Transmittal Letter

Transmittal Letter		MECARTY		
PROJECT: (Name and A Tulip Creek	ddress)			RCHITECTS
Eason Boule	evard	_ _	Date:	5/6/2022
Tupelo, MS		_ Proje	ct No.:	21052
	t of Development Services ning Committee			
WE TRANSMIT: VIA: FOR: THE FOLLOWING:	x Attached Overnight delivery Courier x Approval / Action Comment x Drawings	Under separate cover Mail Fax Information Distribution Specifications	er x	E-mail Other Use as requested Other Digital Files
	Submittals	Other		C
NO. OF COPIES	DATE	DESCRIPTION		
2	May 6, 2022	Major Site Plan Applicatio	n	
-	e on behalf of the owner/d any questions please let me	eveloper Britton Jones & St know. Thank you.	:ewart Ru	utledge (Tulip Creek
TRANSMITTED BY:	J Bryan			
INANSIVIII IEU DI:	J DI YAII	<u> </u>		
COPIES TO:	file			

CITY OF TUPELO DEPARTMENT OF DEVELOPMENT SERVICES MAJOR SITE PLAN APPLICATION

Department of Development Services PO Box 1485, Tupelo, MS 38802-1485 Phone (662) 841-6510 FAX (662) 841-6550 http://www.tupeloms.gov/developmentservices

TO THE TUPELO PLANNING COMMITTEE:

As owner, developer, agent or engineer (indicate which), it is requested that the proposed development site plan as described below be given a major site plan approval by the Tupelo Planning Committee and the respective governing body in accordance with Tupelo Regulations.

The proposed development site is located:		North Eason Blvd.			
Name of Development:	Tulip Creek				
Describe in detail the pro	oposed development:				
Six new 2-story ap	partment buildings an	d one 1-story commu	nity building for the dev	velopment.	
	ACRES IN THE ENTIRE PARCEL 14.53	NUMBER OF BUILDINGS 7	TOTAL NUMBER OF UNITS 48		
List all existing structure	es on this property:	N/A			
Purchaser: Tulip Cr Name, address and phor Civil: ESI (John Wh	swalt, 121 CR 500, Pla reek, 2021 LP - 1739 Une number of Engineer, hite) 1324 N. Veterans E Architects (Jay Bryan)	ntersville, MS 38862 niversity Ave., Suite 116 Surveyor or Draftsman: Blvd., Tupelo, MS 662-8 533 W. Main St., Tupelo		226	

- 1. 10 copies of the development site plan drawn in accordance with Development Code Requirements.
- 2. Application Fee \$200.00 plus \$20.00 per commercial unit and / or \$10.00 per residential unit.

I hereby certify that all the above information is true and correct and that I have received, or retained, a copy of this application. I understand that if I or my representative does not attend the meeting, the application could be tabled or denied.

Date May 6, 2022

Signature of owner, developer, agent or engineer

662-844-4400

Mailing Address

Telephone Number

- NOTES: 1. Submit application no later than the four weeks prior to the next meeting of the Planning Committee. The Planning Committee meets on the first Monday of each month.
 - 2. Applicant must be represented at the meeting which is held at 6:00 PM in the City Hall Council Chambers on second floor of 71 East Troy Street.

SEE OTHER SIDE.





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OFFICE / STUDIO ADDRESS
McCARTY ARCHITECTS
533 WEST MAIN STREET

TUPELO, MS 38804 (662) 844-4400

CIVIL ENGINEER

ENGINEERING SOLUTIONS INC. 1324 NORTH VETERANS BLVD. TUPELO, MS 38804 (662) 840-9063

SITE PLAN SUBMISSION

DATED: 06 MAY 2022

SET NUMBER:

PROJECT NUMBER: 21052

REVISIONS:

PHONE 662.840.9063 FAX 662.840.9064 www.esi-ms.com POINT OF COMMENCEMENT AND BEGINNING Commencing at an Steel shaft found at the Northwest corner of the Northeast Quarter Section 34, Township 9 South, Range 6 East, Lee County, JEREMY AND JINTANA RICHARDSON SOUTH (APD) SO' 44' 41"E_ SUBMITTED TO 14.53 ACRES SCALE: 1" = 60' LEE COUNTY GENERAL NOTES: 1.) FIELD SURVEY COMPLETED - 11/2021 1002.18 Know what's below.
Call before you dig. NORTH 2.) BENCHMARK ESTABLISHED ON SITE IS: 1003.97' (APD) FIRE HYDRANT FLANGE BOLT BETWEEN THE WORDS MUE & LLER ELEVATION — 338.11 CHAIN LINK FENCE-3.) UTILITY LOCATIONS DEPICTED ARE BASED ON VISIBLE EVIDENCE DISCERNED BY FIELD SURVEY PERSONNEL, MISSISSIPPI 1-CALL NO. 21110311090910 DELINEATION, AND REVIEW OF RECORD DRAWINGS ON FILE. THE DEPICTION OF UNDERGROUND UTILITIES IS AS THE SOURCES ALLOW. ANY CONTRACTOR PERFORMING WORK ON THIS SITE IS RESPONSIBLE FOR EXECUTING THE MISSISSIPPI ONE-CALL STATE OF MISSISSIPPI SYSTEM (1-800-227-6477) AND CONTACTING THE APPROPRIATE ENTITIES PRIOR TO INITIATING CONSTRUCTION. 4.) HORIZONTAL CONTROL: S37° 45' 49"E 1257.41 NORTHING EASTING DESCRIPTION S37° 01' 01"E 1732211.03 1037852.61 CP-1 1258.02'(APD) CLIENT 1732501.55 1038104.79 CP-2 CURRENT PROPERTY 8 6 6 7 9 9 -ZONING IS MUE-2. * FRONT SETBACK = 30' * SIDE SETBACK = 10' * REAR SETBACK = 10' * MAX BUILDING HT. = 4 STORIES A 14.53 acre parcel being located in the Northeast Quarter of Section 34, Township 9 South, Range 6 East, Lee County, Mississippi and being more particularly described as follows: Table "A" items: Survey Notes Commencing at an Steel shaft found at the Northwest corner of the Northeast Quarter Section 34, Township 9 South, Range 6 East, Lee County, Mississippi said point being the 1) 18" Capped rebar set at all property corners. This survey meets the requirements of a Class "B" survey. All iron pins set are 0.5 inch dia. by 18 inch long rebar. POINT OF BEGINNING; thence South 0 degrees 44 minutes 41 seconds East a distance of 2) No site address is listed for the subject property. Sworn crew members: Sage Pritchard and Kohen Hunt. 160.00 feet to an iron pin set; thence South 37 degrees 45 minutes 49 seconds East a distance PROJECT NO: of 1257.41 feet to an iron pin found on the West Right-of-Way of N. Eason Blvd.; thence along said West Right-of-Way N33 degrees 51 minutes 17 seconds East a distance of 49.72 feet to an iron pin set; thence North 38 degrees 32 minutes 55 seconds East a distance of 151.88 feet to a 4. Reference materials on file in the Office of the Chancery Clerk, Lee County, • 21052 3) Part of the subject parcel does not lie in a specified flood hazard zone per fema maps 28081C0168E and 28081C0169E effective dates 2/3/2010 **PROJECT** Instruments 2012000450 and 2015001017, DB1145 PG3154 and DB 1543 PG DRAWN BY: found 1" steel pipe; thence leaving the Right-of-Way North 0 degrees 45 minutes 05 seconds 4) The subject parcel has a Gross Area of 11.80 acres. West a distance of 1002.18 feet to a found 1" steel pipe; thence South 89 degrees 28 minutes 13 Field data collected 11-2021. seconds West a distance of 881.37 feet to the POINT OF BEGINNING. CHECKED BY: Bearings are based on GPS geodetic data shown as astronomic. 6b) Setbacks are shown on the plat. Part of the property is not located in a flood zone per Maps No. 28081C0168E and 28081c0169E; Effective Dates 2-03-2010. DATE ISSUED: 7a) Not applicable. No buildings are located on the subject parcel. Tax Map 088V. ---- SURVEYOR'S CERTIFICATION ----• 03 MAR 2022 Schedule BII Exception 9 recorded in Book 1145, Page 315 is a Construction 7(b)(1) Not applicable. Refer to Item 7a. To Tulip Creek, LLC, a Mississippi limited liability company and Old Republic Easement to Lee County and is shown on the plat. **REVISIONS & ADDENDUMS** National Titile Insurance Company: 10. Schedule BII Exception 10 recorded in Book 1543, Page 516 is a Utility and HYDRANT FLANGE BOLT BETWEEN MUE & LLER ELEVATION — 338.11 8) No substantial features were observed on the Subject Property. Construction Easement to the City of Tupelo and does not effect the subject This is to certify that this map or plat and the survey on which it was based were made N39° 40' 53"E 150.04' (APD) 9) Not Applicable. No parking spaces are located on the Subject Property. Schedule BII Exception 11 recorded in Instrument 2015001017 is a Utility and Construction Easement to the City of Tupelo and does not effect the subject in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes 11) Utilities are shown on the plat. TUPELO GYMNASTICS Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 16, 17, 18 and 19 of Table A -15' CONSTRUCTION EASEMENT 12. Survey utilizes the title commitment File No. GA21006659. thereof. The fieldwork was completed on 11/17/2021. CENTER LLC 13) Names of adjoining owners are listed on survey. ─30' SETBACK 16) There was no observed evidence of earth moving and building construction activities per field visit of November 17, 2021. N33° 56' 47"E 49.96' (APD) 17) There are no proposed changes in street right of way lines. SHEET TITLE 18) There was no wetland delineation performed. **EXISTING** 19) No plottable offsite Easements. TOPOGRAPHY SHEET NUMBER C000 **EXISTING TOPOGRAPHY** of AS SHOWN Plot Date: CD REVIEW - 03 MARCH 2022

































