

# Transmittal Letter



**PROJECT:** *(Name and Address)*

Tulip Creek  
Eason Boulevard  
Tupelo, MS

**Date:** 5/6/2022

**Project No.:** 21052

**TO:** *(Name and Address)*

Department of Development Services  
Tupelo Planning Committee  
City of Tupelo

**WE TRANSMIT:** ☒ Attached ☐ Under separate cover  
**VIA:** ☐ Overnight delivery ☐ Mail ☐ E-mail  
☐ Courier ☐ Fax ☒ Other  
**FOR:** ☒ Approval / Action ☐ Information ☐ Use as requested  
☐ Comment ☐ Distribution ☐ Other  
**THE FOLLOWING:** ☒ Drawings ☐ Specifications ☐ Digital Files  
☐ Submittals ☐ Other

| NO. OF COPIES | DATE        | DESCRIPTION                 |
|---------------|-------------|-----------------------------|
| 2             | May 6, 2022 | Major Site Plan Application |
|               |             |                             |
|               |             |                             |
|               |             |                             |
|               |             |                             |
|               |             |                             |

## REMARKS:

We are submitting these on behalf of the owner/developer Britton Jones & Stewart Rutledge (Tulip Creek 2021, LP). If you have any questions please let me know. Thank you.

**TRANSMITTED BY:** J Bryan

**COPIES TO:** file

CITY OF TUPELO DEPARTMENT OF DEVELOPMENT SERVICES

MAJOR SITE PLAN APPLICATION

Department of Development Services  
PO Box 1485, Tupelo, MS 38802-1485  
Phone (662) 841-6510 FAX (662) 841-6550  
<http://www.tupeloms.gov/developmentservices>

TO THE TUPELO PLANNING COMMITTEE:

As owner, developer, agent or engineer (indicate which), it is requested that the proposed development site plan as described below be given a major site plan approval by the Tupelo Planning Committee and the respective governing body in accordance with Tupelo Regulations.

The proposed development site is located: North Eason Blvd.

Name of Development: Tulip Creek

Describe in detail the proposed development: \_\_\_\_\_

Six new 2-story apartment buildings and one 1-story community building for the development.

| ACRES IN THE<br>ENTIRE PARCEL | NUMBER OF<br>BUILDINGS | TOTAL NUMBER<br>OF UNITS |
|-------------------------------|------------------------|--------------------------|
| 14.53                         | 7                      | 48                       |

List all existing structures on this property: N/A

Name, address and phone number of Owner of Land: \_\_\_\_\_

Current: Barbara Oswalt, 121 CR 500, Plantersville, MS 38862

Purchaser: Tulip Creek, 2021 LP - 1739 University Ave., Suite 116, Oxford, MS 662-202-8226

Name, address and phone number of Engineer, Surveyor or Draftsman: \_\_\_\_\_

Civil: ESI (John White) 1324 N. Veterans Blvd., Tupelo, MS 662-840-9063

Architect: McCarty Architects (Jay Bryan) 533 W. Main St., Tupelo, MS 662-844-4400

Attached and made a copy of this application are the following:

1. 10 copies of the development site plan drawn in accordance with Development Code Requirements.
2. Application Fee - \$200.00 plus \$20.00 per commercial unit and / or \$10.00 per residential unit.

I hereby certify that all the above information is true and correct and that I have received, or retained, a copy of this application. I understand that if I or my representative does not attend the meeting, the application could be tabled or denied.

Date May 6, 2022

  
Signature of owner, developer, agent or engineer

662-844-4400

Mailing Address

Telephone Number

- NOTES:
1. Submit application no later than the four weeks prior to the next meeting of the Planning Committee. The Planning Committee meets on the first Monday of each month.
  2. Applicant must be represented at the meeting which is held at 6:00 PM in the City Hall Council Chambers on second floor of 71 East Troy Street.

SEE OTHER SIDE.



TULIP CREEK

APARTMENTS

EASON BOULEVARD

TUPELO, MISSISSIPPI

OFFICE / STUDIO ADDRESS

McCARTY ARCHITECTS

533 WEST MAIN STREET

TUPELO, MS 38804

(662) 844-4400

CIVIL ENGINEER

ENGINEERING SOLUTIONS INC.

1324 NORTH VETERANS BLVD.

TUPELO, MS 38804

(662) 840-9063

INDEX TO DRAWINGS

CIVIL

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| A502 | COMMUNITY BUILDING EXTERIOR ELEVATIONS |



LOCATION MAP

NORTH

SITE PLAN SUBMISSION

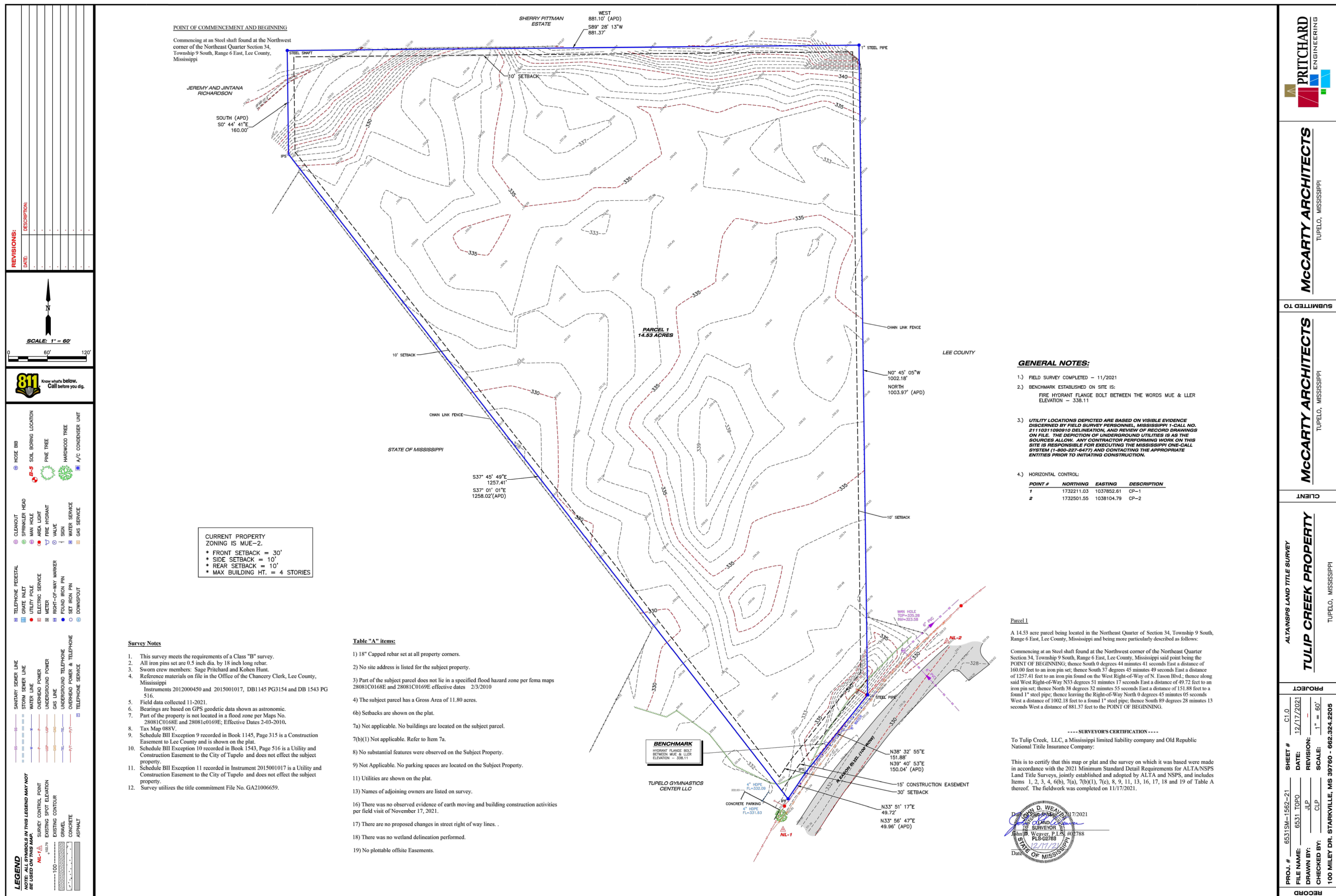
DATED: 06 MAY 2022

SET NUMBER:

PROJECT NUMBER: 21052

REVISIONS:







**GENERAL NOTES**

1. THE LOCATION OF ALL EXISTING UTILITIES IS BASED ON TOPOGRAPHIC DATA AND INFORMATION PROVIDED BY THE OWNER. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA.
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FAX 662.844.6500

**McCARTY**  
ARCHITECTS  
KURT SHETTLES, ARCHITECT

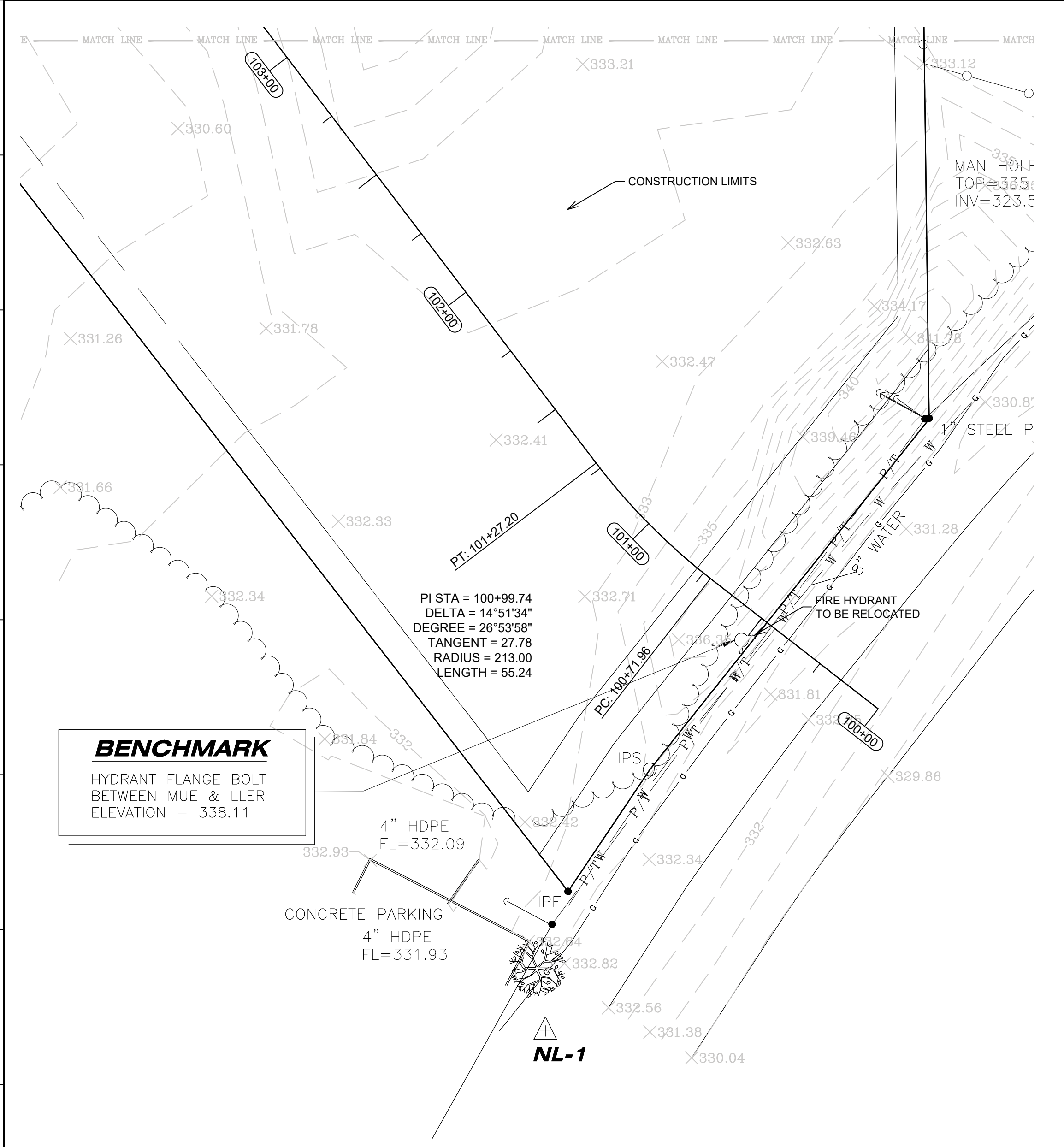
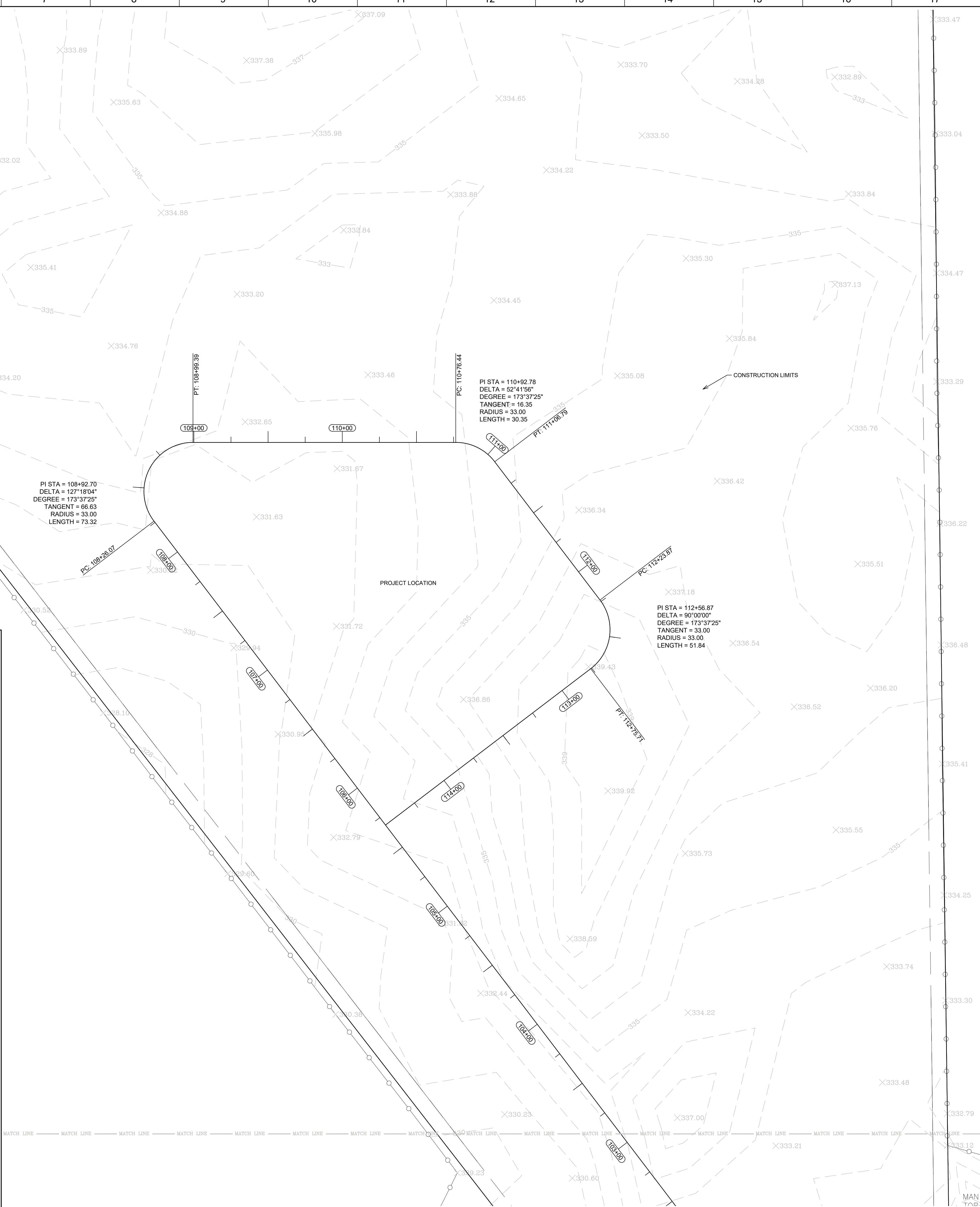
PROJECT TITLE  
**TULIP CREEK  
APARTMENTS**  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• LH  
CHECKED BY:  
• JW  
DATE ISSUED:  
• 03 MAR 2022

REVISIONS & ADDENDUMS

SHEET TITLE  
**DEMOLITION  
PLAN**

SHEET NUMBER  
**C100**  
of



**1**  
**DEMOLITION PLAN**

1"=30'



**1**  
**DEMOLITION PLAN**

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LEGEND

- |            |   |                 |
|------------|---|-----------------|
| TSW 000.00 | → | TOP SIDEWALK    |
| BSW 000.00 | → | BOTTOM SIDEWALK |
| TBC 000.00 | → | TOP BACK CURB   |
| SW 000.00  | → | SIDEWALK        |
| 000.00     | → | SPOT GRADE      |
| FLUSH      | → | FLUSH           |

GRADING NOTES

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OFFICE ADDRESS:  
533 WEST MAIN STREET  
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REVISIONS & ADDENDUMS

SHEET TITLE  
PLAN  
PROFILE

SHEET NUMBER

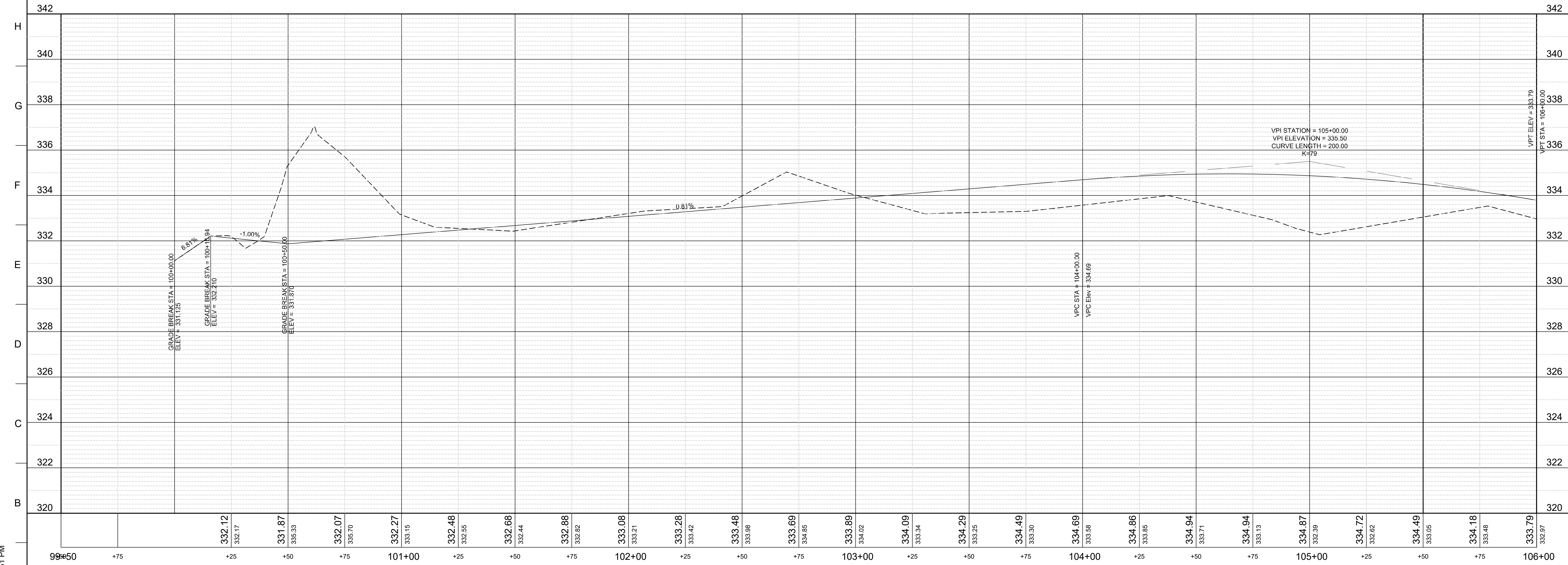
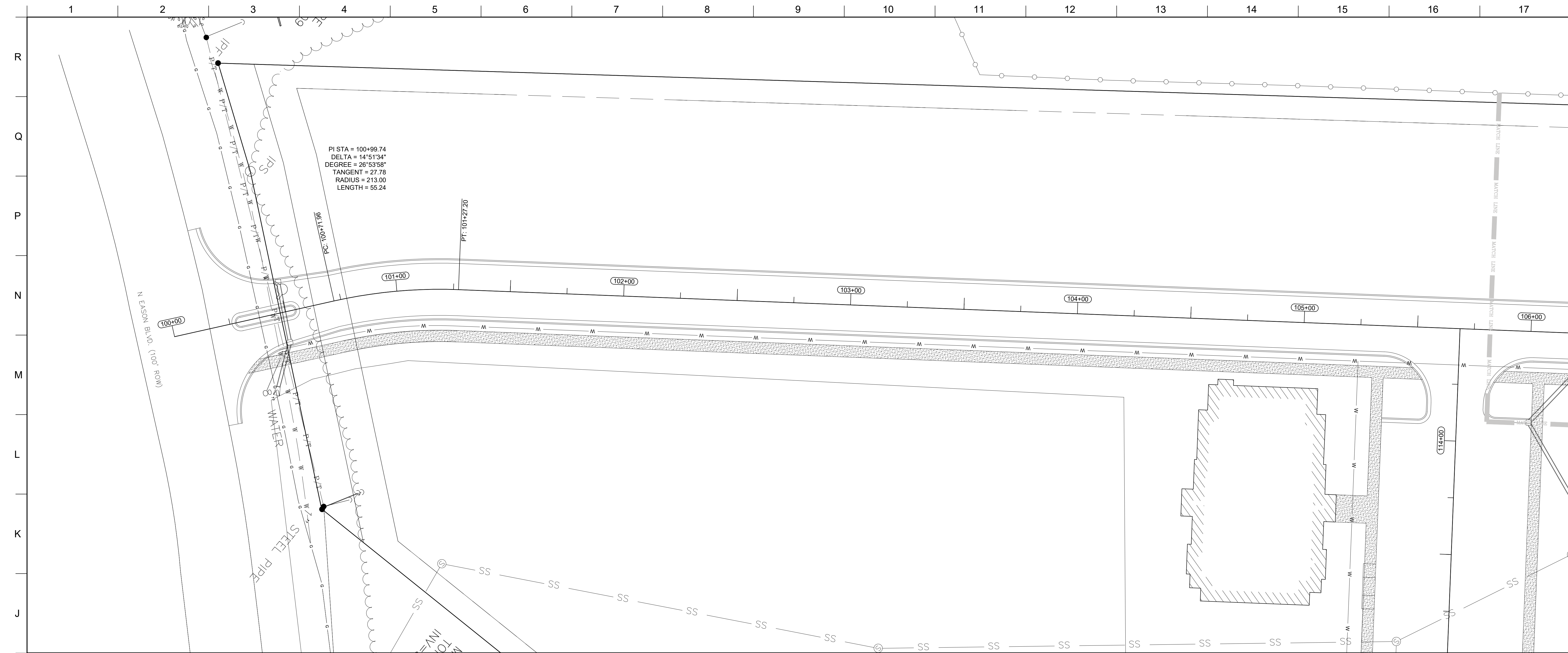
C101

of



Plot Date: CD REVIEW - 03 MARCH 2022

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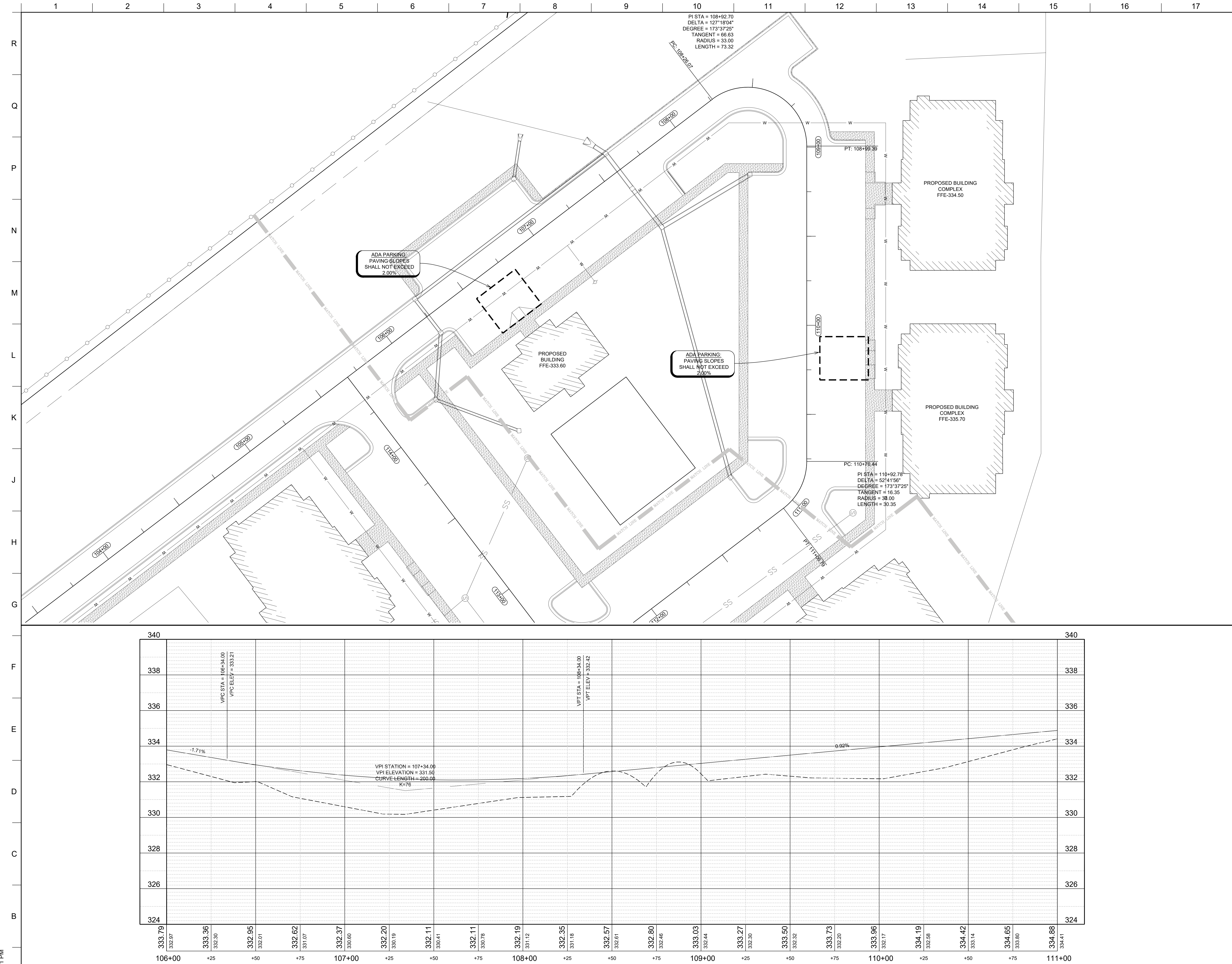


A1 PLAN PROFILE

1\"=20'



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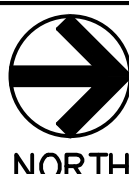
PROJECT TITLE  
**TULIP CREEK  
APARTMENTS**  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• LH  
CHECKED BY:  
• JW  
DATE ISSUED:  
• 03 MAR 2022

| REVISIONS & ADDENDUMS |  |
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SHEET TITLE  
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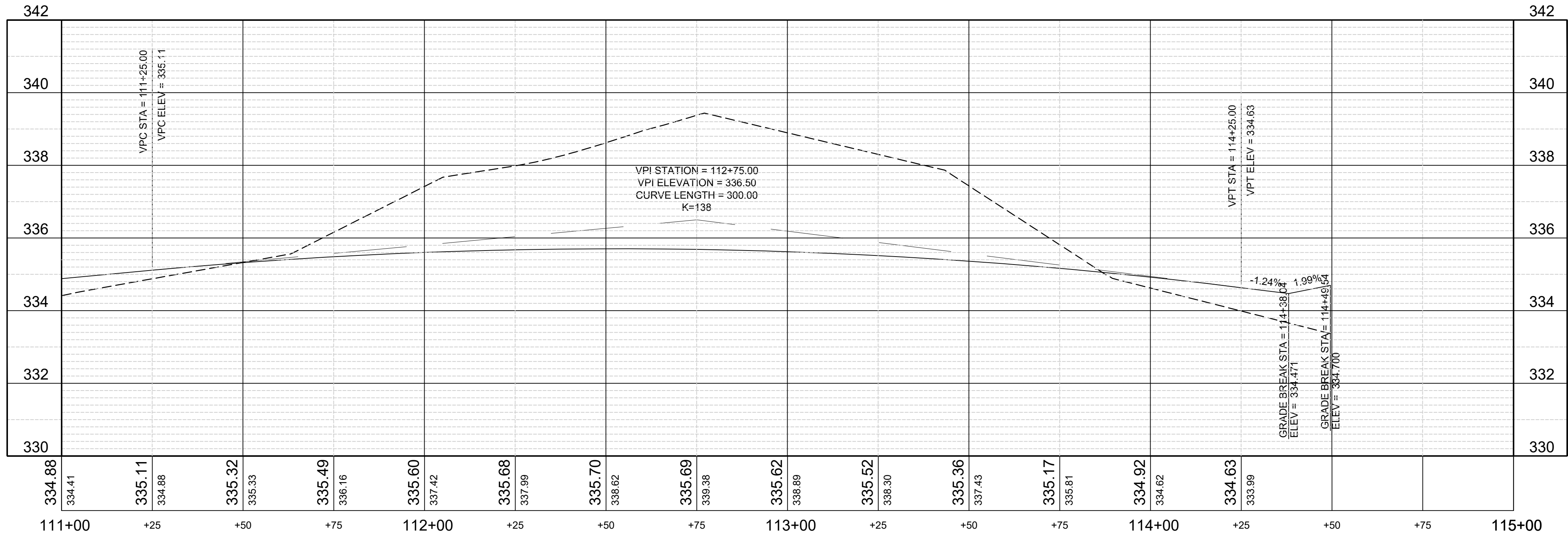
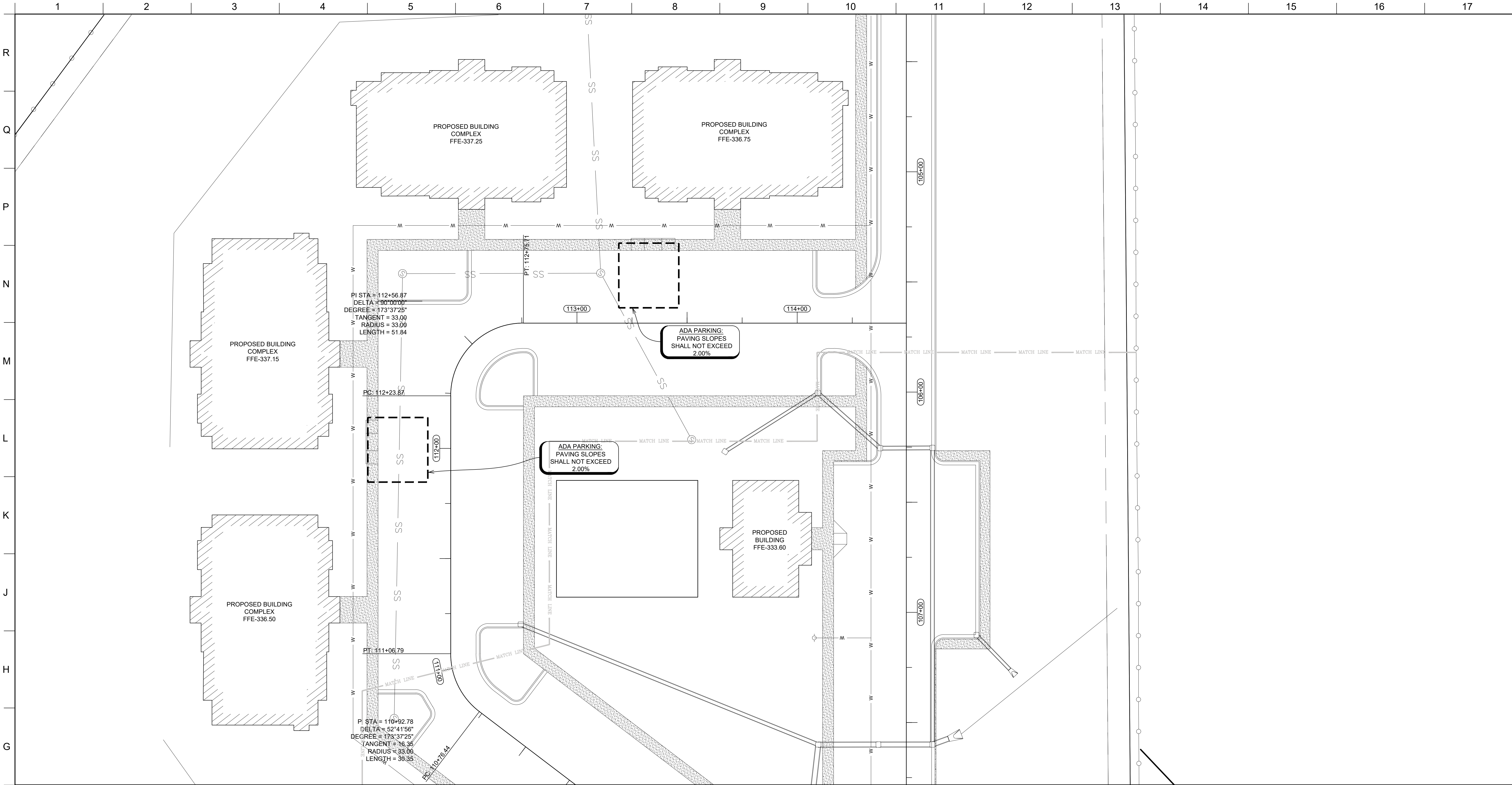
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**C102**  
of



Plot Date: CD REVIEW - 03 MARCH 2022



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FAX: (662) 844-4500



PROJECT TITLE  
TULIP CREEK  
APARTMENTS  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
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• LH  
CHECKED BY:  
• JW  
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REVISIONS & ADDENDUMS

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**DRAINAGE NOTES**

POSITIVE DRAINAGE AWAY FROM BUILDING IS REQUIRED IN ALL AREAS. CONTRACTOR TO ENSURE FINAL GRADING AND PAVING MEET THIS REQUIREMENT.

THE FLOW LINE ELEVATIONS SHOWN WERE SET BASED ON TOPOGRAPHIC INFORMATION AND PROPOSED FINISH GRADES.

ALL STORM DRAIN PIPING TO BE BEDDED AND BACKFILLED PER ASTM-D321.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCHING OPERATIONS ARE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS.

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ARCHITECTS  
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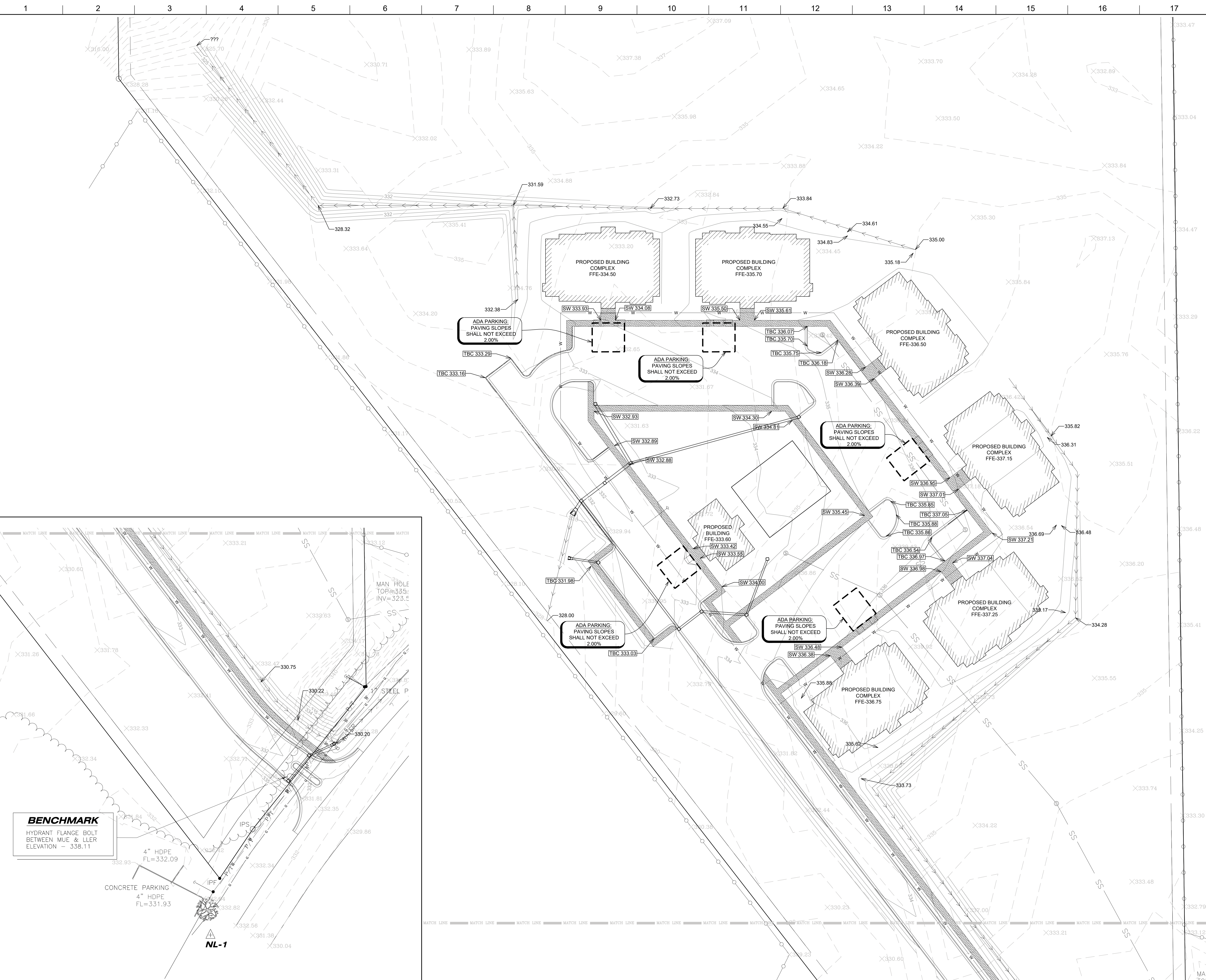
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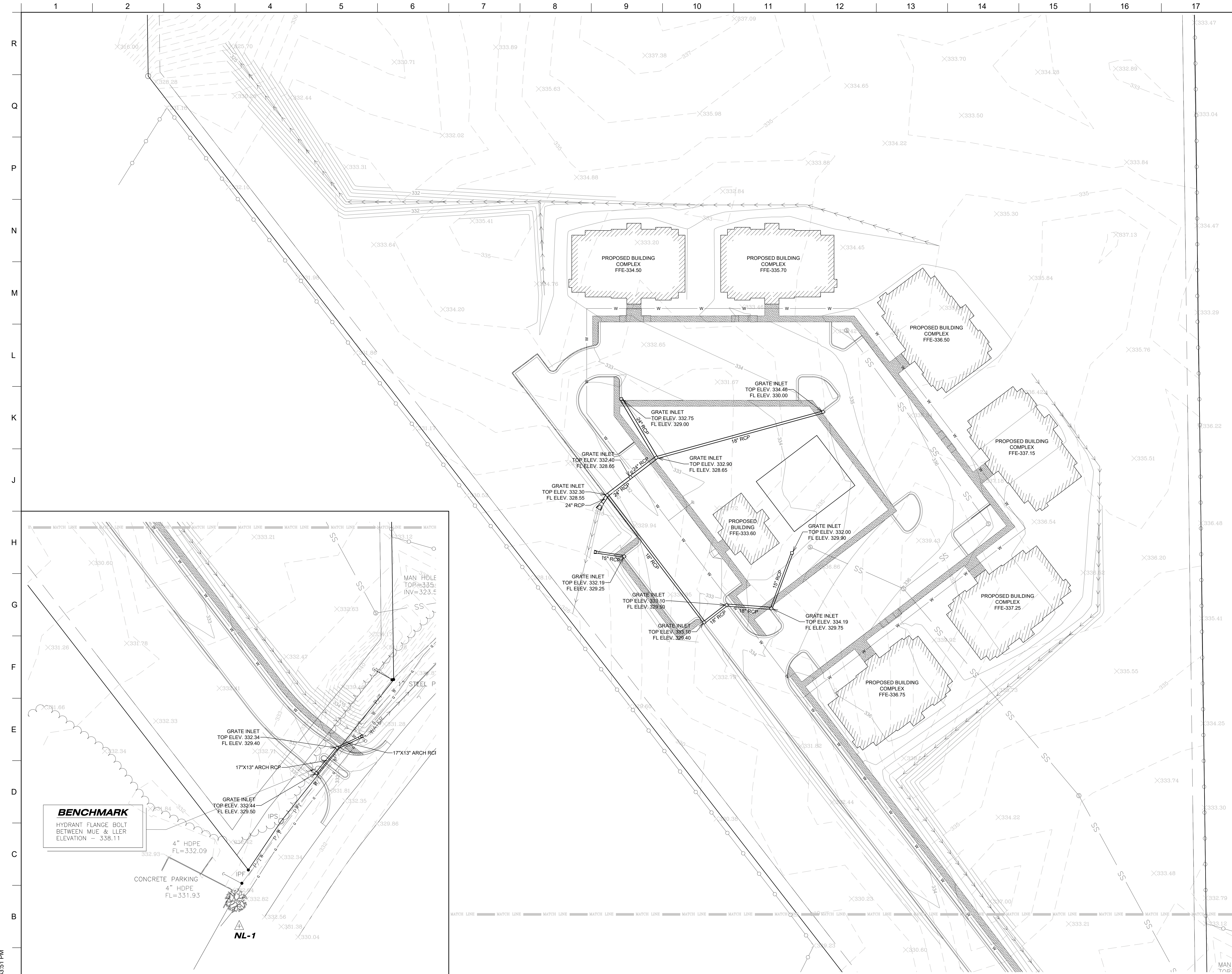
SHEET TITLE  
**GRADING  
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SHEET NUMBER  
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1/17/2022 1:33:51 PM



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LEGEND

- EROSION CONTROL MEASURES
- ⌒ EROSION CONTROL MEASURES
- SF — SILT FENCE

EROSION CONTROL NOTES

1. ANY DISTURBED AREAS ON WHICH WORK IS COMPLETED OR SUSPENDED FOR MORE THAN 14 DAYS SHALL IMMEDIATELY RECEIVE VEGETATIVE STABILIZATION COVER SUCH AS SEEDING AND MULCHING OR OTHER EROSION CONTROL MEASURES WHICH SHALL BE MAINTAINED UNTIL WORK CAN RESUME OR PROJECT IS COMPLETE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PROPERTY, STRUCTURES, AND IMPROVEMENTS (BOTH ON-SITE AND OFF-SITE) FROM SILTATION, AND SHALL CORRECT ANY DAMAGE RESULTING FROM FAILURE TO DO SO.
3. ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE USDA PLANNING AND DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORMWATER.
4. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS GOVERNING THE ELIMINATION AND CONTROL OF POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES AS REGULATED BY THE ENVIRONMENTAL PROTECTION AGENCY AND SET FORTH IN THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE TERMS AND CONDITIONS OF THE MDEQ STORM WATER POLLUTION PREVENTION PLANS AND BE ADVISED THAT HE OR HIS COMPANY, AND AS THE CASE MAY BE, IS RESPONSIBLE FOR COMPLIANCE WITH THESE RULES AND ANY OTHER APPLICABLE STATE AND FEDERAL LAWS. IF APPLICABLE, THE CONTRACTOR SHALL SUBMIT A N.O.I. TO THE STATE REGULATORY AGENCY AND SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR AGREES TO MAINTAIN INSPECTION RECORDS, FILE REQUIRED MAINTENANCE INSPECTION REPORT SUBMITTALS, PERFORM ANY REQUIRED REPAIRS, MAINTENANCE OR ADDITIONS TO THE EROSION CONTROLS. ANY ADDITIONAL REQUIRED PHASING PLANS SHALL BE SUBMITTED TO THE STATE BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. EROSION CONTROL MEASURES AS SHOWN ON PLANS ARE TO BE CONSIDERED MINIMUM REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AND TO ENSURE COMPLIANCE WITH STATE AND FEDERAL REGULATIONS FOR THE DURATION OF THE PROJECT BY WHATEVER MEANS NECESSARY.

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535 WEST MAIN STREET  
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PHONE (662) 844-5000  
FAX (662) 844-5000

**MCCARTY**  
ARCHITECTS  
KURT SHETTLER, ARCHITECT

PROJECT TITLE  
**TULIP CREEK  
APARTMENTS**  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• Author  
CHECKED BY:  
• Checker  
DATE ISSUED:  
• 03 MAR 2022

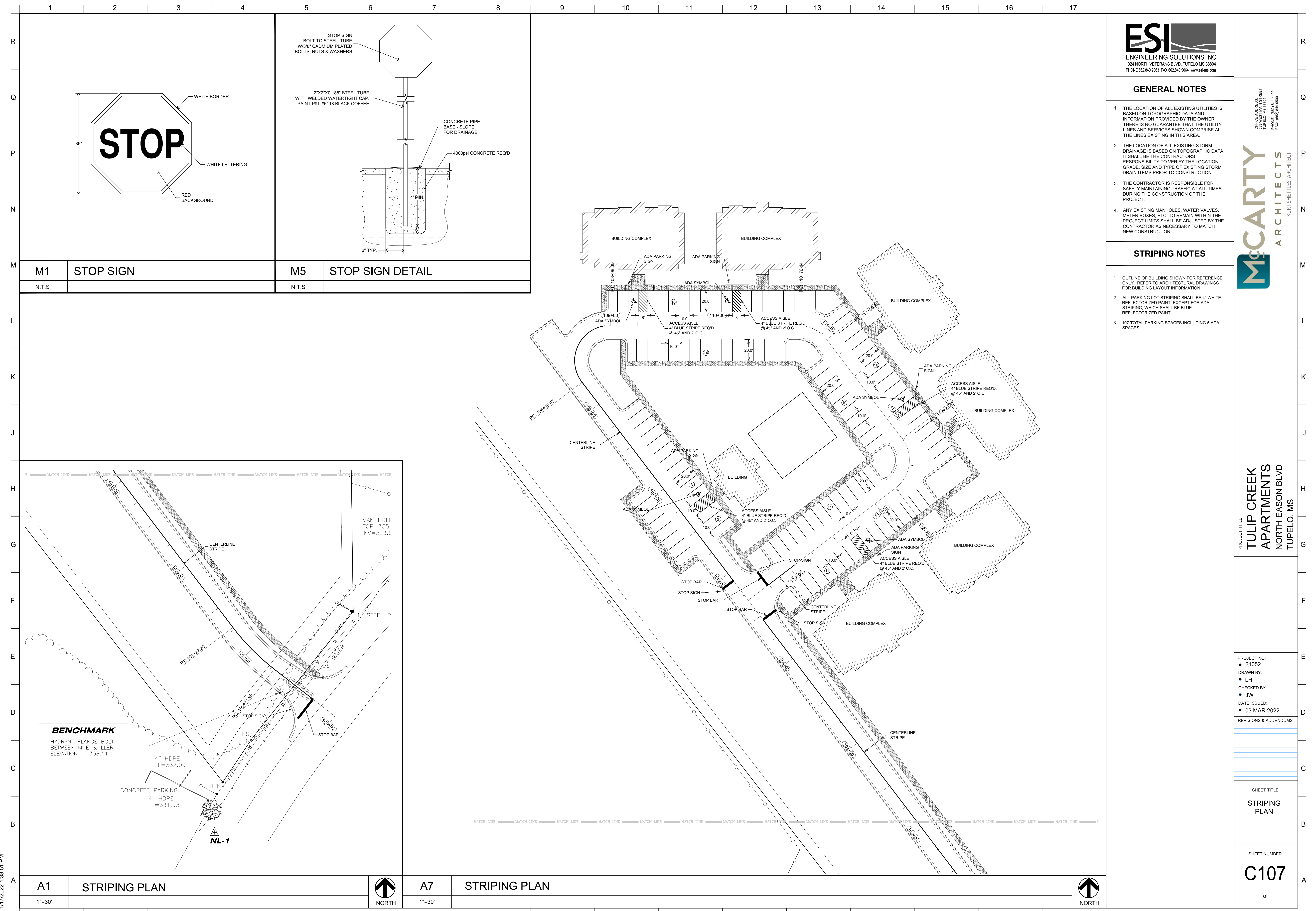
REVISIONS & ADDENDUMS

SHEET TITLE  
**EROSION CONTROL  
PLAN**

SHEET NUMBER  
**C106**  
— of —



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**ESI**  
ENGINEERING SOLUTIONS INC  
1324 NORTH VETERANS BLVD. TUPELO MS 38804  
PHONE 662.840.9063 FAX 662.840.9064 www.esi-ms.com

**GENERAL NOTES**

1. THE LOCATION OF ALL EXISTING UTILITIES IS BASED ON TOPOGRAPHIC DATA AND INFORMATION PROVIDED BY THE OWNER. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA.
2. THE LOCATION OF ALL EXISTING STORM DRAINAGE IS BASED ON TOPOGRAPHIC DATA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION, GRADE, SIZE AND TYPE OF EXISTING STORM DRAIN ITEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFELY MAINTAINING TRAFFIC AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
4. ANY EXISTING MANHOLES, WATER VALVES, METER BOXES, ETC. TO REMAIN WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH NEW CONSTRUCTION.

**STRIPING NOTES**

1. OUTLINE OF BUILDING SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
2. ALL PARKING LOT STRIPING SHALL BE 4" WHITE REFLECTORIZED PAINT, EXCEPT FOR ADA STRIPING, WHICH SHALL BE BLUE REFLECTORIZED PAINT.
3. 107 TOTAL PARKING SPACES INCLUDING 5 ADA SPACES

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FAX 662.840.9064

**McCARTY**  
ARCHITECTS  
KURT SHETTLES, ARCHITECT

PROJECT TITLE  
**TULIP CREEK  
APARTMENTS**  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• LH  
CHECKED BY:  
• JW  
DATE ISSUED:  
• 03 MAR 2022

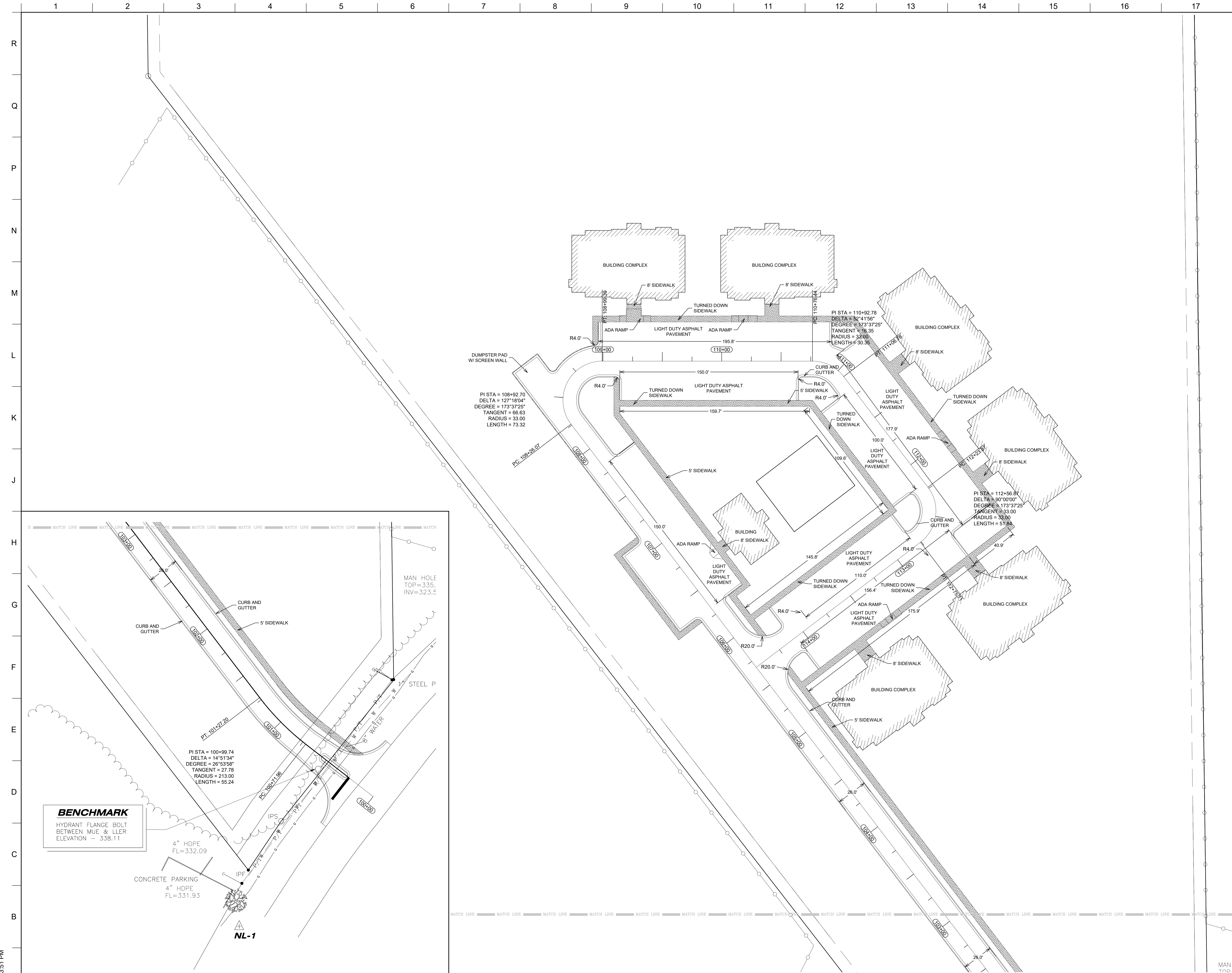
REVISIONS & ADDENDUMS

SHEET TITLE  
**STRIPING  
PLAN**

SHEET NUMBER  
**C107**  
of



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### GENERAL NOTES

1. THE LOCATION OF ALL EXISTING UTILITIES IS BASED ON TOPOGRAPHIC DATA AND INFORMATION PROVIDED BY THE OWNER. THERE IS NO GUARANTEE THAT THE UTILITY LINES AND SERVICES SHOWN COMPRISE ALL THE LINES EXISTING IN THIS AREA.
2. THE LOCATION OF ALL EXISTING STORM DRAINAGE IS BASED ON TOPOGRAPHIC DATA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION, GRADE, SIZE AND TYPE OF EXISTING STORM DRAIN ITEMS PRIOR TO CONSTRUCTION.
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4. ANY EXISTING MANHOLES, WATER VALVES, METER BOXES, ETC. TO REMAIN WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED BY THE CONTRACTOR AS NECESSARY TO MATCH NEW CONSTRUCTION.

### LAYOUT NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE.
2. OUTLINE OF BUILDING SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
3. ALL SIDEWALK JOINTS ARE TO BE TOOLED AND NOT SAW CUT.
4. ALL TRAVEL LANES ARE TO BE HEAVY DUTY ASPHALT PAVEMENT. ALL PARKING AREAS TO BE LIGHT DUTY ASPHALT PAVEMENT.

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FAX (662) 844-4500



PROJECT TITLE  
**TULIP CREEK  
APARTMENTS**  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• LH  
CHECKED BY:  
• JW  
DATE ISSUED:  
• 03 MAR 2022

REVISIONS & ADDENDUMS

SHEET TITLE  
**LAYOUT  
PLAN**

SHEET NUMBER  
**C108**  
of

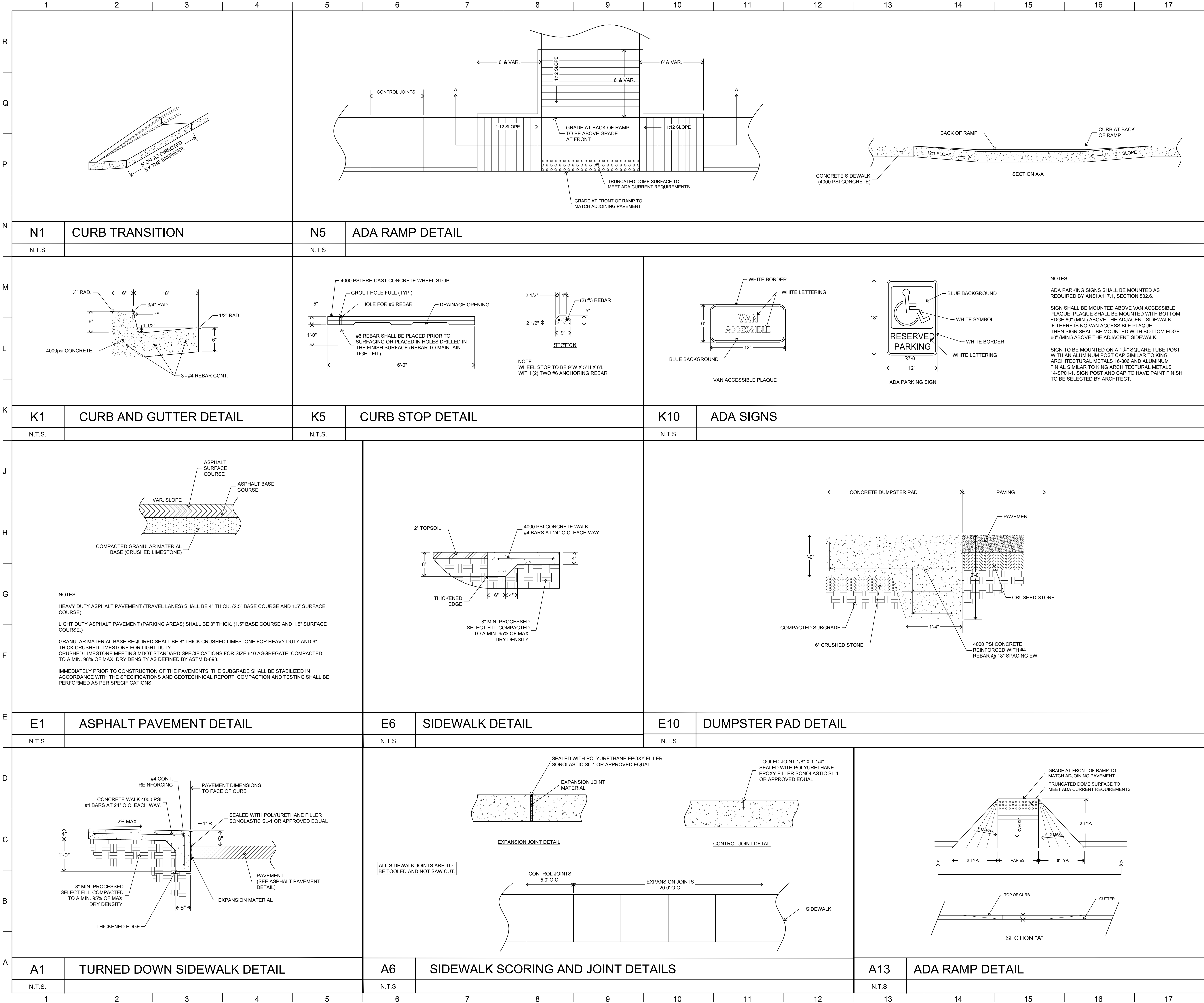
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ENGINEERING SOLUTIONS INC  
1324 NORTH VETERANS BLVD. TUPELO MS 38864  
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533 WEST MAIN STREET  
TUPELO, MS 38804  
PHONE: (662) 844-4400  
FAX: (662) 844-6026

PROJECT TITLE  
TULIP CREEK  
APARTMENTS  
NORTH EASON BLVD  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• LH  
CHECKED BY:  
• JW  
DATE ISSUED:  
• 03 MAR 2022

REVISIONS & ADDENDUMS

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SHEET TITLE  
SITE  
DETAILS

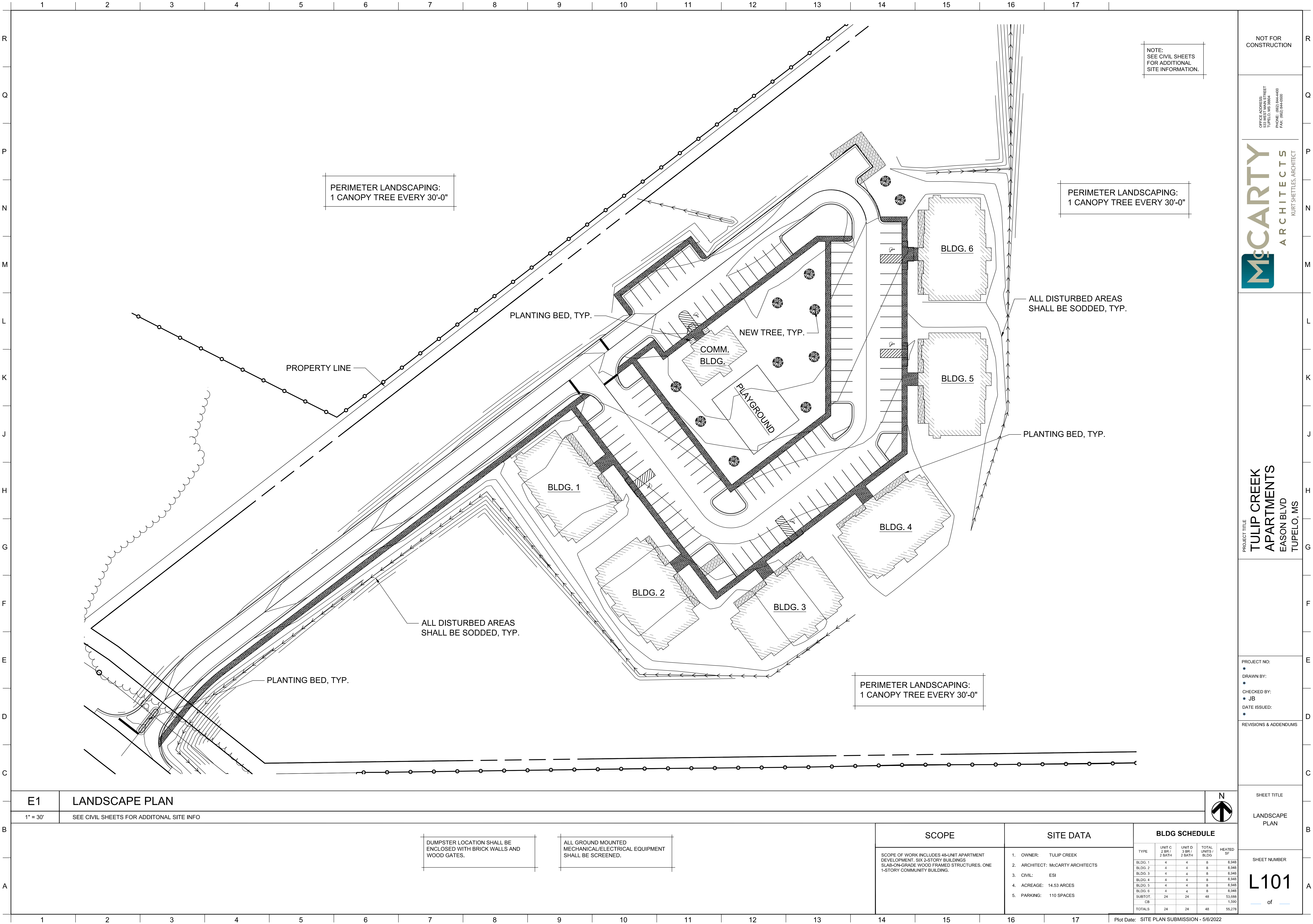
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Plot Date: CD REVIEW - 03 MARCH 2022











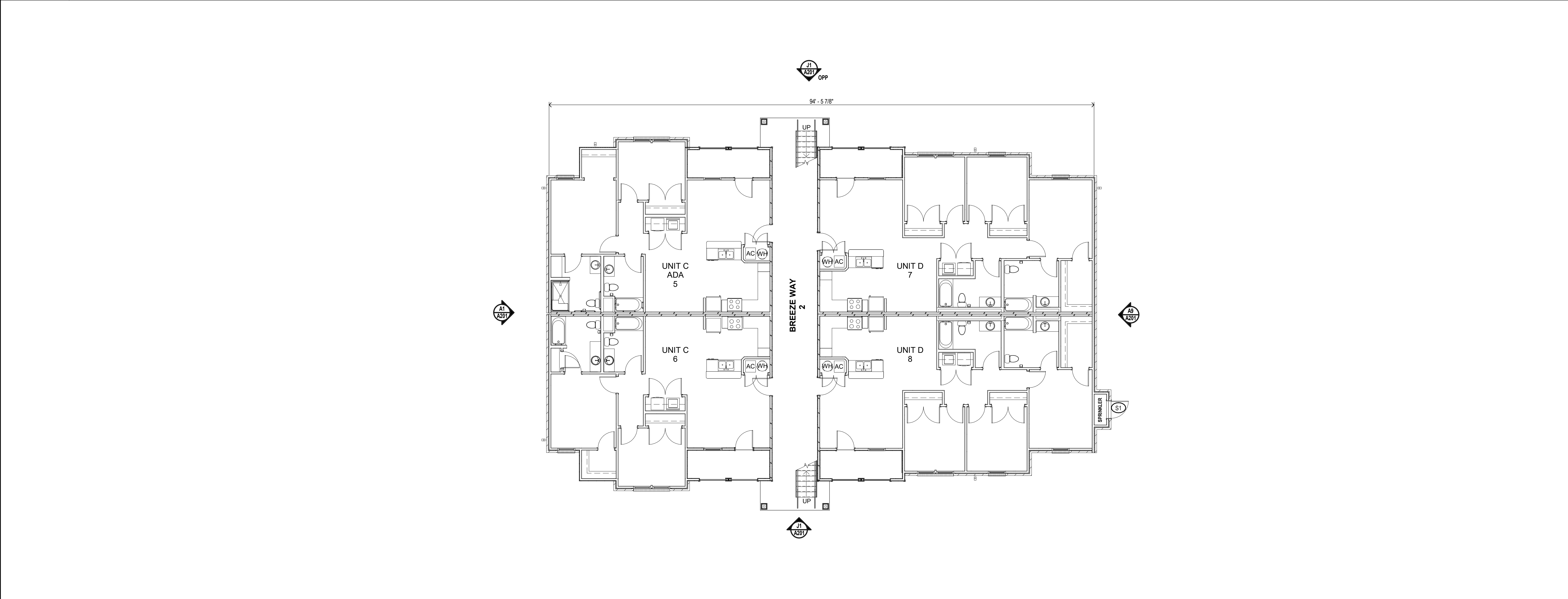
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J1

SECOND FLOOR PLAN - BLDG 1-6

1/8" = 1'-0"

GSF- 4,474



A1

FIRST FLOOR PLAN - BLDG 1-6

1/8" = 1'-0"

GSF- 4,474

| BLDG SCHEDULE |                            |                            |                          |              |
|---------------|----------------------------|----------------------------|--------------------------|--------------|
| TYPE          | UNIT C<br>2 BR /<br>2 BATH | UNIT D<br>3 BR /<br>2 BATH | TOTAL<br>UNITS /<br>BLDG | HEATED<br>SF |
| BLDG. 1       | 4                          | 4                          | 8                        | 8,948        |
| BLDG. 2       | 4                          | 4                          | 8                        | 8,948        |
| BLDG. 3       | 4                          | 4                          | 8                        | 8,948        |
| BLDG. 4       | 4                          | 4                          | 8                        | 8,948        |
| BLDG. 5       | 4                          | 4                          | 8                        | 8,948        |
| BLDG. 6       | 4                          | 4                          | 8                        | 8,948        |
| SUBTOT.       | 24                         | 24                         | 48                       | 53,688       |
| CB            |                            |                            |                          | 1,590        |
| TOTALS        | 24                         | 24                         | 48                       | 55,278       |

| UNIT SCHEDULE          |         |       |              |
|------------------------|---------|-------|--------------|
| UNIT TYPE              | # UNITS | SF    | HEATED<br>SF |
| UNIT C 2 BR/2 BATH     | 21      | 1,023 | 21,483       |
| UNIT C-ADA 2 BR/2 BATH | 3       | 1,023 | 3,069        |
| UNIT D 3 BR/2 BATH     | 24      | 1,214 | 29,136       |
| SUBTOTALS              | 48      | -     | 53,688       |
| COMMUNITY BUILDING     | 1       | 1,590 | 1,590        |
| TOTALS                 | 49      | -     | 55,278       |

NOT FOR CONSTRUCTION

OFFICE ADDRESS:  
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McCARTY

ARCHITECTS

KURT SHETTLES, ARCHITECT

PROJECT TITLE  
TULIP CREEK  
APARTMENTS  
EASON BLVD.  
TUPELO, MS

PROJECT NO:  
• 21052  
DRAWN BY:  
• jbf  
CHECKED BY:  
• JB  
DATE ISSUED:  
• 06 MAY 2022

REVISIONS & ADDENDUMS

| NO. | DESCRIPTION | DATE |
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SHEET TITLE  
BLDG 1-6 FIRST  
& SECOND  
FLOOR PLANS

SHEET NUMBER  
A101  
— of —



Plot Date: SITE PLAN SUBMISSION - 5/6/2022



Plot Date: SITE PLAN SUBMISSION - 5/6/2022



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