

BIKE PARKING:

LOT 1, BUILDING 1	340 UNITS / 4 x 60 x 05 = 30 STALLS
SHORT TERM	340 UNITS / 4 x 60 x 30 = 90 STALLS
LOT 2, BUILDING 2:	
SHORT TERM	176 UNITS / 4 x 44 x 05 = 22 STALLS
LONG TERM	176 UNITS / 4 x 44 x 22 = 66 STALLS
LOT 3, BUILDING 3:	
SHORT TERM	84 UNITS / 4 x 39 x 05 = 10 STALLS
LONG TERM	84 UNITS / 4 x 39 x 19 = 56 STALLS
LOT 4, BUILDING 4:	
SHORT TERM RESIDENTIAL:	42 UNITS / 4 x 1 x 05 = 6 STALLS
SHORT TERM COMMERCIAL:	2 STALLS
SHORT TERM TOTAL:	6 x 2 = 8 STALLS
LONG TERM RESIDENTIAL:	42 UNITS / 4 x 1 x 5 = 16 STALLS
LONG TERM COMMERCIAL:	1 STALL
LONG TERM RESIDENTIAL:	16 x 1 = 11 STALLS
LOT 5, BUILDING 5:	
SHORT TERM	160 UNITS / 4 x 40 x 05 = 20 STALLS
LONG TERM	160 UNITS / 4 x 40 x 20 = 60 STALLS
LOT 6, BUILDING 6:	
SHORT TERM	160 UNITS / 4 x 40 x 05 = 20 STALLS
LONG TERM	160 UNITS / 4 x 40 x 20 = 60 STALLS
LOT 7, BUILDING 7 SELF STORAGE:	
SHORT TERM	2 STALL
LONG TERM	1 STALL
LOT 8, BUILDING 8:	
SHORT TERM	142 UNITS / 4 x 36 x 05 = 18 STALLS
LONG TERM	142 UNITS / 4 x 36 x 19 = 54 STALLS
LOT 9, BUILDING 9:	
SHORT TERM	76 UNITS / 4 x 19 x 05 = 10 STALLS
LONG TERM	76 UNITS / 4 x 19 x 28 STALLS
LOT 10 CLUBHOUSE:	
SHORT TERM	1 STALL
LONG TERM	1 STALL

TREE TRACK:

728 ACRES x 9% = 114 ACRES REQUIRED
15 ACRES PROVIDED > 114 OK

REQUIRED OPEN SPACE

(LOCATION PROVIDED AT BUILDING PERMIT FOR EACH LOT)

LOT 1:	350 x 340 =	36,000 SF.
LOT 2:	350 x 176 =	36,400 SF.
LOT 3:	350 x 84 =	29,400 SF.
LOT 4:	350 x 42 =	6,300 SF.
LOT 5:	350 x 60 =	24,000 SF.
LOT 6:	350 x 60 =	24,000 SF.
LOT 7:	NA	
LOT 8:	350 x 142 =	23,300 SF.
LOT 9:	350 x 76 =	14,000 SF.
LOT 10:	NA	
TOTAL:		172,500 SF.

GENERAL DATA

PARCEL NUMBER:	1710444003, 1710443300, 1710444002
LEGAL:	SECTION 4, TOWNSHIP 11 N, RANGE 2 W UPI
OWNER:	FOURTH STREET HOUSING, LLC
APPLICANT:	FOURTH STREET HOUSING, LLC PO BOX 99 ARLINGTON, WA 98023
CITY:	CITY OF TUMWATER
WATER:	PUSET SOUND ENERGY
SEWER:	CORPUS CANTERLINCK WAY
POWER / GAS:	WASTE CONNECTIONS (LEAPAY)
CABLE / PHONE:	WASTE CONNECTIONS (LEAPAY)
REUSE COLLECTION:	WASTE CONNECTIONS (LEAPAY)
ZONE:	CC6
FIRE SPRINKLER:	YES - NFPA 13
FIRE ALARM:	YES
OCCUPANCY:	R-2
TYPE OF CONSTRUCTION:	VA
BUILDING HEIGHT:	60'
CODE:	2008 IBC

PARKING:

TOTAL 1384 STALLS	1220 STALLS REQUIRED
1060 STANDARD STALLS	
33 STRUCTURED PARKING STALLS	
6 GARAGE STALLS	
232 COMPACT STALLS	
EV INFRASTRUCTURE (1284 x 20 = 271 STATIONS)	

SITE AREAS

SITE AREA:	1699529 SF.
RAW DEDICATION:	856271 SF.
REMAINING SITE AREA:	994802 SF.
BUILDING FOOTPRINT:	264349 SF.
TOTAL BUILDING AREA:	1384571 SF.
TOTAL LANDSCAPING:	263398 SF. (27%)
LANDSCAPING REQUIRED:	192209 SF. (19%)
PAVING AREA:	609671 SF.
TOTAL IMPERVIOUS AREA:	131204 SF. (13%)
MAXIMUM IMPERVIOUS:	845382 SF. (50%)

FAIR CALC: 1384571 / 10 = 138457.1
DENSITY: 1384571 / 728 ACRES = 1890 UNITS / 364 ACRES

RAW AREA

RAW AREA:	856271 SF.
RAW LANDSCAPING:	309023 SF.
RAW PAVING:	505866 SF.
RAW SIDEWALK:	2436 SF.
RAW TOTAL IMPERVIOUS:	75407 SF.

OPEN SPACE CALCULATIONS

RESIDENTIAL UNITS:	1500
OPEN SPACE REQUIRED: (1500 UNITS x 50 SF.)	175000 SF.
OPEN SPACE PROVIDED:	209550 SF.
ACTIVE OPEN SPACE:	193334 SF.
PASSIVE OPEN SPACE:	10216 SF.

PARKING PROVIDED:

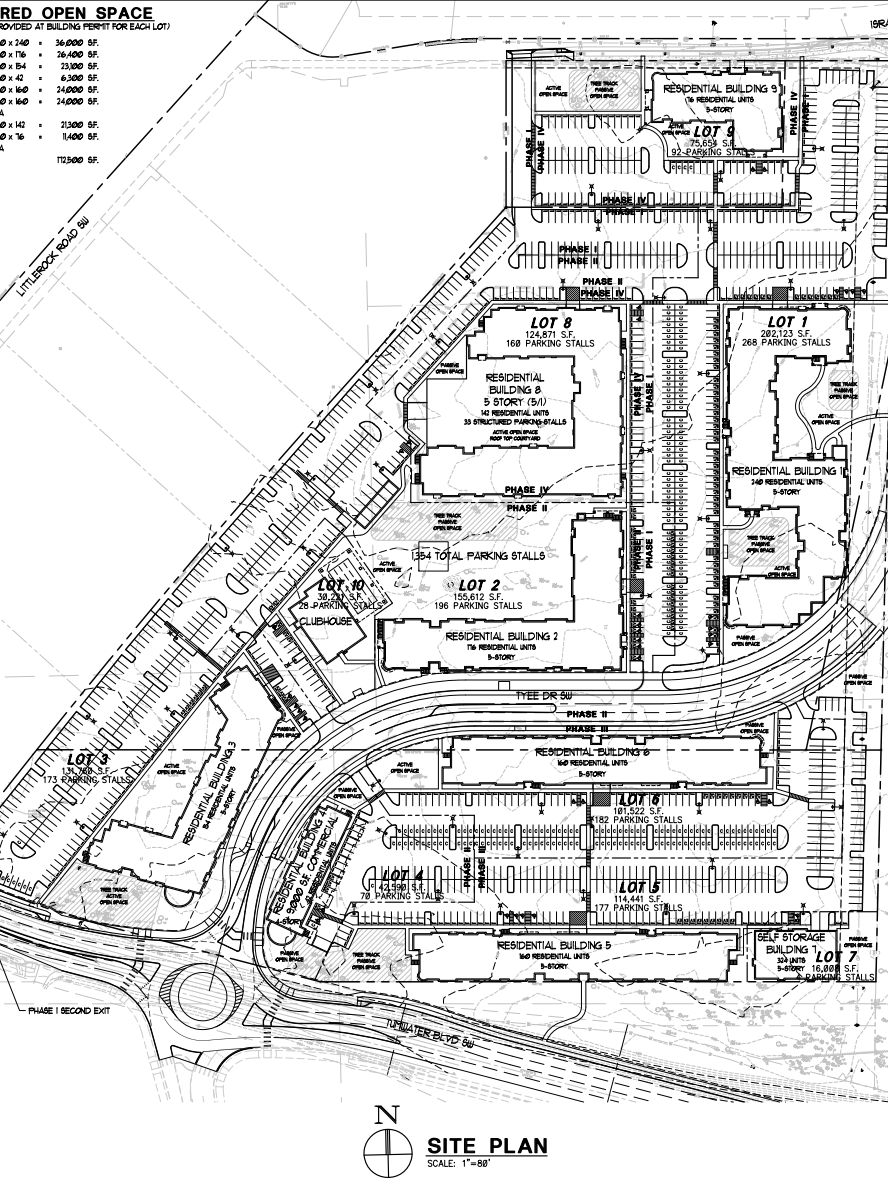
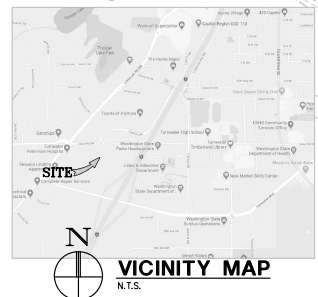
LOT 1:	340 STALLS	(84) EV STALLS
LOT 2:	76 STALLS	(39) EV STALLS
LOT 3:	173 STALLS	(35) EV STALLS
LOT 4:	72 STALLS	(4) EV STALLS
LOT 5:	171 STALLS	(35) EV STALLS
LOT 6:	84 STALLS	(31) EV STALLS
LOT 7:	4 STALLS	(1) EV STALLS
LOT 8:	160 STALLS	(32) EV STALLS IN GARAGE
LOT 9:	52 STALLS	(8) EV STALLS
LOT 10:	28 STALLS	(6) EV STALLS
TOTAL:	1384 STALLS	(271) EV STALLS

BUILDING AREA:

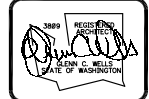
	BUILDING FOOTPRINT:	FLOOR AREA:
LOT 1:	45948 SF.	27158 SF.
LOT 2, BUILDING 2:	31049 SF.	54781 SF.
GARAGE:	1440 SF.	1440 SF.
LOT 3:	28242 SF.	18334 SF.
LOT 4:	12362 SF.	45567 SF.
LOT 5:	21533 SF.	171649 SF.
LOT 6:	21491 SF.	17489 SF.
LOT 7:	1662 SF.	3920 SF.
LOT 8:	42233 SF.	78249 SF.
LOT 9:	14486 SF.	17430 SF.
LOT 10:	10493 SF.	10493 SF. INCLUDING POOL
TOTAL:	168249 SF.	108851 SF.

UNIT MIX

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 8	BLDG. 9	TOTAL
3 BED	25	15	14	3	18	18	9	5	91
2 BED w/ DEN	15	28	25	6	28	28	12	7	148
2 BED / 2 BATH	68	22	15	3	18	18	17	9	163
2 BED / 1 BATH	1	-	-	-	-	-	-	-	1
1 BED w/ DEN	39	35	19	12	14	14	19	10	163
1 BED	23	48	28	9	41	41	29	15	226
STUDIO w/ DEN	44	29	25	-	28	28	34	18	190
STUDIO	25	17	28	9	29	29	24	12	171
TOTAL UNITS	248	176	154	42	168	168	142	76	1158



324 WEST BAY DRIVE NW
SUITE 214
OLYMPIA, WA 98502
(360) 239-5971
glennwellsarchitect@gmail.com



date: 05-25-22
drawn: R.C.T.
checked: G.C.W.

city issue:
08-17-22 FINAL SITE PLAN REVIEW
11-15-22 BINDING SITE PLAN REVIEW
12-05-22 ARCHITECTURAL SITE PLAN REVIEW
11-28-22 BINDING SITE PLAN REVIEW
revisions: 11-21-23

title: **SITE PLAN YORKSHIRE TYEE DRIVE TUMWATER, WASHINGTON** sheet no. **SP1.0**

LEGEND AND ABBREVIATIONS

EXISTING SYMBOLS		ABBREVIATIONS		PROPOSED STORM SYMBOLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Symbol)	DECIDUOUS TREE	CB	CATCH BASIN	(Symbol)	TYPE 1 CATCH BASIN, GRADED LD
(Symbol)	CONIFEROUS TREE	CL	CENTERLINE	(Symbol)	TYPE 2 CATCH BASIN, SOLID LD
(Symbol)	BOLLARD	CM	CORROGATED METAL PIPE	(Symbol)	TYPE 2 CATCH BASIN, GRADED LD
(Symbol)	STREET SIGN (AS DESCRIBED)	CP	CONCRETE PIPE	(Symbol)	TYPE 2 CATCH BASIN, SOLID LD
(Symbol)	MONUMENT IN CASE	EL	ELEVATION	(Symbol)	REHEIM MANHOLE COVER
(Symbol)	BRASS CAP	ES	EXISTING	(Symbol)	SQUARE WOOD DRAIN
(Symbol)	ALUMINUM CAP	EV	INVEST ELEVATION	(Symbol)	ROUND TRAP DRAIN
(Symbol)	REBAR WITH/OUT CAP	LP	LINE CORROGATED POLYETHYLENE	(Symbol)	STORM CLEAN OUT
(Symbol)	IRON PIPE	PP	POWER POLE	(Symbol)	STORM PIPE
(Symbol)	LEAD AND TACK	PVC	POLYVINYL CHLORIDE PIPE		
(Symbol)	REBAR AND CONTROL CAP	R/W	RIGHT-OF-WAY		
(Symbol)	HUB AND TACK	SD	STATION		
(Symbol)	PK NAIL	SD	STORM DRAIN		
(Symbol)	TELEPHONE RISER	SM	SANITARY MANHOLE		
(Symbol)	TELEPHONE VAULT/MANHOLE	SS	SANITARY SEWER MANHOLE		
(Symbol)	CABLE MARKER POST	SSE	SOLID WALL POLYETHYLENE PIPE		
(Symbol)	CABLE RISER/ FEEDBACK	TYP	TYPICAL		
(Symbol)	CABLE VAULT/MANHOLE	TR	TO BE REPAIRED		
(Symbol)	CABLE JUNCTION BOX				
(Symbol)	LAMINATE WITH LENS AND W/				
(Symbol)	NATURAL GAS MARKER POST				
(Symbol)	NATURAL GAS VALVE				
(Symbol)	GUY ANCHOR				
(Symbol)	POWER JUNCTION BOX				
(Symbol)	POWER TRANSFORMER				
(Symbol)	POWER VAULT/ MANHOLE				
(Symbol)	POWER POLE				
(Symbol)	SS CLEANOUT				
(Symbol)	SS MANHOLE				
(Symbol)	SS MARKER POST				
(Symbol)	STORM CATCH BASIN				
(Symbol)	STORM MANHOLE				
(Symbol)	STORM CLEANOUT				
(Symbol)	IRRIGATION CONTROL VALVE				
(Symbol)	WATER MARKER POST				
(Symbol)	WATER METER				
(Symbol)	WATER VALVE				
(Symbol)	WATER FEE HORIZONTAL				
(Symbol)	WELL				

PROPOSED WATER SYMBOLS	
SYMBOL	DESCRIPTION
(Symbol)	WATER CAP
(Symbol)	CONCRETE BLOORING
(Symbol)	BUTTERFLY VALVE
(Symbol)	15' BEND
(Symbol)	90' BEND
(Symbol)	27' BEND
(Symbol)	VALVE
(Symbol)	HORIZONTAL ASSEMBLY
(Symbol)	BLOW-OFF VALVE
(Symbol)	REDUCER
(Symbol)	AIR-VAC ASSEMBLY
(Symbol)	WATER METER
(Symbol)	WATER PIPE

PROPOSED SURVEY SYMBOLS	
SYMBOL	DESCRIPTION
(Symbol)	SURVEY MONUMENT IN PROPOSED ROAD

TABLE OF CONTENTS		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	CS-01	COVER SHEET
2	BSF-01	PRELIMINARY BRACING SITE PLAN
3	SP-01	OVERALL SITE/PAVING PLAN
4	SP-02	SITE PLAN
5	SP-03	SITE PLAN
6	SP-04	SITE PLAN
7	SP-05	ROADWAY SECTIONS
8	GR-01	OVERALL GRADING AND DRAINAGE PLAN
9	GR-02	GRADING AND DRAINAGE PLAN
10	GR-03	GRADING AND DRAINAGE PLAN
11	GR-04	GRADING AND DRAINAGE PLAN
12	UT-01	OVERALL UTILITY PLAN
13	UT-02	UTILITY PLAN
14	UT-03	UTILITY PLAN
15	UT-04	UTILITY PLAN

CONTACT LIST

OWNER:
GLENN WELLS
324 W 5th St NW #104
OLYMPIA, WASHINGTON 98502
CONTACT: GLENN WELLS, AM
PHONE: (360) 352-4553

CIVIL ENGINEER:
LDC, INC.
1411 STATE AVE. #200
OLYMPIA, WASHINGTON 98506
CONTACT: TREVIL E. BRADLEY, PE
PHONE: (425) 406-1895
FAX: (425) 482-2883
EMAIL: treddy@ldecop.com

ARCHITECT:
GLENN WELLS
324 W 5th St NW #104
OLYMPIA, WASHINGTON 98502
CONTACT: GLENN WELLS, AM
PHONE: (360) 352-4553

SURVEYOR:
MINOCOSAT, LLC
2310 MOTTMAN RD SW, SUITE 106
TUMWATER, WASHINGTON 98512
CONTACT: BLAIR PROZOR, PLS
PHONE: (360) 878-9105
EMAIL: laurie@qualitygeos.com

GEOTECH:
QUALITY GED INC
4632 WINTHROP LANE SE, STE D
LACEY, WASHINGTON 98513
CONTACT: LURE P. MCCANN, LEG
PHONE: (360) 878-9105
EMAIL: laurie@qualitygeos.com

NOTE

THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR SURVEYING THE PROJECT MUST OBTAIN A PERMIT FROM THE DNR BEFORE ANY MONUMENTS ARE DISTURBED.

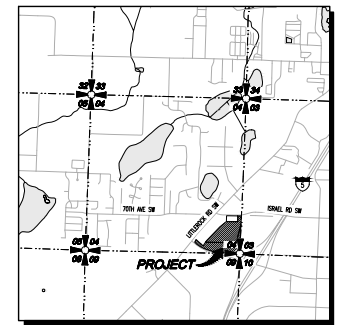
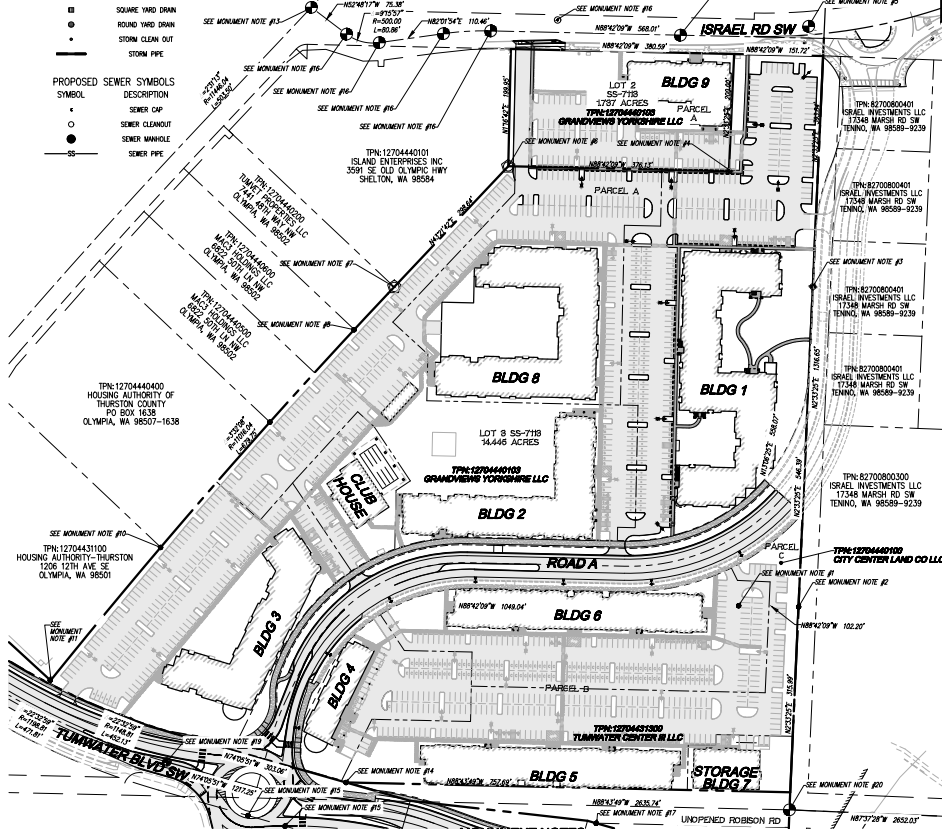
UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY MINOCOSAT, LLC. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

YORKSHIRE SITE PLAN REVIEW & BINDING SITE PLAN



SURVEY INFORMATION

LEGAL DESCRIPTION
PARCEL A: LOT 2 AND 3 OF SHORT SUBDIVISION NO. SS-7113, AS RECORDED MARCH 6, 1984 UNDER AUDITOR'S FILE NO. 840308010.
PARCEL B: THAT PORTION OF THE FOLLOWING DESCRIBED PROPERTY LYING NORTHERLY OF ABBOTT ROAD, WEST AND EASTERLY OF LITTLEBROOK ROAD SW, AS SHOWN ON SURVEY RECORDED APRIL 19, 1995, UNDER AUDITOR'S FILE NO. 950410153 THAT PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 17 NORTH, RANGE 2 WEST, W.M., DESCRIBED AS BEGINNING AT A POINT ON THE EASTERLY LINE OF LITTLEBROOK ROAD NORTH 37° 43' EAST 200 FEET FROM THE INTERSECTION WITH THE SOUTH LINE OF SAID SECTION 4; RUNNING NORTH 37° 43' EAST ALONG SAID EASTERLY LINE OF ROAD 365 FEET, AND SOUTH 48° 02' EAST 400 FEET, THENCE NORTHEASTERLY PARALLEL WITH SAID ROAD 200 FEET, MORE OR LESS, TO THE SOUTH LINE OF THE NORTH 970 FEET OF THE SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER; THENCE EASTERLY ALONG SAID SOUTH LINE, 1,150 FEET, MORE OR LESS, TO THE EAST LINE OF SAID SECTION; THENCE SOUTHERLY ALONG SAID EAST LINE, 350 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF SAID SECTION; THENCE WESTERLY ALONG SAID SOUTH LINE OF SECTION 4, 140 FEET, MORE OR LESS, THENCE NORTH 57° 17' WEST 130 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, TOGETHER WITH THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 17 NORTH, RANGE 2 WEST, W.M., LYING SOUTH OF THE NORTH 970 FEET THEREOF; AND LYING EASTERLY OF A LINE DRAINING PARALLEL WITH AND 150 FEET WESTERLY, WHEN MEASURED, FROM THE CENTER LINE OF SURVEY OF SR 5 (P.S.H. NO. 1), MAYTOWN TO TUMWATER, EXCEPTING THEREFROM PORTION LYING IN TRACT CONVEYED TO CITY OF TUMWATER BY STATUTORY WARRANTY DEED RECORDED MARCH 3, 1983 AND RECORDED UNDER FILE NO. 518465.
ALSO EXCEPT THE SOUTH 30 FEET FOR COUNTY ROAD AND HIGHWAY AS REBORN ROAD, ALSO EXCEPT THAT PORTION TAKEN BY CONDEMNATION BY THE STATE OF WASHINGTON UNDER THURSTON COUNTY SUPERIOR COURT CAUSE NO. 85-2-02575-E.
ALSO EXCEPT THAT PORTION CONVEYED TO CITY OF TUMWATER BY STATUTORY WARRANTY DEED RECORDED APRIL 10, 2007 UNDER AUDITOR'S FILE NO. 3917804.
PARCEL C: THAT PORTION OF THE NORTH 970 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 17 NORTH, RANGE 2 WEST, W.M., LYING EASTERLY OF A LINE PARALLEL WITH AND 150 FEET WESTERLY, WHEN MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE SURVEY OF SR 5 (P.S.H. NO. 1) MAYTOWN TO TUMWATER.

IN THURSTON COUNTY, WASHINGTON.

VERTICAL DATUM

NVD 29 BASED ON GPS TIES TO THURSTON COUNTY MONUMENTS.

HORIZONTAL DATUM

GROUND SCALE BASED ON GPS TIES TO THURSTON COUNTY MONUMENTS, WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, AND 83.91'. GROUND SCALE COMBINED SCALE FACTOR = 0.999932791.

SURVEY NOTES

1. INSTRUMENT USED: SOKKIA 6" 3" TOTAL STATION AND TOPCON VP GPS.
2. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF WAC 102-100-090, 102-100-145.
3. SURVEY COMPLETED 01/27/2022
4. ALL MONUMENTS SHOWN AS FOUND VISITED 01/20/22.
5. PURPOSE OF TOPOGRAPHICAL MAPPING IS FOR FUTURE DEVELOPMENT OF SITE.
6. CONDITIONS WERE EXAMINED AND "CORRODUS" MONUMENTS WERE IDENTIFIED AT RIGHT ANGLES, FROM THE CENTER LINE SURVEY OF SR 5 (P.S.H. NO. 1) MAYTOWN TO TUMWATER, EXCEPTING THEREFROM PORTION LYING IN TRACT CONVEYED TO CITY OF TUMWATER BY STATUTORY WARRANTY DEED RECORDED MARCH 3, 1983 AND RECORDED UNDER FILE NO. 518465.

UTILITY NOTES

UTILITIES SHOWN HEREON ARE FROM FIELD MARKING, RECORDED SURFACE APPROPRIATIONS, AND MARKING UTILITY PANTS MARKS FROM A UTILITY LOCATING SERVICE. BURIED UTILITIES ARE ONLY SHOWN AS APPROXIMATE AND SHOULD BE IDENTIFIED BEFORE CONSTRUCTION.

REFERENCED SURVEYS

1. SHORT PLAT NO. 7111, 47N 840308010
2. 841 115-0281-1W AND 424490
3. ROS, 47N 971442
4. ROS, 47N 950418143
5. ROS, 47N 420446
6. PLAT OF WEST BRISTON PARK, 47N 4088

GENERAL NOTES

THE PLS RESPONSIBLE FOR THE SURVEYING OF THE PROJECT MUST OBTAIN A PERMIT FROM DNR BEFORE ANY MONUMENTS ARE DISTURBED.

- MONUMENT NOTES**
1. FOUND 5/8" REBAR WITH RED CAP MARKED "PORSCH 15 18415".
 2. FOUND 5/8" REBAR WITH YELLOW CAP MARKED "BEEHIVE 15 17608" WITH PINK FLAGGING, N219°50'E 0.4' FROM CALCULATED POSITION.
 3. FOUND 5/8" REBAR WITH PINK FLAGGING, N02°51'E 0.4' FROM CALCULATED POSITION.
 4. FOUND 5/8" REBAR WITH PINK FLAGGING, N45°35'E 0.4' FROM CALCULATED POSITION.
 5. FOUND 2" BRASS CAP IN CURB ISLAND.
 6. FOUND 2" OUTSIDE DIAMETER ALUMINUM CAP WITH PUNCH MARKED "AP 15 SQUARE ISLAND TREE 2018 PSE 35147", S161°56'W 0.3' FROM CALCULATED POSITION.
 7. FOUND 2" OUTSIDE DIAMETER ALUMINUM CAP WITH PUNCH MARKED "AP 16 SQUARE ISLAND TREE 2018 PSE 35147".
 8. FOUND 5/8" REBAR WITH RED CAP "SP 28027".
 9. FOUND 5/8" REBAR WITH YELLOW CAP MARKED "SUNNY 28089".
 10. FOUND 1/2" REBAR WITH PINK FLAGGING, N02°51'E 0.4' FROM CALCULATED POSITION.
 11. FOUND 1/2" REBAR WITH RED CAP MARKED "SMIT 15 27195", N49°05'47" 0.7' FROM CALCULATED PROPERTY CORNER, ON PROPERTY LINE.
 12. FOUND 1/2" REBAR WITH YELLOW CAP MARKED "31138".
 13. FOUND 2" BRASS CAP IN 12"X12" CONCRETE PAD AT CENTER OF ROUNDABOUT.
 14. FOUND 1/2" REBAR WITH RED CAP MARKED "32817 15 27195", S04°42'E 0.4' FROM CALCULATED POSITION.
 15. FOUND 1/2" REBAR WITH YELLOW CAP MARKED "75.SMIT 15 27195".
 16. FOUND 2" BRASS CAP.
 17. FOUND 1/2" REBAR WITH YELLOW CAP MARKED "HENSEN 15 27134", S86°11'07" 0.5' FROM CALCULATED POSITION.
 18. FOUND 1/2" REBAR WITH YELLOW CAP MARKED "HENSEN 15 27134".
 19. FOUND 1/2" BRASS CAP IN CURB ISLAND.
 20. FOUND 2.5" BRASS CAP WITH PUNCH MARKED "SP 28027" SET IN CONCRETE, THURSTON COUNTY CONTROL POINT 6480.

<p>LDC Surveying Engineering Planning</p> <p>Woodinville 4411 Sandpoint Olympia, WA 98506 F: 360.846.9899 www.LDCgroup.com</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION			
	NO.	DATE	DESCRIPTION				
<p>GLENN WELLS YORKSHIRE COVER SHEET</p>	<p>JOB NUMBER: C22169 DRAWING NAME: C22169-CS-01 DRAWING BY: R. HEJLEN DATE: NOVEMBER, 2023 SCALE: 1" = 100' SUBSECTION: TUMWATER, WA</p>						

CS-01
SHEET 1 OF 15

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON

LEGEND

- PROPERTY LINE
- - - LOT LINE
- - - PHASE LINE
- - - PROPOSED BUILDING
- - - SHARED ACCESS EASEMENT

CONSTRUCTION NOTES

1. RIGHT OF WAY
2. ACCESSIBLE PATH
3. ACCESSIBLE PARKING
4. TRASH COMPACTOR LOADING

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C1	90.57'	500.07'	102°27'31"
C2	339.77'	298.97'	63°09'07"
C3	305.30'	363.90'	49°54'37"

GENERAL NOTES

1. SEE SP SHEETS FOR PEDESTRIAN ACCESS ROUTES
2. SEE UT SHEETS FOR PROPOSED EASEMENTS
3. SEE GR AND UT SHEETS FOR PROPOSED UTILITY PHASING
4. SEE SHEET SP-05 FOR PROPOSED ROADWAY SECTIONS
5. SEE SP SHEETS FOR ALL PROPOSED INGRESS/EGRESS TO THE SITE
6. THERE ARE NO WELLS LOCATED WITHIN 200 FT. FROM THIS SITE
7. THERE WILL BE NO SEPTIC SYSTEMS OR RESERVE AREAS PROPOSED FOR THIS SITE. ALL UNITS WILL BE SERVED TO THE CITY'S SEWER SYSTEM.
8. THERE ARE NO WETLANDS, RIPARIAN AREAS, GEOLOGICALLY HAZARDOUS AREAS, OR FLOOD HAZARD AREAS WITHIN THIS SITE.

SITE AREAS:

- SITE AREA: 1,999,929 S.F.
- ROW DEDICATION: 105,127 S.F.
- REMAINING SITE AREA: 994,802 S.F.
- LOT 1: 202,123 S.F.
- LOT 2: 155,812 S.F.
- LOT 3: 137,960 S.F.
- LOT 4: 42,560 S.F.
- LOT 5: 114,441 S.F.
- LOT 6: 102,522 S.F.
- LOT 7: 16,008 S.F.
- LOT 8: 124,871 S.F.
- LOT 9: 70,854 S.F.
- LOT 10: 30,221 S.F.
- BUILDING FOOTPRINT: 1,188,157 S.F.
- TOTAL BUILDING AREA: 263,598 S.F. (27%)
- LANDSCAPING REQUIRED: 140,220 S.F. (10%)
- PAVING AREA: 420,027 S.F.
- TOTAL IMPERVIOUS AREA: 731,204 S.F. (73%)
- MAXIMUM IMPERVIOUS: 845,502 S.F. (85%)
- FAR CALC.: 1,188,157 / 994,802 = 1.19
- DENSITY: 1150 UNITS / 22.8 ACRES = 50.4 UNITS / ACRE

UTILITY NOTE

Call 3 Business Days Before You Dig
811 or 1-800-424-5555
 Utilizes Underground Location Center

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY METROCAST, LLC. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

SEE SHEET SP-01 FOR PHASE LIMITS

SITE INFORMATION

PARCEL NUMBER: 12704440103, 12704443100, 12704440100
 LEGAL: SECTION 4, TOWNSHIP 17 N, RANGE 2 W W.M.
 OWNER: FOURTH STREET HOUSING, LLC
 APPLICANT: FOURTH STREET HOUSING, LLC
 PO BOX 159
 ARLINGTON, WA 98223
 CITY OF TUMWATER
 WATER: CITY OF TUMWATER
 SEWER: PUGET SOUND ENERGY
 POWER / GAS: COMCAST, CENTURYLINK, WAVE
 CABLE / PHONE: WASTE CONNECTIONS (LEWAY)
 REFUSE COLLECTION: YES
 FIRE ALARM: YES - NFPA 13
 ZONE: R-2
 OCCUPANCY: NA
 TYPE OF CONSTRUCTION: VA
 BUILDING HEIGHT: 65'
 CODE: 2018 IBC

PROPOSED USE

- LOT 1: MULTI FAMILY
- LOT 2: MULTI FAMILY
- LOT 3: MULTI FAMILY
- LOT 4: COMMERCIAL / RESIDENTIAL MIXED USE
- LOT 5: MULTI FAMILY
- LOT 6: MULTI FAMILY
- LOT 7: MULTI FAMILY
- LOT 8: MULTI FAMILY
- LOT 9: MULTI FAMILY
- LOT 10: MULTI FAMILY

ROW AREA

- ROW AREA: 105,127 S.F.
- ROW LANDSCAPING: 30,225 S.F.
- ROW PAVING: 30,896 S.F.
- ROW SIDEWALK: 24,116 S.F.
- ROW TOTAL IMPERVIOUS: 75,102 S.F.

***PARKING PROVIDED:**

- LOT 1: 268 STALLS (54) EV STALLS
- LOT 2: 196 STALLS (39) EV STALLS
- LOT 3: 173 STALLS (35) EV STALLS
- LOT 4: 72 STALLS (14) EV STALLS
- LOT 5: 177 STALLS (33) EV STALLS
- LOT 6: 184 STALLS (37) EV STALLS
- LOT 7: 4 STALLS (1) EV STALLS
- LOT 8: 247 STALLS (49) EV STALLS IN GARAGE
- LOT 9: 92 STALLS (18) EV STALLS
- LOT 10: 28 STALLS (6) EV STALLS
- TOTAL: 1,354 STALLS (271) EV STALLS

*PROJECT WILL RECORD SHARED ACCESS AND PARKING AGREEMENT ON ALL PARCELS

BIKE PARKING:

- LOT 1, BUILDING 1: SHORT TERM: 240 UNITS / 4 = 60 X 0.5 = 30 STALLS
 LONG TERM: 240 UNITS / 4 = 60 + 30 = 90 STALLS
- LOT 2, BUILDING 2: SHORT TERM: 176 UNITS / 4 = 44 X 0.5 = 22 STALLS
 LONG TERM: 176 UNITS / 4 = 44 + 22 = 66 STALLS
- LOT 3, BUILDING 3I: SHORT TERM: 154 UNITS / 4 = 39 X 0.5 = 20 STALLS
 LONG TERM: 154 UNITS / 4 = 39 + 19 = 58 STALLS
- LOT 4, BUILDING 4: SHORT TERM RESIDENTIAL: 42 UNITS / 4 = 11 X 0.5 = 6 STALLS
 SHORT TERM COMMERCIAL: 6 + 2 = 8 STALLS
 LONG TERM RESIDENTIAL: 42 UNITS / 4 = 11 + 5 = 16 STALLS
 LONG TERM COMMERCIAL: 16 + 1 = 17 STALLS
- LOT 5, BUILDING 5: SHORT TERM: 160 UNITS / 4 = 40 X 0.5 = 20 STALLS
 LONG TERM: 160 UNITS / 4 = 40 + 20 = 60 STALLS
- LOT 6, BUILDING 6: SHORT TERM: 160 UNITS / 4 = 40 X 0.5 = 20 STALLS
 LONG TERM: 160 UNITS / 4 = 40 + 20 = 60 STALLS
- LOT 7, BUILDING 7 SELF STORAGE: SHORT TERM: 2 STALL
 LONG TERM: 1 STALL
- LOT 8, BUILDING 8: SHORT TERM: 142 UNITS / 4 = 36 X 0.5 = 18 STALLS
 LONG TERM: 142 UNITS / 4 = 36 + 18 = 54 STALLS
- LOT 9, BUILDING 9: SHORT TERM: 76 UNITS / 4 = 19 X 0.5 = 10 STALLS
 LONG TERM: 76 UNITS / 4 = 19 + 9 = 28 STALLS
- LOT 10, CLUBHOUSE: SHORT TERM: 1 STALL
 LONG TERM: 1 STALL

REQUIRED OPEN SPACE

- (LOCATION PROVIDED AT BUILDING PERMIT FOR EACH LOT)
- PROJECT AREA: 22.8 AC (994,802 S.F.)
- OVERALL OPEN SPACE REQUIRED: 135'
- OPEN SPACE: 0.15 x 994,802 S.F. = 149,220 S.F.
- PHASE 1: LOT 1: 150 x 240 = 36,000 S.F.
- PHASE 2: LOT 2: 150 x 176 = 26,400 S.F.
- LOT 3: 150 x 154 = 23,100 S.F.
- PHASE 3: LOT 4: 150 x 42 = 6,300 S.F.
- LOT 5: 150 x 160 = 24,000 S.F.
- LOT 6: 150 x 160 = 24,000 S.F.
- NA
- PHASE 4: LOT 8: 150 x 142 = 21,300 S.F.
- LOT 9: 150 x 76 = 11,400 S.F.
- PHASE 2: LOT 10: NA
- TOTAL: 172,500 S.F.

TREE TRACT

(LOCATION PROVIDED AT BUILDING PERMIT FOR EACH LOT)
 22.8 ACRES X 50' = 1.14 ACRES REQUIRED
 1.15 ACRES PROVIDED = 1.14 AC

OPEN SPACE CALCULATIONS

- RESIDENTIAL UNITS: 1150
- OPEN SPACE PROVIDED: 172,500 S.F. (24%)
- ACTIVE OPEN SPACE: 136,314 S.F.
- PASSIVE OPEN SPACE: 76,186 S.F.

SEE SHEETS SP-02 THROUGH SHEETS SP-04 FOR ENLARGED VIEWS

REVISIONS

NO.	DATE	DESCRIPTION

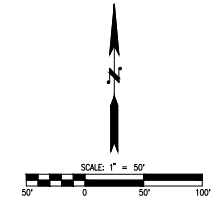
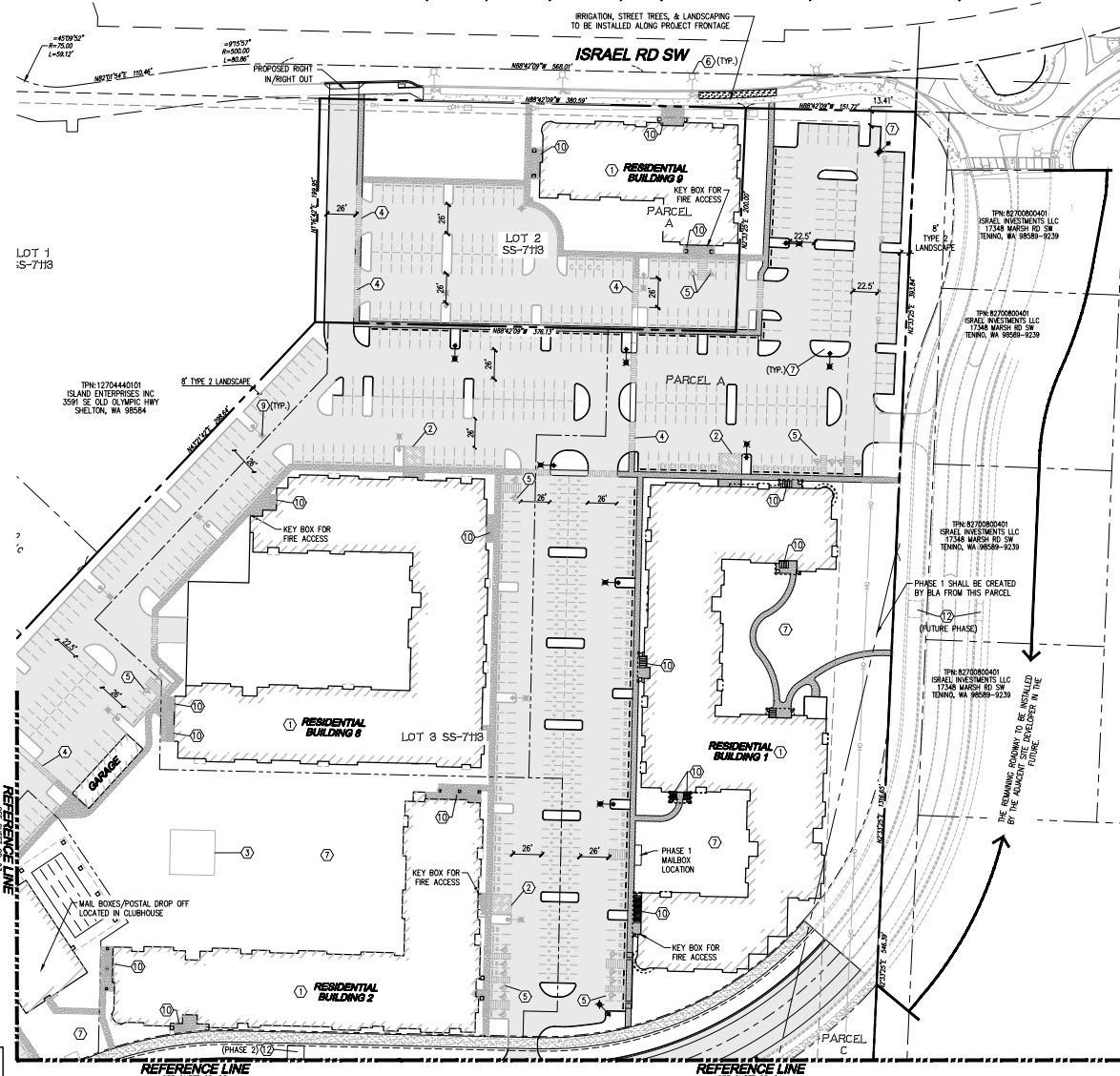
LDC
 Surveying
 Engineering
 Planning
 Woodinville, WA
 Olympia, WA
 F. 425.786.1991
 www.LDCpro.com

GLENN WELLS YORKSHIRE
 PRELIMINARY BINDING SITE PLAN

BSP-01
 SHEET 2 OF 15

JOB NUMBER: C22169
 DRAWING NAME: C22169-BS-P1
 DESIGNER: R. WELLEN
 DRAFTER: B. WHITE
 DATE: NOVEMBER, 2023
 SCALE: 1" = 80'
 JURISDICTION: TUMWATER, WA

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON



- LEGEND**
- PARCEL LINE
 - - - - - LOT LINE
 - ROAD STRIPING
 - - - - - CENTERLINE
 - ▨ PROPOSED BUILDING
 - ▨ CONCRETE SIDEWALK / PEDESTRIAN ACCESS PATH & ACCESSIBLE PATH OF TRAVEL
 - ▨ ASPHALT PAVEMENT
 - ▨ CEMENT CONCRETE CURB
 - WHEEL STOP
 - ADA PARKING STALL
 - COMPACT PARKING STALL
 - ELECTRIC VEHICLE PARKING STALL
 - BIKE PARKING STALL
 - ✱ PROPOSED OFF-SITE & ON-SITE LIGHTING, SEE PLAN FOR TYPE

- GENERAL NOTES**
- ALL PARCELS WILL HAVE A CROSS ACCESS PARKING AGREEMENT IN-PLACE PRIOR TO OCCUPANCY
 - FIRE LANE SIGNS AND YELLOW STRIPING SHALL BE PROVIDED ON-SITE TO IDENTIFY FIRE DEPARTMENT ACCESS ROADS AND PROHIBIT THE OBSTRUCTION THEREOF, IFC 503.
 - FIRE HYDRANTS AND PAVED ACCESS ROADS SHALL BE INSTALLED, TESTED FOR FLOW BY THE FIRE DEPARTMENT AND MADE SERVICEABLE BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY VERTICAL OR COMBUSTIBLE CONSTRUCTION. NO EXCEPTIONS. IFC 503.
- CONSTRUCTION NOTES**
- PROPOSED APARTMENT BUILDING
 - COMPACTOR LOADING AREA
 - SPORTS COURT
 - ACCESSIBLE PATH
 - ACCESSIBLE PARKING
 - EXISTING HISTORIC STREET LIGHT
 - SEE LANDSCAPING PLAN BY OTHERS FOR LANDSCAPING IMPROVEMENTS
 - PROPOSED HISTORIC STREET LIGHT
 - ALL ON-SITE LIGHTING TYPE, MOUNTING HEIGHT ETC. SHALL BE DESIGNED AT PERMIT SUBMITTAL.
 - LONG TERM AND SHORT TERM BIKE PARKING STALLS
 - SELF STORAGE LOADING AREA
 - 15' WIDE CONCRETE PAD FOR SCHOOL BUS STOP. COORDINATE WITH TUMWATER SCHOOL DISTRICT FOR FIELD VERIFICATION OF BUS PAD LOCATIONS PRIOR TO INSTALLATION.

UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

DISCLAIMER
TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY MWDG&S, LLC. LOC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

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NO.	DATE	DESCRIPTION

LDC | Surveying Engineering Planning
Woodruffville, VA 22191
441 S. State St., #200
Chattanooga, TN 37403
www.LDCgroup.com
F: 615.462.2910

GLENN WELLS YORKSHIRE
SITE PLAN

THE GREAT SEAL OF THE CITY OF TUMWATER
THURSTON COUNTY, WASHINGTON

JOB NUMBER: C22169
DRAWING NAME: C22-169-SP-PL
DESIGNER: R. WIEDEN
DRAWING BY: A. WHITE
DATE: NOVEMBER, 2023
SCALE: AS NOTED
JURISDICTION: TUMWATER, WA

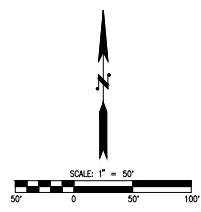
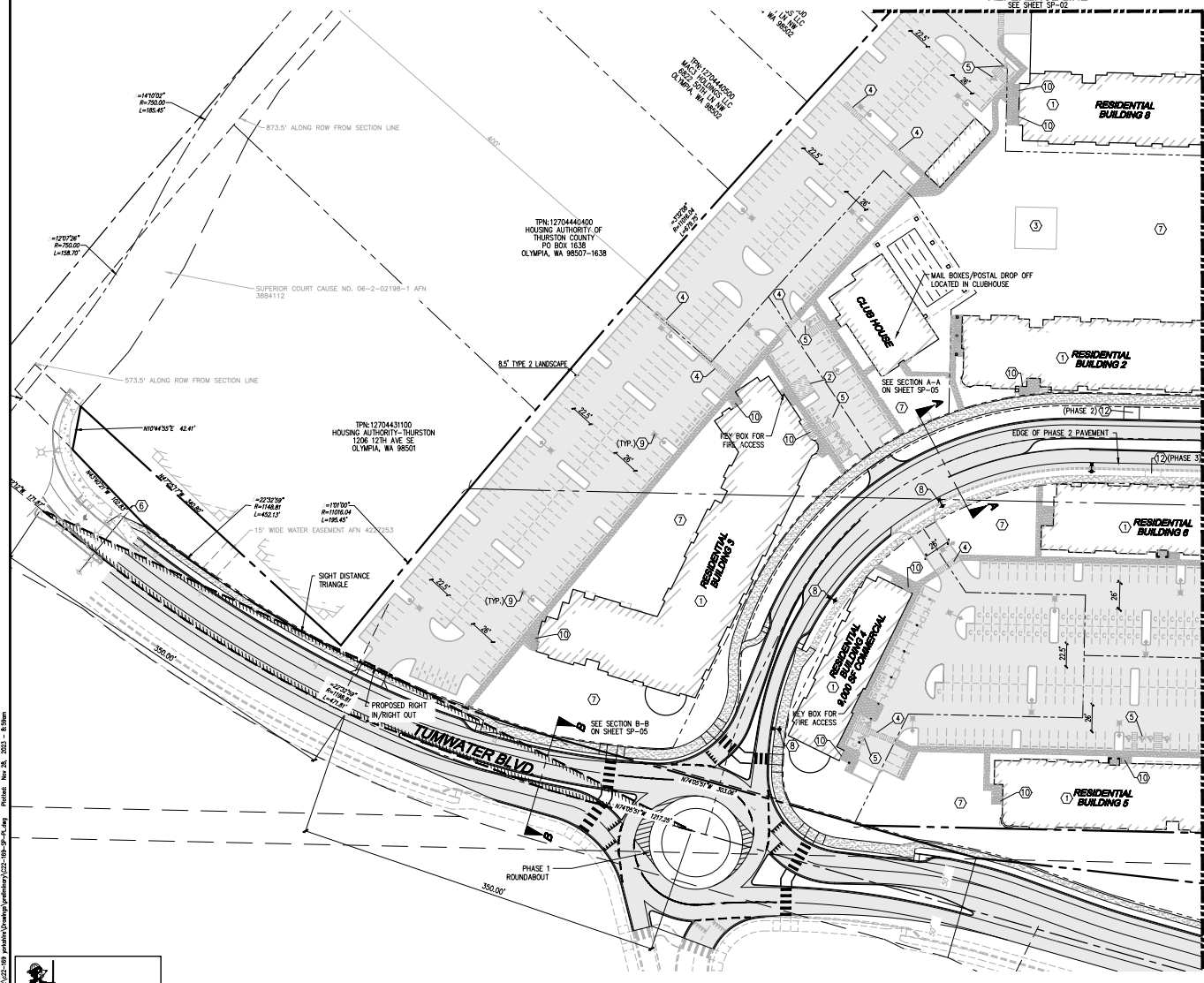
SP-02

SHEET 4 OF 15

Drawing: P:\CWA\2022\C22-169_parallel\Drawings\yorkshire\C22-169-SP-PL.dwg Plotset: Nov 28, 2023 8:50am

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON

REFERENCE LINE
SEE SHEET SP-02



LEGEND

- PARCEL LINE
- LOT LINE
- ROAD STRIPING
- CENTERLINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK / PEDESTRIAN ACCESS PATH & ACCESSIBLE PATH OF TRAVEL
- ASPHALT PAVEMENT
- CEMENT CONCRETE CURB
- WHEEL STOP
- ADA PARKING STALL
- COMPACT PARKING STALL
- ELECTRIC VEHICLE PARKING STALL
- BIKE PARKING STALL
- PROPOSED OFF-SITE & ON-SITE LIGHTING. SEE PLAN FOR TYPES

GENERAL NOTES

1. ALL PARCELS WILL HAVE A CROSS ACCESS PARKING AGREEMENT IN-PLACE PRIOR TO OCCUPANCY.
2. FIRE LANE SIGNS AND YELLOW STRIPING SHALL BE PROVIDED ON-SITE TO IDENTIFY FIRE DEPARTMENT ACCESS ROADS AND PROHIBIT THE OBSTRUCTION THEREOF. IFC 503.
3. FIRE HYDRANTS AND PAVED ACCESS ROADS SHALL BE INSTALLED, TESTED FOR FLOW BY THE FIRE DEPARTMENT AND MADE SERVICEABLE BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY VERTICAL OR COMBUSTIBLE CONSTRUCTION. NO EXCEPTIONS, IFC 503.

CONSTRUCTION NOTES

1. PROPOSED APARTMENT BUILDING
2. COMPACTOR LOADING AREA
3. SPORTS COURT
4. ACCESSIBLE PATH
5. ACCESSIBLE PARKING
6. EXISTING HISTORIC STREET LIGHT
7. SEE LANDSCAPING PLAN BY OTHERS FOR LANDSCAPING IMPROVEMENTS
8. PROPOSED HISTORIC STREET LIGHT
9. ALL ON-SITE LIGHTING TYPE, MOUNTING HEIGHT ETC. SHALL BE DESIGNED AT PERMIT SUBMITTAL
10. LONG TERM AND SHORT TERM BIKE PARKING STALLS
11. SELF STORAGE LOADING AREA
12. 15' WIDE CONCRETE PAD FOR SCHOOL BUS STOP. COORDINATE WITH TUMWATER SCHOOL DISTRICT FOR FIELD VERIFICATION OF BUS PAD LOCATIONS PRIOR TO INSTALLATION.

NO.	DATE	REVISIONS

LDC | Surveying/Engineering/Planning
 Woodinville 411 S. 200th St., Suite 2000, Kent, WA 98042
 Olympia, WA 98506
 F: 360.885.1989 | www.LDCgroup.com

GLENN WELLS YORKSHIRE
SITE PLAN



JOB NUMBER: C22169
 DRAWING NAME: C22-169-SP-PL
 DESIGNER: R. WIEGEN
 DRAFTING BY: A. WHITE
 DATE: NOVEMBER, 2023
 SCALE: AS NOTED
 JURISDICTION: TUMWATER, WA

SP-03

Call 3 Business Days Before You Dig
811 or 1-800-424-5555
Utilities Underground Location Center

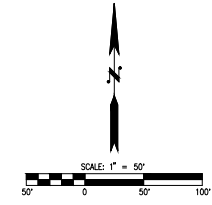
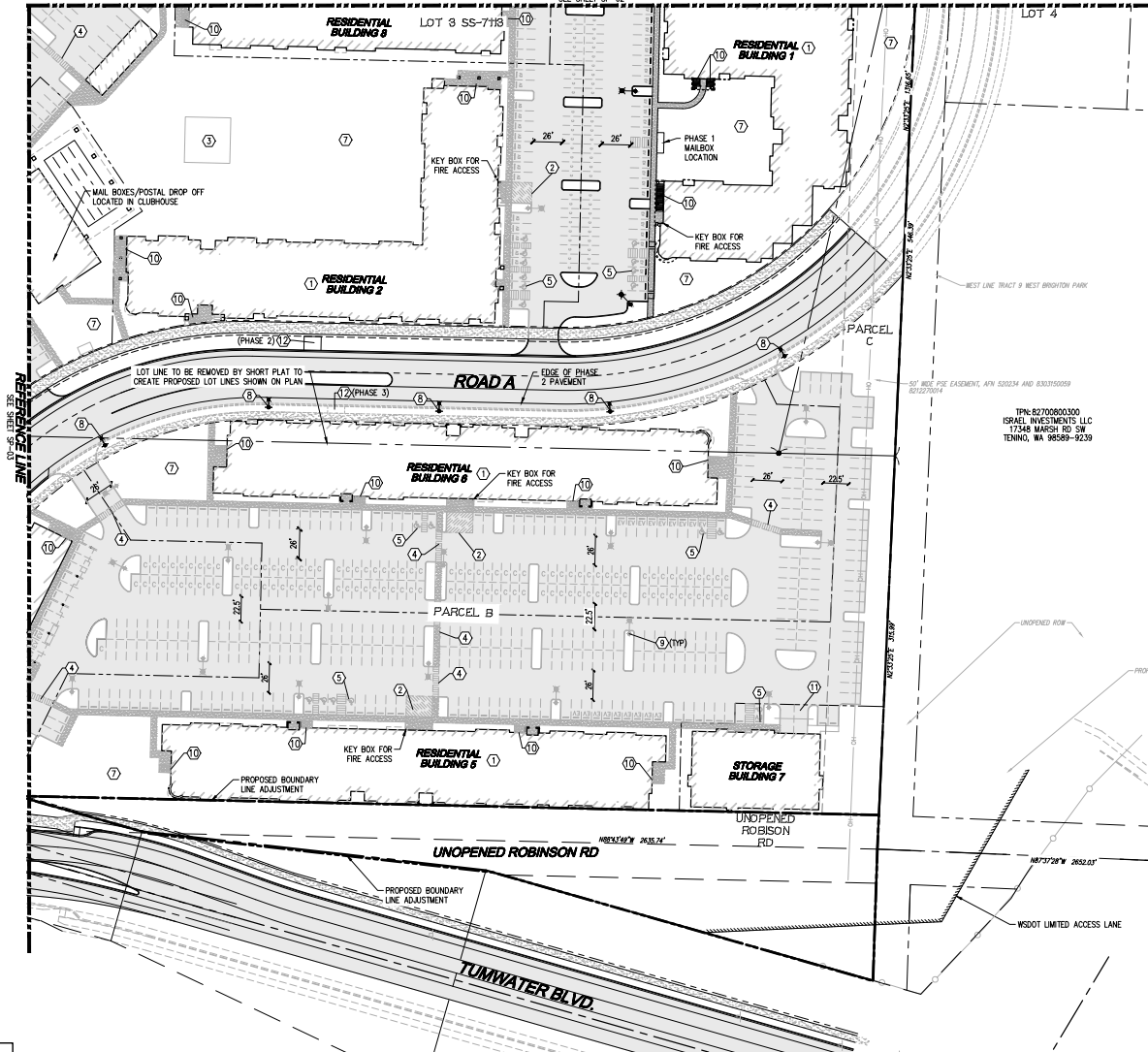
UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER
TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY MINDCAST, LLC, LOC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

Drawing: P:\04\2023\C22-169_parallel\Drawings\Yorkshire\C22-169-SP-PL.dwg Plotdate: Nov 28, 2023 8:59am

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON

REFERENCE LINE
SEE SHEET SP-02



LEGEND

- PARCEL LINE
- LOT LINE
- ROAD STRIPING
- CENTERLINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK / PEDESTRIAN ACCESS PATH & ACCESSIBLE PATH OF TRAVEL
- ASPHALT PAVEMENT
- CEMENT CONCRETE CURB
- WHEEL STOP
- ADA PARKING STALL
- COMPACT PARKING STALL
- ELECTRIC VEHICLE PARKING STALL
- BIKE PARKING STALL
- PROPOSED OFF-SITE & ON-SITE LIGHTING, SEE PLAN FOR TYPE

GENERAL NOTES

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CONSTRUCTION NOTES

1. PROPOSED APARTMENT BUILDING.
2. COMPACTOR LOADING AREA
3. SPORTS COURT
4. ACCESSIBLE PATH
5. ACCESSIBLE PARKING
6. EXISTING HISTORIC STREET LIGHT
7. SEE LANDSCAPING PLAN BY OTHERS FOR LANDSCAPING IMPROVEMENTS
8. PROPOSED HISTORIC STREET LIGHT
9. ALL ON-SITE LIGHTING TYPE, MOUNTING HEIGHT ETC. SHALL BE DESIGNED AT PERMIT SUBMITAL.
10. LONG TERM AND SHORT TERM BIKE PARKING STALLS
11. SELF STORAGE LOADING AREA
12. 15' WIDE CONCRETE PAD FOR SCHOOL BUS STOP. COORDINATE WITH TUMWATER SCHOOL DISTRICT FOR FIELD VERIFICATION OF BUS PAD LOCATIONS PRIOR TO INSTALLATION.

NO.	DATE	REVISIONS DESCRIPTION

LDC | Surveying Engineering Planning
 Olympia, WA 98501
 411 S. 2nd St. #200
 Olympia, WA 98506
 www.LDCgroup.com
 F: 361.461.2910

GLENN WELLS YORKSHIRE
 SITE PLAN



JOB NUMBER: C22169
 DRAWING NAME: C22-169-SP-PL
 DESIGNER: R. WELLEN
 DRAWING BY: A. WHITE
 DATE: NOVEMBER, 2023
 SCALE: AS NOTED
 JURISDICTION: TUMWATER, WA

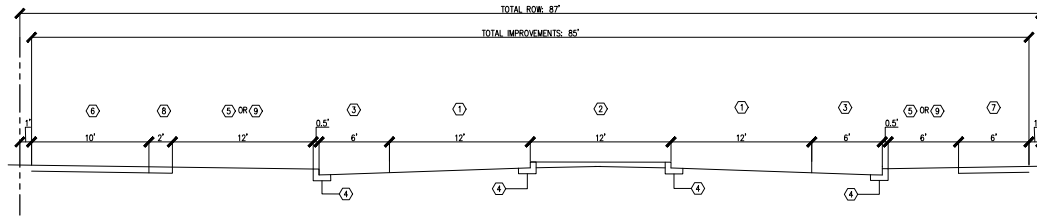
SP-04
 SHEET 6 OF 15

Call 3 Business Days Before You Dig
811 or 1-800-424-5555
 Utilize Underground Location Center

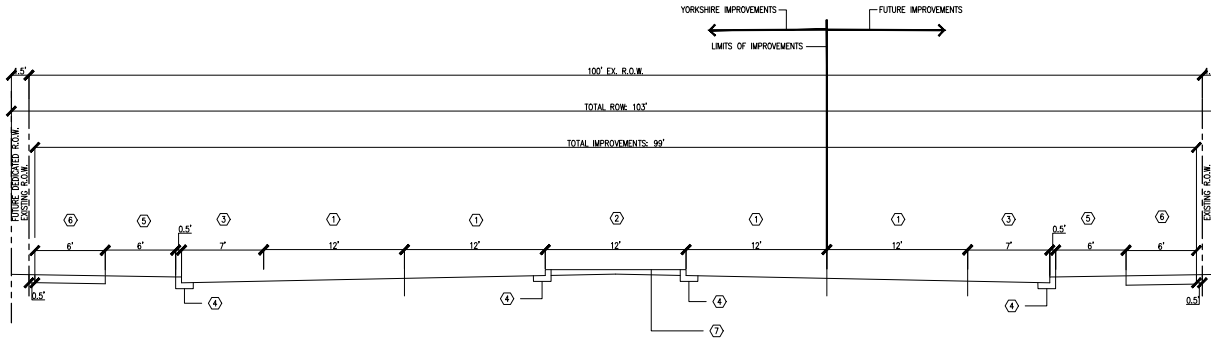
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DISCLAIMER
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Drawing: P:\CWA\2022\C22-169_parallel\Drawings\preliminary\C22-169-SP-PL.dwg Plotdate: Nov 28, 2023 8:30am



- SECTION A-A NOTES**
1. 12' TRAVEL LANES
 2. 12' INTERMITTENT TURN LANE/PLANTER STRIP
 3. 6' BIKE LANE
 4. CEMENT CONCRETE CURB AND GUTTER
 5. PLANTER STRIP
 6. CEMENT CONCRETE SIDEWALK SHARED USE PATH
 7. CEMENT CONCRETE SIDEWALK
 8. 2' WIDE CRUSHED ROCK RUNNING SHOULDER
 9. 15' WIDE CONCRETE PAD FOR SCHOOL BUS STOP
- TYEE DRIVE
SECTION A-A**
1" = 5'



- SECTION B-B NOTES**
1. 12' TRAVEL LANES
 2. 12' INTERMITTENT TURN LANE/PLANTER STRIP
 3. 7' BIKE LANE
 4. CEMENT CONCRETE CURB AND GUTTER
 5. PLANTER STRIP
 6. CEMENT CONCRETE SIDEWALK
 7. CENTER MEDIAN TO BE CONSTRUCTED IN THE FUTURE BY OTHERS
- TUMWATER BLVD.
SECTION B-B**
1" = 5'

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UTILITY NOTE
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SEE SHEET SP-01 FOR PHASE LIMITS

NO.	DATE	REVISIONS DESCRIPTION

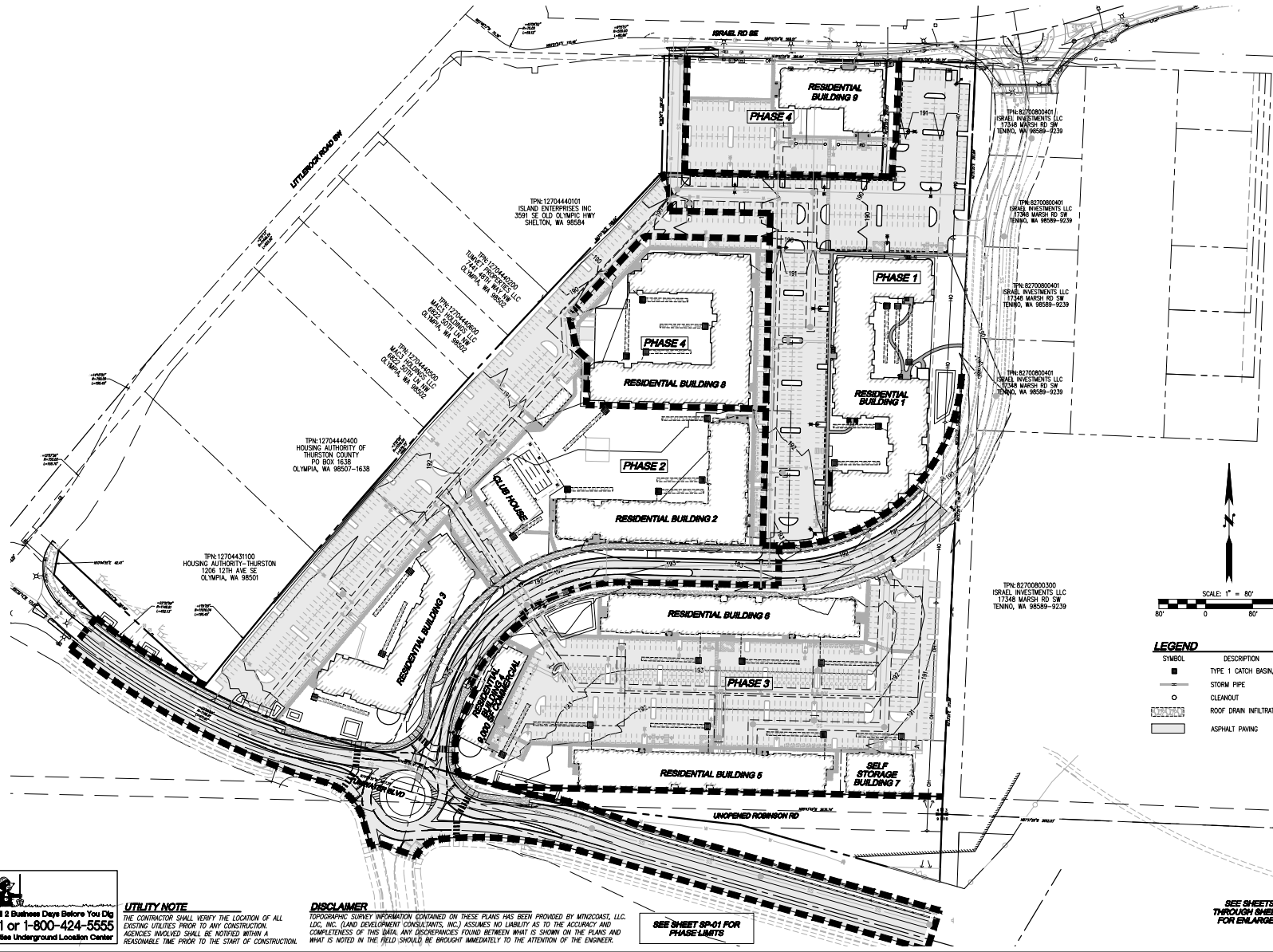
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Woodville Olympia, WA 98506
411 S. 4th St. #200 Kent, WA 98040
1-425-886-7889 www.LDCeng.com F-425-886-2810

GLENN WELLS
YORKSHIRE
ROADWAY SECTIONS



JOB NUMBER: C22169
DRAWING NAME: C22-169-SP-01
DESIGNER: R. WELLS
DRAWING BY: A. WHITE
DATE: NOVEMBER, 2023
SCALE: AS NOTED
JURISDICTION: TUMWATER, WA

SP-05
SHEET 7 OF 15



SCALE: 1" = 80'

80' 0 80' 160'

LEGEND

SYMBOL	DESCRIPTION
■	TYPE 1 CATCH BASIN, GRATED LID
—	STORM PPE
○	CLEANOUT
—	ROOF DRAIN INFILTRATION TRENCH
□	ASPHALT PAVING

Call 3 Business Days Before You Dig
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UTILITY NOTE
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DISCLAIMER
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SEE SHEET SP-01 FOR PHASE LIMITS

SEE SHEETS GR-01 THROUGH SHEETS GR-04 FOR ENLARGED VIEWS

LDC Savanna Rig Engineering Planning	Woodville	411 S. Main St., #200	Olympia, WA 98506	Ken
	T: 360.896.1989	F: 360.896.2895	www.LDCeng.com	

GLENN WELLS
 YORKSHIRE
 OVERALL GRADING AND DRAINAGE PLAN

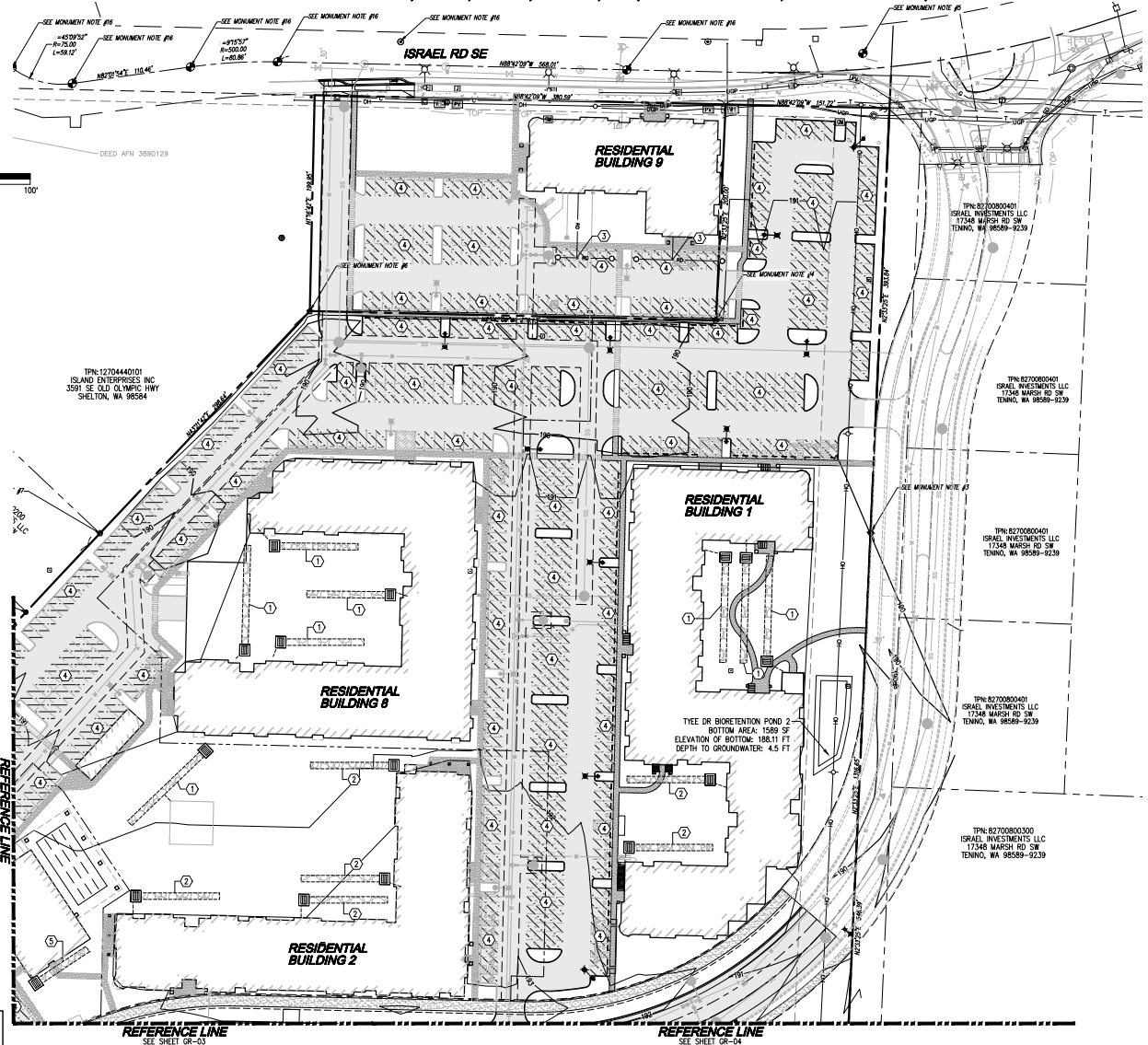
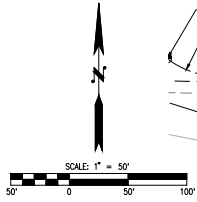
JOB NUMBER:	C22169
DRAWING NAME:	C22-169-GR-01
DESIGNER:	R. HELEN
DRAWING BY:	A. WHITE
DATE:	NOVEMBER, 2023
SCALE:	AS NOTED
JURISDICTION:	TUMWATER, WA

GR-01

SHEET 8 OF 15

Drawing #: C22-169-GR-01-01.dwg, Date: 11/15/23, 11:58 AM, Project: Yorkshire - Sec 04, Twn 17, Rge 2W, 1/4 S2 SE, W.M., City of Tumwater, Thurston County, Washington

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON



LEGEND

SYMBOL	DESCRIPTION
■	TYPE 1 CATCH BASIN, GRATED LID
—	STORM PIPE
—	ROOF DRAIN LINE
○	CLEANOUT
▨	ROOF DRAIN INFILTRATION TRENCH
▨	ASPHALT PAVING
▨	PERVIOUS PAVEMENT

- STORM CONSTRUCTION NOTES:**
- ① 1.5' DEPTH x 6' WIDE x 100' LONG INFILTRATION TRENCH
 - ② 1.5' DEPTH x 6' WIDE x 80' LONG INFILTRATION TRENCH
 - ③ ROOF DRAIN TIGHTLINED TO PERFORATED PIPE WITHIN PERVIOUS PAVEMENT
 - ④ PERVIOUS PAVEMENT
 - ⑤ 1.5' DEPTH x 6' WIDE x 60' LONG INFILTRATION TRENCH

TPN: 127644401
ISLAND ENTERPRISES INC
3591 SE OLD OLYMPIC HWY
SHELTON, WA 98584

TPN: 8270080401
ISRAEL INVESTMENTS LLC
17348 MARSH RD SW
TENNO, WA 98589-9239

TPN: 8270080401
ISRAEL INVESTMENTS LLC
17348 MARSH RD SW
TENNO, WA 98589-9239

TPN: 8270080401
ISRAEL INVESTMENTS LLC
17348 MARSH RD SW
TENNO, WA 98589-9239

TPN: 8270080401
ISRAEL INVESTMENTS LLC
17348 MARSH RD SW
TENNO, WA 98589-9239

TPN: 8270080401
ISRAEL INVESTMENTS LLC
17348 MARSH RD SW
TENNO, WA 98589-9239

TYEE OR BIORETENTION POND 2
BOTTOM AREA: 1589 SF
ELEVATION OF BOTTOM: 108.1 FT
DEPTH TO GROUNDWATER: 4.5 FT

UTILITY NOTE
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DISCLAIMER
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SEE SHEET SP-01 FOR PHASE LIMITS

Call 9 Before You Dig
811 or 1-800-424-5555
Utilize Underground Location Center

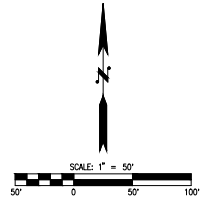
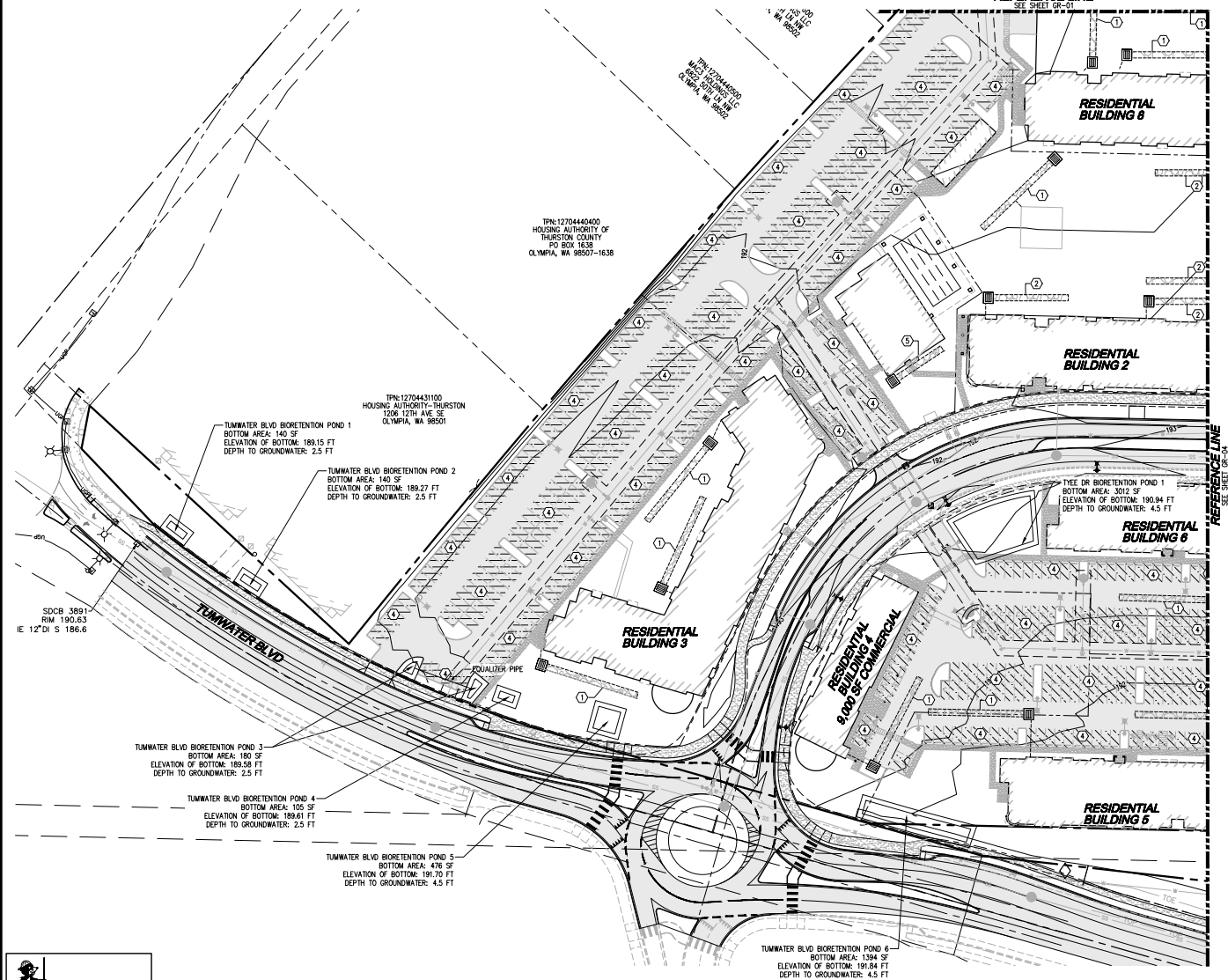
NO.	DATE	REVISIONS DESCRIPTION

LDC | Surveying Engineering Planning
 Woodville Olympia, WA 98506
 411 S. 4th St., Suite 200
 Olympia, WA 98506
 F: 360.855.1989 www.LDCgroup.com

GLENN WELLS
YORKSHIRE
GRADING AND DRAINAGE PLAN

JOB NUMBER: C22169
 DRAWING NAME: C22-169-GR-P1
 DESIGNER: R. WELLS
 DRAFTER: A. WHITE
 DATE: NOVEMBER, 2023
 SCALE: 1" = 50'
 JURISDICTION: TUMWATER, WA
GR-02
 SHEET 9 OF 15

Drawing: P:\CADD\2023\C22-169-grading\Drawings\yorkshire\C22-169-gr-P1.dwg Plotter: Nov 28, 2023 - 8:30am



LEGEND

SYMBOL	DESCRIPTION
	TYPE 1 CATCH BASIN, GRATED LID
	STORM PIPE
	CLEANOUT
	ROOF DRAIN INFILTRATION TRENCH
	ASPHALT PAVING
	PERVIOUS PAVEMENT

- STORM CONSTRUCTION NOTES:**
- ① 1.5' DEPTH x 6' WIDE x 100' LONG INFILTRATION TRENCH
 - ② 1.5' DEPTH x 6' WIDE x 80' LONG INFILTRATION TRENCH
 - ③ NOT USED
 - ④ PERVIOUS PAVEMENT
 - ⑤ 1.5' DEPTH x 6' WIDE x 60' LONG INFILTRATION TRENCH

REVISIONS

NO.	DATE	DESCRIPTION

LDC | Surveying
Engineering
Planning

Woodville 441 S. 4th St.
Olympia, WA 98506
F. 362.866.1989 | www.LDCgroup.com

Kerr
F. 362.866.2819

GLENN WELLS
YORKSHIRE
GRADING AND DRAINAGE PLAN



JOB NUMBER: C22169
DRAWING NAME: C22-169-GR-P1
DESIGNER: R. WELDEN
DRAWING BY: A. WHITE
DATE: NOVEMBER, 2023
SCALE: 1" = 50'
JURISDICTION: TUMWATER, WA

GR-03

Call 3 Business Days Before You Dig
811 or 1-800-424-5555
Utilize Underground Location Center

UTILITY NOTE
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER
TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY MTRUGCAST, LLC. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

SEE SHEET SP-01 FOR PHASE LIMITS

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON

REFERENCE LINE
SEE SHEET GR-02

TIN: 8270080300
ISRAEL INVESTMENTS LLC
17348 MARSH RD SW
TUMWAT, WA 98565-9239

RESIDENTIAL BUILDING 1

RESIDENTIAL BUILDING 2

RESIDENTIAL BUILDING 6

RESIDENTIAL BUILDING 5

SELF STORAGE BUILDING 7

TREE OR BIoretENTION POND 1
BOTTOM AREA: 3012 SF
ELEVATION OF BOTTOM: 190.94 FT
DEPTH TO GROUNDWATER: 4.5 FT

UNOPENED ROBINSON RD

TUMWATER BLVD

LEGEND	
SYMBOL	DESCRIPTION
■	TYPE 1 CATCH BASIN, GRATED LID
—	STORM PIPE
○	CLEANOUT
▨	ROOF DRAIN INFILTRATION TRENCH
▩	ASPHALT PAVING
▧	PERVIOUS PAVEMENT

STORM CONSTRUCTION NOTES:

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- ② 1.5' DEPTH x 6' WIDE x 80' LONG INFILTRATION TRENCH
- ③ NOT USED
- ④ PERVIOUS PAVEMENT
- ⑤ 1.5' DEPTH x 6' WIDE x 60' LONG INFILTRATION TRENCH

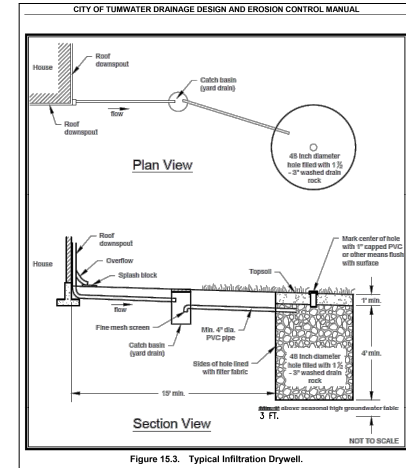
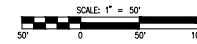


Figure 15.3. Typical Infiltration Drivell.

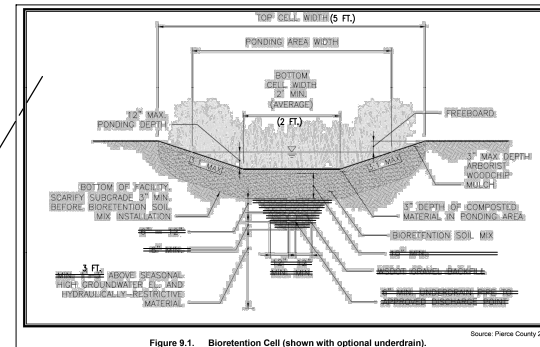


Figure 9.1. Bioretention Cell (shown with optional underdrain).

REVISIONS	
NO.	DATE

LDC
Landscape Design
Consultants, Inc.
Woodville
Olympia, WA 98506
T: 360.866.1889
F: 360.866.2810

GLENN WELLS
YORKSHIRE
GRADING AND DRAINAGE PLAN



JOB NUMBER: C22169
DRAWING NAME: C22-169-GR-P1
DESIGNER: R. WELLS
DRAWING BY: A. WHITE
DATE: NOVEMBER, 2023
SCALE: 1" = 50'
JURISDICTION: TUMWATER, WA

GR-04
SHEET 11 OF 15

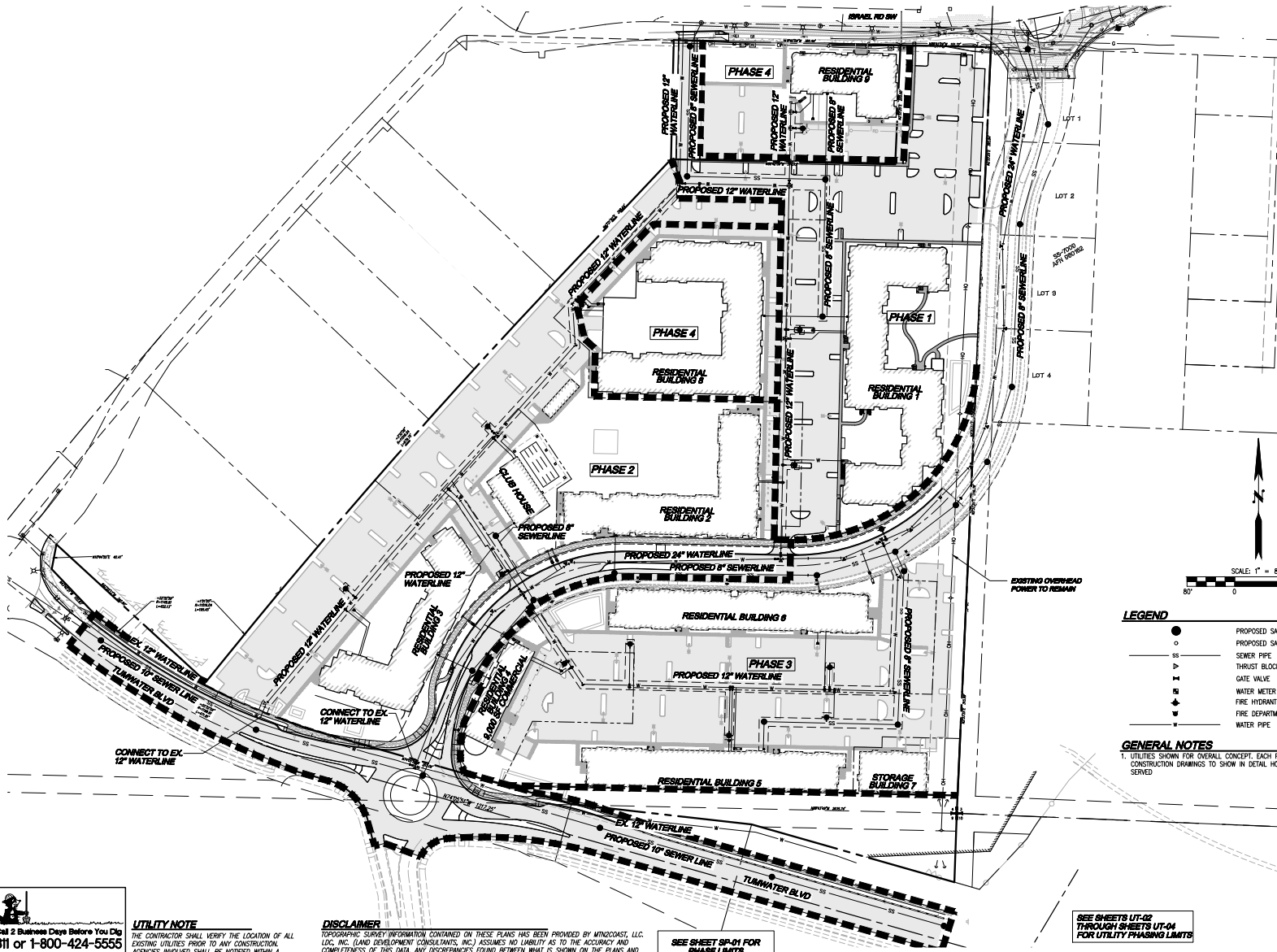
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Utilities Underground Location Center

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SEE SHEET SP-01 FOR PHASE LIMITS

Drawing File: C:\Users\jwhite\OneDrive\Documents\Projects\C22-169-GR-P1.dwg Plot Date: Nov 28, 2023 9:00am

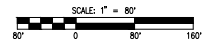


LEGEND

- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- SS SEWER PIPE
- ⊘ THURST BLOCKING
- ⊕ GATE VALVE
- ⊙ WATER METER
- ⚡ FIRE HYDRANT
- ⚡ FIRE DEPARTMENT CONNECTION
- WATER PIPE

GENERAL NOTES

1. UTILITIES SHOWN FOR OVERALL CONCEPT. EACH PHASE WILL DEVELOP CONSTRUCTION DRAWINGS TO SHOW IN DETAIL HOW THE SITE WILL BE SERVED



Call 2 Business Days Before You Dig
811 or 1-800-424-5555
 Utilites Underground Location Center

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DISCLAIMER

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SEE SHEET SP-01 FOR PHASE LIMITS

SEE SHEETS UT-02 THROUGH SHEETS UT-04 FOR UTILITY PHASING LIMITS

REV.	DATE	REVISIONS DESCRIPTION

LDC | Surveying Engineering Planning

Woodinville, Olympia, Kent

1411 State Avenue NE #200
 Woodinville, WA 98096
 T: 425.286.9000 www.LDCGroup.com F: 425.402.2970

GLENN WELLS YORKSHIRE

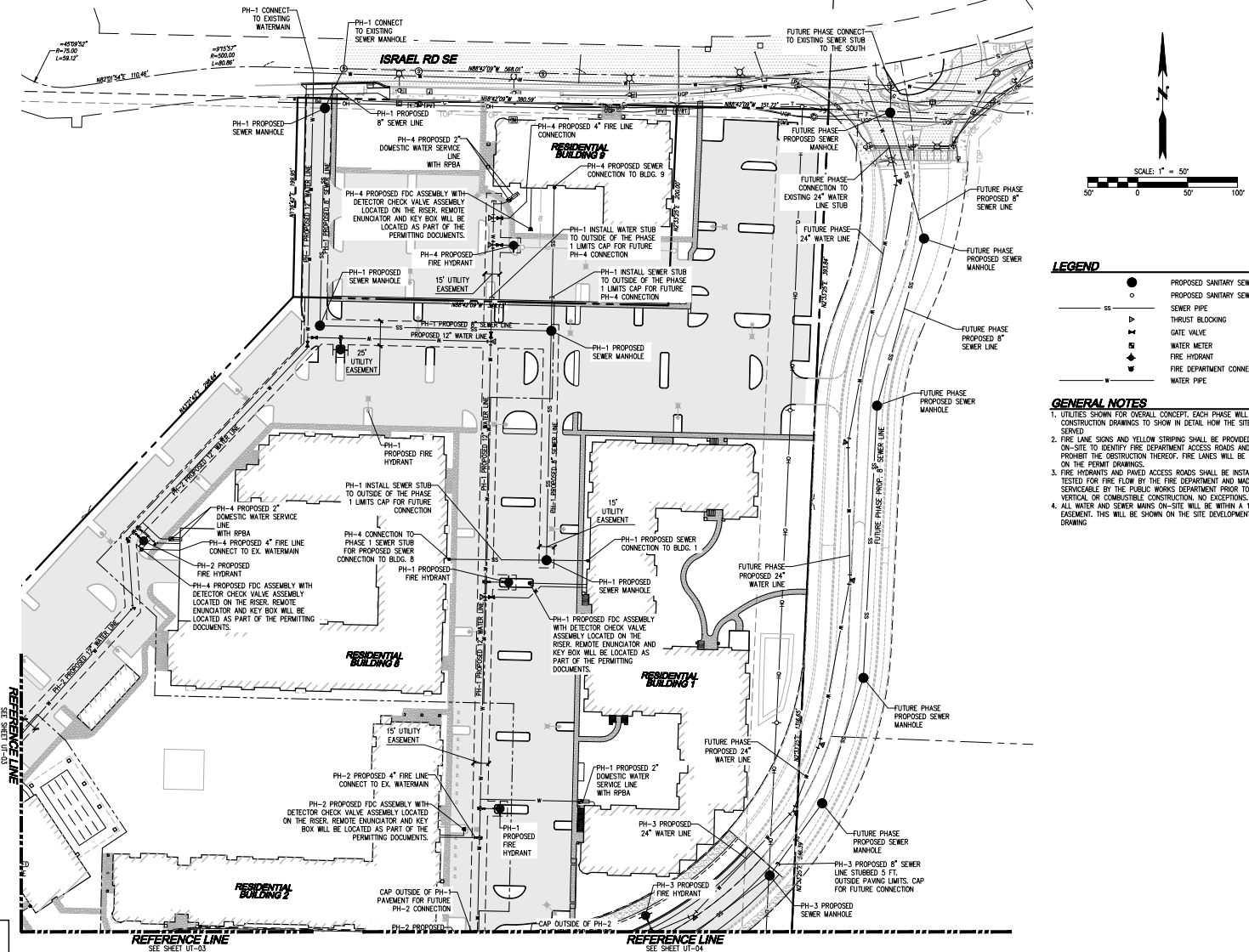
OVERALL UTILITY PLAN

JOB NUMBER: C22169	DRAWING NUMBER: C22-169-UT-01
DESIGNER: R.WEEDEN	DRAWING BY: A.WHITE
DATE: NOVEMBER, 2023	SCALE: AS NOTED
JURISDICTION: TUMWATER, WA	

UT-01

SHEET 12 OF 15

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON



LEGEND

- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- SE SEWER PIPE
- THURST BLOCKING
- ⊥ GATE VALVE
- ⊥ WATER METER
- ⊥ FIRE HYDRANT
- ◆ FIRE DEPARTMENT CONNECTION
- WATER PIPE

- GENERAL NOTES**
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 - FIRE HYDRANTS AND PAVED ACCESS ROADS SHALL BE INSTALLED, TESTED FOR FLOW BY THE FIRE DEPARTMENT AND MADE SERVICEABLE BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY VERTICAL OR COMBUSTIBLE CONSTRUCTION. NO EXCEPTIONS.
 - ALL WATER AND SEWER MAINS ON-SITE WILL BE WITHIN A 15 FOOT EASEMENT. THIS WILL BE SHOWN ON THE SITE DEVELOPMENT DRAWING.

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SEE SHEET 01-04 FOR PHASE LIMITS

Call 2 Business Days Before You Dig
811 or 1-800-424-5555
Utilities Underground Location Center

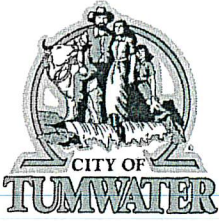
REV. NO.	DATE	DESCRIPTION

LDC | Surveying Engineering Planning
 Olympia
 1411 State Avenue NE #200
 Woodinville
 WA 98096
 T: 425.286.8008
 www.LDC.org
 F: 425.482.2920

GLENN WELLS YORKSHIRE
UTILITY PLAN

UT-02

SHEET 13 OF 15



CITY OF TUMWATER
 555 ISRAEL RD. SW, TUMWATER, WA 98501
 (360) 754-4180 (360) 754-4126 (FAX)
 Email: cdd@ci.tumwater.wa.us

**CONDITIONAL USE PERMIT
 Application**

TUM - 22- 1742 <i>Brittney</i> RCVD BY	DATE STAMP RECEIVED DEC 05 2022 CITY OF TUMWATER Community Development
---	--

Application fee: \$2,090.00

SUBJECT PROPERTY

ADDRESS OF PROPERTY (COMPLETE): Unassigned Address

PROJECT NAME: Yorkshire Apartments PARCEL NUMBER(S): 12704440103, 12704431300, 12704440100

APPLICANT (please print neatly)

NAME OF APPLICANT: Grandviews Yorkshire, LLC

APPLICANT'S MAILING ADDRESS (COMPLETE): 129 N Olympic Ave Arlington, WA 98223

APPLICANT'S TELEPHONE(S): _____ APPLICANT'S E-MAIL: glennwellsarchitect@gmail.com

PROJECT REPRESENTATIVE

NAME OF PROJECT REPRESENTATIVE: Tyrell Bradley

REPRESENTATIVE'S MAILING ADDRESS (COMPLETE): 1411 State Ave NE, Suite 200, Olympia WA 98506

REPRESENTATIVE'S TELEPHONE(S): 425-806-1869 REPRESENTATIVE'S E-MAIL: tbradley@ldccorp.com

PROPERTY OWNER

NAME OF PROPERTY OWNER: Tumwater Center LTD Partnership

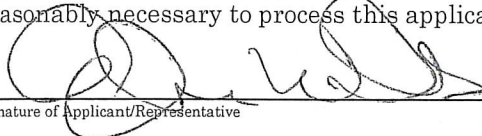
OWNER'S MAILING ADDRESS (COMPLETE): 2125 1st Ave., Apt 2704, Seattle WA 98121

OWNER'S TELEPHONE(S): _____ OWNER'S E-MAIL: _____

PROJECT DESCRIPTION (attach additional sheets and documentation, as needed)

Construction of 1,150 apartments, commercial space, storage building, and Extension of Tye Dr
along with associated utility Improvements. The project will be constructed over four phases.

I affirm that all answers, statements, and information submitted with this application are correct and accurate to the best of my knowledge. I also affirm that I am the owner of the subject site or am duly authorized by the owner to act with respect to this application. Further, I grant permission to any and all employees and representatives of the City of Tumwater and other governmental agencies to enter upon and inspect said property as reasonably necessary to process this application. I agree to pay all fees of the City that apply to this application.


 Signature of Applicant/Representative

12-5-22
 Date

Please attach the Conditional Use Permit submittal checklist to this Application.



CITY OF TUMWATER
 555 ISRAEL RD. SW, TUMWATER, WA 98501
 (360) 754-4180 (360) 754-4126 (FAX)
 Email: cdd@ci.tumwater.wa.us

**PRELIMINARY BINDING SITE PLAN
 Application**

TUM -22-	DATE STAMP
1743	12-05-2022
Brittaney RCVD BY	

Application fee: \$770.00, plus \$27.50 per lot

SUBJECT PROPERTY

ADDRESS OF PROPERTY (COMPLETE): Unassigned Address
 PROJECT NAME: Yorkshire Apartments PARCEL NUMBER(S): 12704440103, 12704431300, 12704440100

APPLICANT (please print neatly)

NAME OF APPLICANT: Grandviews Yorkshire, LLC
 APPLICANT'S MAILING ADDRESS (COMPLETE): 129 N Olympic Ave Arlington, WA 98223
 APPLICANT'S TELEPHONE(S): _____ APPLICANT'S E-MAIL: glennwellsarchitect@gmail.com

PROJECT REPRESENTATIVE

NAME OF PROJECT REPRESENTATIVE: Tyrell Bradley
 REPRESENTATIVE'S MAILING ADDRESS (COMPLETE): 1411 State Ave NE, Suite 200, Olympia WA 98506
 REPRESENTATIVE'S TELEPHONE(S): 425-806-1869 REPRESENTATIVE'S E-MAIL: tbradley@ldccorp.com

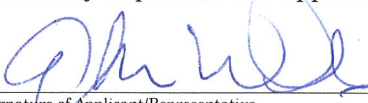
PROPERTY OWNER

NAME OF PROPERTY OWNER: Tumwater Center LTD Partnership
 OWNER'S MAILING ADDRESS (COMPLETE): 2125 1st Ave., Apt 2704, Seattle WA 98121
 OWNER'S TELEPHONE(S): _____ OWNER'S E-MAIL: _____

PROJECT DESCRIPTION (attach additional sheets and documentation, as needed)

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 Signature of Applicant/Representative

12-4-22

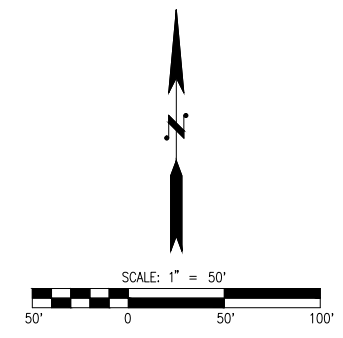
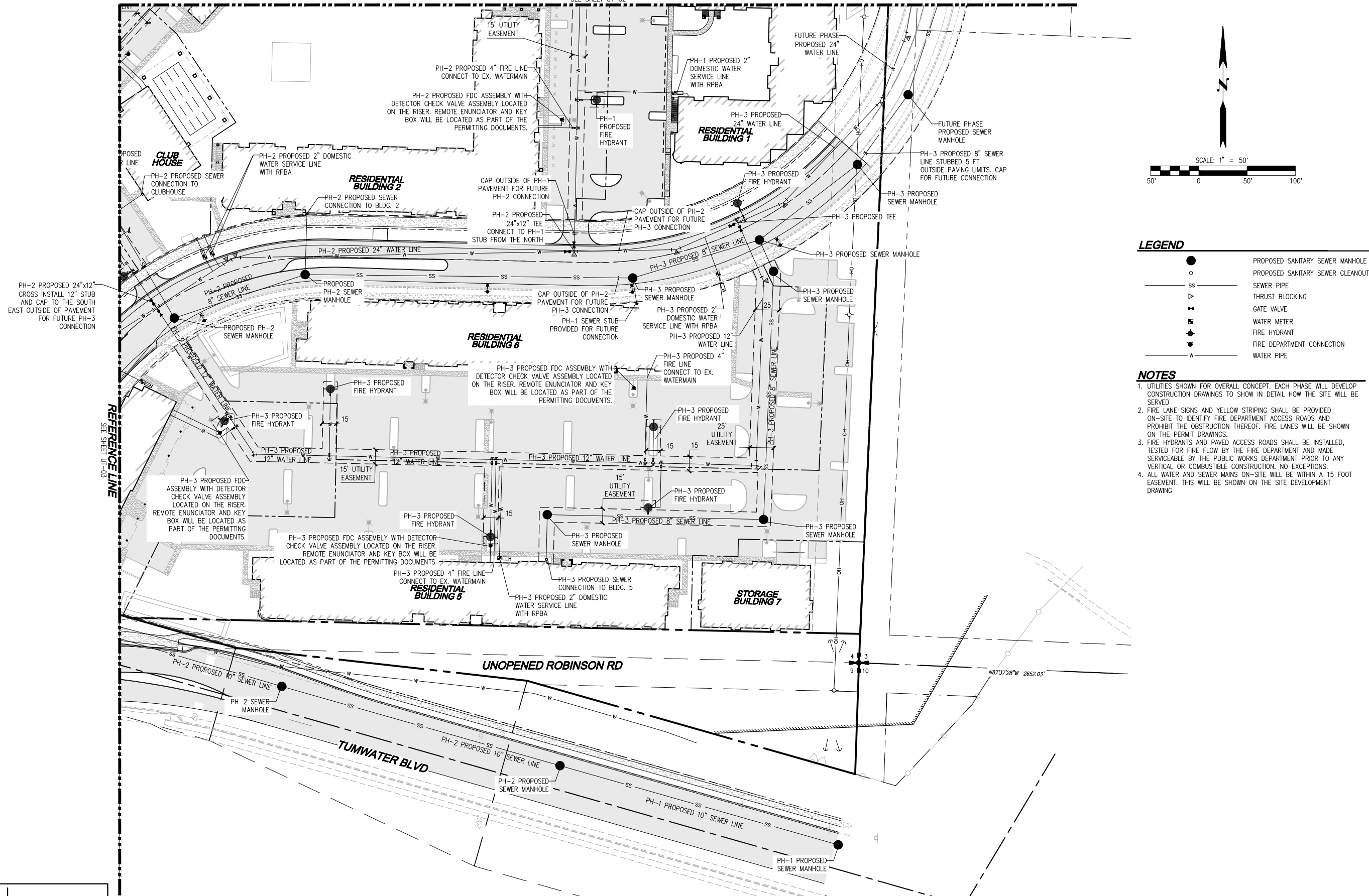
 Date

Please attach the **Preliminary Binding Site Plan submittal checklist** to this Application.

A PORTION OF SEC 04, TWN 17, RGE 2W, 1/4 S2 SE, W.M., CITY OF TUMWATER, THURSTON COUNTY, WASHINGTON

REFERENCE LINE

SEE SHEET UT-02



LEGEND

- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- SS SEWER PIPE
- ▽ THRUST BLOCKING
- ⊥ GATE VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ FIRE DEPARTMENT CONNECTION
- W WATER PIPE

NOTES

1. UTILITIES SHOWN FOR OVERALL CONCEPT. EACH PHASE WILL DEVELOP CONSTRUCTION DRAWINGS TO SHOW IN DETAIL HOW THE SITE WILL BE SERVED.
2. FIRE LANE SIGNS AND YELLOW STRIPING SHALL BE PROVIDED ON-SITE TO IDENTIFY FIRE DEPARTMENT ACCESS ROADS AND PROHIBIT THE OBSTRUCTION THEREOF. FIRE LANES WILL BE SHOWN ON THE PERMIT DRAWINGS.
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NO.	DATE	DESCRIPTION

LDC | Surveying Engineering Planning
 Woodinville, WA
 1411 State Avenue NE, #200
 Olympia, WA 98506
 www.LDCorp.com
 T: 425.806.1869 F: 425.482.2893

GLENN WELLS
YORKSHIRE
 UTILITY PLAN



JOB NUMBER: C22169
 DRAWING NAME: C22-169-UT-PL
 DESIGNER: R.WEEDEN
 DRAFTING BY: A.WHITE
 DATE: NOVEMBER, 2023
 SCALE: 1" = 50'
 JURISDICTION: TUMWATER, WA

UT-04
 SHEET 15 OF 15

Drawing: P:\CWA\2022\C22-169_Yorkshire_Vpreliminary\C22-169-UT-PL.dwg Plotted: Nov 28, 2023 - 9:00am

UTILITY NOTE
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DISCLAIMER
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SEE SHEET SP-01 FOR PHASE LIMITS

PLANT LIST								
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	INSTALLED SIZE	MATURE HEIGHT	MATURE DIA.		TYPE OF PLANT
TREES								
⊗	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8	2 1/2" CALIPER	20'	20'	NN	D
⊗	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	ALASKA YELLOW CEDAR	1	6"-0" TALL	30'	25'	DT NN	EG
⊗	SANGO KAKU MAPLE	CORAL BARK MAPLE	2	2 1/2" CALIPER	15'	15'	DT NN	D
⊗	ACER PALMATUM DISSECTUM 'RED DRAGON'	RED DRAGON JAPANESE MAPLE	3	2 1/2" CALIPER	20'	6'	DT NN	D
⊗	PICEA OMORIKA 'PENDULA BRUNS'	WEeping SERBIAN SPRUCE	2	6"-0" TALL	30'	10'	DT N	EG
⊗	MALUS 'JFS-KWS' ROYAL RAINDROPS	ROYAL RAINDROPS CRABAPPLE	134	2 1/2" CALIPER	20'	15'	DT NN	D
⊗	PYRUS CALLERYANA 'CAPITAL'	CAPITAL PEAR	55	2 1/2" CALIPER	25'	25'	DT NN	D
SHRUBS								
⊗	SARCOCOCCA HIMALAYAN	SWEET BOX	2,628	1 GALLON	2'	2'	DT NN	EG
⊗	NANDINA DOMESTICA 'FIRE POWER'	HEAVENLY BAMBOO	1,353	2 GALLON	2'	2'	DT NN	EG
⊗	NANDINA DOMESTICA	HEAVENLY BAMBOO	230	5 GALLON	6'	4'	DT NN	EG
⊗	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	71	6"-0" TALL	12'	4'	DT N	EG
⊗	AZALEA	AZALEA MIX	1,792	1 GALLON	3'	3'	DT N	EG
GROUND COVER								
⊗	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	KINNINICK (SPACE 18" O.C.)	1	GALLON	-	-	DT N	EG

DT NN DROUGHT TOLERANT NON NATIVE
DT N DROUGHT TOLERANT NATIVE
D DECIDUOUS
EG EVERGREEN

Minimum Stocking Calculation

The City of Tumwater Tree and Vegetation Protection Ordinance requires that 20% of the existing trees (or 12 trees per acre, whichever is larger) be saved on site.

The following is a summary of the proposed tree retention:

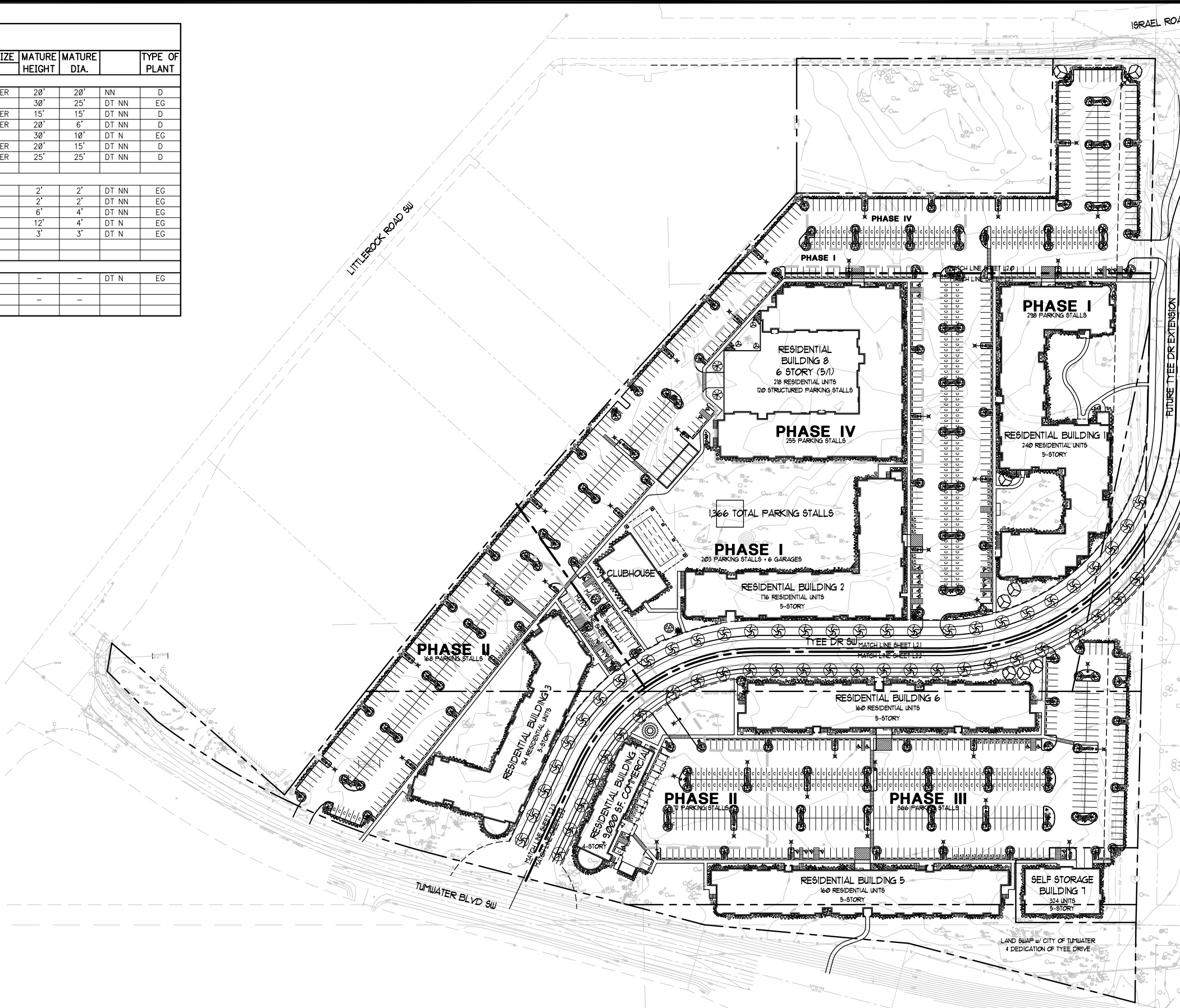
Total Project Acreage:	25.52 acres
Total # of trees on the Project	1,215 trees
Required Retention (12 Trees/acre) *	306 trees
Required Retention (20%): **	243 trees
Site Area	25.52 acres
Rights-of-way Dedication	2.0 acres
Buildable Area	23.52 acres
Required Tree Tract Acreage (5% of buildable area)	1.18 acres
Proposed Tree Tract Areas	4.90 acres
Planned Tree Retention in Tree Tracts:	204 trees
Shortfall of Required Retention (306 - 204)	102 trees

* Used for required tree retention calculation.
** Ordinance requires 20% or 12 trees/acre, whichever is greater - Sample calculation.

A Tree Replacement Plan is necessary since planned retention is short of the minimum stocking requirement by 102 trees. The Tumwater tree ordinance requires that 3 replacement trees be planted for every tree short of the required tree retention. This means that 306 trees will need to be replanted on the site in addition to the required landscaping. The projected cost of this tree planting is \$38,250 at \$125/tree.

LANDSCAPE SPECIFICATIONS

- WEED REMOVAL - CONTRACTOR SHALL MECHANICALLY PULL ANY NOXIOUS WEED SPECIES AND SHALL BAG AND DISPOSE OF IN AN OFF-SITE DUMP, TAKING CARE TO REMOVE AS MUCH AS THE ROOT SYSTEM AS POSSIBLE OF THE WEEDS. CHEMICAL WEED CONTROL IS NOT PERMITTED DUE TO THE CLOSE PROXIMITY OF THE WATERWAY.
- SOIL MIX FOR SOIL PREPARATION SHALL BE A 3-WAY MIX CONSISTING OF COMPOST, CLEAN SAND AND LOAMY TOPSOIL.
- ALL LANDSCAPED AREAS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES BELOW FINISH GRADE IN SHRUB AREAS AND REPLACE WITH SPECIFIED TOPSOIL.
- FINE GRADE ALL LANDSCAPE BEDS PRIOR TO PLANTING OPERATIONS.
- ALL PLANTS SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK GRADE 1 OR BETTER.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF PROJECT ACCEPTANCE BY INSTALLER AND ALL REPLACED PLANTS SHALL BE RE-GUARANTEED.
- IRRIGATION WILL BE PROVIDED BY A DRIP IRRIGATION SYSTEM TO ALL PLANT MATERIALS.

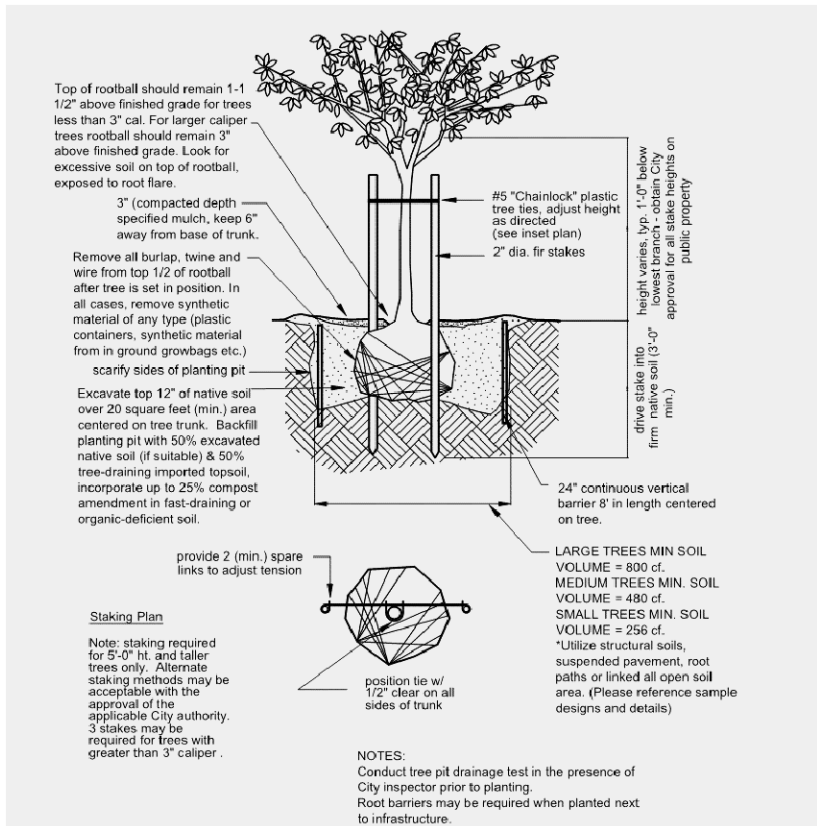


OVERALL LANDSCAPE PLAN
SCALE: 1"=80'

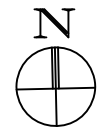
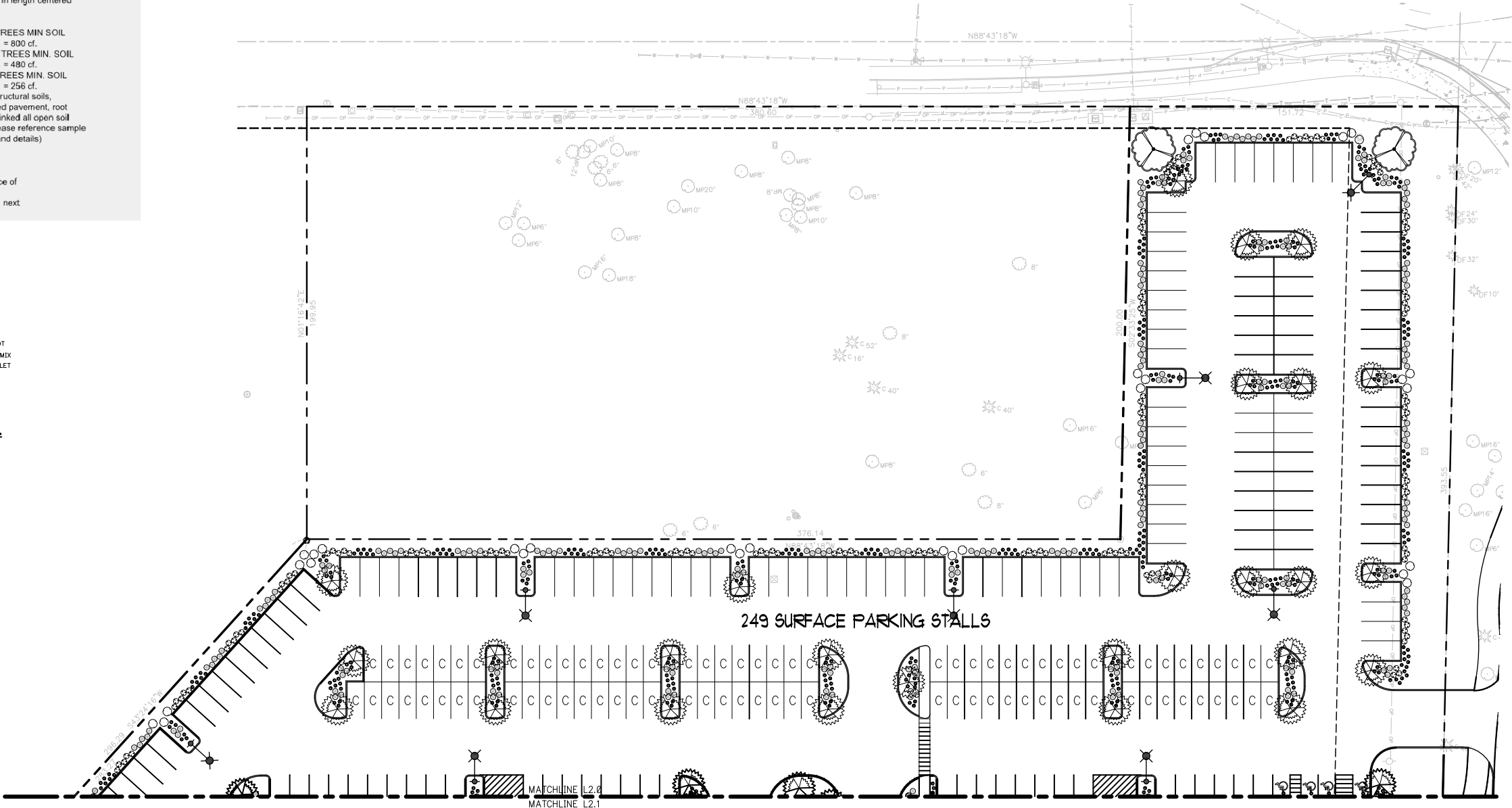
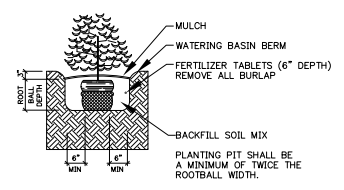
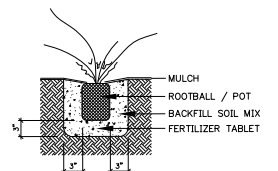
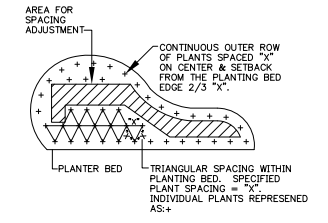


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TREE PLANTING & STAKING DETAIL
N.T.S.



ENLARGED LANDSCAPE PLAN
SCALE: 1"=30'

BARK & GARDEN CENTER

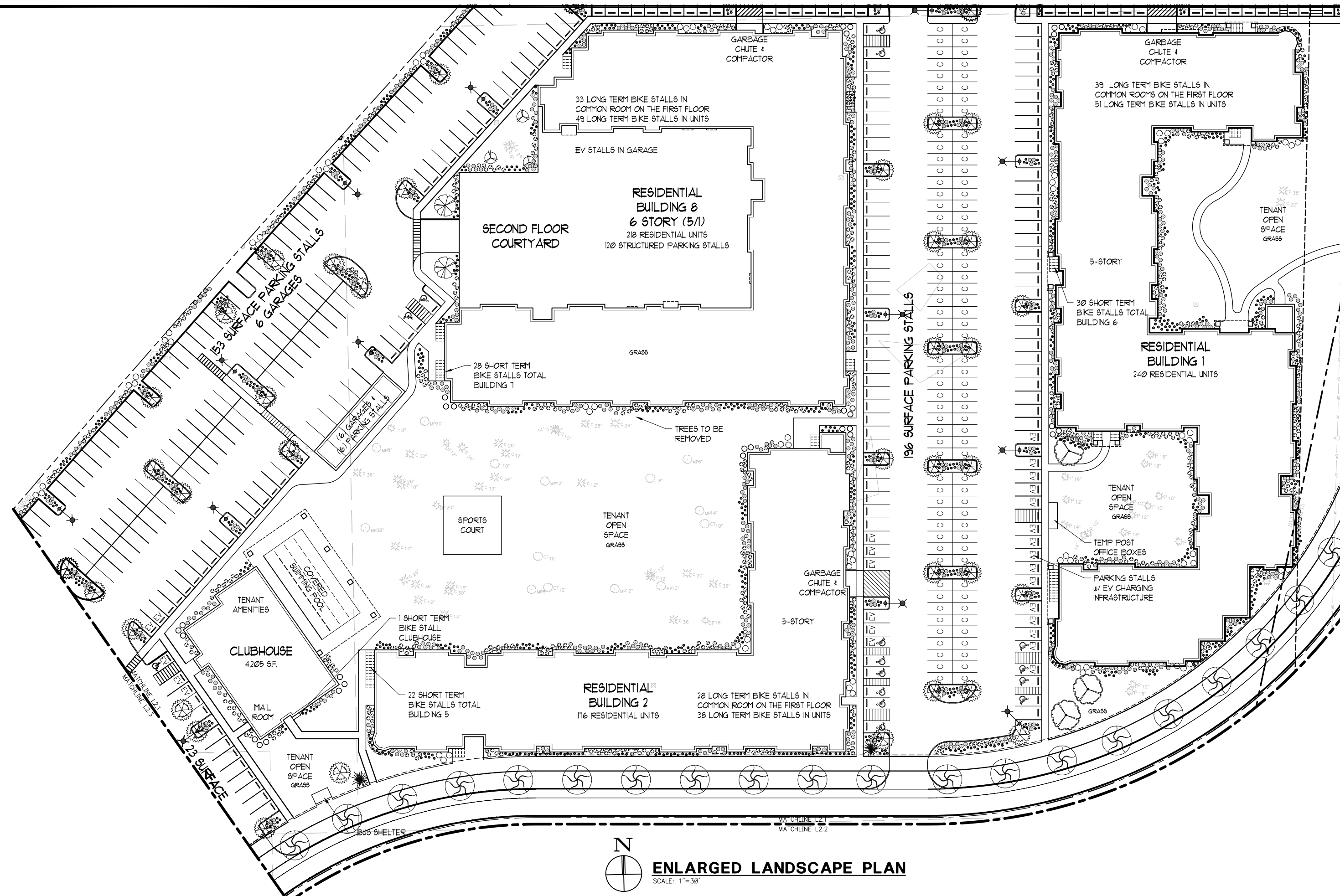


date: 05-25-22
 drawn:

city issue:
 08-17-22 FINAL SITE PLAN REVIEW
 11-15-22 BINDING SITE PLAN REVIEW

title:
ENLARGED LANDSCAPE PLAN

sheet

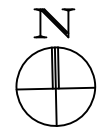
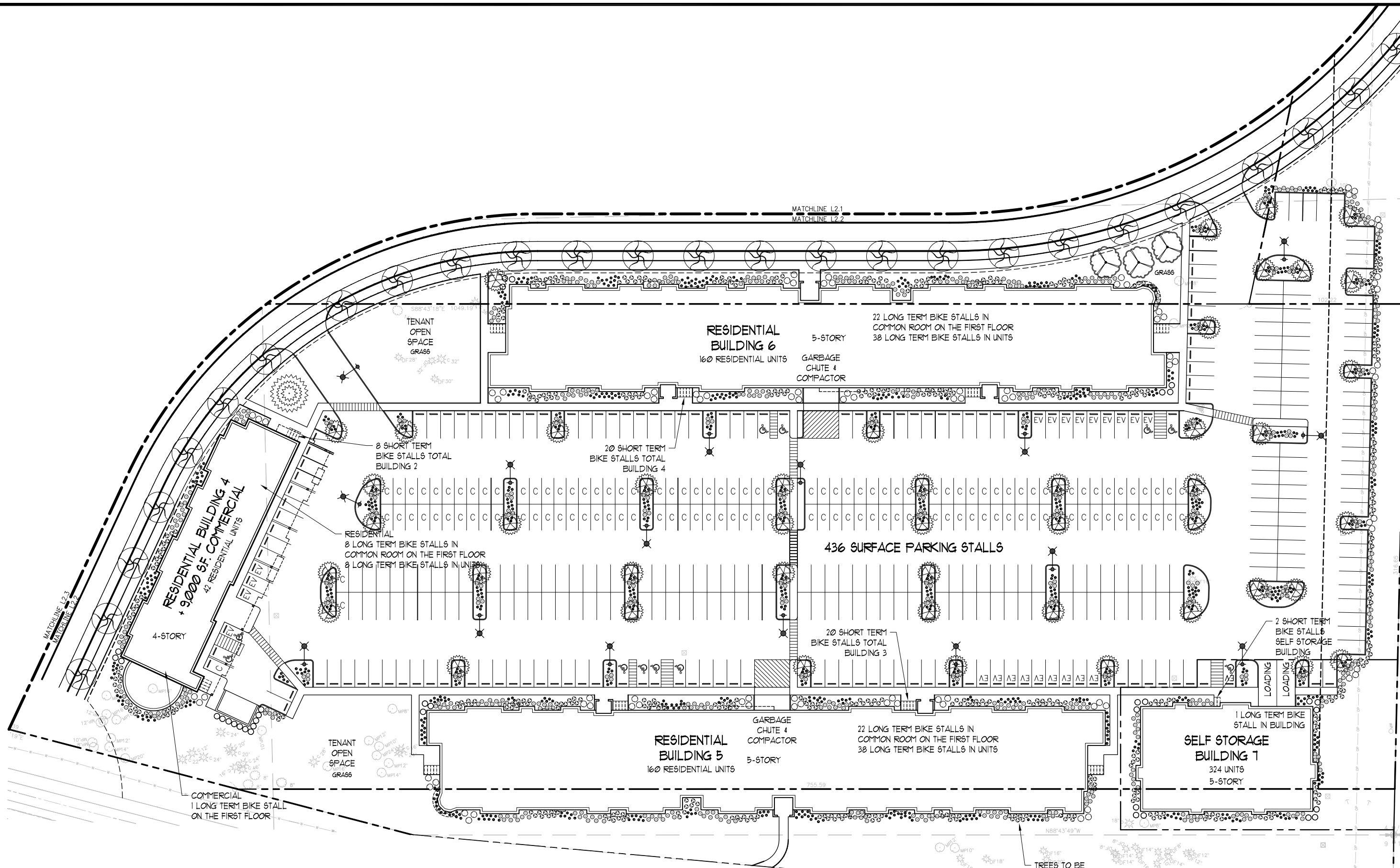


ENLARGED LANDSCAPE PLAN
SCALE: 1"=30'

MATCHLINE L2.1
MATCHLINE L2.2



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ENLARGED LANDSCAPE PLAN
SCALE: 1"=30'

BARK & GARDEN CENTER



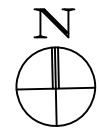
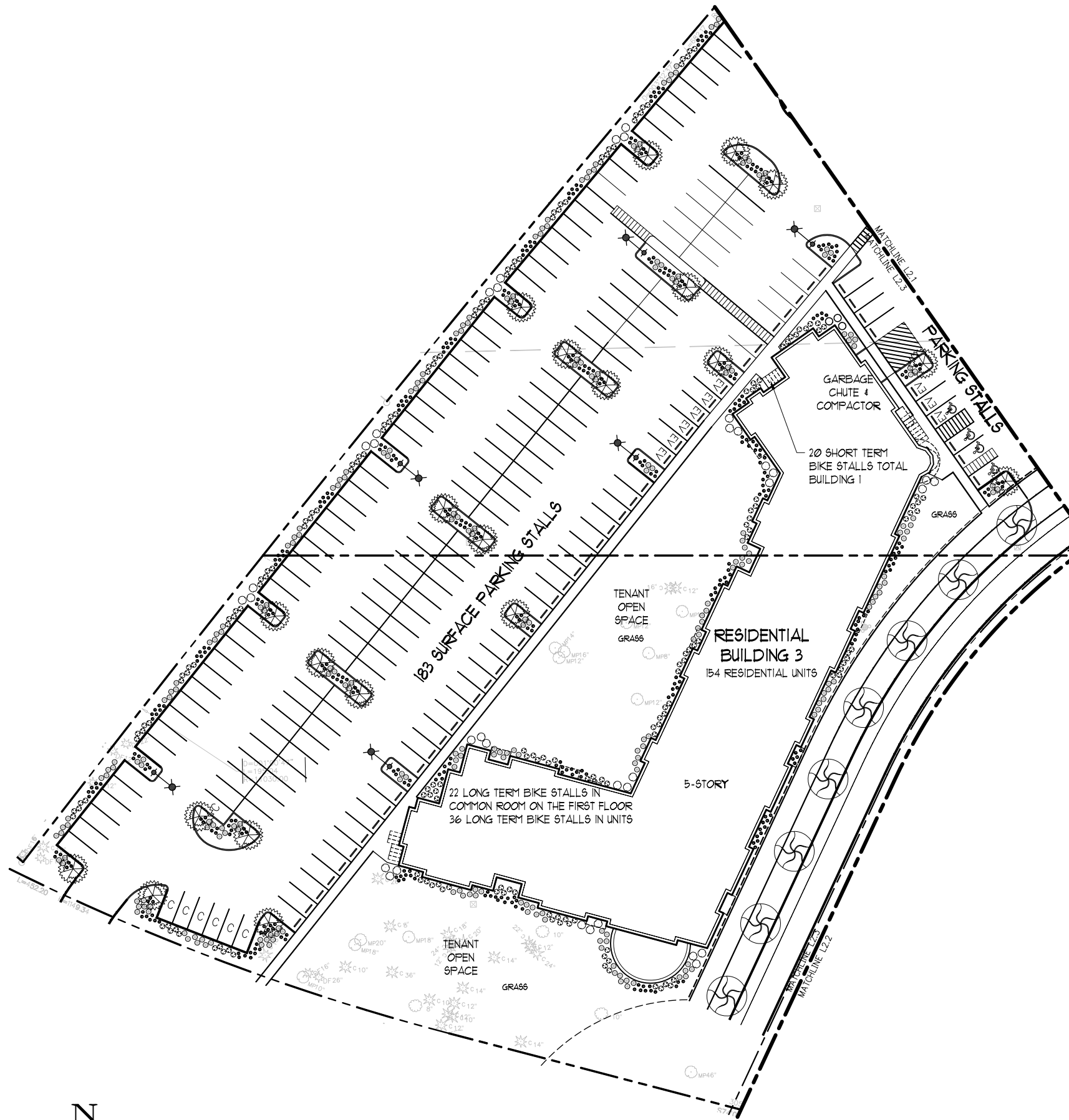
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city issue:
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title: **ENLARGED LANDSCAPE PLAN**

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ENLARGED LANDSCAPE PLAN
SCALE: 1"=30'

BARK & GARDEN CENTER



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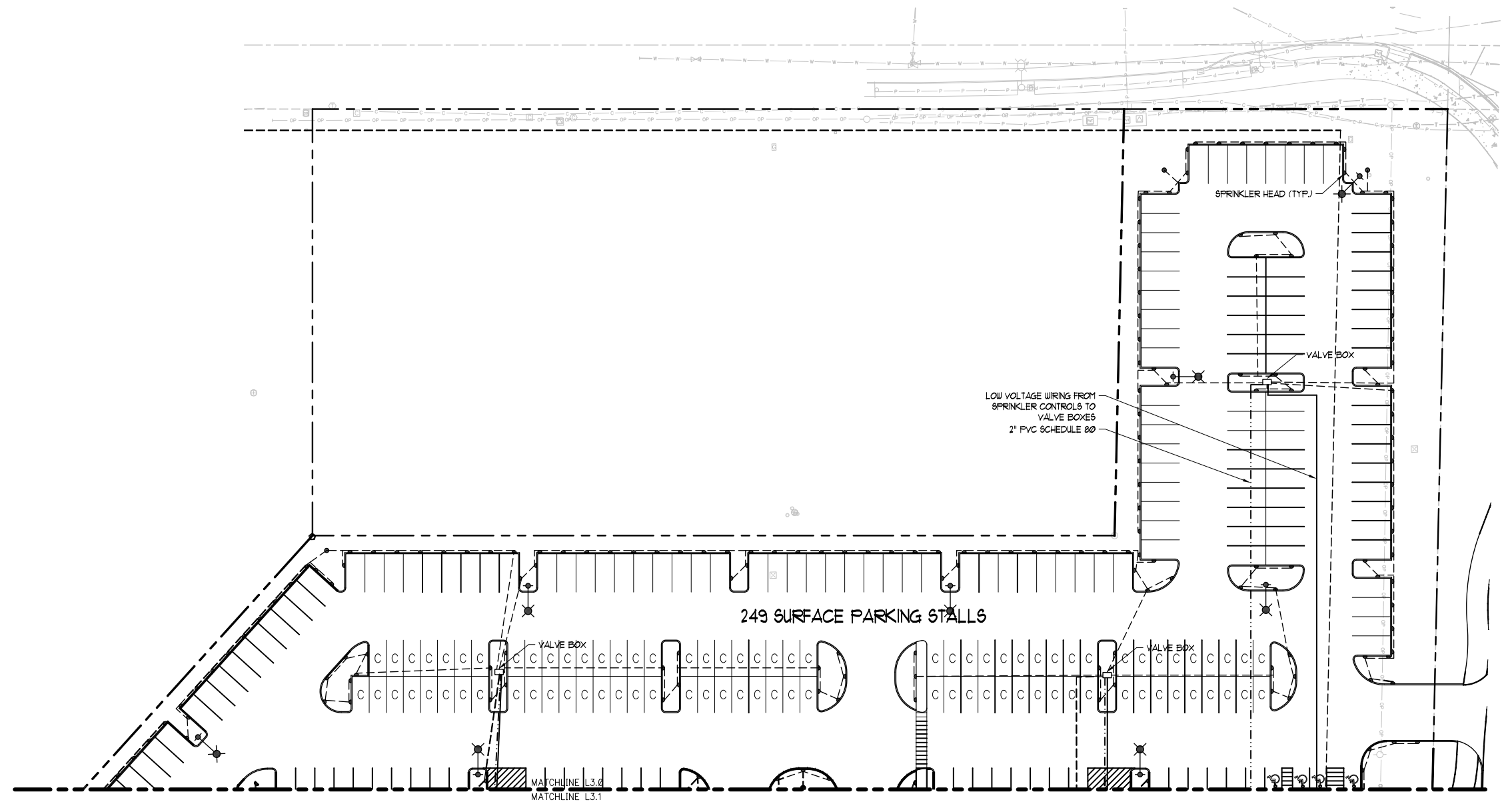
city issue:
08-17-22 FINAL SITE PLAN REVIEW
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title: **ENLARGED LANDSCAPE PLAN**

sheet

LEGEND

- QUARTER CIRCLE SPRINKLER HEAD
- ◐ HALF CIRCLE SPRINKLER HEAD
- ◑ THREE QUARTER CIRCLE SPRINKLER HEAD
- FULL CIRCLE SPRINKLER HEAD
- SPRINKLER PIPE



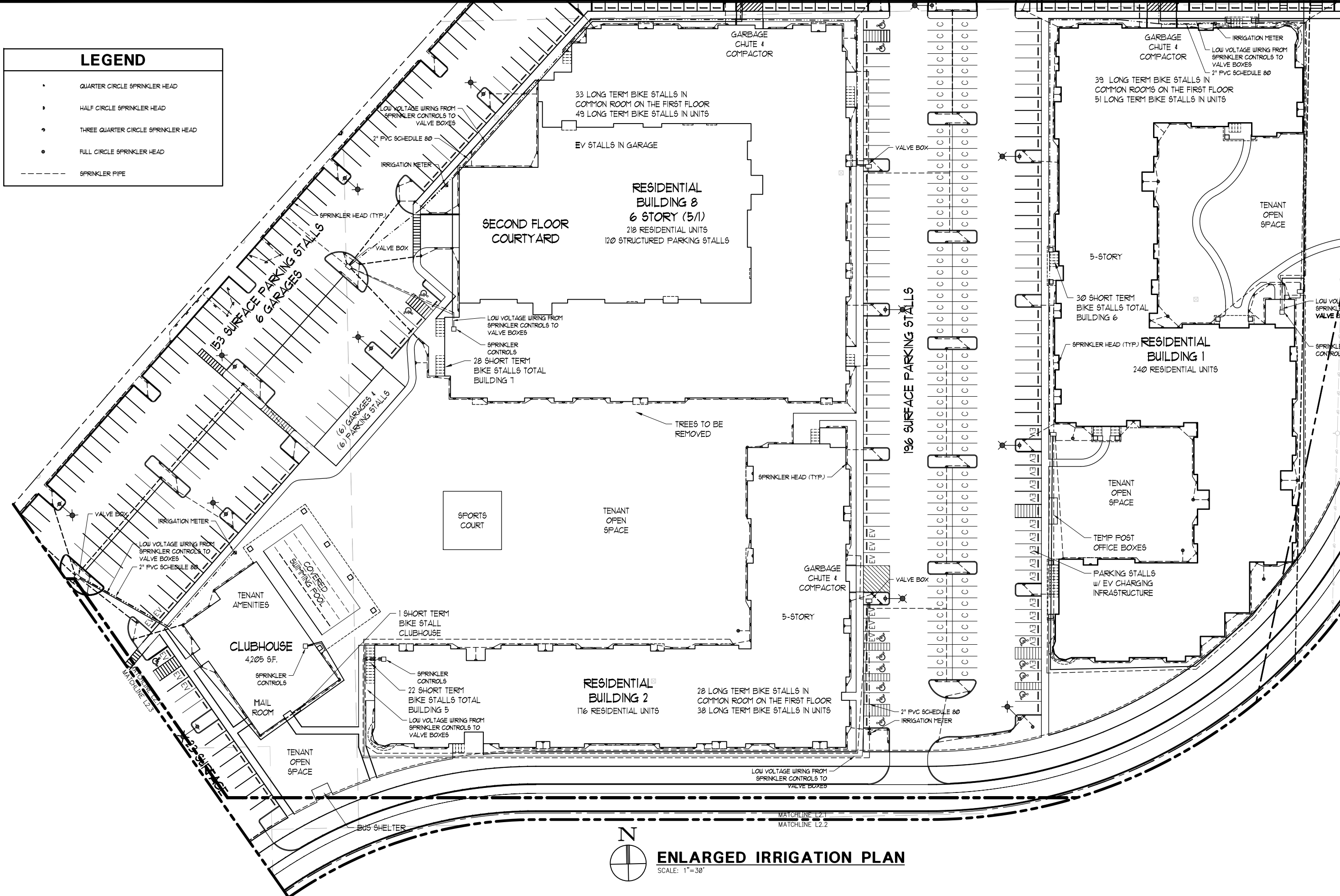
ENLARGED IRRIGATION PLAN

SCALE: 1"=30'



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LEGEND	
•	QUARTER CIRCLE SPRINKLER HEAD
◐	HALF CIRCLE SPRINKLER HEAD
◑	THREE QUARTER CIRCLE SPRINKLER HEAD
●	FULL CIRCLE SPRINKLER HEAD
---	SPRINKLER PIPE



N
ENLARGED IRRIGATION PLAN
 SCALE: 1"=30'





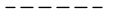
BARK & GARDEN CENTER

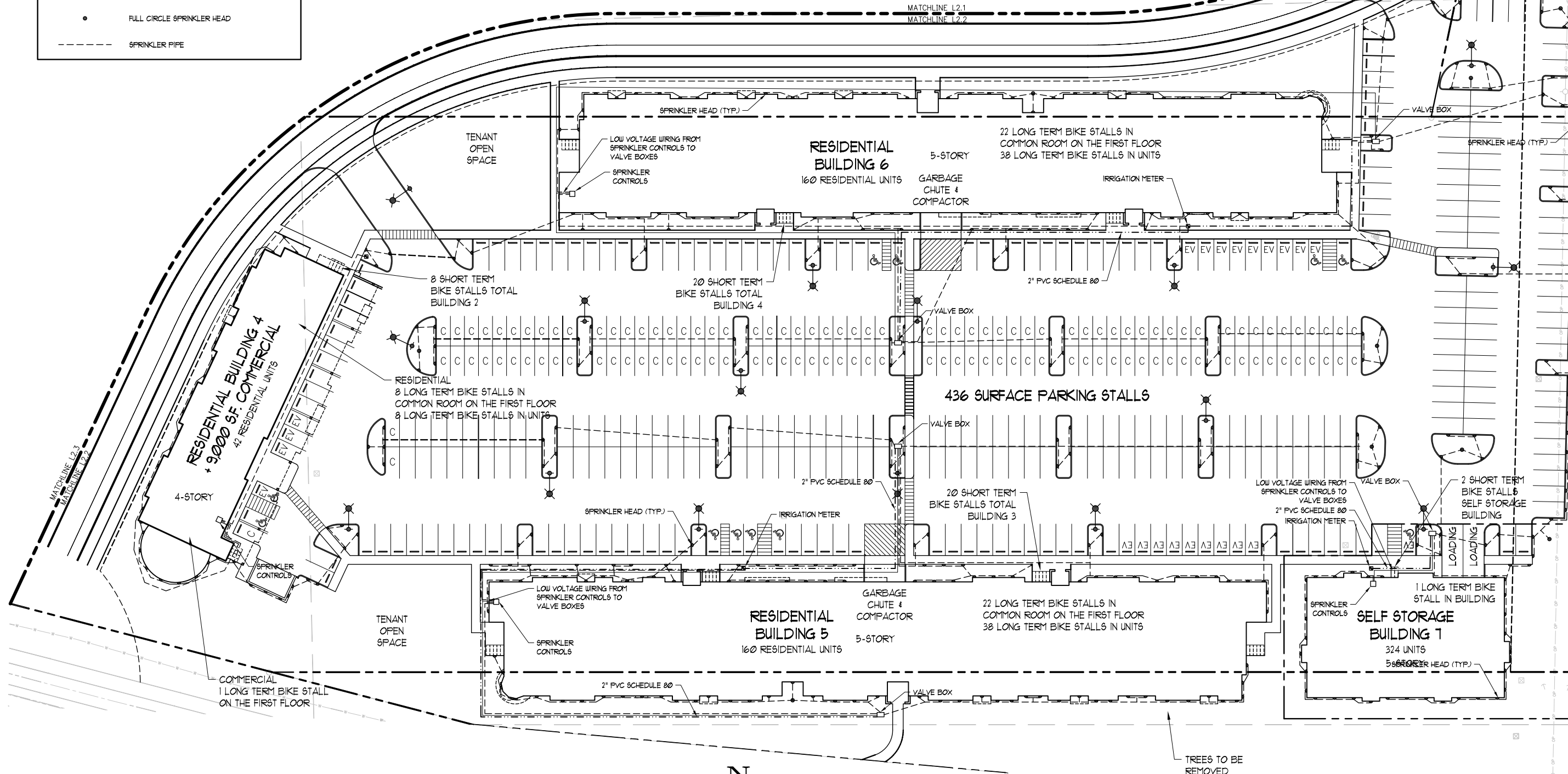


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city issue:
 08-17-22 FINAL SITE PLAN REVIEW
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title: **ENLARGED IRRIGATION PLAN** sheet

LEGEND	
	QUARTER CIRCLE SPRINKLER HEAD
	HALF CIRCLE SPRINKLER HEAD
	THREE QUARTER CIRCLE SPRINKLER HEAD
	FULL CIRCLE SPRINKLER HEAD
	SPRINKLER PIPE



ENLARGED IRRIGATION PLAN
SCALE: 1"=30'

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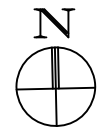
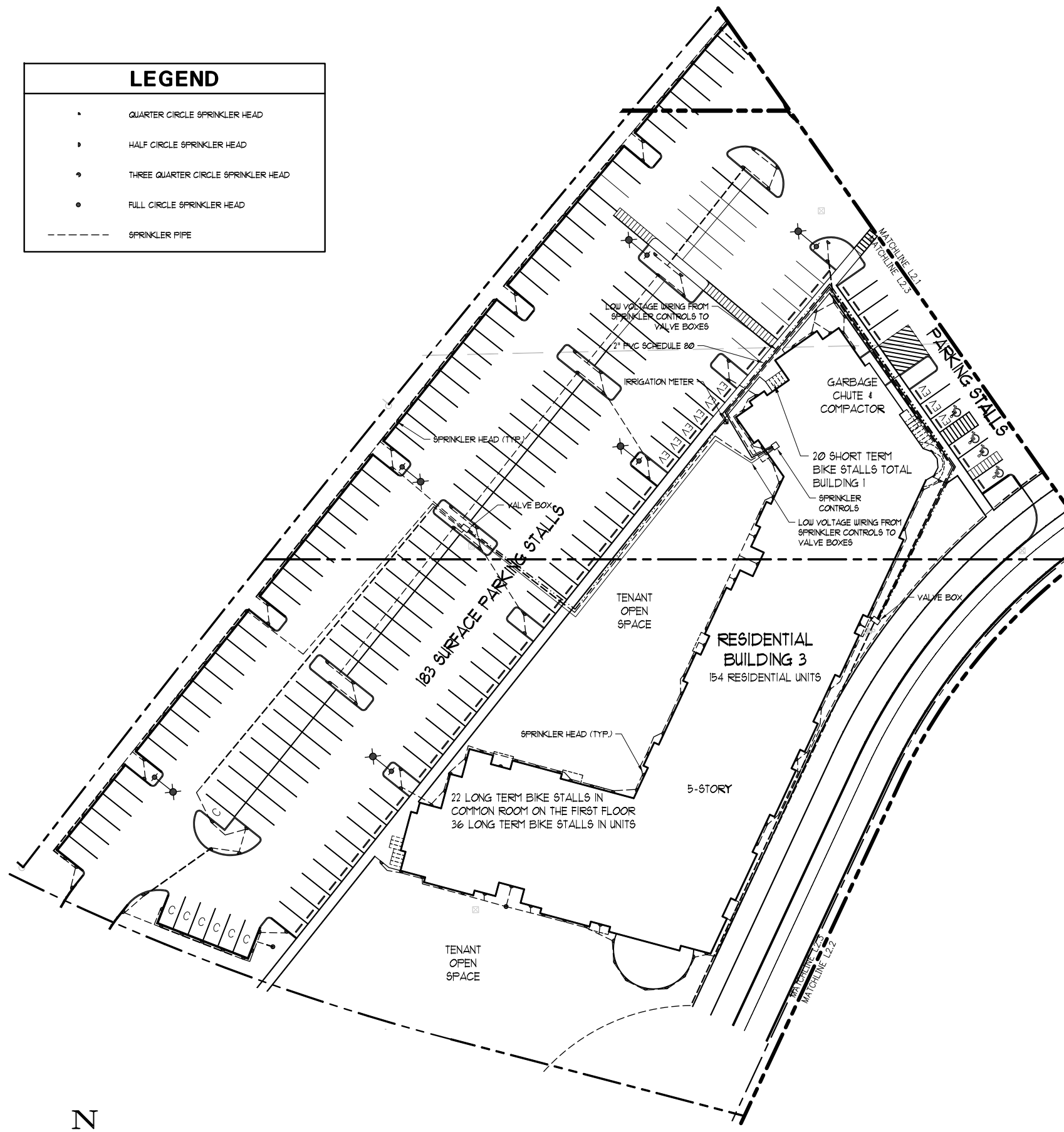
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LEGEND	
•	QUARTER CIRCLE SPRINKLER HEAD
◐	HALF CIRCLE SPRINKLER HEAD
◑	THREE QUARTER CIRCLE SPRINKLER HEAD
●	FULL CIRCLE SPRINKLER HEAD
- - -	SPRINKLER PIPE



ENLARGED IRRIGATION PLAN

SCALE: 1"=30'

BARK & GARDEN CENTER

date: 05-25-22
drawn:

city issue:
08-17-22 FINAL SITE PLAN REVIEW
11-15-22 BINDING SITE PLAN REVIEW

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