 BATH	2	1,102	2,204
UNIT D 3 BR/2 BATH	21	1,346	28,266
UNIT D-ADA 3 BR/2 BATH	2	1,254	2,508
SUBTOTALS	46	-	56,918
COMMUNITY BUILDING	1	1,590	1,590
TOTALS	47	-	58,508

NOT FOR
CONSTRUCTION

OFFICE ADDRESS:
535 WEST MAIN STREET
TULPELO, MS 38880
PHONE: (662) 844-0440
FAX: (662) 844-0500

McCARTY

ARCHITECTS

KURT SHETTLER, ARCHITECT

PROJECT TITLE

FLOWERDALE COMMONS
TOWNHOMES
COLONIAL ESTATES ROAD
TUPELO, MS

PROJECT NO:

• 21051

DRAWN BY:

• jbf

CHECKED BY:

• JB

DATE ISSUED:

• 31 MAY 2022

REVISIONS & ADDENDUMS

NO.	DESCRIPTION	DATE

SHEET TITLE

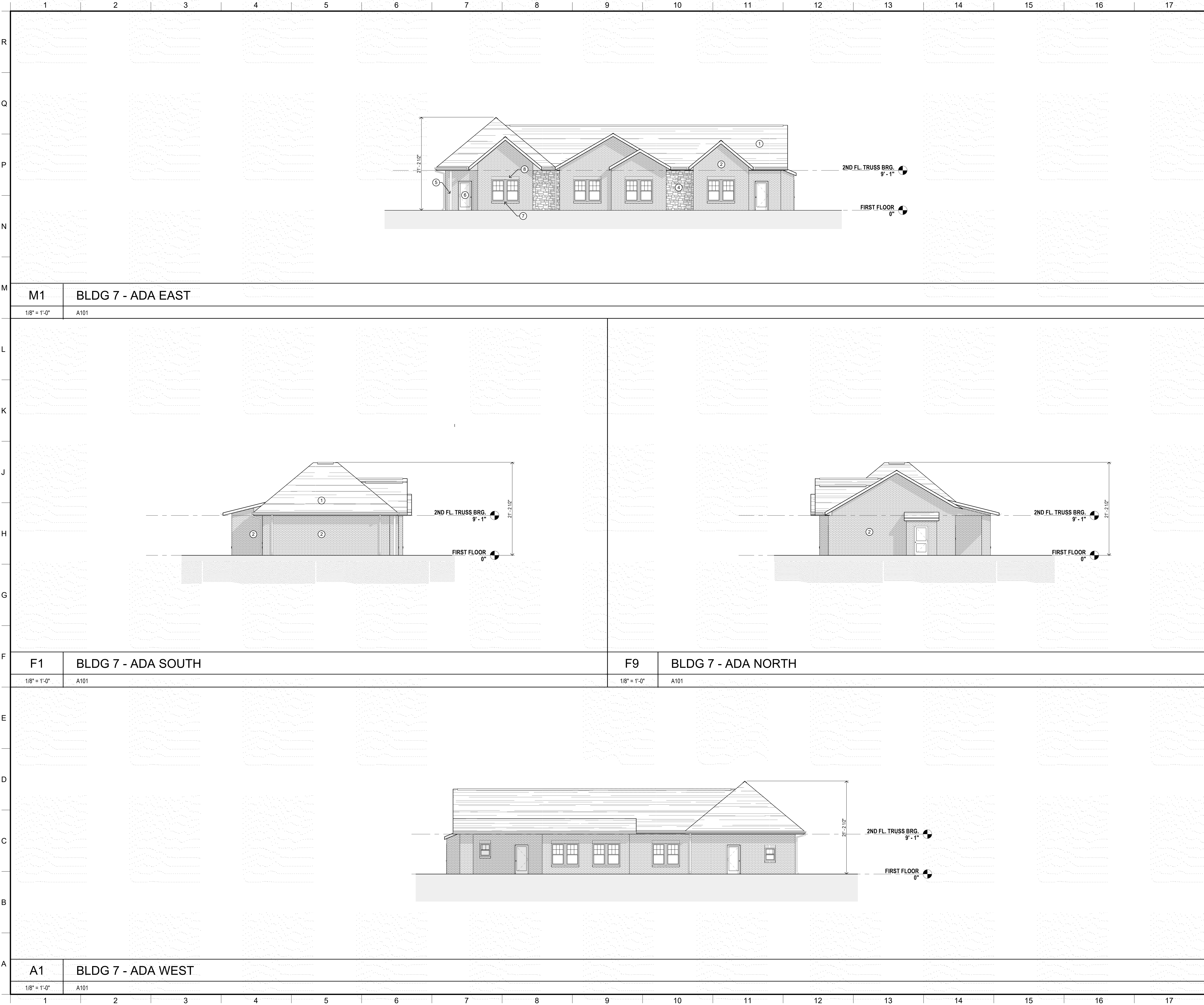
OVERALL
BUILDING
FLOOR PLANS

SHEET NUMBER

A101

— of —

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ELEVATION NOTES		NOT FOR CONSTRUCTION
MARK	DESCRIPTION	
①	ASPHALT SHINGLES	
②	BRICK VENEER	
③	FIBER CEMENT SIDING	
④	MANUFACTURED STONE VENEER	
⑤	WOOD COLUMN	
⑥	PRE-HUNG INSULATED DOOR	
⑦	BRICK ROLOK SILL	
⑧	BRICK SOLDIER COURSE	
⑨	SHINGLE SHAKE	

OFFICE ADDRESS:
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KURT SHETTLES, ARCHITECT

PROJECT TITLE
**FLOWERDALE COMMONS
TOWNHOMES**
COLONIAL ESTATES ROAD
TUPELO, MS

PROJECT NO:
• 21051
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DATE ISSUED:
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REVISIONS & ADDENDUMS	

SHEET TITLE	
EXTERIOR ELEVATIONS BLDGS 6 & 7	

SHEET NUMBER	
A202	
— of —	

Plot Date: SITE PLAN SUBMISSION - 05/31/2022

6/12/2022 9:14:35 AM

