

# TYPE III ARCHITECTURAL REVIEW DRAWINGS

FOR

## ALDEN APARTMENTS

PREPARED FOR  
COLRICH



PUBLISH DATE

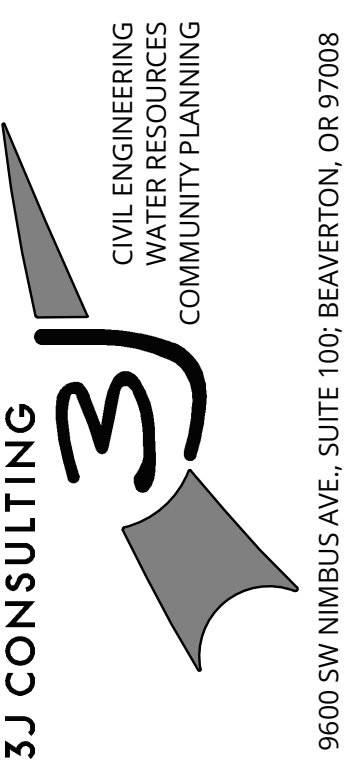
09/01/2022

ISSUED FOR

LAND USE

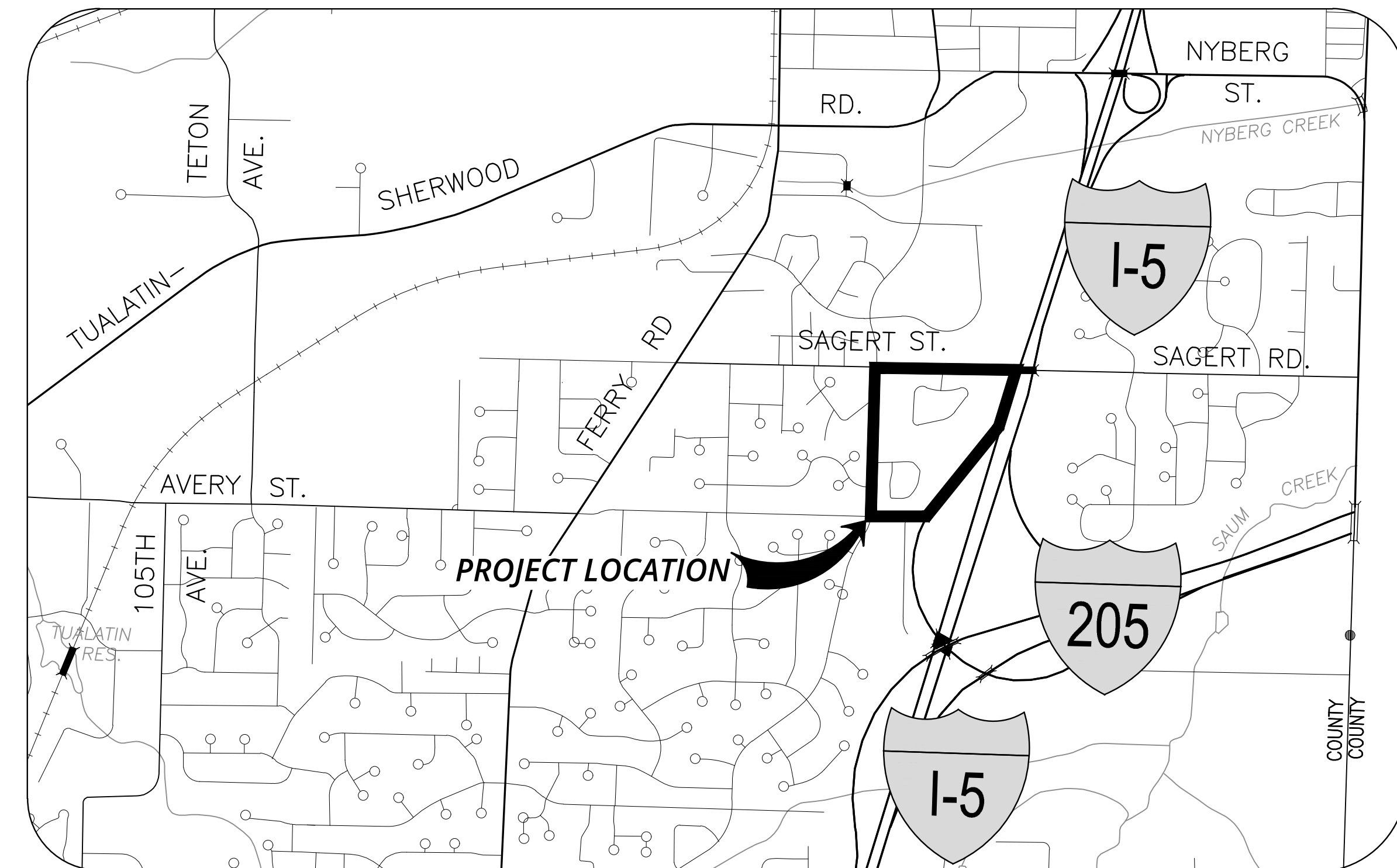
REVISIONS

**COVER SHEET**  
**ALDEN APARTMENTS**  
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
 TUALATIN, OR 97062

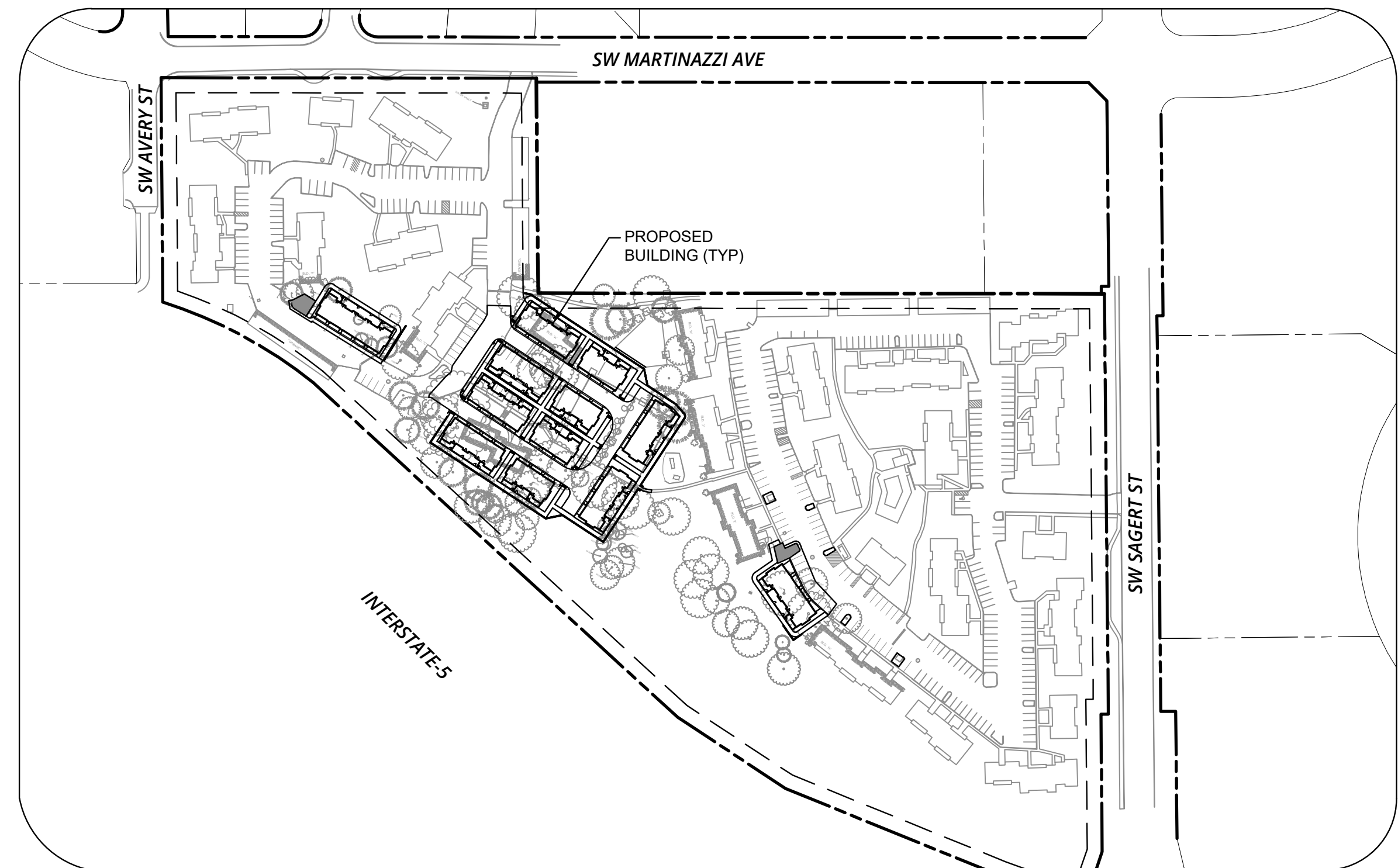


PROJECT INFORMATION  
 3J PROJECT # | 22791  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | KMK  
 CHECKED BY | BMO

SHEET NUMBER  
**C000**



**VICINITY MAP**  
NOT TO SCALE



**SITE MAP**  
NOT TO SCALE

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
C000	COVER SHEET
C100	OVERALL EXISTING CONDITIONS PLAN
C101	EXTG CONDITIONS PLAN
C110	TREE INVENTORY AND PROTECTION PLAN
C200	DEMOLITION PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN
C310	EROSION AND SEDIMENT CONTROL DETAILS
C400	UTILITY PLAN
C500	GRADING PLAN
C600	OVERALL SITE PLAN
C601	SITE PLAN
C700	FIRE ACCESS PLAN

### SITE INFORMATION

#### SITE ADDRESS

7800 SW SAGERT STREET &  
20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

#### JURISDICTION

CITY OF TUALATIN

#### FLOOD HAZARD

MAP NUMBERS: 41067C0607E  
ZONE X (UNSHADED)

#### LOCATION

N.W. 1/4 OF SECTION 25,  
T.2S., R.1W., W.M., WASHINGTON  
COUNTY, OR

#### HORIZONTAL DATUM (BASIS OF BEARINGS)

OREGON COORDINATE REFERENCE SYSTEM O.C.R.S. (PORTLAND ZONE),  
INTERNATIONAL FEET.

#### VERTICAL DATUM

NAVD 88.

### PROJECT TEAM

#### OWNER

COLRICH  
444 WEST BEECH ST, SUITE 300  
SAN DIEGO, CA 92101  
CONTACT: MATHEW MOISEVE  
PHONE: 858-490-2300  
EMAIL: matm@colrich.com

#### LAND SURVEYOR

CESINW  
13190 SW 68TH PARKWAY, SUITE 150  
TIGARD, OR 97223  
CONTACT: PAUL KOHN, PLS  
PHONE: (503) 968-6655  
EMAIL: pkohn@cesinw.com

#### CIVIL ENGINEER

3J CONSULTING, INC.  
9600 SW NIMBUS AVE, SUITE 100  
BEAVERTON, OR 97008  
CONTACT: BRIAN O'ROURKE, P.E.  
PHONE: (503) 946-9365  
EMAIL: brian.orourke@3j-consulting.com

#### ARCHITECT

DAHLIN GROUP  
10900 NE 8TH ST, SUITE 1120  
BELLEVUE, WA 98004  
CONTACT: CAMILA GARRIDO, AIA  
PHONE: (858) 602-2376  
EMAIL: camila.garrido@dahlingroup.com

### UTILITIES & SERVICES

#### STORM WATER

CITY OF TUALATIN  
18880 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062  
PHONE: (503) 692-2000

#### WATER

CITY OF TUALATIN  
18880 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062  
PHONE: (503) 692-2000

#### GAS

NORTHWEST NATURAL  
NW AMBERWOOD DRIVE  
HILLSBORO, OR 97124  
PHONE: (800) 422-4102

#### GARBAGE

REPUBLIC SERVICES  
PHONE: (503)-981-1278

#### SANITARY SEWER

CITY OF TUALATIN  
18880 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062  
PHONE: (503) 692-2000

#### POWER

PORTLAND GENERAL ELECTRIC  
PHONE: (800) 743-5000

#### FIRE

TUALATIN VALLEY FIRE & RESCUE  
STATION NUMBER 34  
19365 SW 90TH COURT  
TUALATIN, OR 97062  
PHONE: (503) 649-8577

P:\22791-ALDEN APARTMENTS\CAD\SHETS\DDC\100 - OVERALL EXTG CONDITIONS PLAN.DWG



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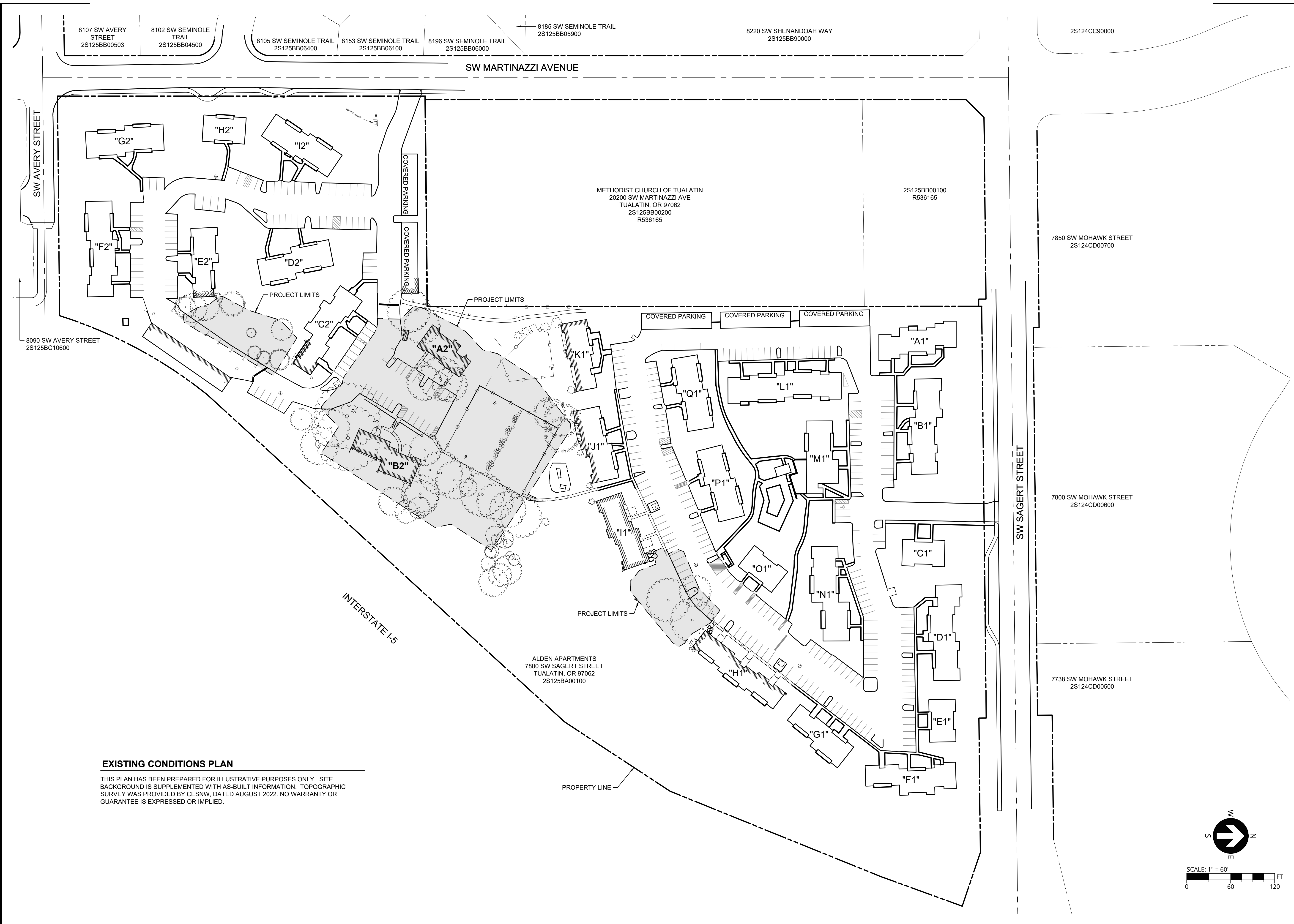
OVERALL EXISTING CONDITIONS PLAN  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

**3J CONSULTING**  
CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING  
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

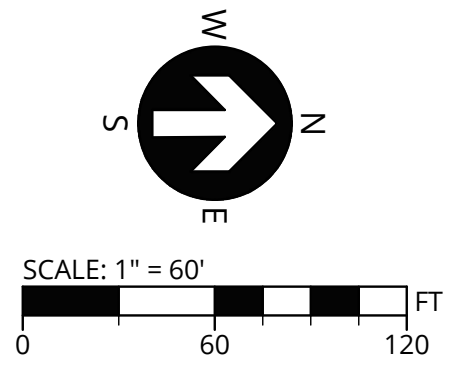
PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C100**



**EXISTING CONDITIONS PLAN**

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND IS SUPPLEMENTED WITH AS-BUILT INFORMATION. TOPOGRAPHIC SURVEY WAS PROVIDED BY CESNW, DATED AUGUST 2022. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

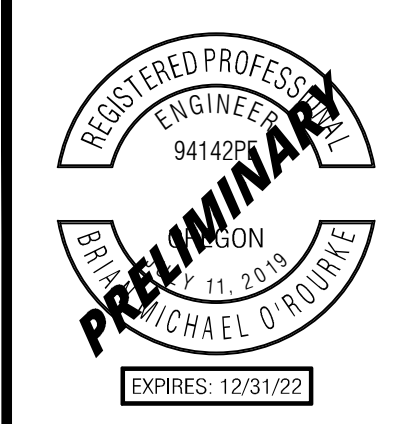


**EXISTING CONDITIONS PLAN**

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF PUBLIC GIS DATA SOURCES, AERIAL PHOTOS, TAX ASSESSOR MAPS AND PHYSICAL SITE OBSERVATIONS. TOPOGRAPHIC SURVEY WAS PROVIDED BY CESNW, DATED AUGUST 2022. PROPOSED SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

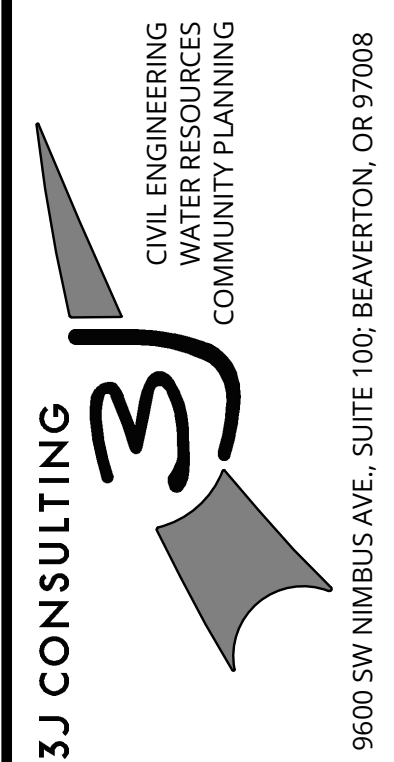
**EXISTING LEGEND**

	PROPERTY LINE		STORM MANHOLE
	RIGHT-OF-WAY LINE		CATCH BASIN
	STORM LINE		CLEANOUT/ROOF DRAIN
	SEWER LINE		SANITARY MANHOLE
	WATER LINE		WATER METER
	GAS LINE		IRRIGATION VALVE
	UNDERGROUND POWER LINE		ELECTRIC TRANSFORMER
	OVERHEAD POWER LINE		ELECTRIC METER
	COMMUNICATIONS LINE		ELECTRIC JUNCTION BOX
	FENCE		LIGHT POLE
	MAJOR CONTOUR		UTILITY POLE ANCHOR
	MINOR CONTOUR		COMM JUNCTION BOX
	CURB		COMM RISER
	EDGE OF BUILDING		CONIFEROUS TREE
	BUILDING EAVE		DECIDUOUS TREE
	WALL		
	ASPHALT		
	CONCRETE		



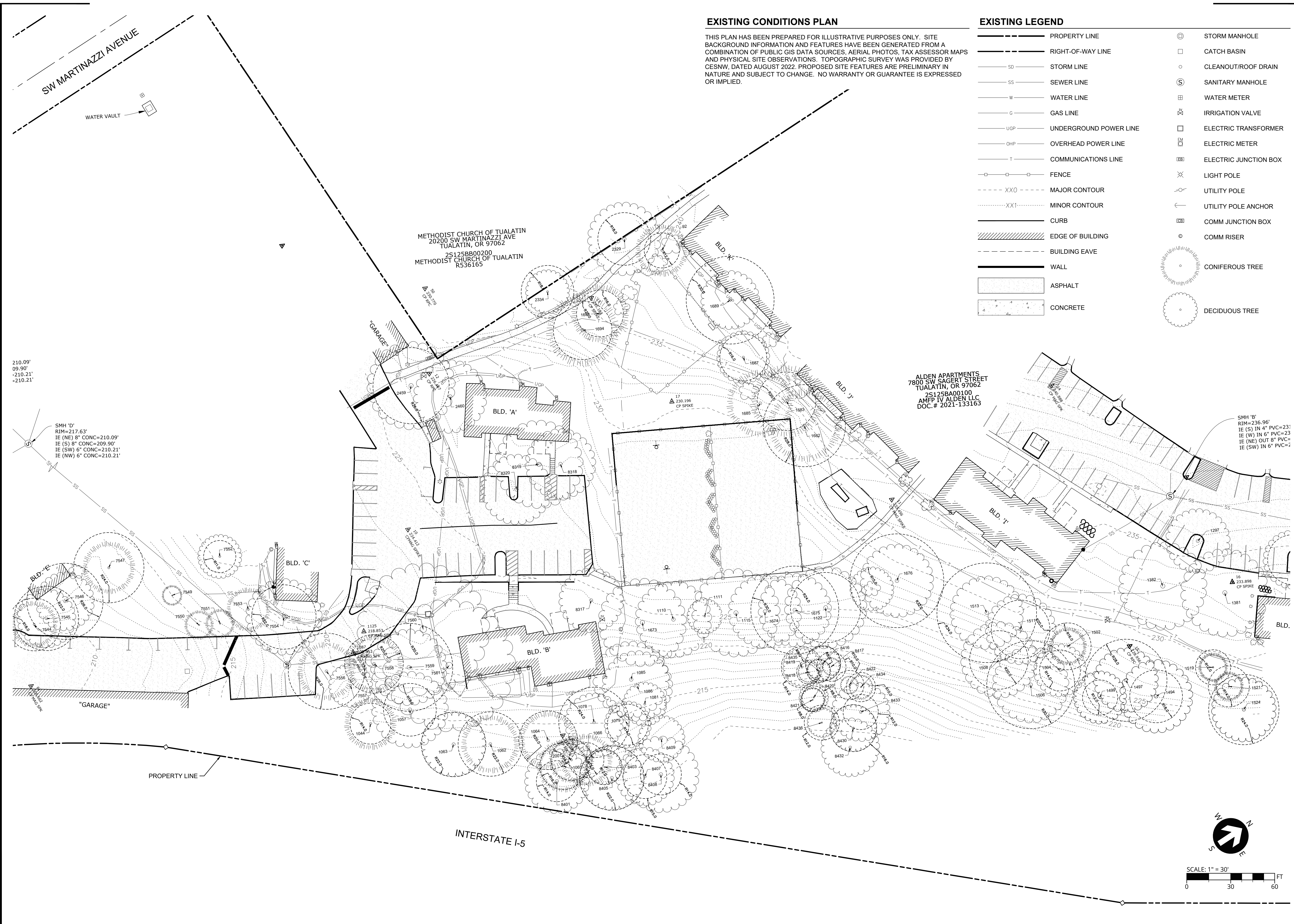
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**EXTG CONDITIONS PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



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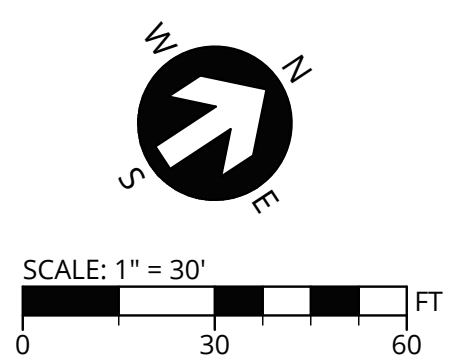
SHEET NUMBER  
**C101**



210.09'  
09.90'  
-210.21'  
-210.21'

SMH 'D'  
RIM=217.63'  
IE (NE) 8" CONC=210.09'  
IE (S) 8" CONC=209.90'  
IE (SW) 6" CONC=210.21'  
IE (NW) 6" CONC=210.21'

SMH 'B'  
RIM=236.96'  
IE (S) IN 4" PVC=231  
IE (W) IN 6" PVC=23  
IE (NE) OUT 8" PVC=  
IE (SW) IN 6" PVC=2





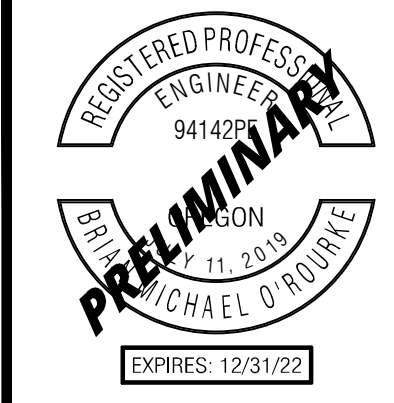
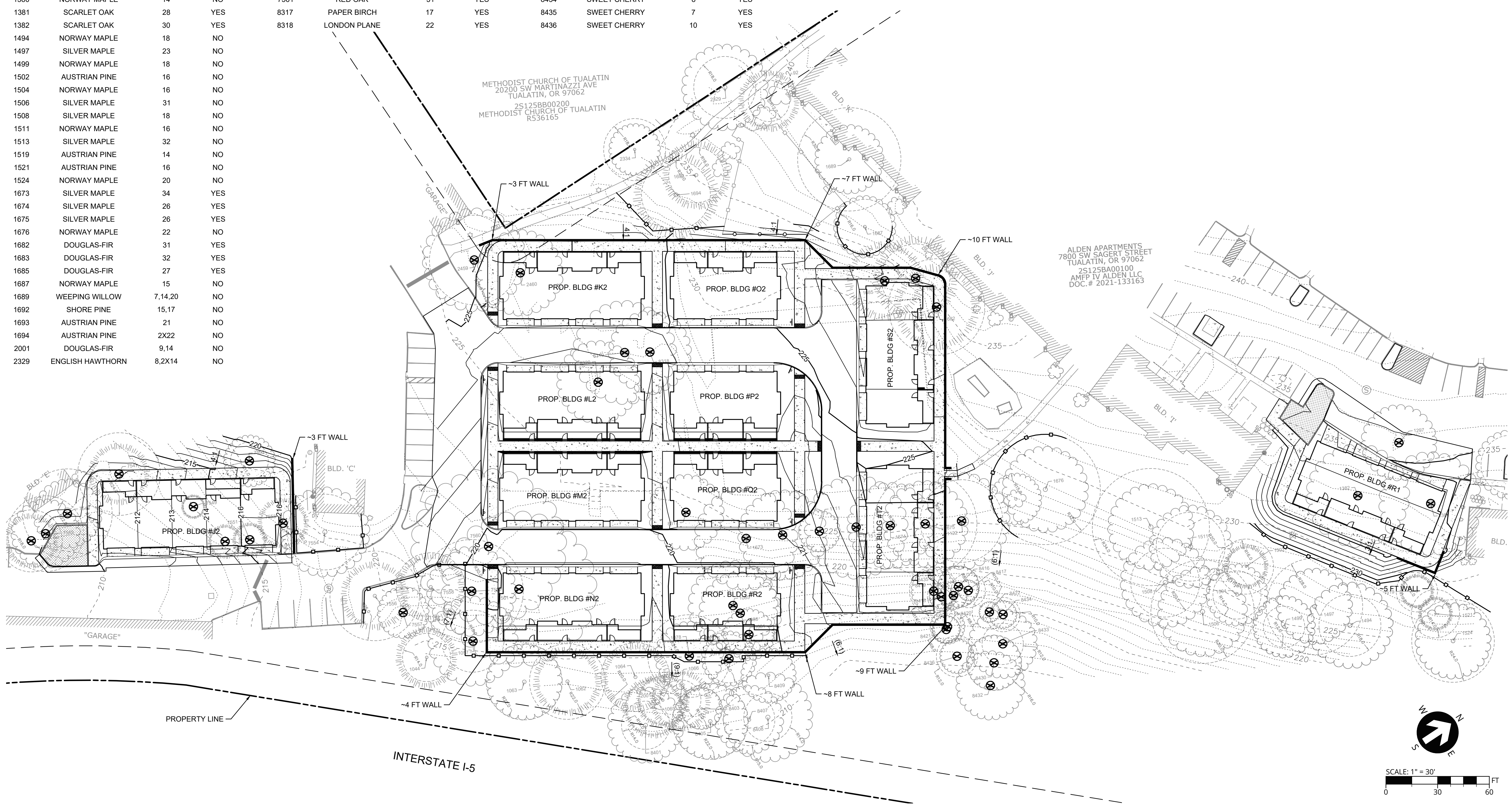
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**TREE INVENTORY**

TREE #	TREE SPECIES	DBH (IN)	REMOVED?	2334	SERVICEBERRY	7.8,12	NO	8319	LONDON PLANE	29	YES
1044	AUSTRIAN PINE	18	NO	2459	LONDON PLANE	32	YES	8320	NORWAY MAPLE	22	YES
1057	RED OAK	28	YES	2460	PAPER BIRCH	22	YES	8401	RED OAK	2X22	NO
1062	DOUGLAS-FIR	26	NO	7544	SHORE PINE	13	YES	8403	SWEET CHERRY	8	NO
1063	RED OAK	20	NO	7545	NORWAY MAPLE	17	YES	8405	RED OAK	25	NO
1064	DOUGLAS-FIR	21	NO	7546	NORWAY MAPLE	18	YES	8407	RED OAK	25	NO
1065	DOUGLAS-FIR	22	NO	7547	DOUGLAS-FIR	31	YES	8408	RED OAK	24	NO
1066	DOUGLAS-FIR	24	NO	7549	DOUGLAS-FIR	10	YES	8411	NORWAY MAPLE	32	NO
1078	NORWAY MAPLE	19	YES	7550	SHORE PINE	15	YES	8416	ENGLISH HAWTHORN	7.8	YES
1079	NORWAY MAPLE	10	YES	7551	SHORE PINE	15	YES	8417	SWEET CHERRY	7	YES
1081	NORWAY MAPLE	15	YES	7552	NORWAY MAPLE	13	YES	8418	SWEET CHERRY	10	YES
1085	SCARLET OAK	32	YES	7553	DOUGLAS-FIR	22	YES	8419	SWEET CHERRY	10	YES
1086	SCARLET OAK	29	YES	7554	NORWAY MAPLE	26	NO	8420	SWEET CHERRY	12	YES
1110	SILVER MAPLE	40	YES	7556	AUSTRIAN PINE	24	NO	8421	SWEET CHERRY	10	YES
1111	SILVER MAPLE	14	YES	7557	SWEET CHERRY	22	YES	8422	SWEET CHERRY	7.8	YES
1115	SILVER MAPLE	28	YES	7558	AUSTRIAN PINE	20	NO	8430	SWEET CHERRY	16	YES
1122	SILVER MAPLE	29	YES	7559	RED OAK	25	YES	8432	SWEET CHERRY	22	YES
1297	NORWAY MAPLE	19	YES	7560	RED OAK	39	YES	8433	SWEET CHERRY	14	YES
1380	NORWAY MAPLE	14	NO	7561	RED OAK	31	YES	8434	SWEET CHERRY	8	YES
1381	SCARLET OAK	28	YES	8317	PAPER BIRCH	17	YES	8435	SWEET CHERRY	7	YES
1382	SCARLET OAK	30	YES	8318	LONDON PLANE	22	YES	8436	SWEET CHERRY	10	YES
1494	NORWAY MAPLE	18	NO								
1497	SILVER MAPLE	23	NO								
1499	NORWAY MAPLE	18	NO								
1502	AUSTRIAN PINE	16	NO								
1504	NORWAY MAPLE	16	NO								
1506	SILVER MAPLE	31	NO								
1508	SILVER MAPLE	18	NO								
1511	NORWAY MAPLE	16	NO								
1513	SILVER MAPLE	32	NO								
1519	AUSTRIAN PINE	14	NO								
1521	AUSTRIAN PINE	16	NO								
1524	NORWAY MAPLE	20	NO								
1673	SILVER MAPLE	34	YES								
1674	SILVER MAPLE	26	YES								
1675	SILVER MAPLE	26	YES								
1676	NORWAY MAPLE	22	NO								
1682	DOUGLAS-FIR	31	YES								
1683	DOUGLAS-FIR	32	YES								
1685	DOUGLAS-FIR	27	YES								
1687	NORWAY MAPLE	15	NO								
1689	WEeping WILLOW	7,14,20	NO								
1692	SHORE PINE	15,17	NO								
1693	AUSTRIAN PINE	21	NO								
1694	AUSTRIAN PINE	2X22	NO								
2001	DOUGLAS-FIR	9,14	NO								
2329	ENGLISH HAWTHORN	8,2X14	NO								

**LEGEND**

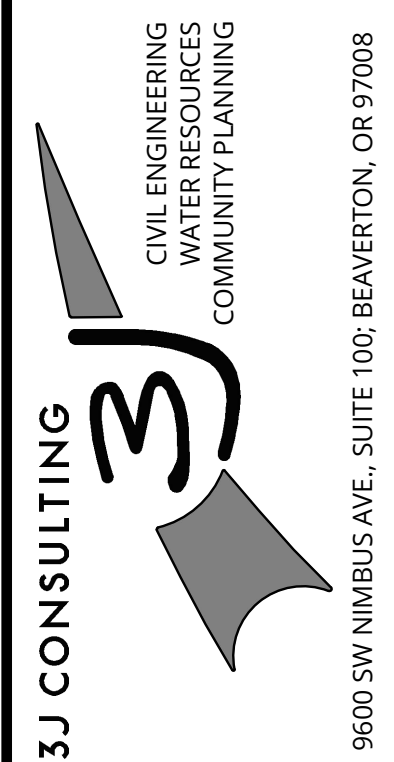
- PROPERTY LINE
- - - RIGHT-OF-WAY LINE
- 110 — PROPOSED MAJOR CONTOUR
- 108 — PROPOSED MINOR CONTOUR
- - - XX0 - - - EXISTING MAJOR CONTOUR
- - - XX1 - - - EXISTING MINOR CONTOUR
- o — o — o TREE PROTECTION FENCING
- ⊗ PROPOSED TREE REMOVAL
-  CONIFEROUS TREE
-  DECIDUOUS TREE



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**TREE INVENTORY AND PROTECTION PLAN**  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C110**

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**LEGEND**

- PROPERTY LINE
- PROPOSED SILT FENCING
- PROPOSED TREE PROTECTION FENCING
- PROPOSED HIGH VISIBILITY FENCING
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED PLASTIC SHEETING
- PROPOSED INLET PROTECTION
- PROPOSED SURFACE RUN-OFF FLOW ARROW
- EXISTING SURFACE RUN-OFF FLOW ARROW

**KEY NOTES**

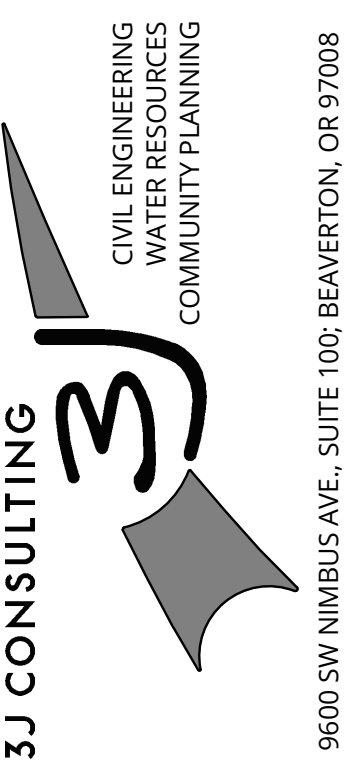
- 1 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION AS NEEDED.
- 2 INSTALL SEDIMENT FENCING PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION.
- 3 INSTALL INLET PROTECTION PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION.
- 4 INSTALL HIGH VISIBILITY ORANGE CONSTRUCTION FENCING. MAINTAIN THROUGHOUT CONSTRUCTION.
- 5 INSTALL TREE PROTECTION FENCING PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION. SEE EROSION CONTROL NOTE 3.
- 6 STOCKPILE AREA. PROTECT WITH PLASTIC SHEETING PER DETAIL ON SHEET C310.



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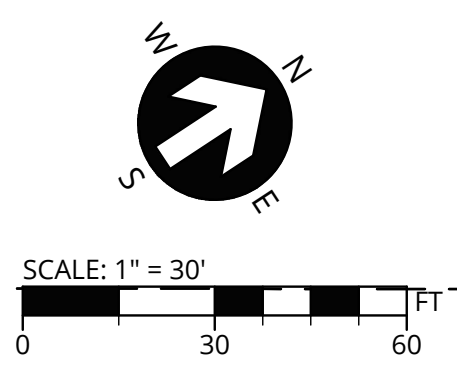
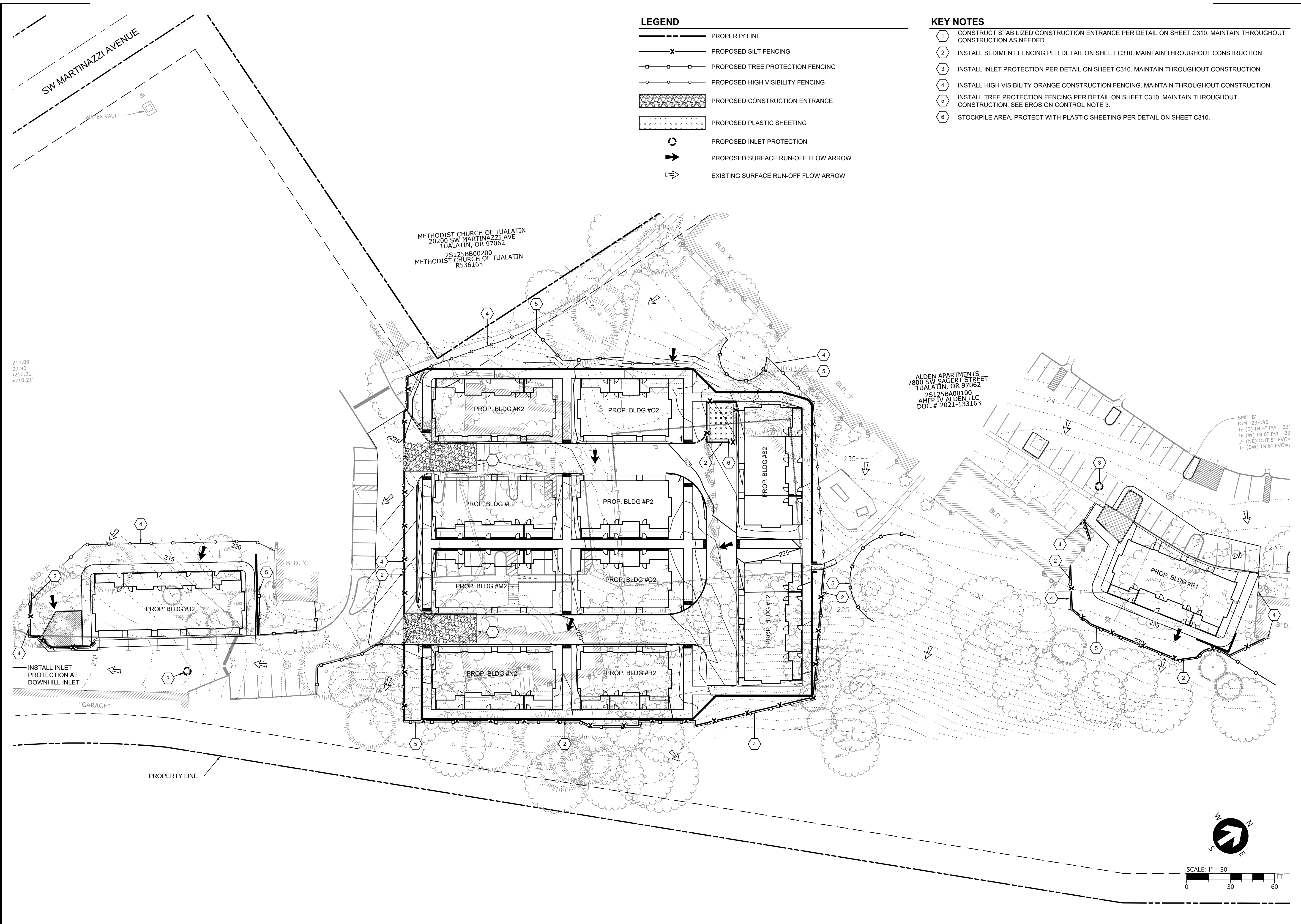
**EROSION AND SEDIMENT CONTROL PLAN**  
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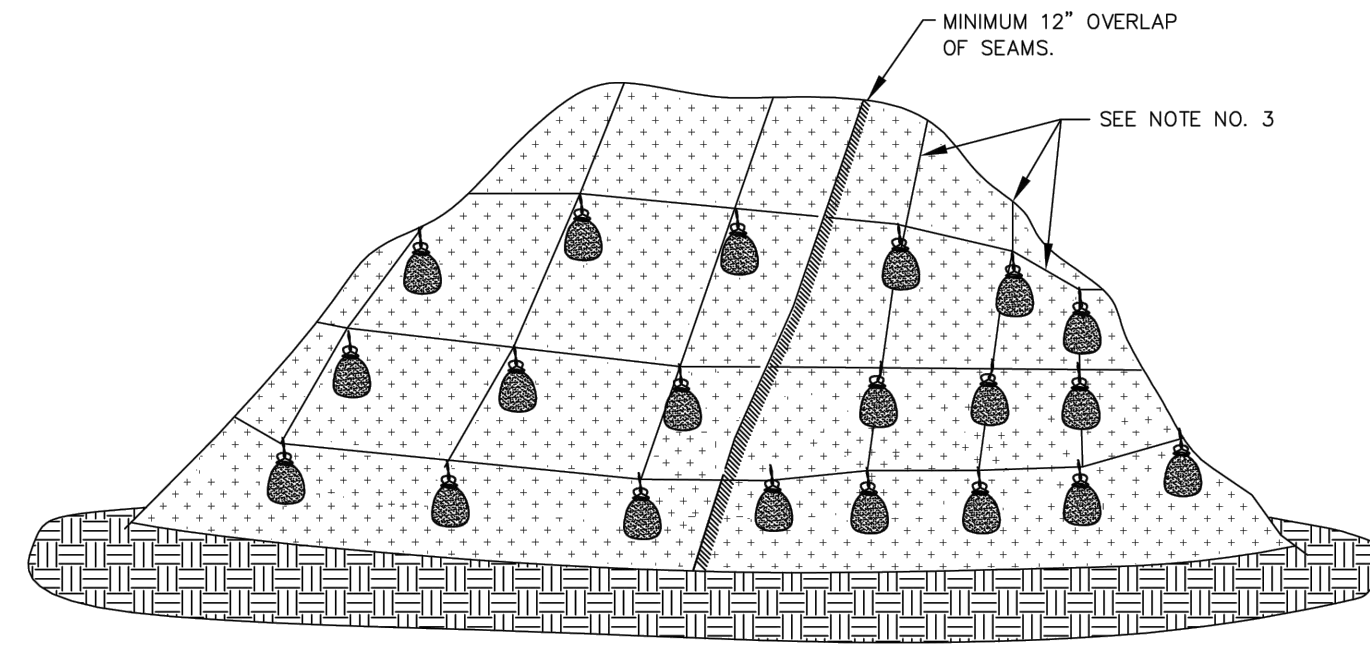
SHEET NUMBER  
**C300**



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FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



PLASTIC SHEETING

NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. PERIMETER SEDIMENT CONTROL BMP TO BE INSTALLED A MINIMUM OF 3' FROM TOE OF STOCKPILE
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR APPROVED EQUAL ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
4. PLASTIC TO EXTEND MINIMUM 1' BEYOND TOE OF SLOPE.
5. AS APPROPRIATE, BMP'S SHALL BE INSTALLED TO CONVEY WATER DISCHARGE FROM STOCKPILE AREAS.

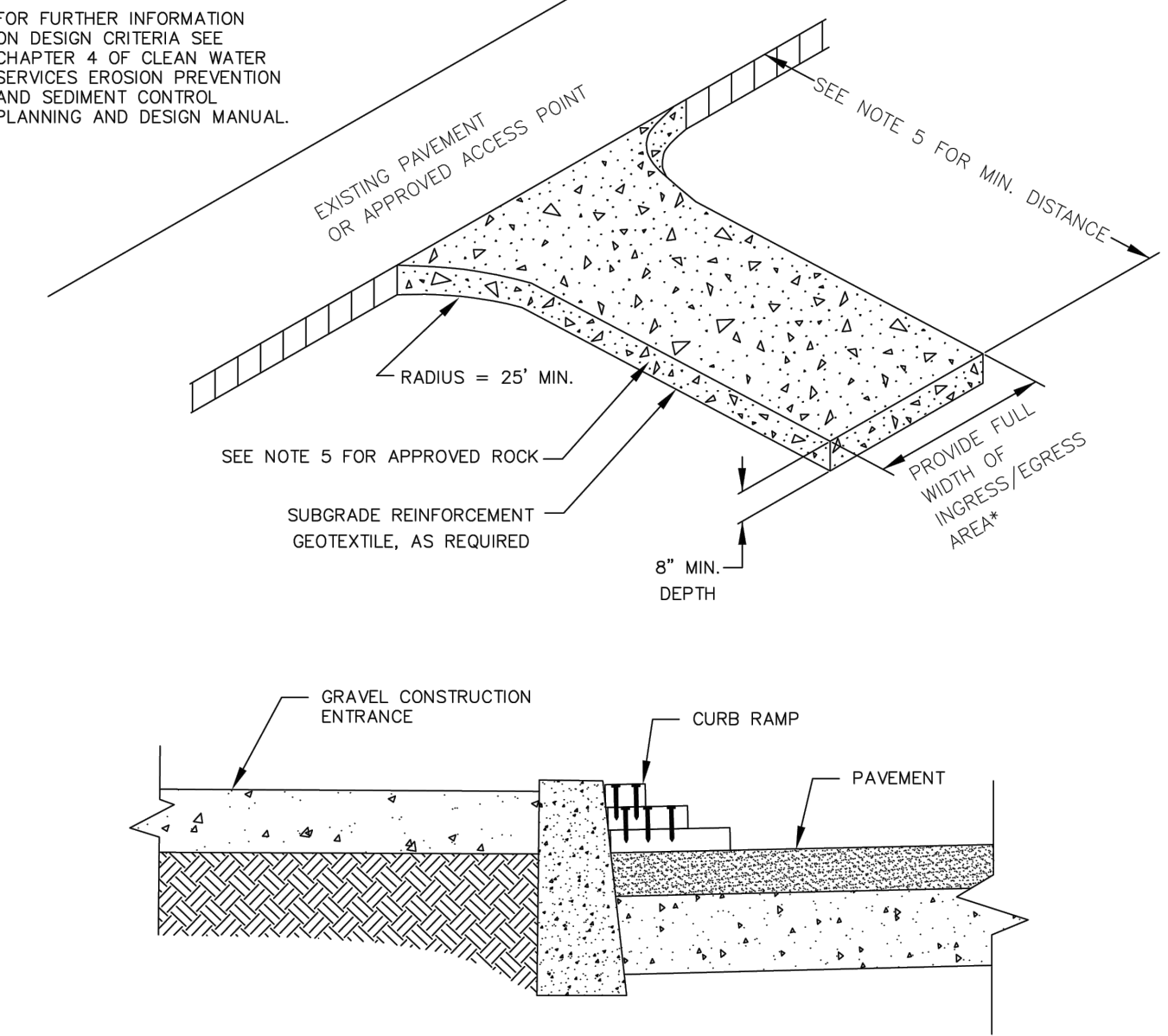
PLASTIC SHEETING

DRAWING NO. 810

REVISED 10-31-19



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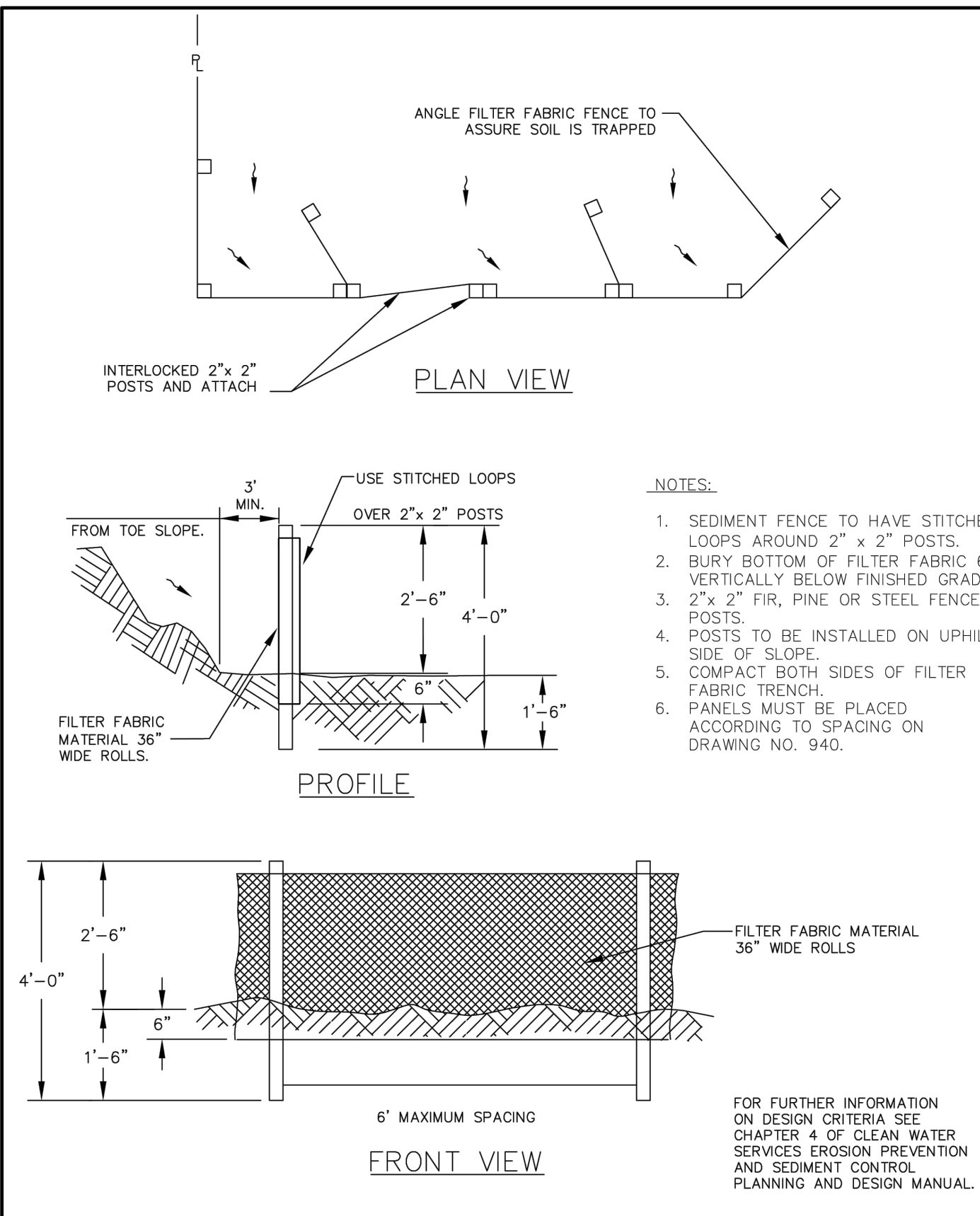
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
5. DIMENSIONS  
SINGLE FAMILY  
20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.  
COMMERCIAL/SITE DEVELOPMENT  
50' LONG BY 20' WIDE 3-6" CLEAN ROCK, GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

CONSTRUCTION ENTRANCE

DRAWING NO. 855

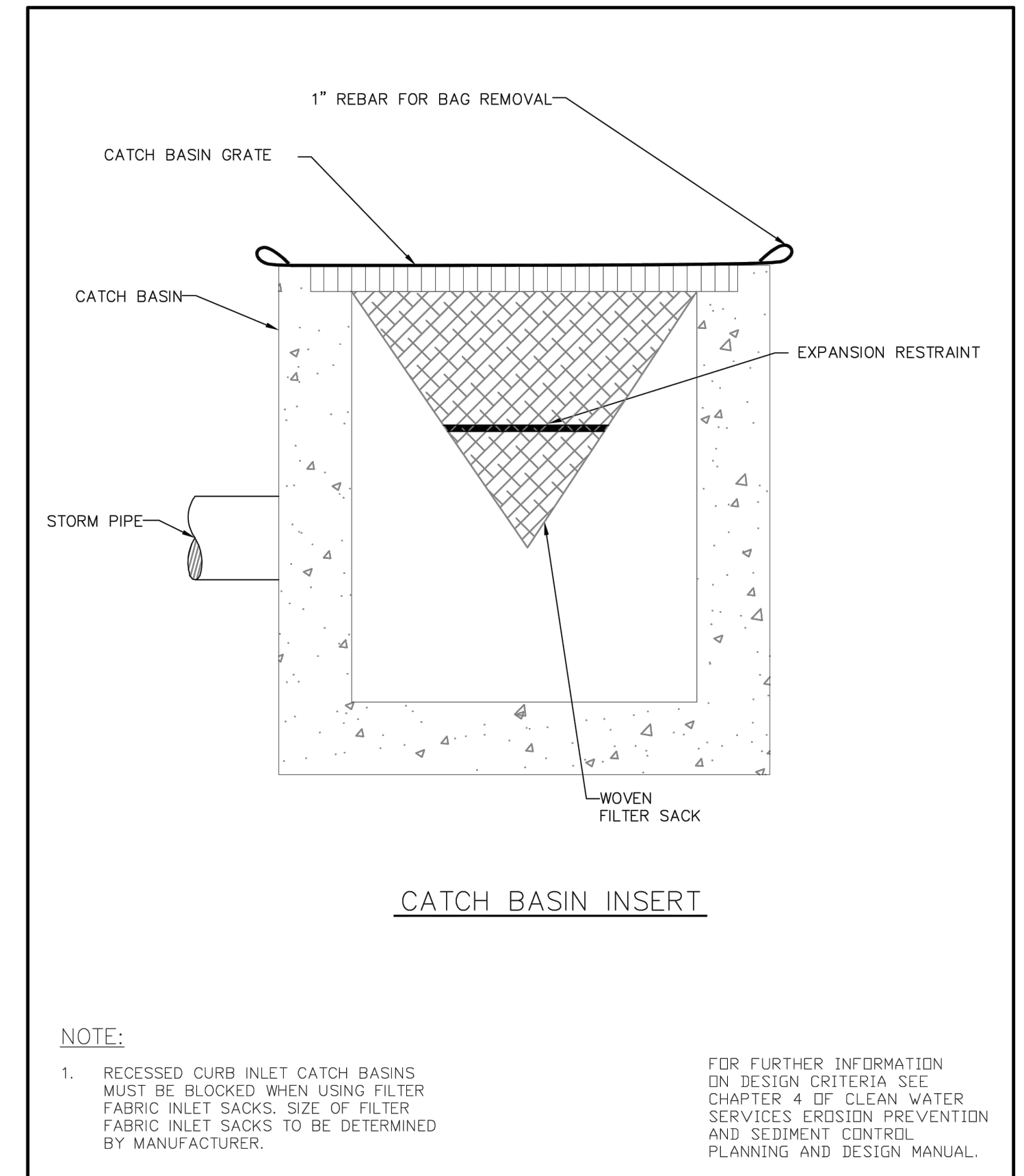
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SEDIMENT FENCE

DRAWING NO. 875

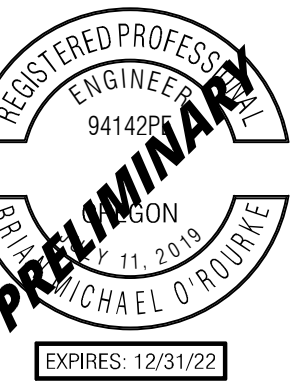
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INLET PROTECTION TYPE 5

DRAWING NO. 920

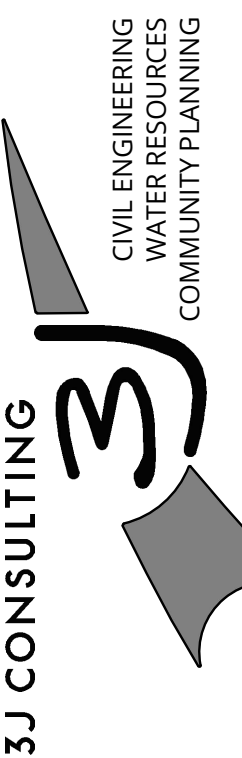
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EROSION AND SEDIMENT CONTROL DETAILS  
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TUALATIN, OR 97062



9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

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TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
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CHECKED BY | BMO

SHEET NUMBER  
**C310**



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UTILITY PLAN  
**ALDEN APARTMENTS**  
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CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING  
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SHEET NUMBER  
**C400**

**STORM DRAIN KEY NOTES**

- 1A) PROPOSED STORM MANHOLE
- 1B) PROPOSED WATER QUALITY MANHOLE
- 1C) PROPOSED FLOW CONTROL MANHOLE
- 1D) PROPOSED PRETREATMENT MANHOLE
- 2) PROPOSED CATCH BASIN
- 3) PROPOSED AREA DRAIN
- 4) PROPOSED STORM CLEANOUT
- 5) PROPOSED STORM OUTFALL
- 6) PROPOSED ROOF DRAIN CONNECTION
- 7) PROPOSED INFILTRATION PLANTER
- 8) PROPOSED BEEHIVE INLET
- 9) PROPOSED DETENTION CHAMBERS
- 10) PROPOSED STORM CONNECTION TO EXISTING STORM LINE

**SANITARY SEWER KEY NOTES**

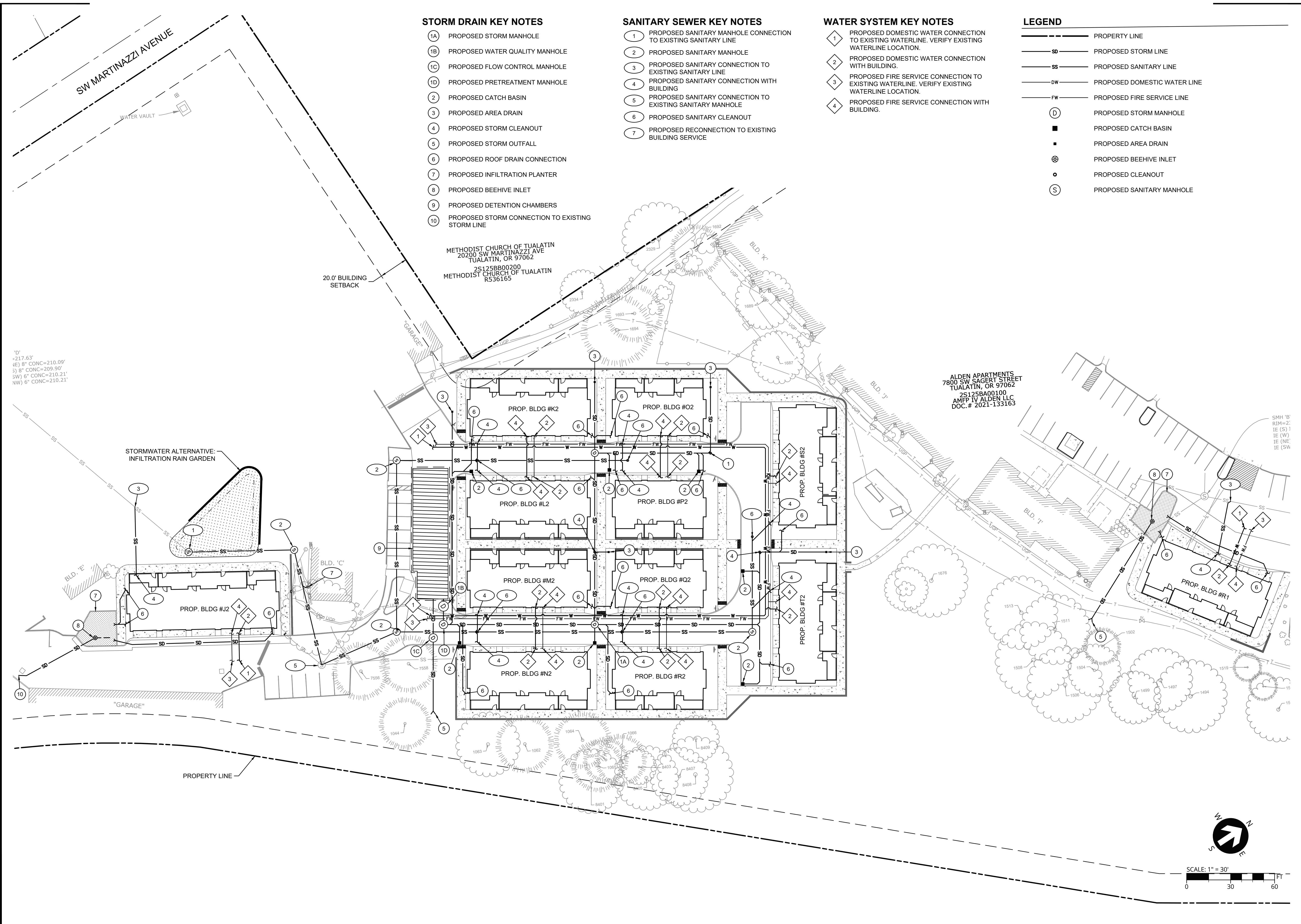
- 1) PROPOSED SANITARY MANHOLE CONNECTION TO EXISTING SANITARY LINE
- 2) PROPOSED SANITARY MANHOLE
- 3) PROPOSED SANITARY CONNECTION TO EXISTING SANITARY LINE
- 4) PROPOSED SANITARY CONNECTION WITH BUILDING
- 5) PROPOSED SANITARY CONNECTION TO EXISTING SANITARY MANHOLE
- 6) PROPOSED SANITARY CLEANOUT
- 7) PROPOSED RECONNECTION TO EXISTING BUILDING SERVICE

**WATER SYSTEM KEY NOTES**

- 1) PROPOSED DOMESTIC WATER CONNECTION TO EXISTING WATERLINE. VERIFY EXISTING WATERLINE LOCATION.
- 2) PROPOSED DOMESTIC WATER CONNECTION WITH BUILDING.
- 3) PROPOSED FIRE SERVICE CONNECTION TO EXISTING WATERLINE. VERIFY EXISTING WATERLINE LOCATION.
- 4) PROPOSED FIRE SERVICE CONNECTION WITH BUILDING.

**LEGEND**

- PROPERTY LINE
- SD --- PROPOSED STORM LINE
- SS --- PROPOSED SANITARY LINE
- DW --- PROPOSED DOMESTIC WATER LINE
- FW --- PROPOSED FIRE SERVICE LINE
- (D) PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED AREA DRAIN
- ⊕ PROPOSED BEEHIVE INLET
- PROPOSED CLEANOUT
- (S) PROPOSED SANITARY MANHOLE



1D) 217.63'  
1E) 8" CONC=210.09'  
3) 8" CONC=209.90'  
3W) 6" CONC=210.21'  
NW) 6" CONC=210.21'

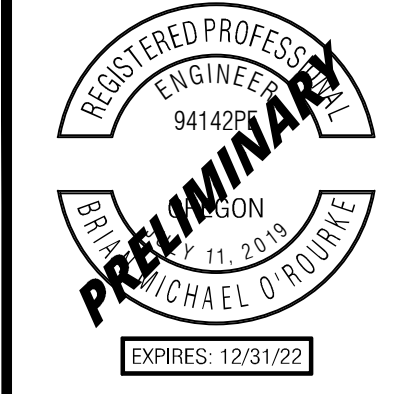
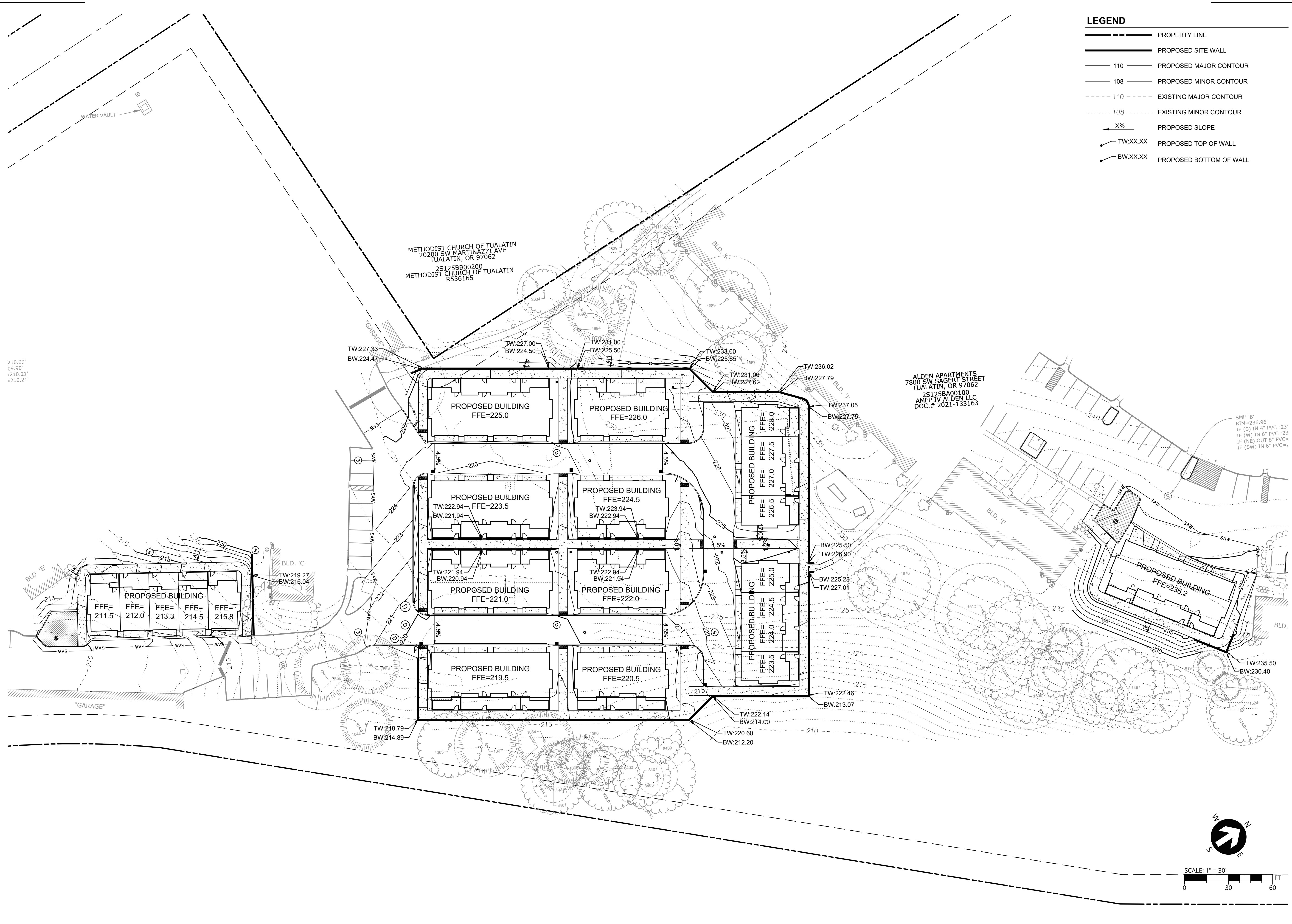
STORMWATER ALTERNATIVE:  
INFILTRATION RAIN GARDEN

ALDEN APARTMENTS  
7800 SW SAGERT STREET  
TUALATIN, OR 97062  
2S125BA00100  
AMFP IV ALDEN LLC  
DOC.# 2021-133163

METHODIST CHURCH OF TUALATIN  
20200 SW MARTINAZZI AVE  
TUALATIN, OR 97062  
2S125BB00200  
METHODIST CHURCH OF TUALATIN  
R536165

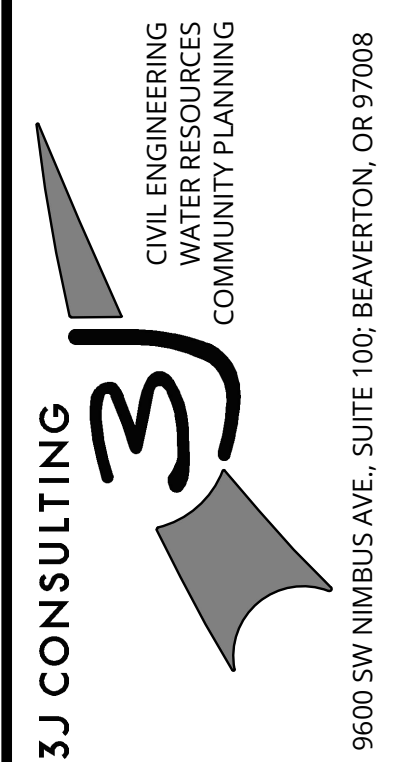
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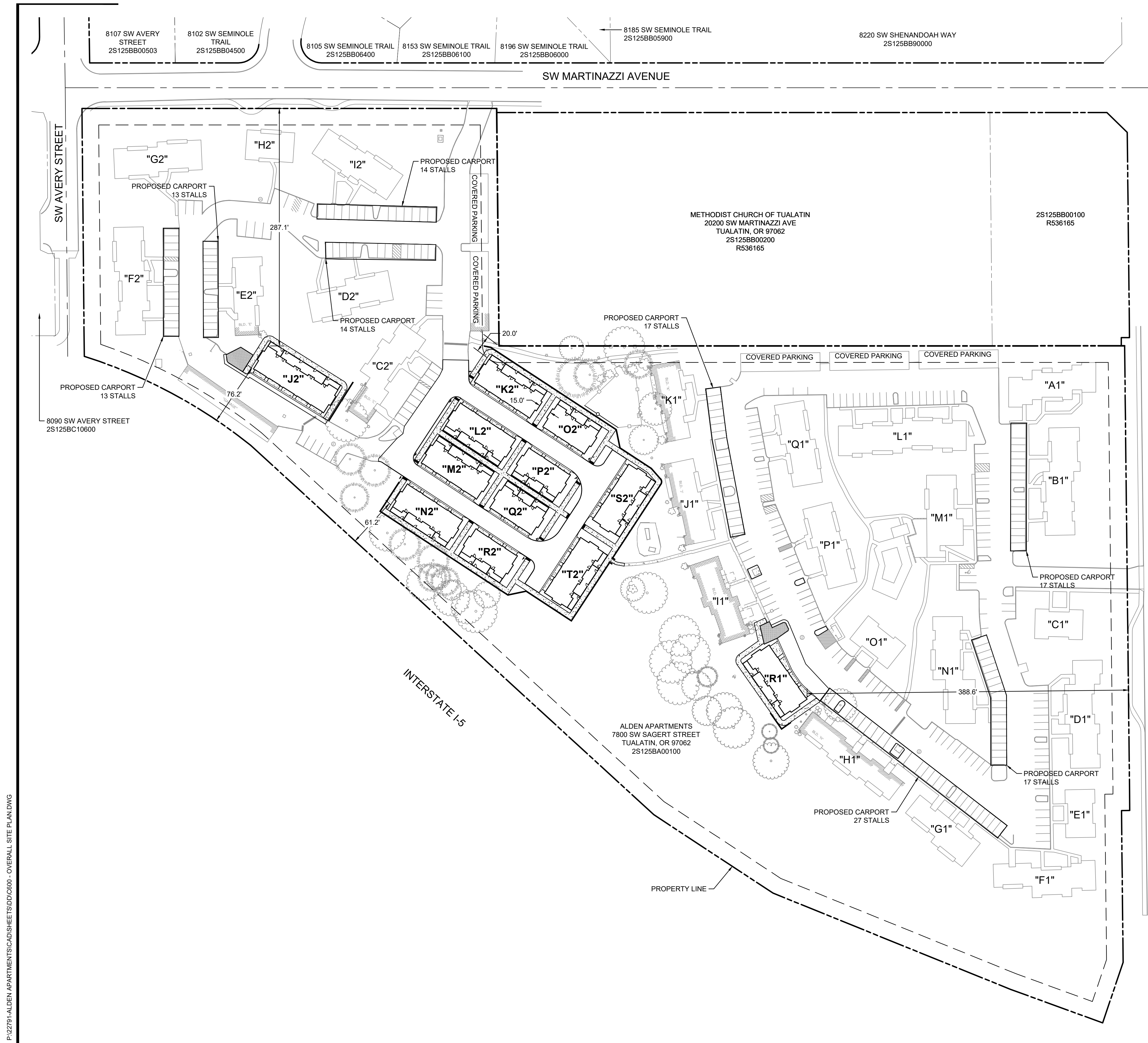
PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

**GRADING PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



**PROJECT INFORMATION**  
 3J PROJECT # | 22791  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | KMK  
 CHECKED BY | BMO

**SHEET NUMBER**  
**C500**

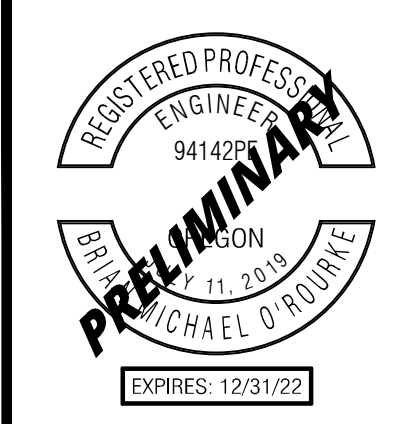


**SITE INFORMATION**

<b>SITE ADDRESS</b> 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE TUALATIN, OREGON 97062	<b>TAX LOT</b> 2S125BA00100
<b>JURISDICTION</b> CITY OF TUALATIN	<b>FLOOD HAZARD</b> MAP NUMBERS: 41067C0607E ZONE X (UNSHADED)
<b>ZONING</b> EXISTING = RMH PROPOSED = RMH	<b>GROSS SITE AREA</b> 16.74 ACRES

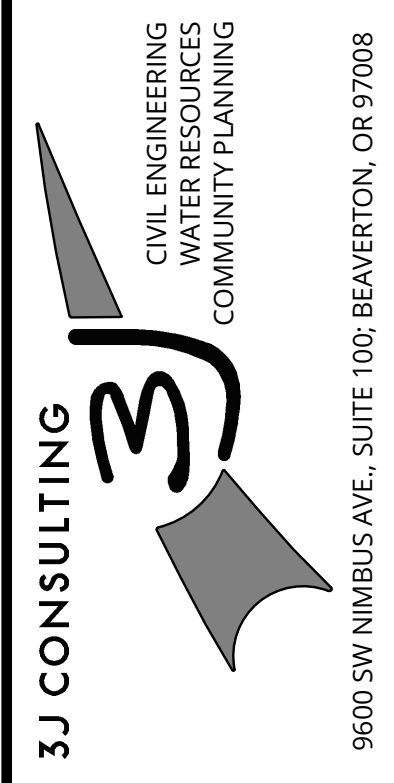
**BUILDING STANDARDS**  
TUALATIN MUNICIPAL CODE (TMC) CHAPTER 42

	REQUIRED	PROPOSED
FRONT SETBACK	35'	281'
SIDE AND REAR SETBACK	20'	20'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'	15'



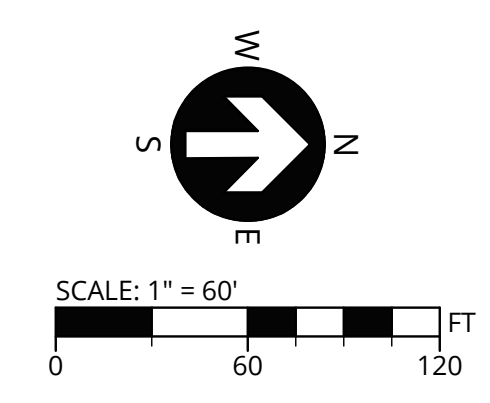
PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

**OVERALL SITE PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



**PROJECT INFORMATION**  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C600**



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**TYPICAL PAVEMENT SECTION**

PAVEMENT SECTIONS REFERENCED FROM PROJECT GEOTECHNICAL REPORT

	ASPHALT THICKNESS (IN)	CRUSHED ROCK BASE THICKNESS (IN)
MINIMUM DRY-WEATHER PAVEMENT SECTION: PRIVATE (20 YEARS)	3	12

**LEGEND**

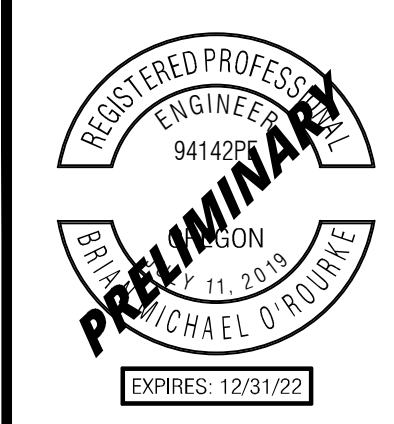
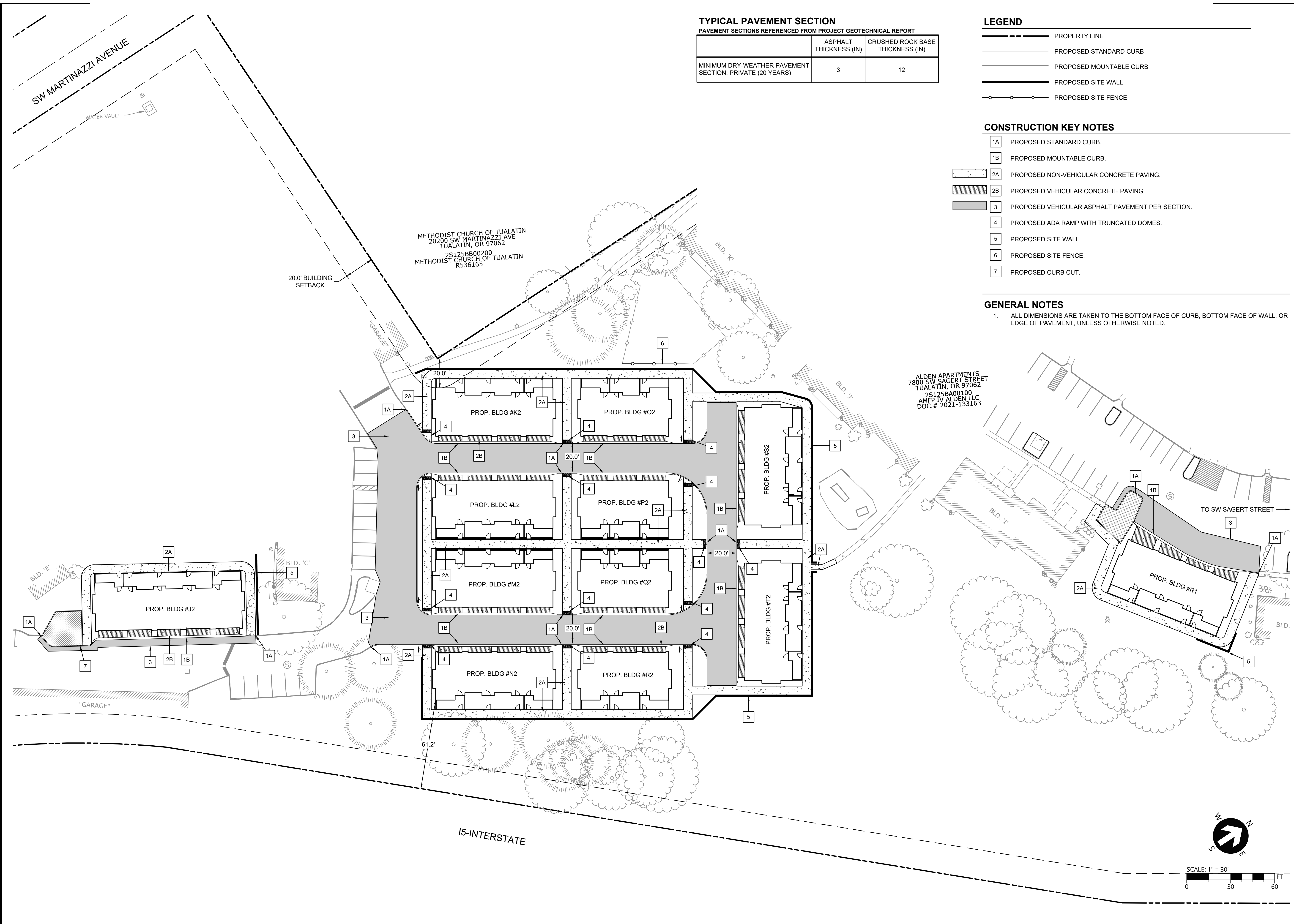
- PROPERTY LINE
- PROPOSED STANDARD CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED SITE WALL
- PROPOSED SITE FENCE

**CONSTRUCTION KEY NOTES**

- 1A PROPOSED STANDARD CURB.
- 1B PROPOSED MOUNTABLE CURB.
- 2A PROPOSED NON-VEHICULAR CONCRETE PAVING.
- 2B PROPOSED VEHICULAR CONCRETE PAVING
- 3 PROPOSED VEHICULAR ASPHALT PAVEMENT PER SECTION.
- 4 PROPOSED ADA RAMP WITH TRUNCATED DOMES.
- 5 PROPOSED SITE WALL.
- 6 PROPOSED SITE FENCE.
- 7 PROPOSED CURB CUT.

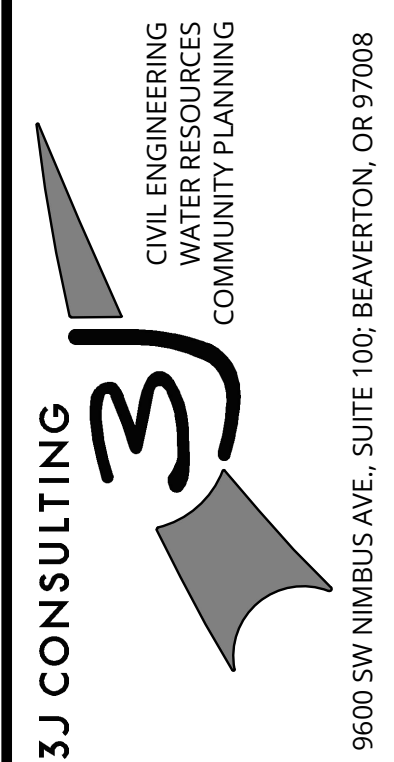
**GENERAL NOTES**

1. ALL DIMENSIONS ARE TAKEN TO THE BOTTOM FACE OF CURB, BOTTOM FACE OF WALL, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.



PUBLISH DATE  
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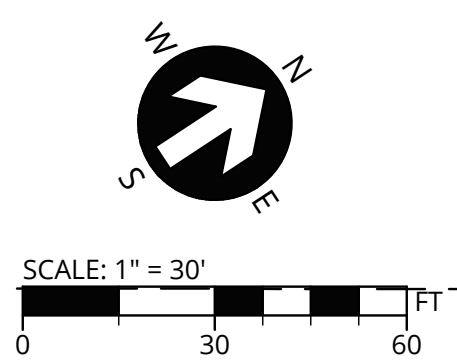
**SITE PLAN**  
**ALDEN APARTMENTS**  
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
 TUALATIN, OR 97062



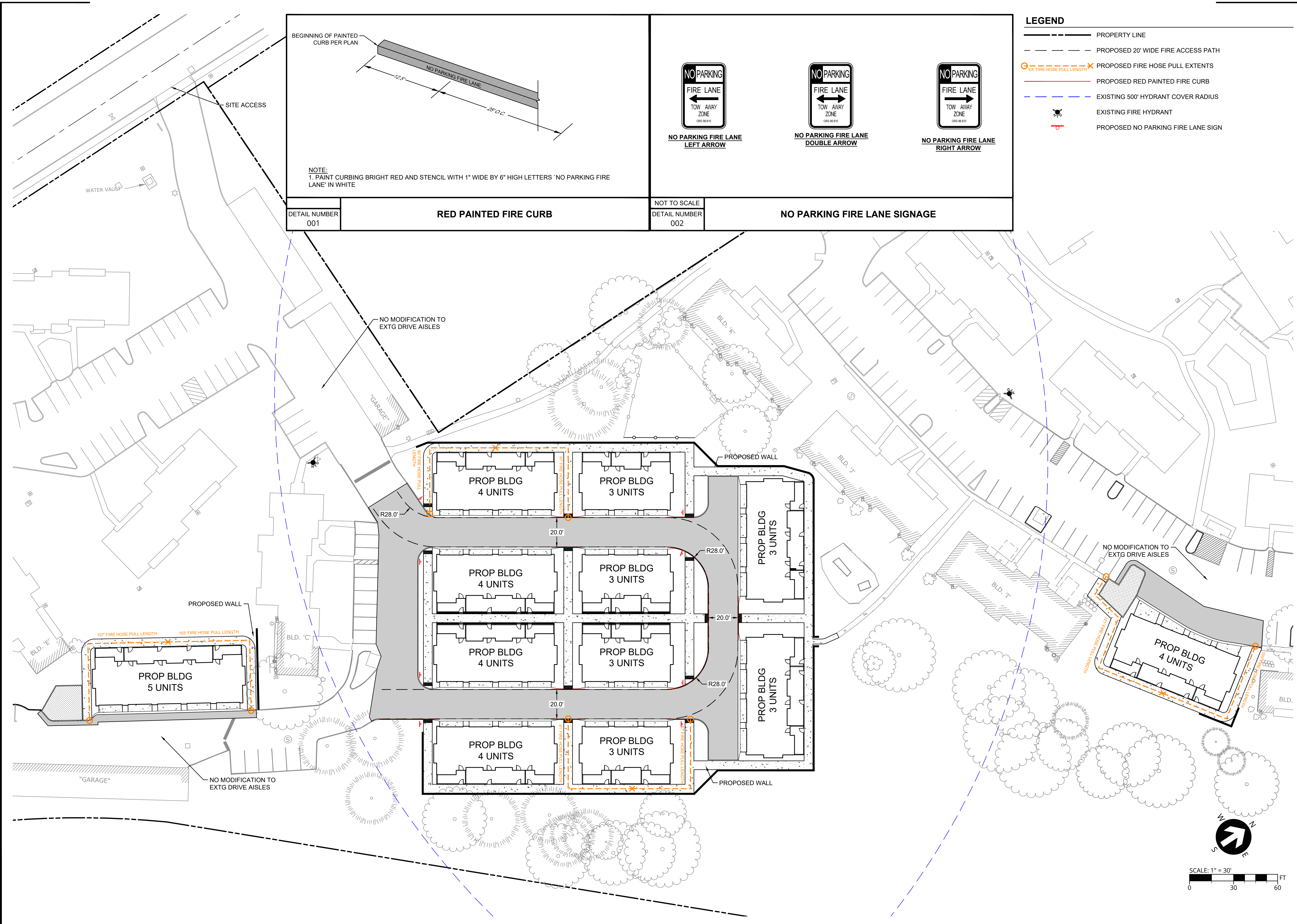
PROJECT INFORMATION  
 3J PROJECT # | 22791  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | KMK  
 CHECKED BY | BMO

SHEET NUMBER  
**C601**

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P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDC700 - FIRE ACCESS PLAN.DWG

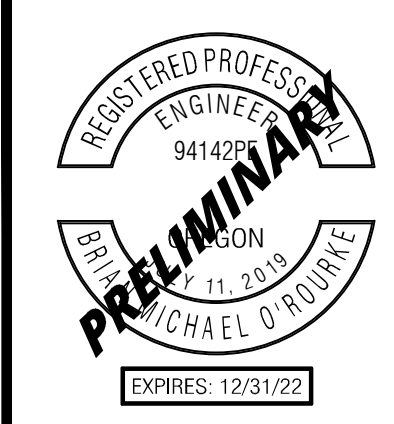


LEGEND

- PROPERTY LINE
- PROPOSED 20' WIDE FIRE ACCESS PATH
- PROPOSED FIRE HOSE PULL EXTENTS
- PROPOSED RED PAINTED FIRE CURB
- EXISTING 500' HYDRANT COVER RADIUS
- EXISTING FIRE HYDRANT
- PROPOSED NO PARKING FIRE LANE SIGN

NOTE:  
1. PAINT CURBING BRIGHT RED AND STENCIL WITH 1" WIDE BY 6" HIGH LETTERS 'NO PARKING FIRE LANE' IN WHITE

DETAIL NUMBER 001	RED PAINTED FIRE CURB	NOT TO SCALE	DETAIL NUMBER 002	NO PARKING FIRE LANE SIGNAGE
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**FIRE ACCESS PLAN**

**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

**3J CONSULTING**

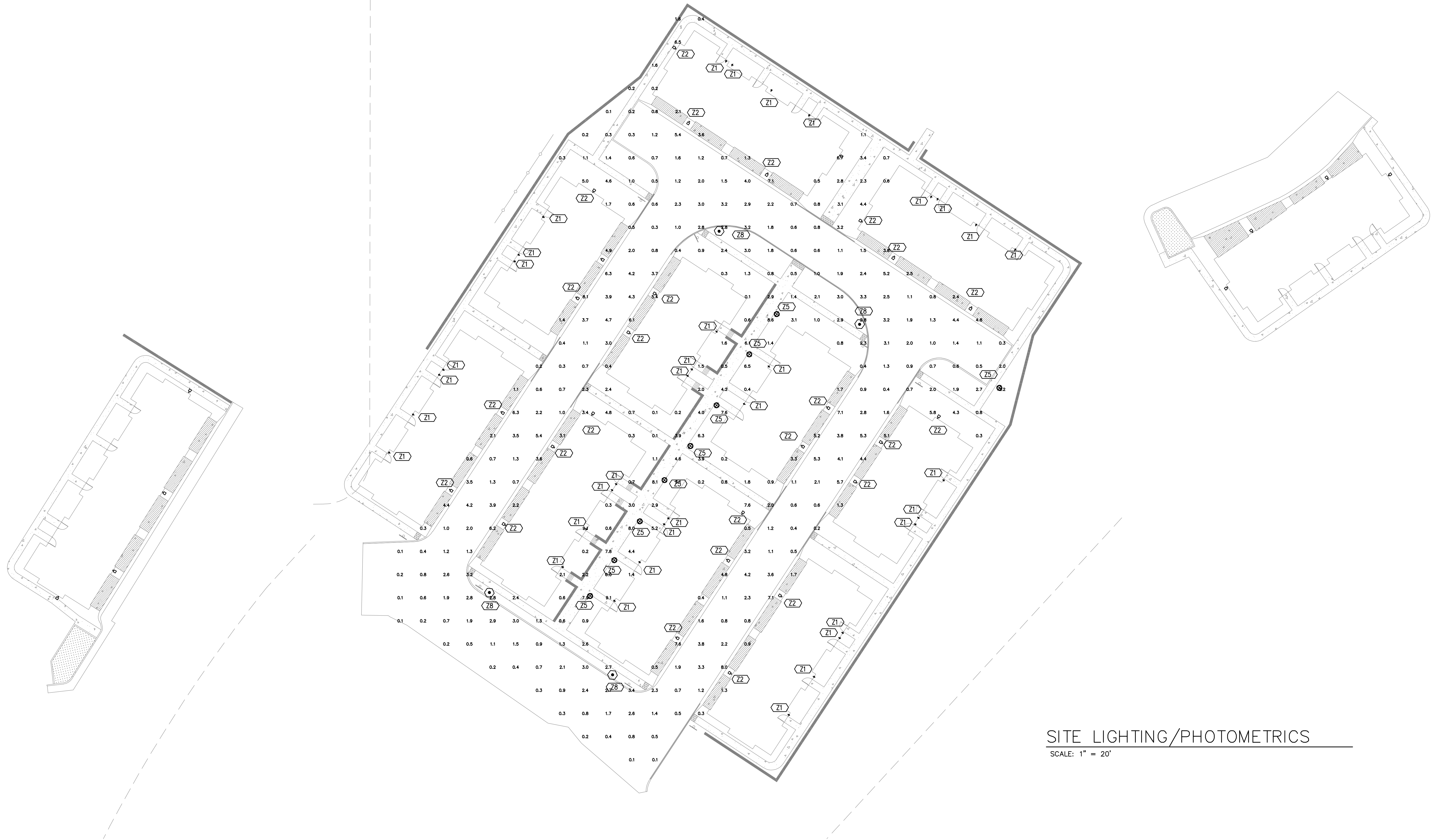
CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION

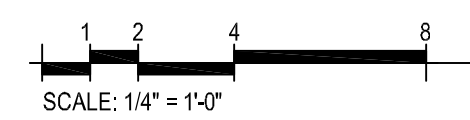
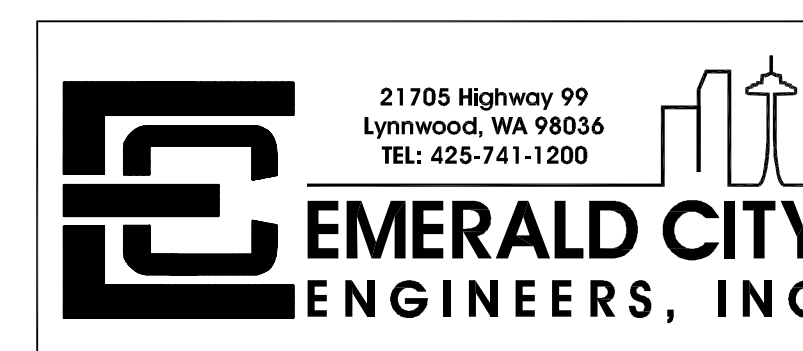
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**FS-1**



SITE LIGHTING/PHOTOMETRICS  
SCALE: 1" = 20'

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES



JOB NO. 0727-013  
DATE 12/08/17

E01





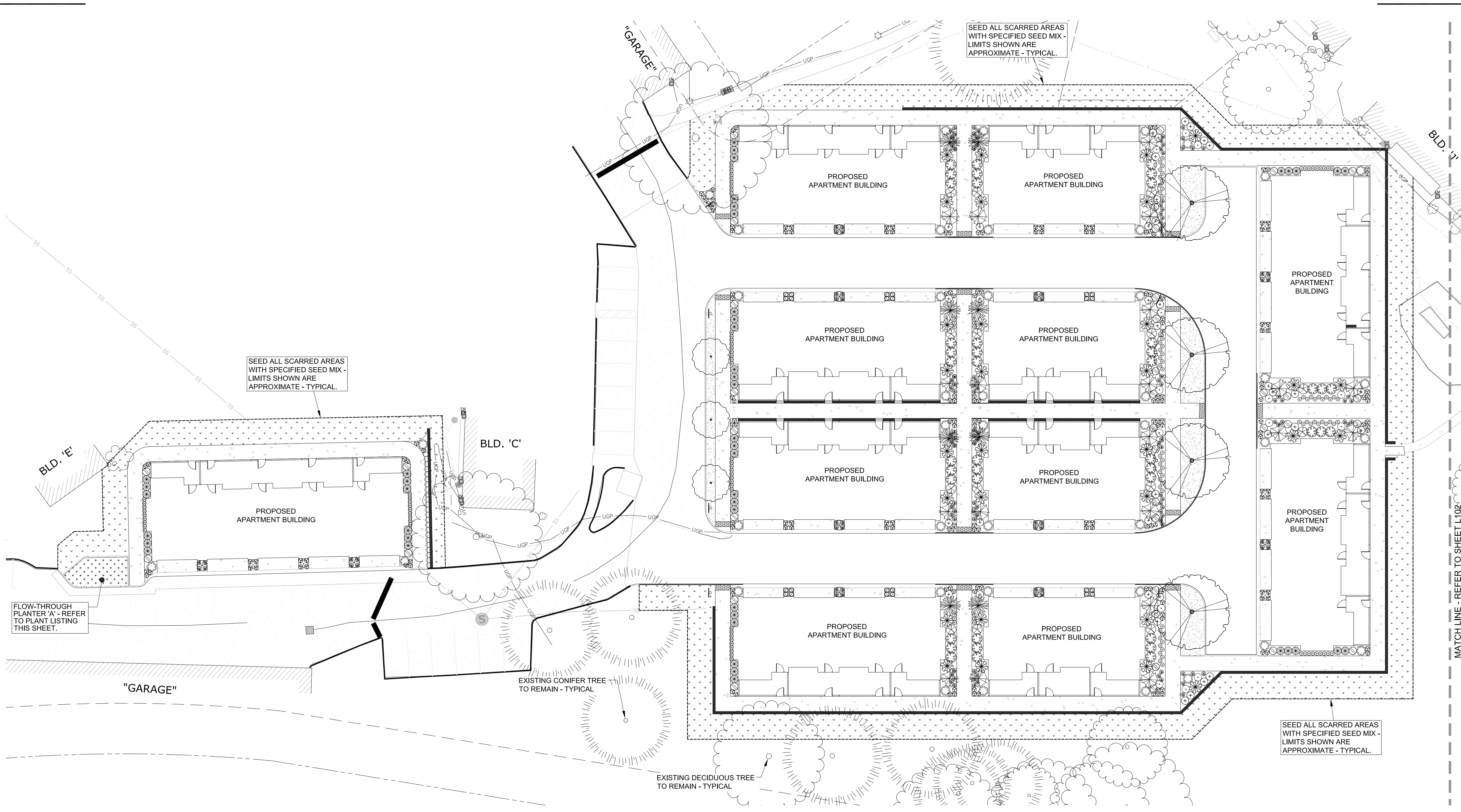
PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS  
10/10/2022

**PLANTING PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



PROJECT INFORMATION  
MDG PROJECT # | 2223  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | TAM  
CHECKED BY | TAM

SHEET NUMBER  
**L101**



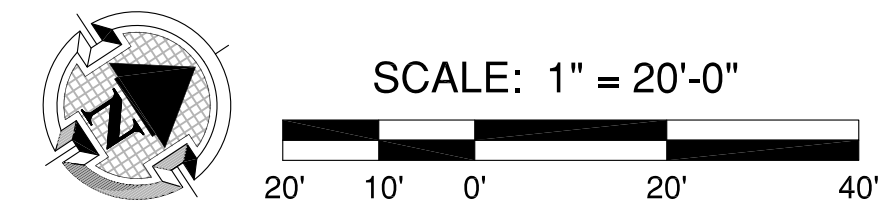
**PLANT LISTING FOR FLOW-THROUGH PLANTER**

FLOW-THROUGH PLANTER 'A'	Minimum Species Quantity	Plant Category	Zone	Minimum Plant Height	Condition (size)	Wetland Indicator Status	Spacing Format
TREATMENT AREA 253 sq. ft.							
Scientific Name Common Name							
Carex obnupta Slough Sedge	97	Herb	Moist	6"	1/2 Gal.	OBL	1 / sq.ft.
Carex deweyana Dewey's Sedge	97	Herb	Dry	6"	1/2 Gal.	FAC	1 / sq.ft.
Juncus patens Spreading Rush	97	Herb	Moist	6"	1/2 Gal.	FACW	1 / sq.ft.
HERBACEOUS PLANT TOTAL:	291						

**APPROXIMATE LANDSCAPE AREA**

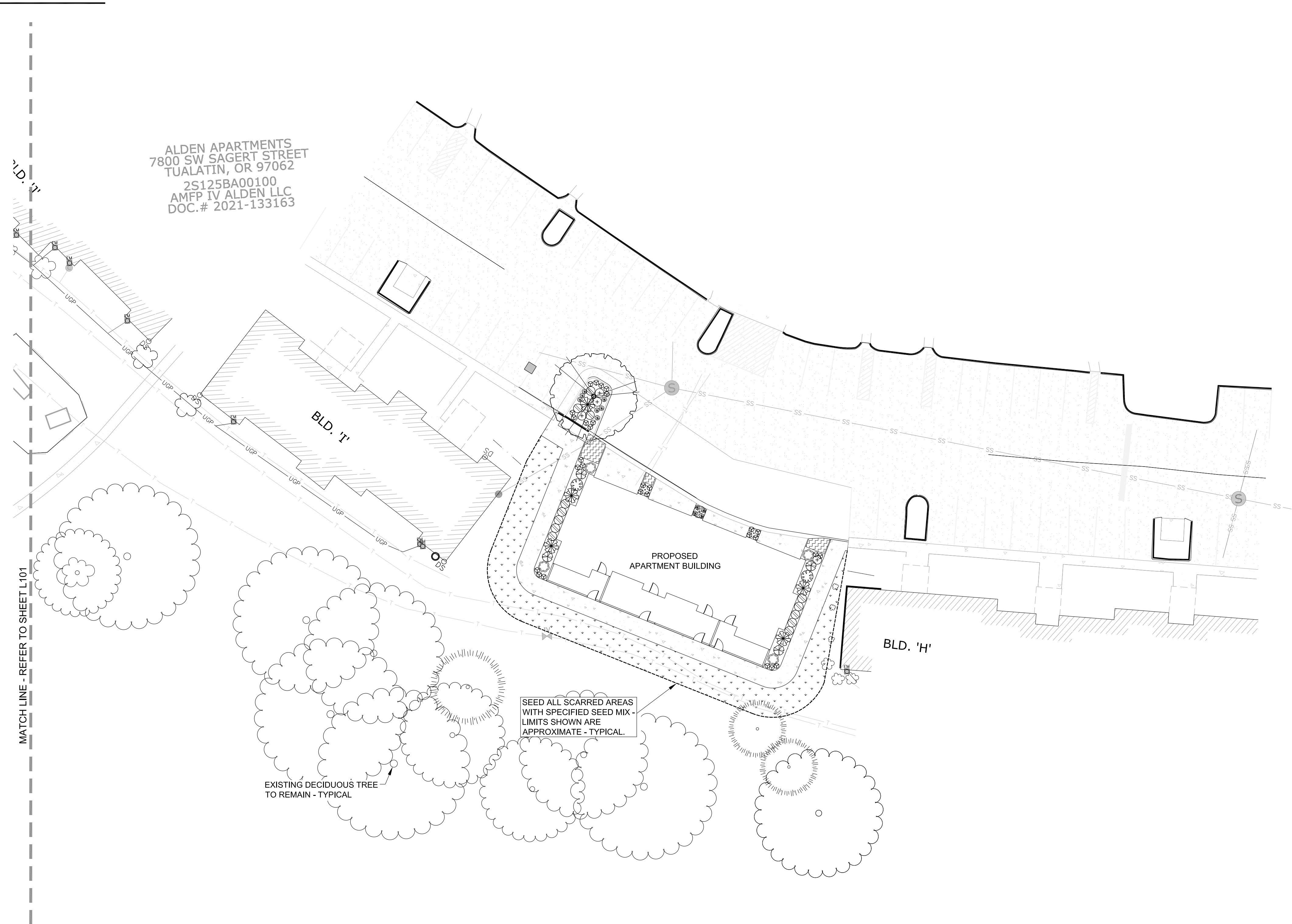
PLANTING BED AREA:	7,056 SF
LAWN AREA:	1,405 SF
LAWN AREA (RESTORATION):	12,280 SF
WATER QUALITY PLANTER:	253 SF
TOTAL LANDSCAPE AREA:	20,994 SF

REFER TO SHEET L102 FOR PLANTING MATERIAL LISTING  
REFER TO SHEET L103 FOR PLANTING DETAILS AND NOTES



F:\MDG-1\FILE SYNC\DWGS\2022\3\JALDEN APTS\ALDENAPTS\_LA1.DWG

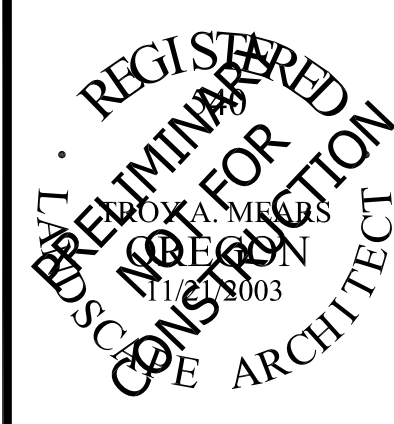
F:\MDG-1\FILE SYNC\DWGS\2023\JALDEN APTS\ALDEN APTS\_LA1.DWG



PLANT MATERIAL LISTING:					
TREES		Quantity	Planted Size	Condition	Mature size
SYMBOL	Botanical name Common Name				
	Acer platanoides 'Crimson King' Crimson King Maple	5	1.5" Cal.	B&B	30-40' tall, 20-40' wide
	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Pyramid Limber Pine	20	6-7'	B&B	20-30' tall, 10-15' wide
	Carpinus betulus 'Frans Fontaine' Frans Fontaine Hornbeam	3	1.5" Cal.	B&B	40' tall, 15' wide
	Picea pungens 'Baby Blue Eyes' Baby Blue Eyes Spruce	8	6-7'	B&B	12-15' tall, 6-7' wide
Total Trees		36			

PLANT MATERIAL LISTING:					
SHRUBS & GRASSES		Quantity	Planted Size	Condition	Mature size
SYMBOL	Botanical name Common Name				
	Azalea x 'Hino-Crimson' Hino-Crimson Azalea	46	1 Gal	Can	2-4' tall, 3-5' wide
	Berberis thunbergii 'Crimson Pygmy' Crimson Pygmy Barberry	41	1 Gal	Can	2' tall, 3' wide
	Berberis thunbergii 'Gold Pillar' Gold Pillar Barberry	23	1 Gal	Can	3-4' tall, 2' wide
	Chamaecyparis obtusa 'Confucius' Confucius Hinoki Cypress	12	5 Gal	Can	4-6' tall 3-4' wide
	Choisya ternata 'Sundance' Sundance Mexican Orange	35	5 Gal	Can	5-6' tall & wide
	Euonymus japonicus 'Silver King' Silver King Euonymus	46	5 Gal	Can	6' tall, 3' wide
	Hakonechloa macro 'All Gold' All Gold Japanese Forest Grass	162	1 gal	Can	18" tall & wide
	Hemerocallis 'Stella d'oro' Stella d'oro Daylily	24	1 gal	Can	1' tall & wide
	Hydrangea paniculata 'Littlelime' Littlelime Hydrangea	4	2 Gal	Can	3-5' tall & wide
	Imperata cylindrica 'Rubra' Japanese Blood Grass	150	1 Gal	Can	1' tall 18" wide
	Nandina domestica 'Gulf Stream' Gulf Stream Heavenly Bamboo	51	2 Gal	Can	3' tall & wide
	Rhododendron 'P.J.M. Elite' P.J.M. Elite Rhododendron	14	18-24"	B&B	4-5' tall 3-5' wide
	Rudbeckia 'Little Goldstar' Little Goldstar Daisy	215	1 Gal	Can	18" tall & wide
	Viburnum tinus 'Spring Bouquet' Spring Bouquet Viburnum	44	5 Gal	Can	4-6' tall & wide
	Weigela florida 'Bokraspiwi' Spilled Wine Weigela	35	1 Gal	Can	1-2' tall 2-3' wide
Total Shrubs		902			

SYM	GROUND COVER	QTY.	SIZE	CONDITION	REMARKS
	Vinca minor 'Bowles' Bowles Common Periwinkle	45	4"	Pots	18" O.C.
	Lawn (Hydro-seed)				1,405 SF
	Lawn RESTORATION (Hydro-seed)				12,280 SF (approximate)



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10/10/2022

PLANTING PLAN  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



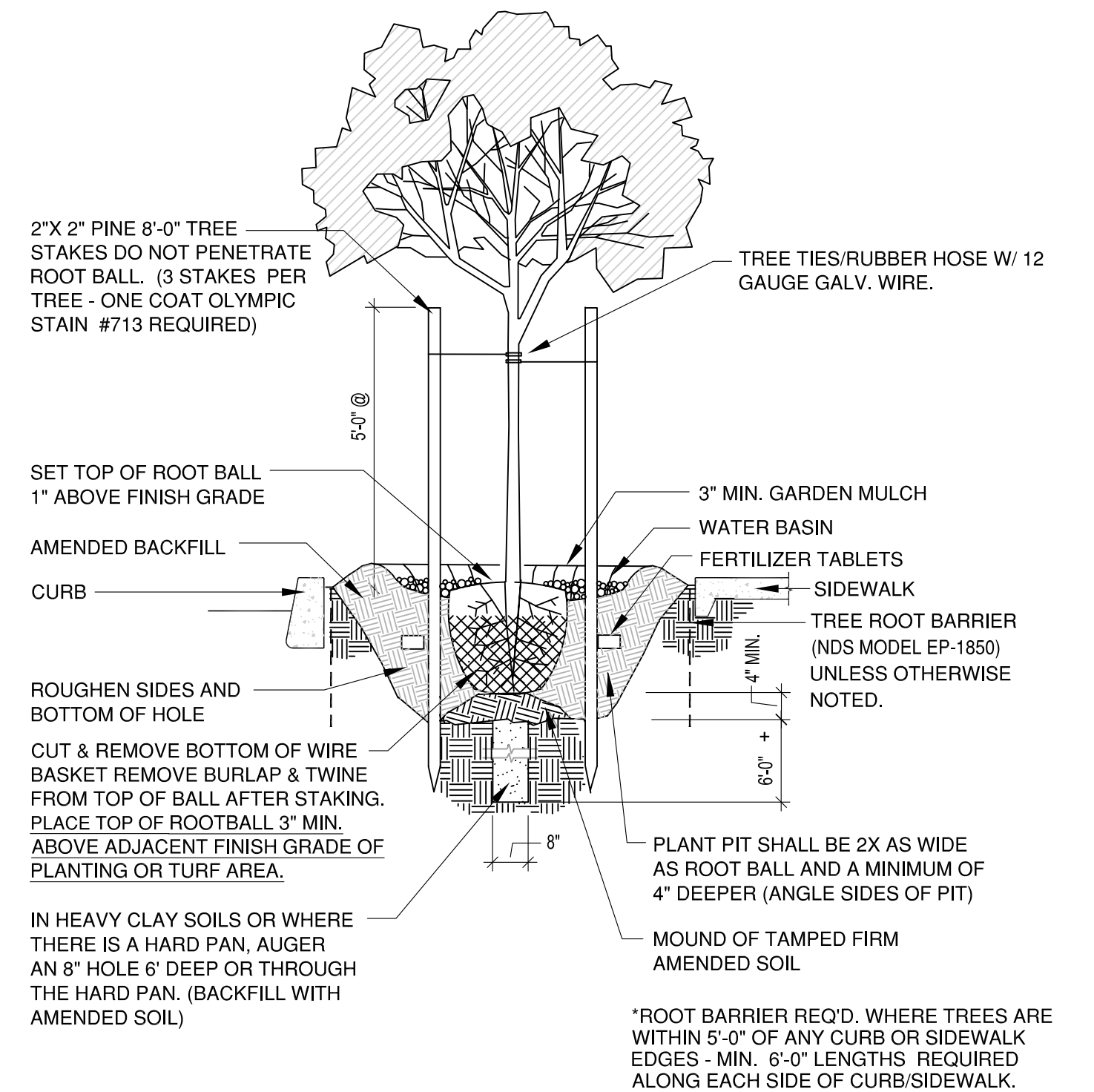
PROJECT INFORMATION  
MDG PROJECT # | 2223  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | TAM  
CHECKED BY | TAM

SHEET NUMBER  
**L102**

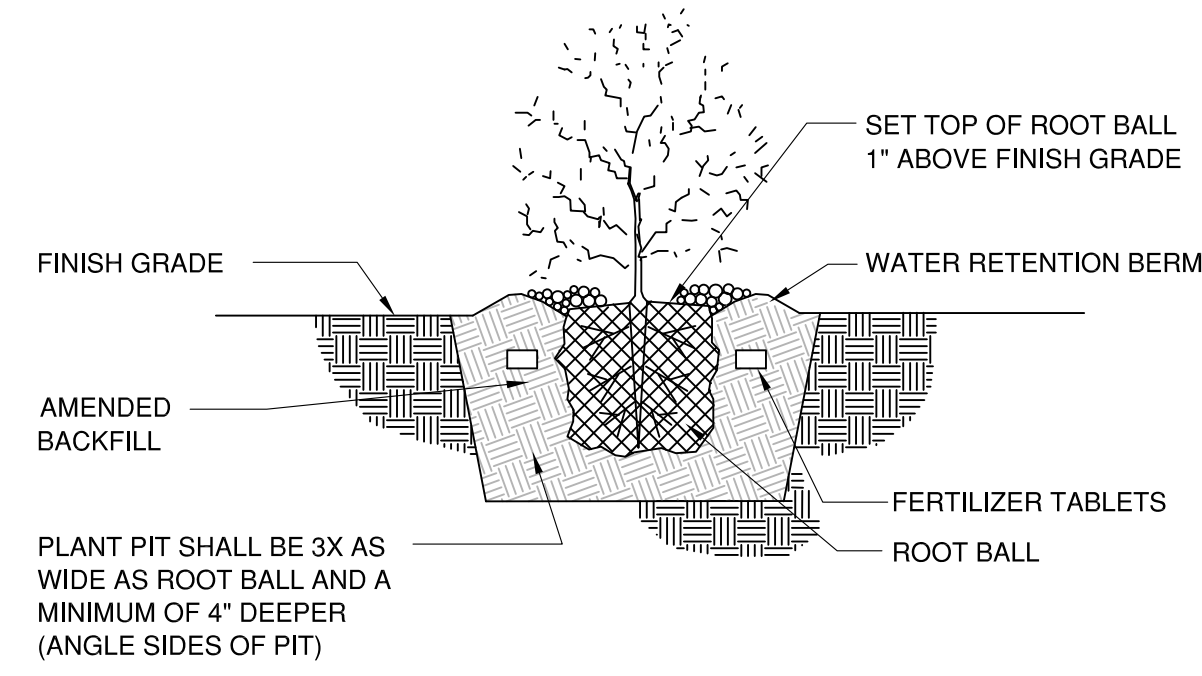
REFER TO SHEET L103 FOR PLANTING DETAILS AND NOTES



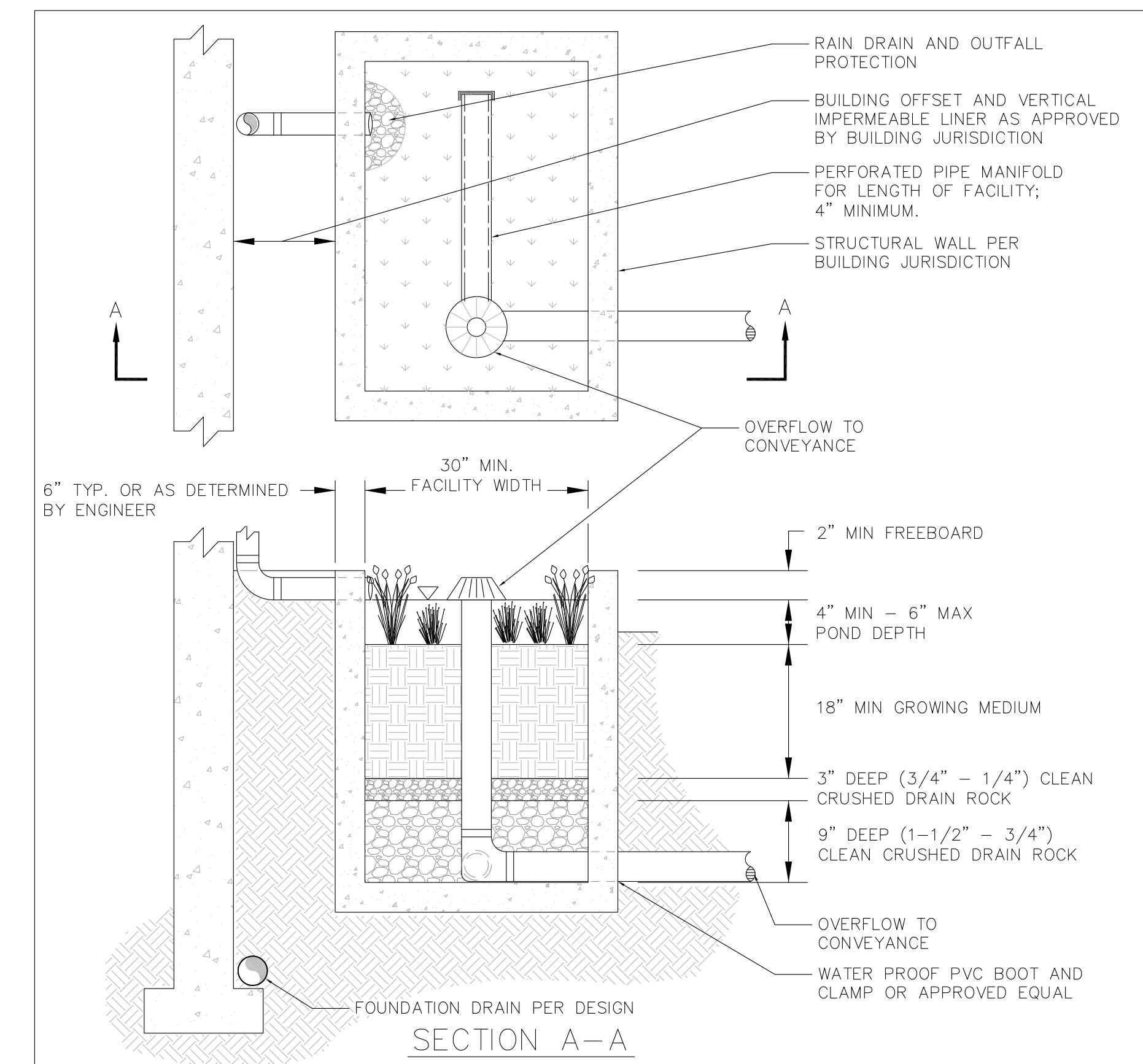




**TREE PLANTING DETAIL**  
N.T.S.



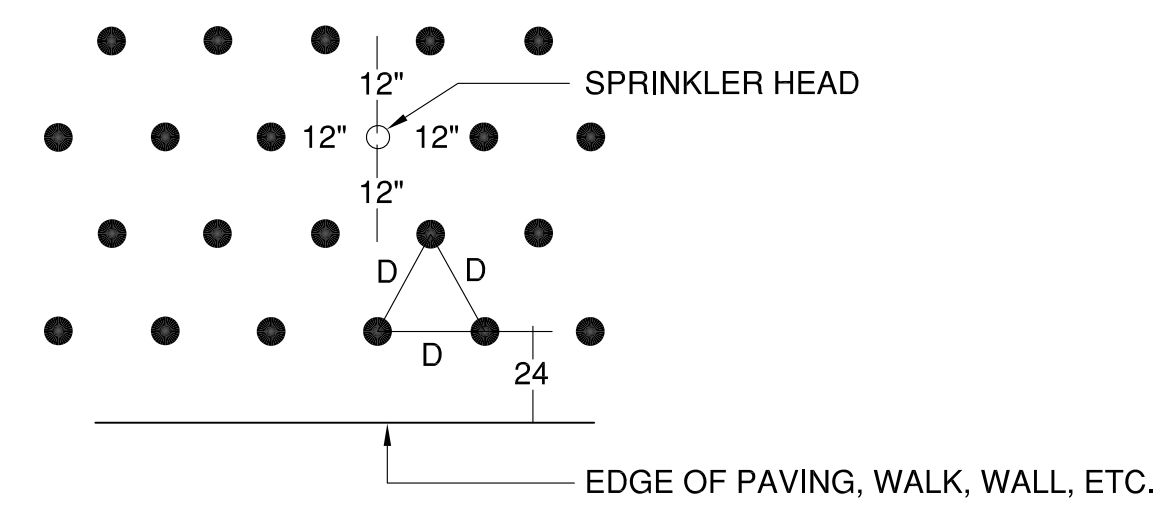
**SHRUB PLANTING DETAIL**  
N.T.S.



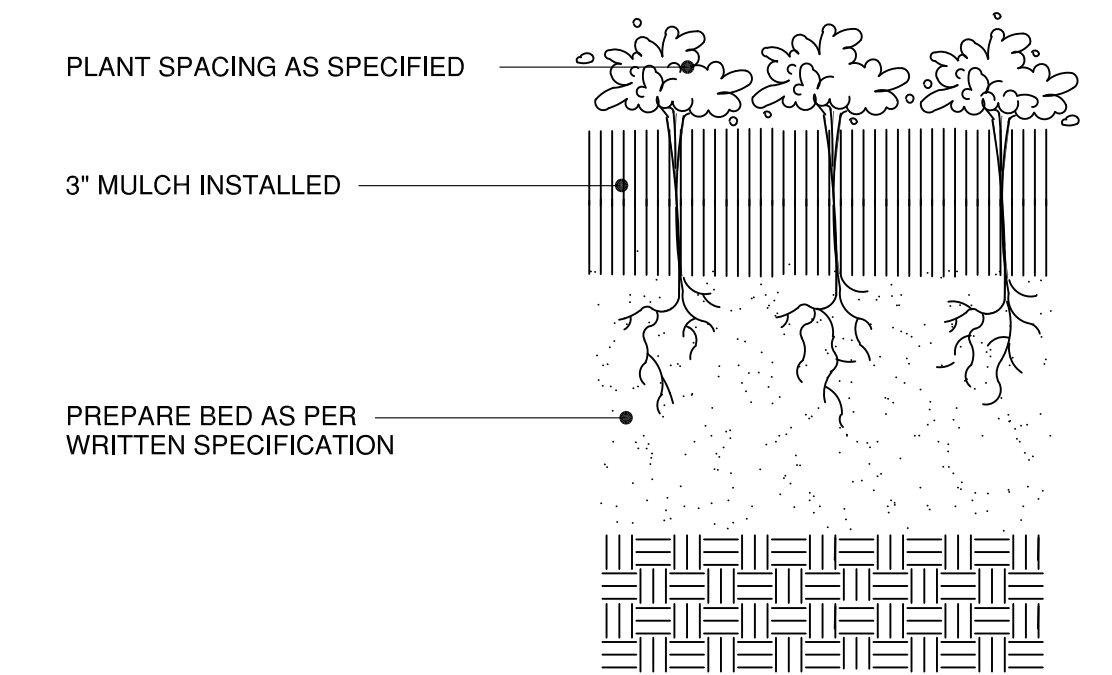
**NOTES:**

1. PRIVATE WATER QUALITY TREATMENT.
2. 30" MIN WIDTH - FACILITY LENGTH TO BE CALCULATED BASED ON INCOMING FLOWS.
3. VEGETATION: SEE PLANT LIST IN LIDA HANDBOOK.
4. I.E. OF RAIN DRAINS MUST MATCH THE ELEVATION OF THE OVERFLOW STRUCTURE.
5. RAIN DRAINS AND OVERFLOW TO MAINTAIN MAXIMUM LINEAR SEPARATION.
6. OUTFALL PROTECTION SIZED PER FLOW CALCULATIONS.
7. BUILDING JURISDICTION APPROVAL REQUIRED WHEN DEPTH OF FACILITY IS BELOW BUILDING FOOTING.

**FLOW THROUGH PLANTER**  
DRAWING NO. 730 REVISED 10-31-19  
CleanWater Services



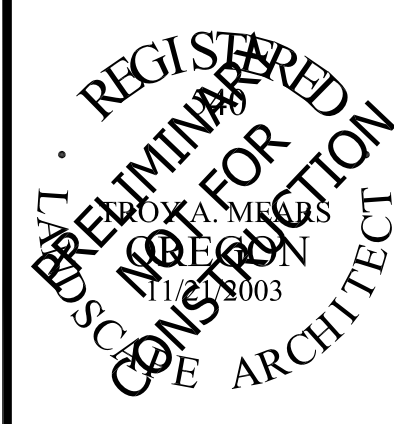
**NOTE:**  
LOCATE PLANTS SPACED EQUAL DISTANCE (D) FROM EACH OTHER AS SPECIFIED AND MINIMUM OF 12" FROM SPRINKLER HEAD



**GROUNDCOVER PLANTING DETAIL**  
N.T.S.

**TYPICAL PLANTING NOTES:**

1. B&B stock may be substituted with container stock of equal grade.
2. Container stock may be substituted with B&B stock of equal grade.
3. Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2004 edition.
4. All trees shall be branched.
5. Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
6. Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
7. In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
8. In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
9. Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
10. Landscape Contractor to verify plant material quantities.
11. Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.
12. Automatic irrigation to be installed for all new planted areas.



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**PLANTING DETAILS & NOTES**  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

**MEARS DESIGN GROUP**  
LANDSCAPE ARCHITECTURE & PLANNING  
PO BOX 23338 | PORTLAND, OREGON | 97281  
PHONE: 503.601.4516 | FAX: 503.924.4688

PROJECT INFORMATION  
MDG PROJECT # | 2223  
TAX LOT(S) | 2S1258A00100  
LAND USE # | 22-0004  
DESIGNED BY | TAM  
CHECKED BY | TAM

SHEET NUMBER  
**L103**

SW MARTINAZZI AVENUE



New multi-family units proposed in existing vacant area

New multi-family units proposed, removing two existing buildings

15  
I 205  
Interchange

New multi-family units proposed in existing vacant area

## PROJECT SUMMARY

Approximate Lot Area: **727,859 sq.ft.** | 16.7 acres

Zoning Designation: **RMH (Medium High Density)**

Maximum Density: **250** units (at 15 units/acre)  
 Minimum Density: **183** units (at 11 units/acre)  
 Maximum Coverage: **291,144 sq.ft.** (at 40%)  
 Minimum Open Space Requirements: **450 sq.ft./dwelling unit**  
*breakdown-*  
 Common Space Required: **300 sq.ft./d.u.**  
 Children Play Area Required: **150 sq.ft./d.u.**  
 - does not apply to duplexes/townhomes

*\*the following numbers are estimates\**

### As Built Project Stats:

Number of Units: **211**  
 Number of Buildings: **26**  
 Number of Parking Spaces: **372**  
 Coverage Provided: **85,251 sq.ft. (12%)**  
 Common Space Required: **87,750 sq.ft.**  
 All Open Space (including landscape): **~246,473 sq.ft.**

### Proposal Project Stats:

*\*proposing to demolish two existing buildings*

Number of Units: **240**  
 Number of Buildings: **36**  
 Number of Parking Spaces: **442**  
 Coverage Provided: **90,223 sq.ft. (12%)**

Shared Outdoor Area Required: **108,000 sq.ft.**  
*breakdown-*  
 -Common Space Required: **72,000 sq.ft.**  
 -Children Play Area Required: **36,000 sq.ft.**

Shared Outdoor Area Provided: **122,521 sq.ft.**  
*breakdown-*  
 -Common Space Provided: **83,776 sq.ft.**  
 -Children Play Area Provided: **36,000 sq.ft.**

Approximate Landscaping Area: **245,007 sq.ft. (33%)**

### key

- Landscaping
- Common Space
- Children Play Area
- Bluff

SW SAGERT STREET



**ALDEN APARTMENTS - TUALATIN, OREGON**  
**COLRICH COMMUNITIES**

**SITE AERIAL**

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



**A2**



SITE  
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A3



SITE  
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A4



FRONT  
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013



505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A5

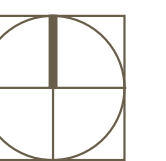


REAR  
PERSPECTIVE

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A6

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES





**A** FRONT EXTERIOR ELEVATION



**B** LEFT EXTERIOR ELEVATION



**C** REAR EXTERIOR ELEVATION



**D** RIGHT EXTERIOR ELEVATION

**KEYNOTES:**

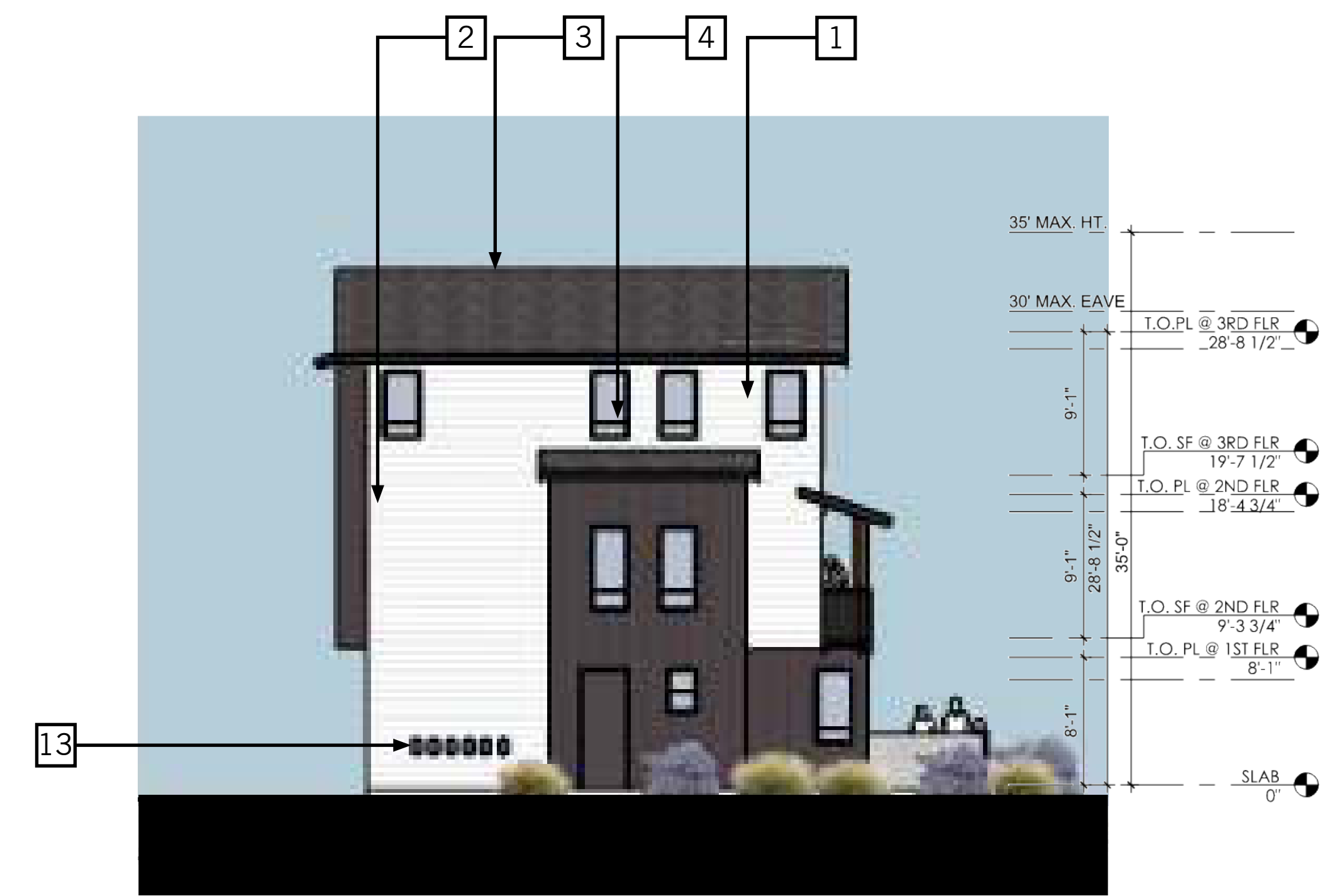
- 1. FIBER CEMENT LAP SIDING – 6” EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16” O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST
- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE A -  
3-PLEX ELEVATIONS**





**A** FRONT EXTERIOR ELEVATION



**B** LEFT EXTERIOR ELEVATION



**C** REAR EXTERIOR ELEVATION



**D** RIGHT EXTERIOR ELEVATION

**KEYNOTES:**

- 1. FIBER CEMENT LAP SIDING – 6" EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16" O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST
- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

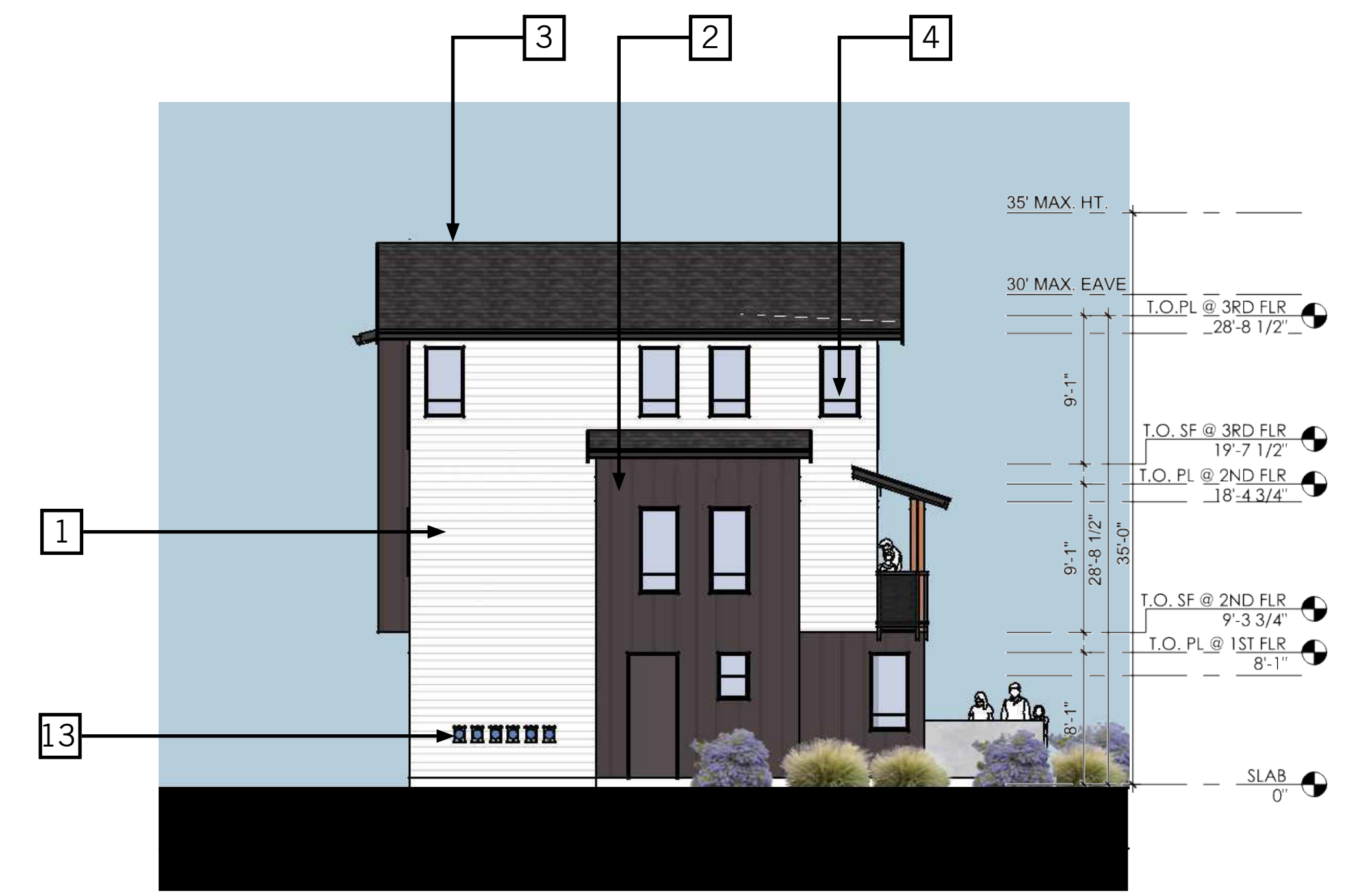
**BUILDING TYPE B -  
4-PLEX ELEVATIONS**



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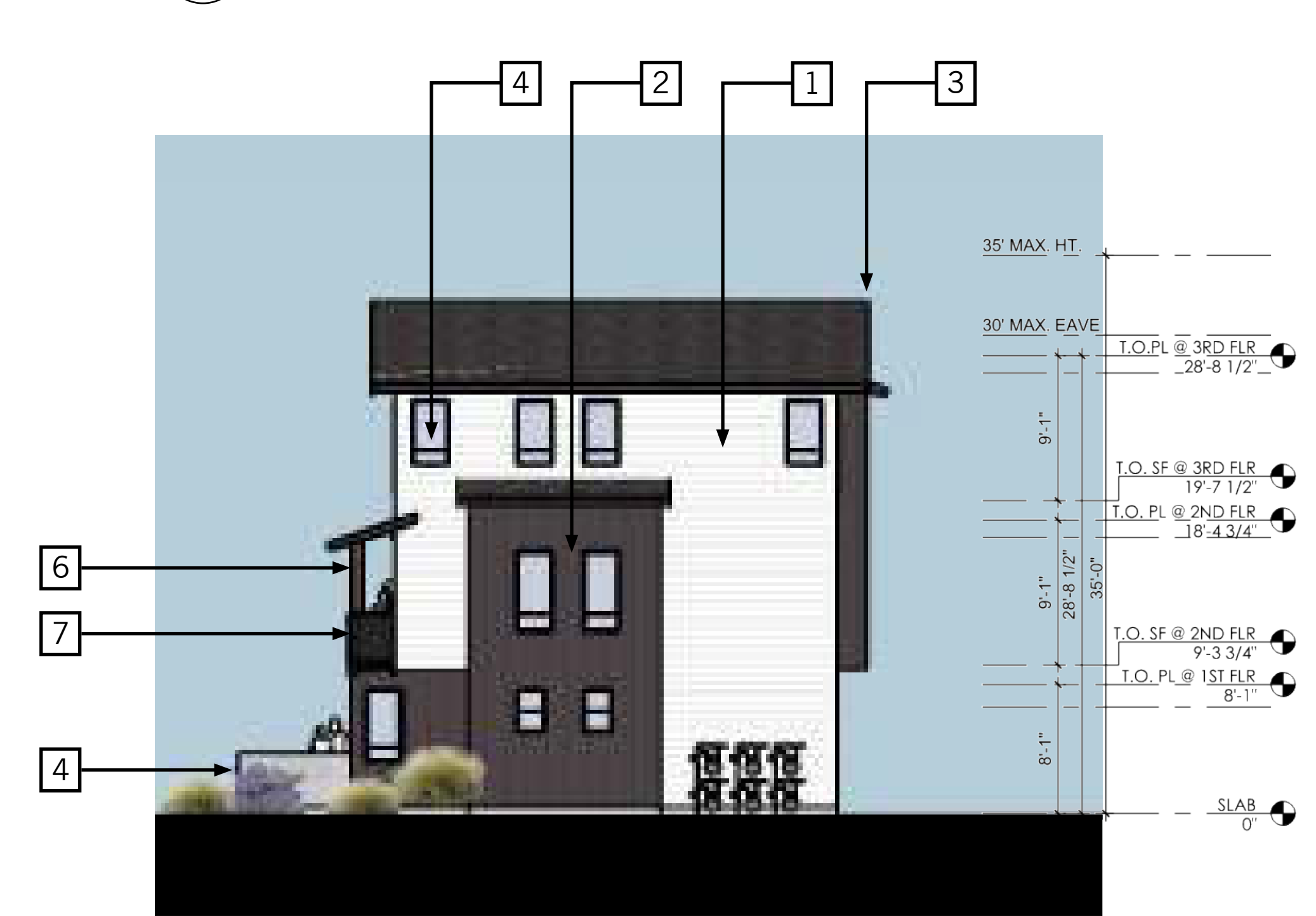
A FRONT EXTERIOR ELEVATION



B LEFT EXTERIOR ELEVATION



C REAR EXTERIOR ELEVATION



D RIGHT EXTERIOR ELEVATION

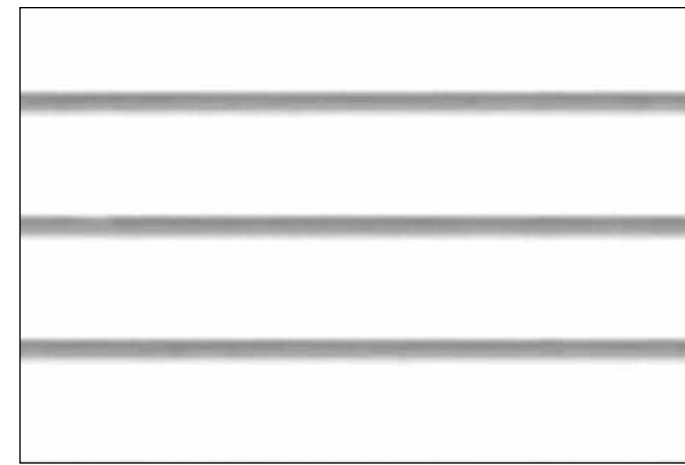
**KEYNOTES:**

- 1. FIBER CEMENT LAP SIDING – 6" EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16" O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST

- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE C -  
5-PLEX ELEVATIONS**

# COLORS + MATERIALS



**1** EXTERIOR SIDING 1  
**SMOOTH FIBER CEMENT SIDING - 6" REVEAL**  
*Extra White SW 7006 by Sherwin Williams*



**2** EXTERIOR SIDING 2  
**SMOOTH FIBER CEMENT SIDING - BOARD AND BATTEN**  
*Iron Ore SW 7069 by Sherwin Williams*



**3** EXTERIOR SIDING 3  
**CEDARMILL FIBER CEMENT SIDING - 6" REVEAL**  
*Mountain Cedar by Woodtone*



**4** ACCENT COLOR 1  
**ENTRY DOOR**  
*Seaworthy SW 7620 by Sherwin Williams*

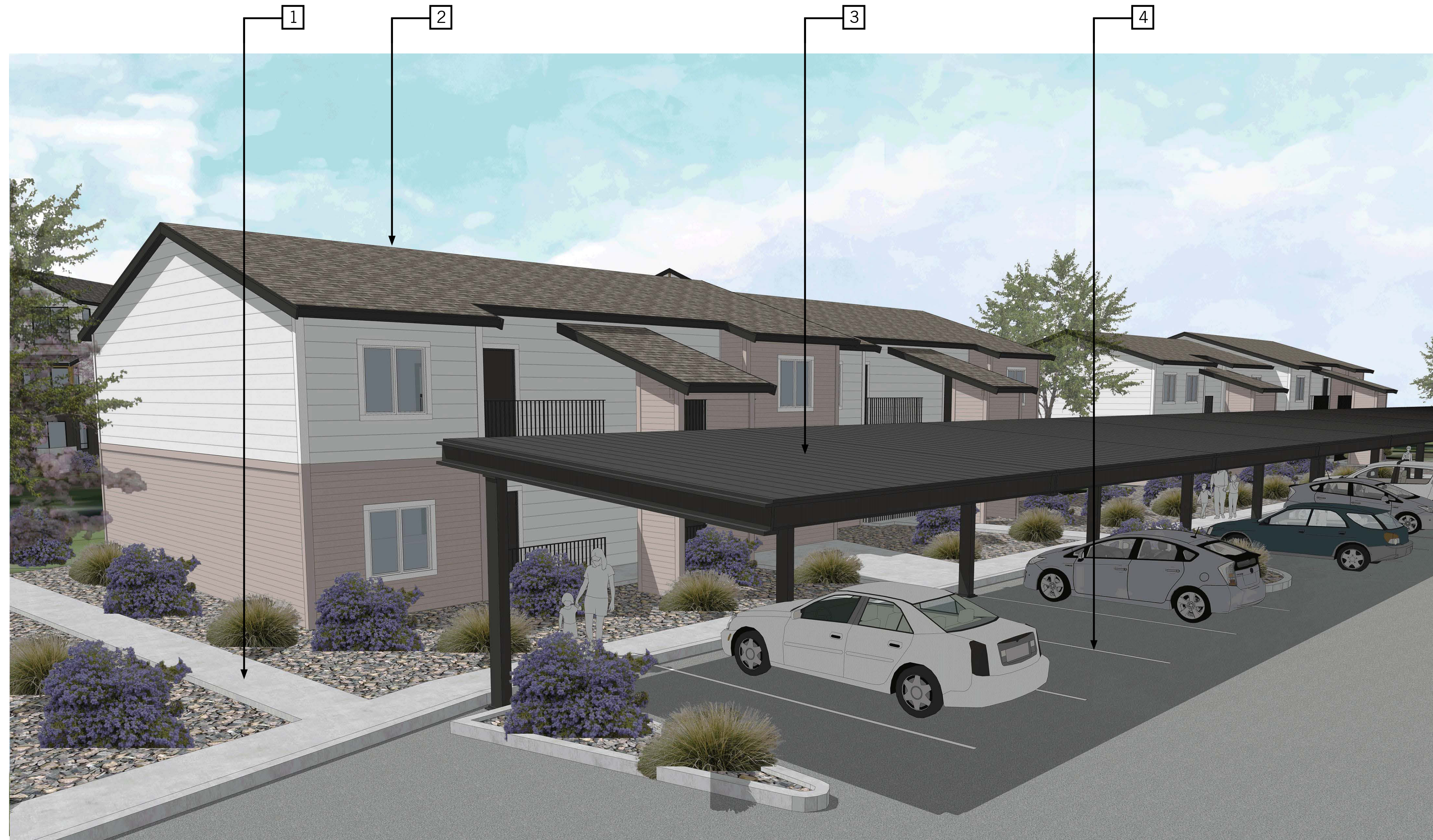


**5** ROOFING  
**COMPOSITION SHINGLE ROOF**  
*Driftwood by Owens Corning*



## COLORS + MATERIALS

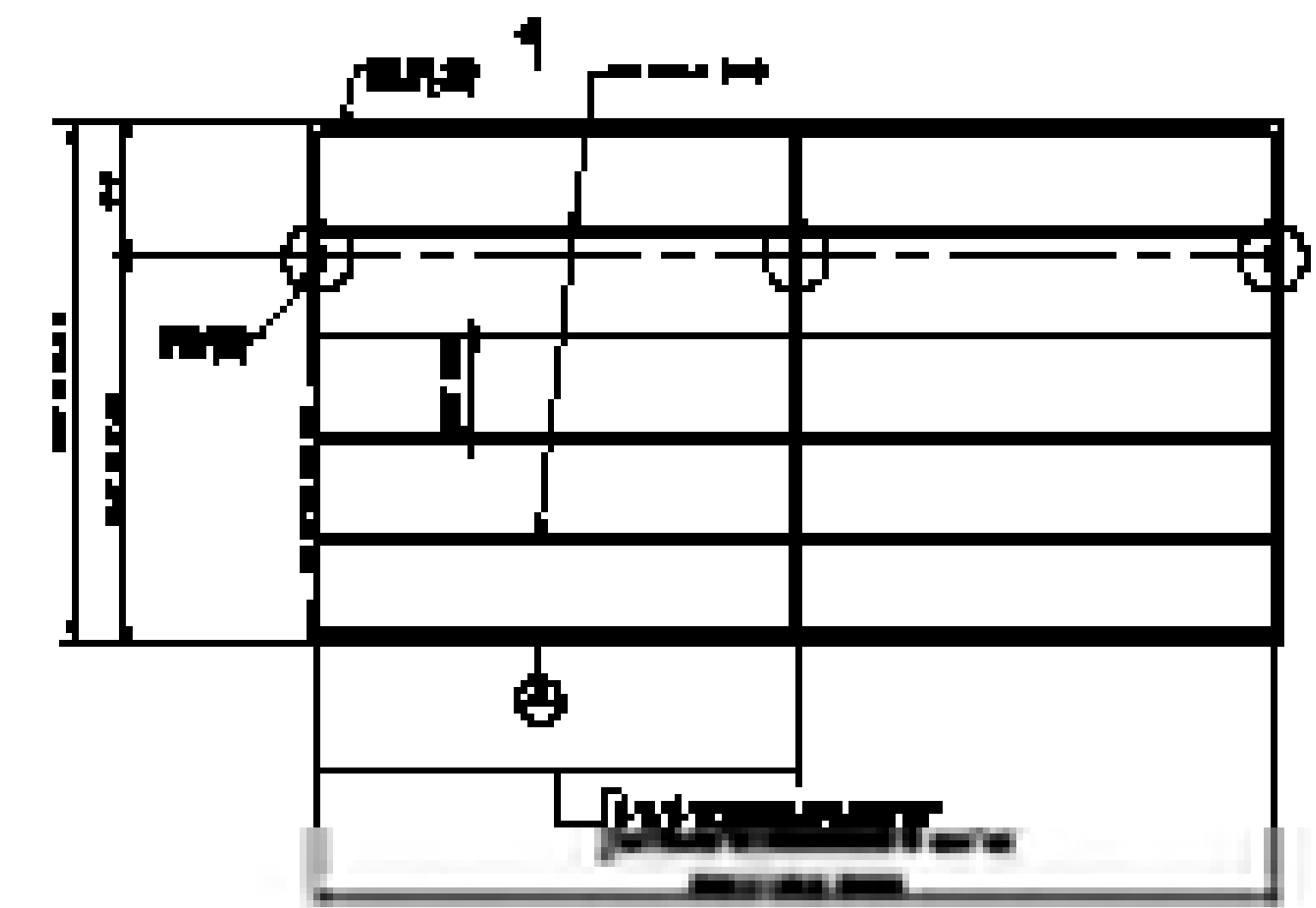




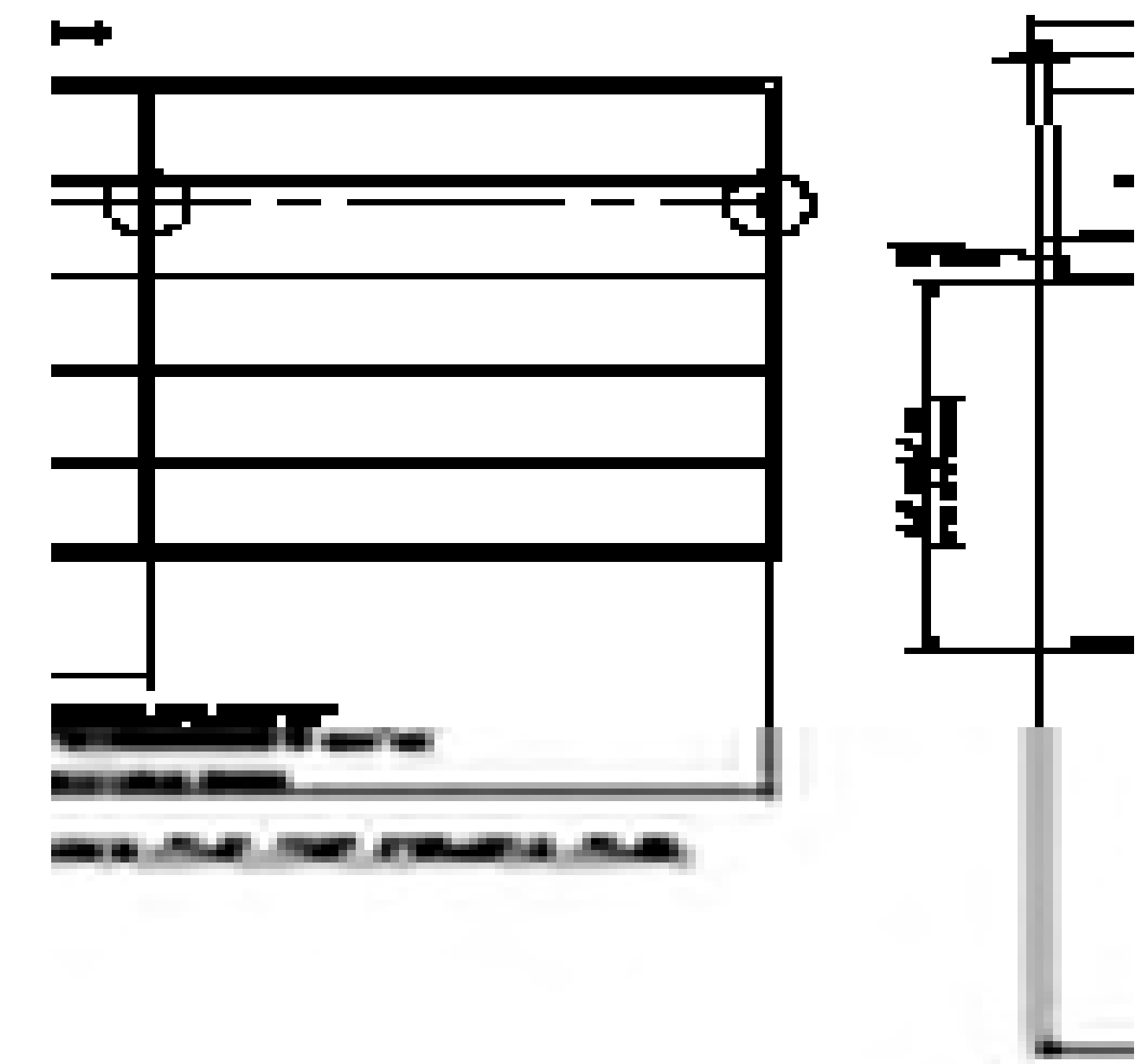
**A** PERSPECTIVE AT BUILDINGS J1 & K1

**KEYNOTES:**

- 1. EXISTING LANDSCAPE AND HARDSCAPE TO REMAIN
- 2. EXISTING BUILDINGS TO REMAIN
- 3. NEW CARPORT STRUCTURE BY OTHERS, STANDING SEAM METAL ROOF O/ ROOF DECK, PAINT COLOR T.B.D.
- 4. EXISTING PARKING TO BE RESTRIPE

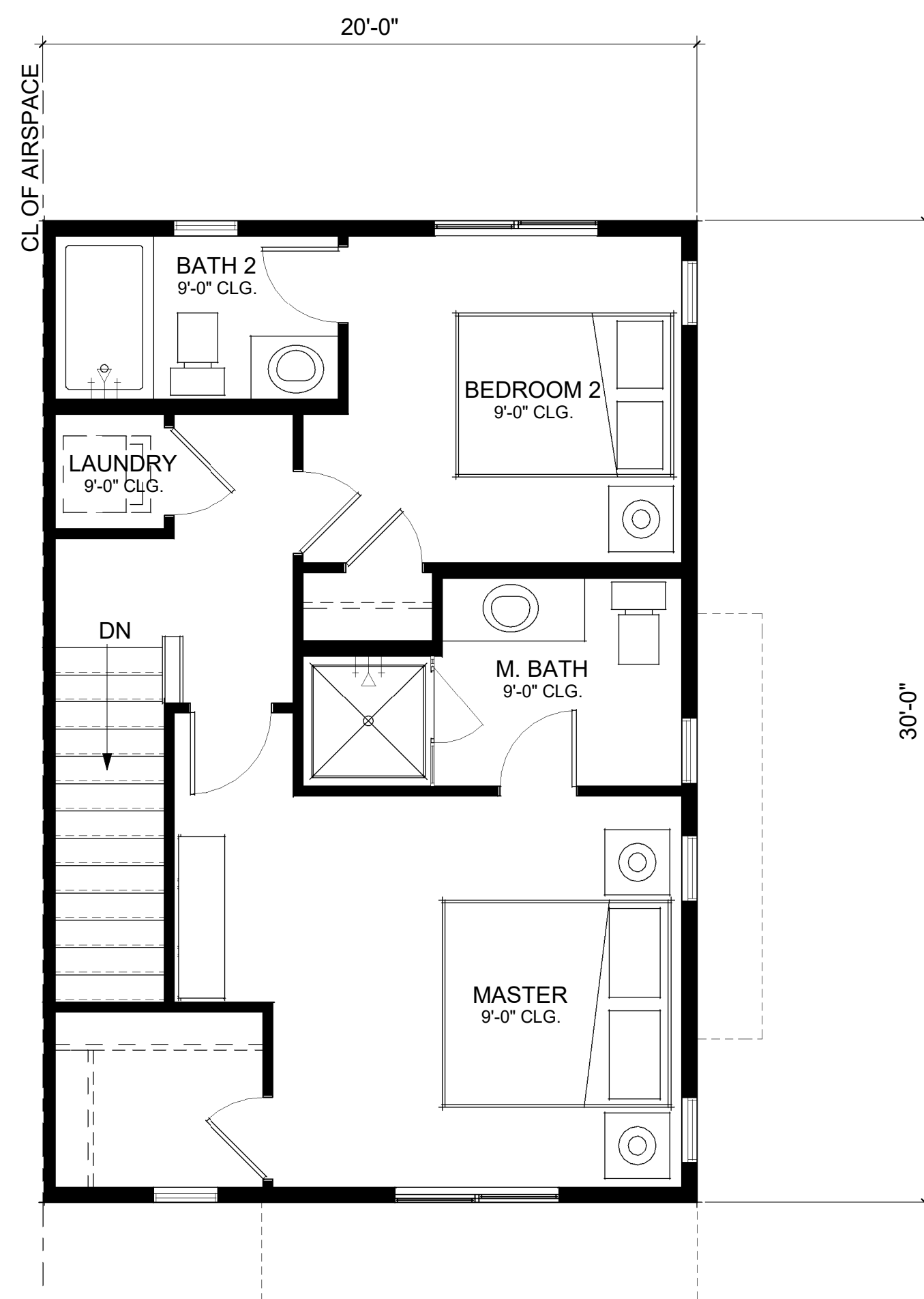


**C** ROOF PLAN PER MANUF.

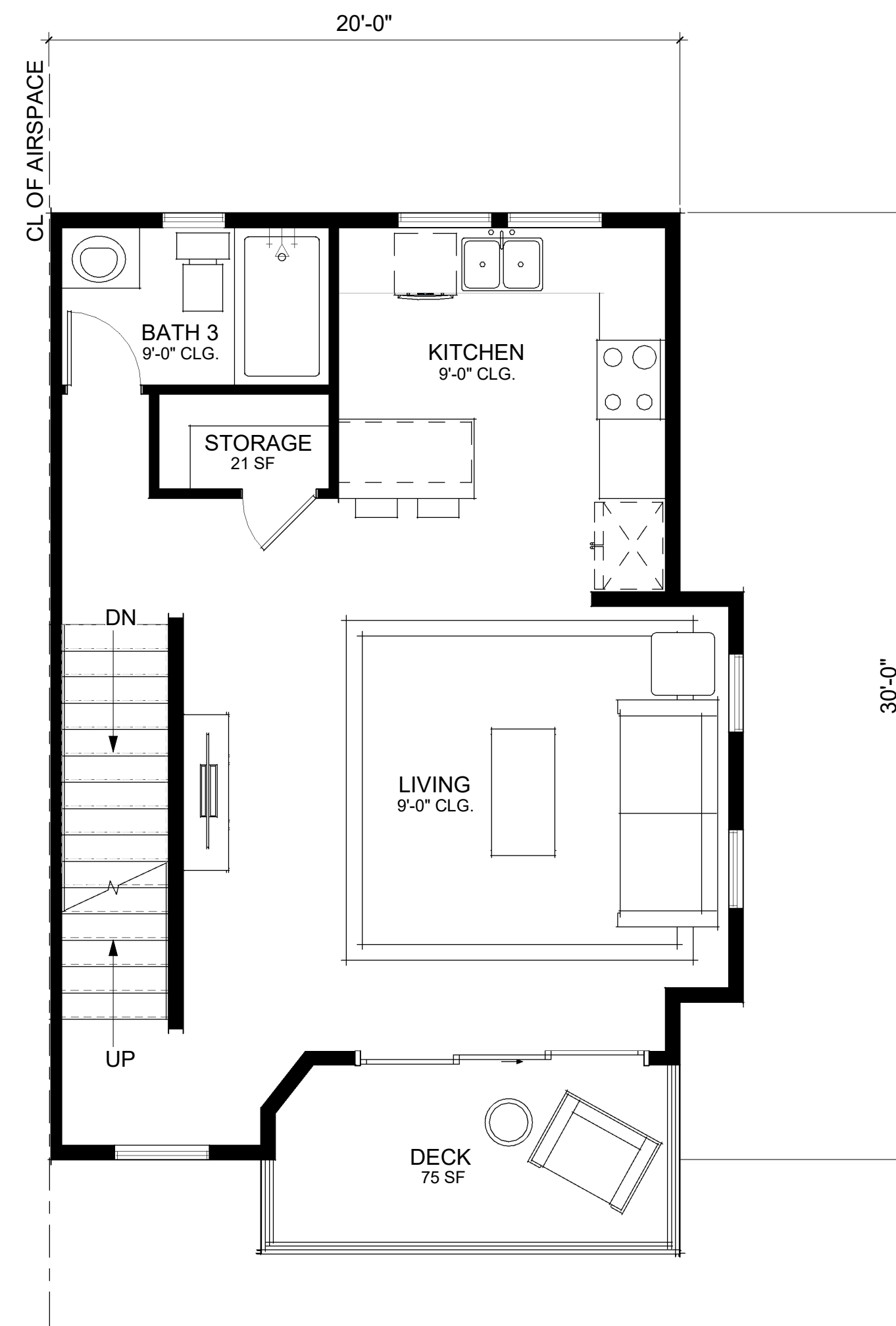


**B** SECTION PER MANUF.

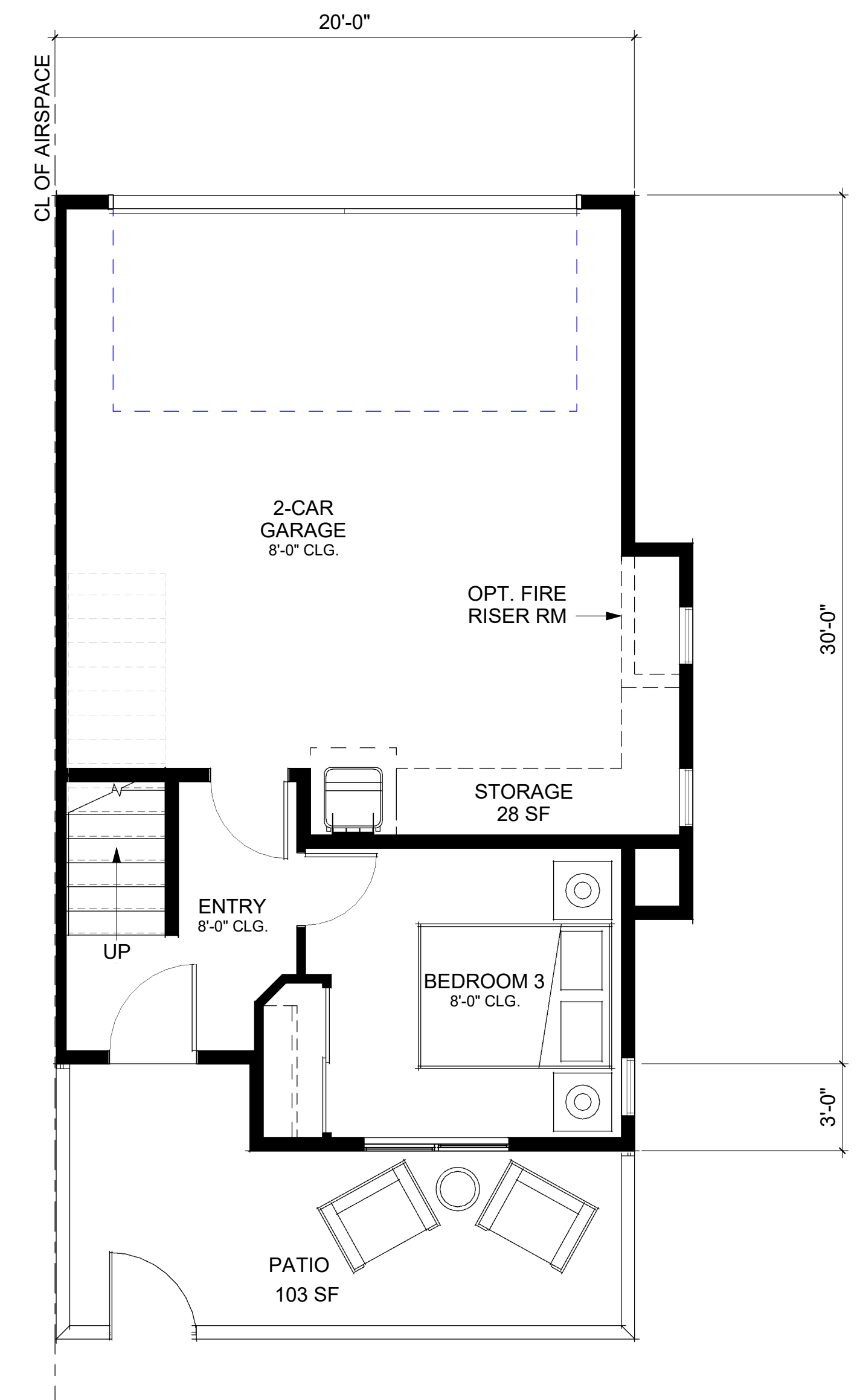
**SITE CARPORT**



3 UNIT PLAN A - THIRD FLOOR  
1/4" = 1'-0"



2 UNIT PLAN A - SECOND FLOOR  
1/4" = 1'-0"



1 UNIT PLAN A - FIRST FLOOR  
1/4" = 1'-0"

UNIT PLAN A - 3 BR / 3 BA	
NAME	Area
FIRST FLOOR	217 SF
SECOND FLOOR	583 SF
THIRD FLOOR	559 SF
TOTAL LIVING AREA	1,359 SF
2-CAR GARAGE	414
DECK	75
PATIO	103
STORAGE 1ST LEVEL	28
STORAGE 2ND LEVEL	21

UNIT FLOOR PLANS



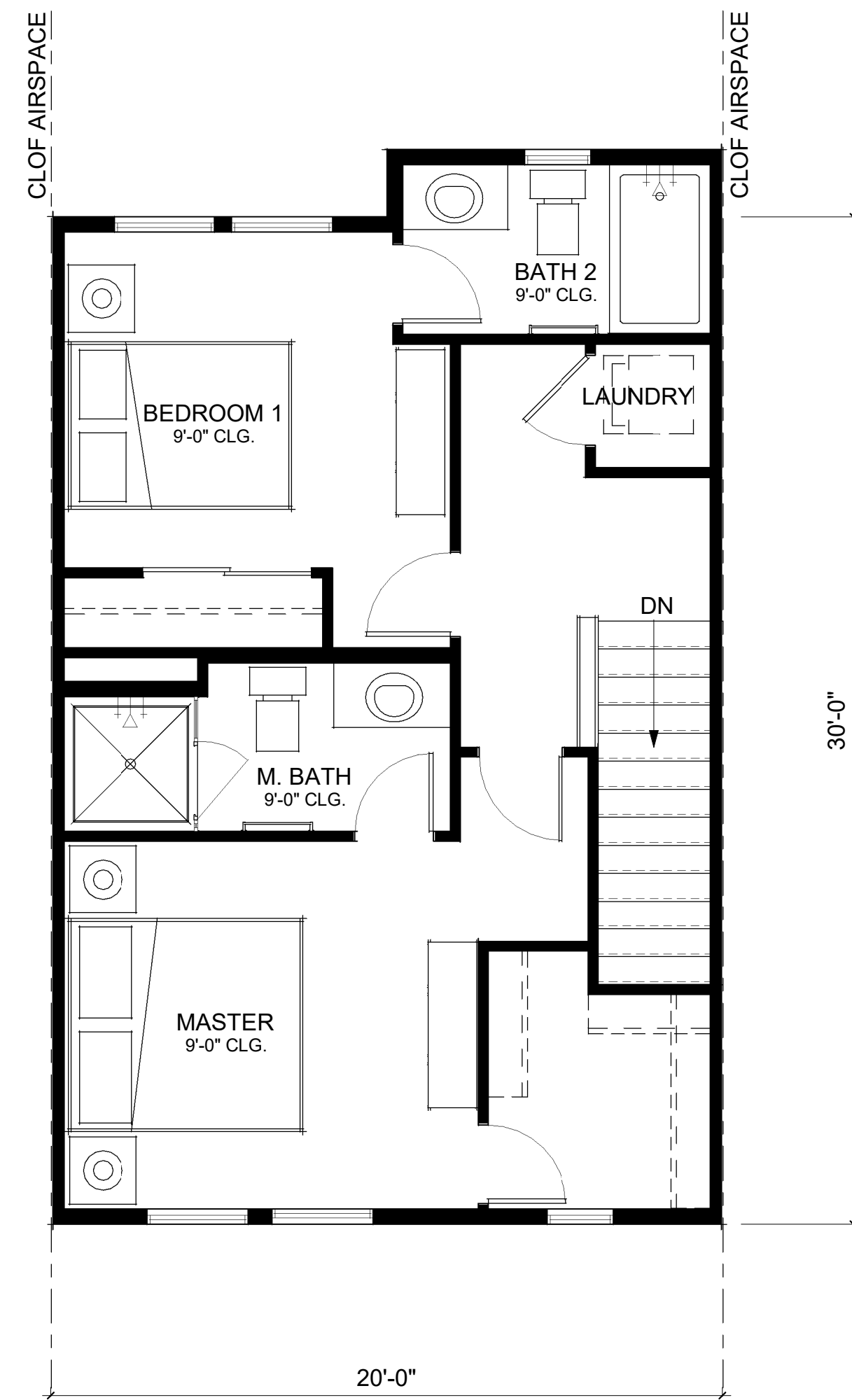
ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES



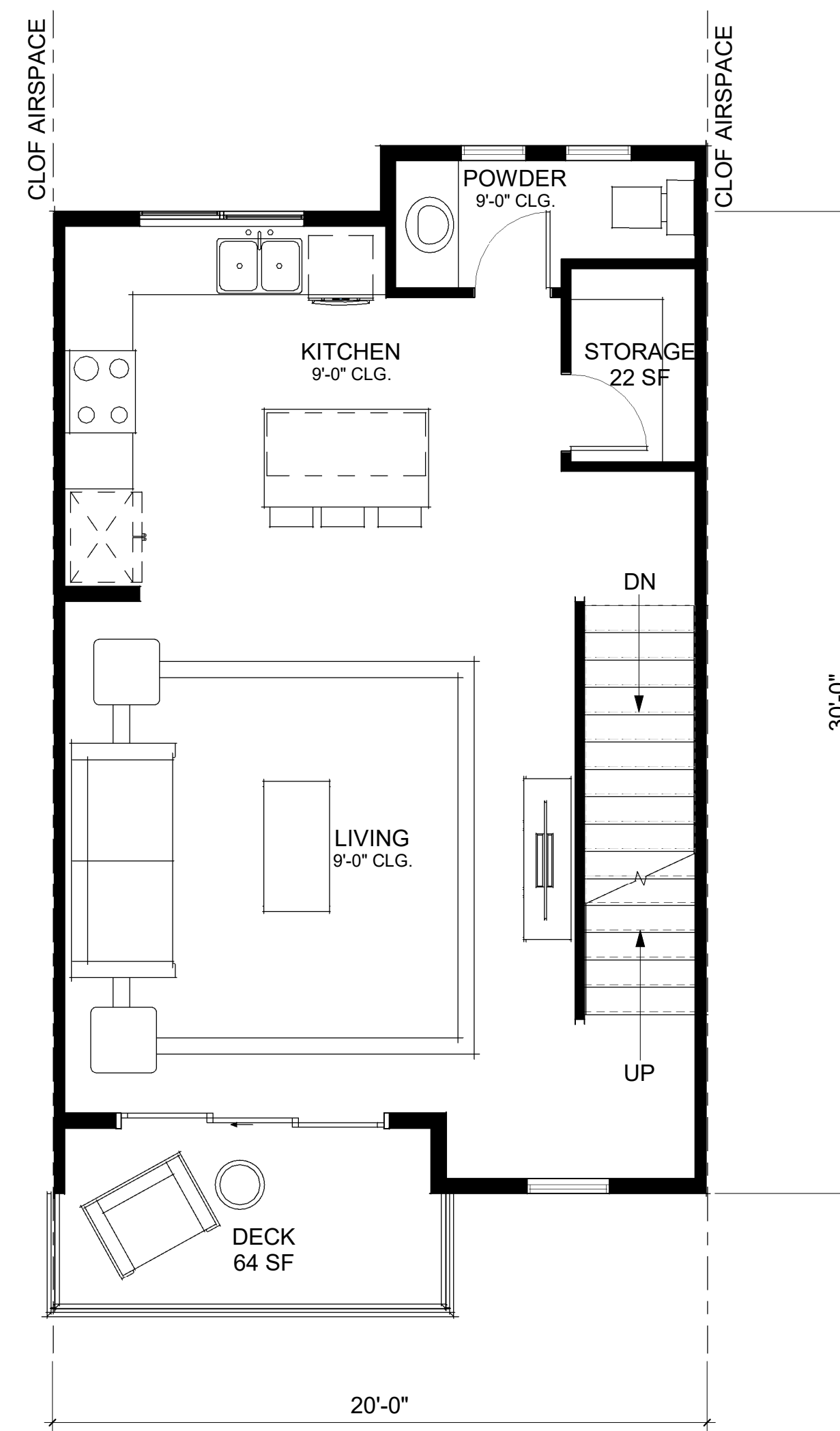
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JOB NO. 727.013  
505 W. Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



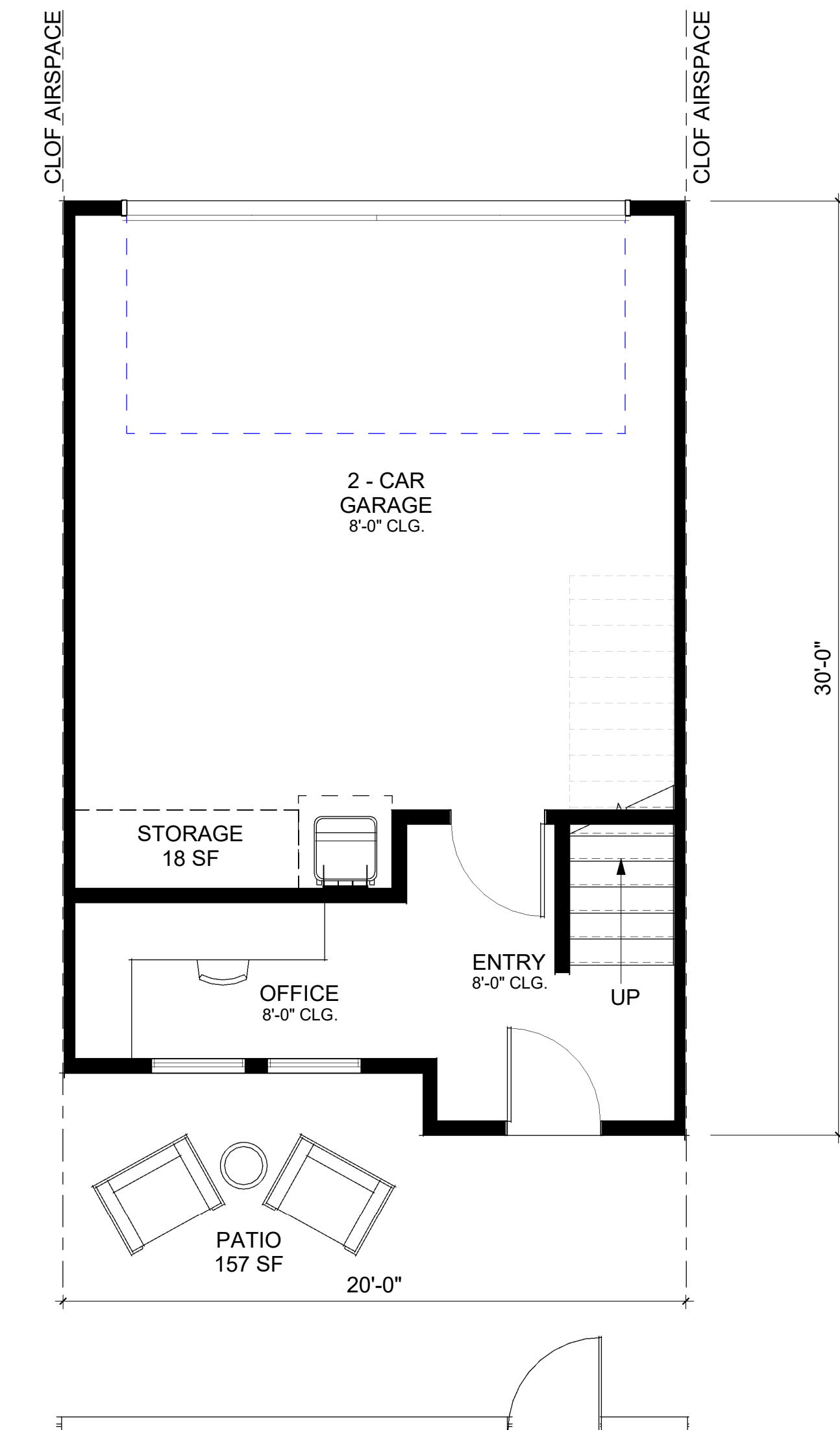
A12



3 UNIT PLAN B - THIRD FLOOR  
1/4" = 1'-0"



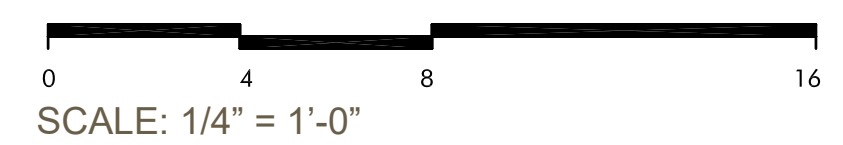
2 UNIT PLAN B - SECOND FLOOR  
1/4" = 1'-0"



1 UNIT PLAN B - FIRST FLOOR  
1/4" = 1'-0"

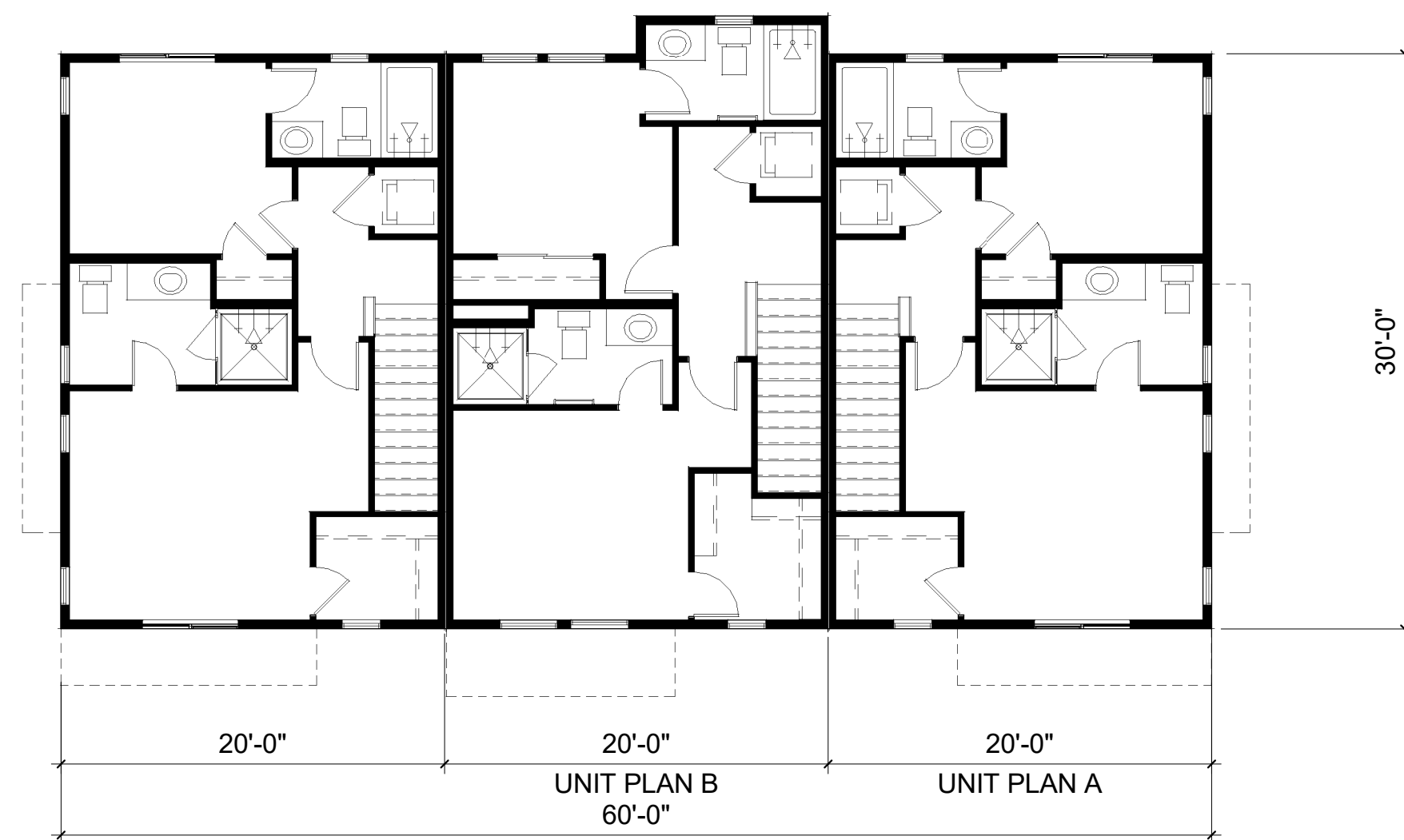
UNIT PLAN B - 2 BR / 2.5 BA	
NAME	Area
FIRST FLOOR	159 SF
SECOND FLOOR	589 SF
THIRD FLOOR	577 SF
TOTAL LIVING AREA	1,325 SF
2-CAR GARAGE	398 SF
DECK	64 SF
PATIO	157 SF
STORAGE 1ST LEVEL	18 SF
STORAGE 2ND LEVEL	22 SF

UNIT FLOOR PLANS

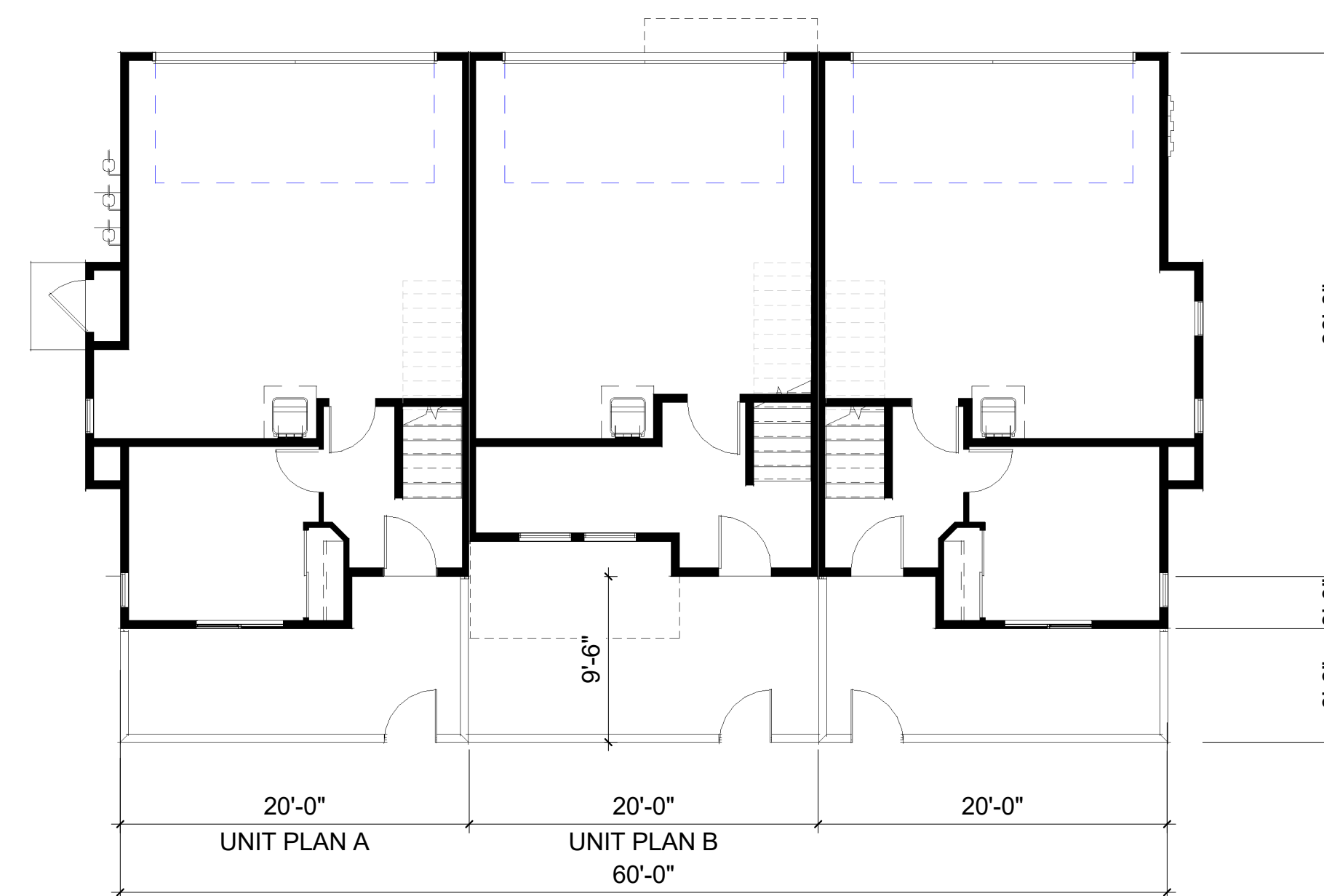




2 BUILDING TYPE A - 3-PLEX - FIRST FLOOR  
1/8" = 1'-0"

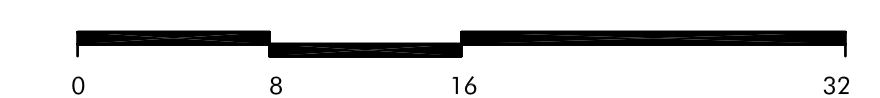


3 BUILDING TYPE A - 3-PLEX - THIRD FLOOR  
1/8" = 1'-0"



1 BUILDING TYPE A - 3-PLEX - SECOND FLOOR  
1/8" = 1'-0"

BUILDING TYPE A -  
3-PLEX (BLDGS O2,  
P2, Q2, R2)



SCALE: 1/8" = 1'-0"

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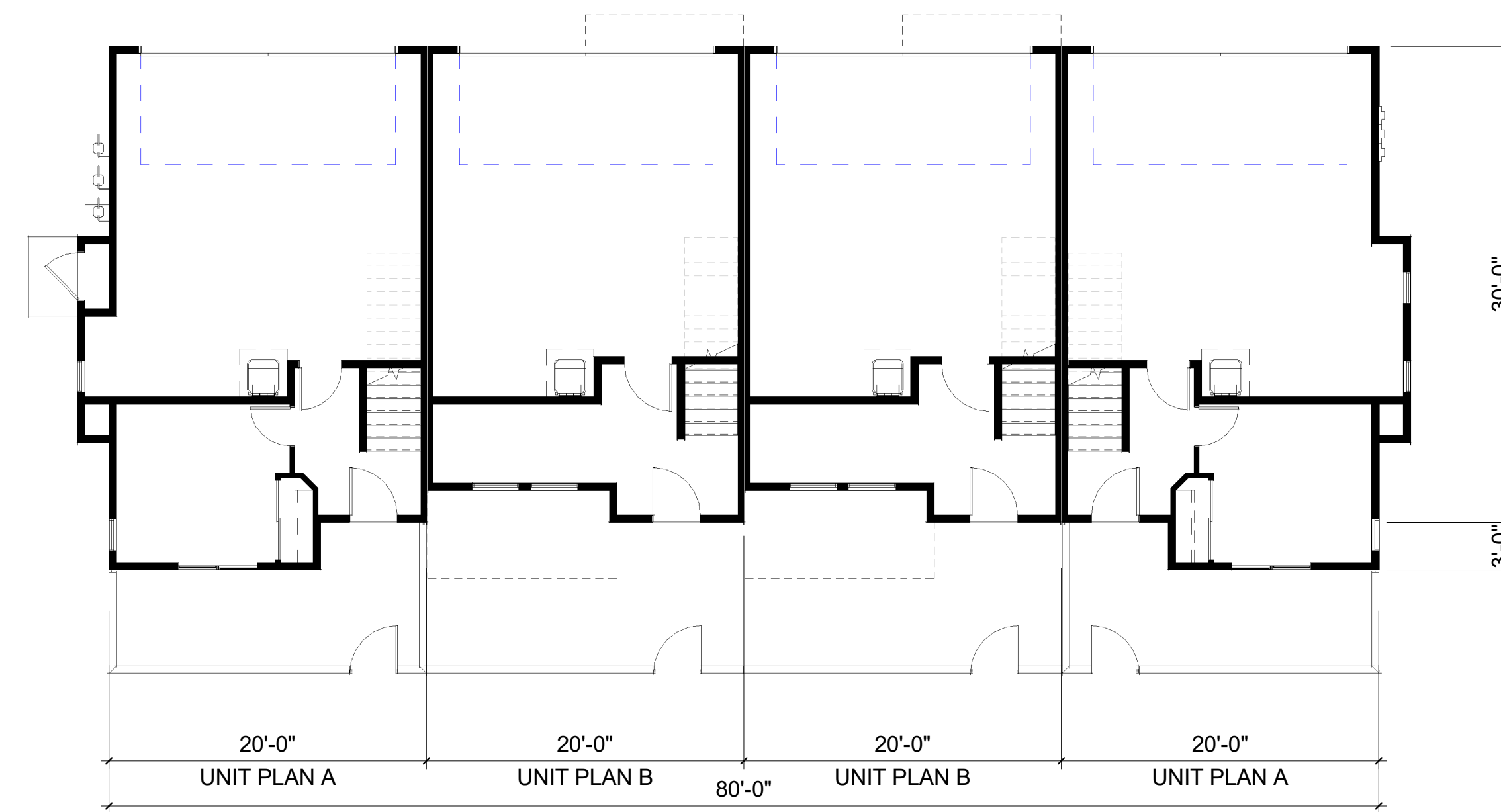
A14



2 BUILDING TYPE B - 4-PLEX - SECOND FLOOR  
1/8" = 1'-0"



3 BUILDING TYPE B - 4-PLEX - THIRD FLOOR  
1/8" = 1'-0"



1 BUILDING TYPE B - 4-PLEX - FIRST FLOOR  
1/8" = 1'-0"

BUILDING TYPE B -  
4-PLEX (BLDGS K2,  
L2, M2, N2, R1, S2,  
T2)



SCALE: 1/8" = 1'-0"

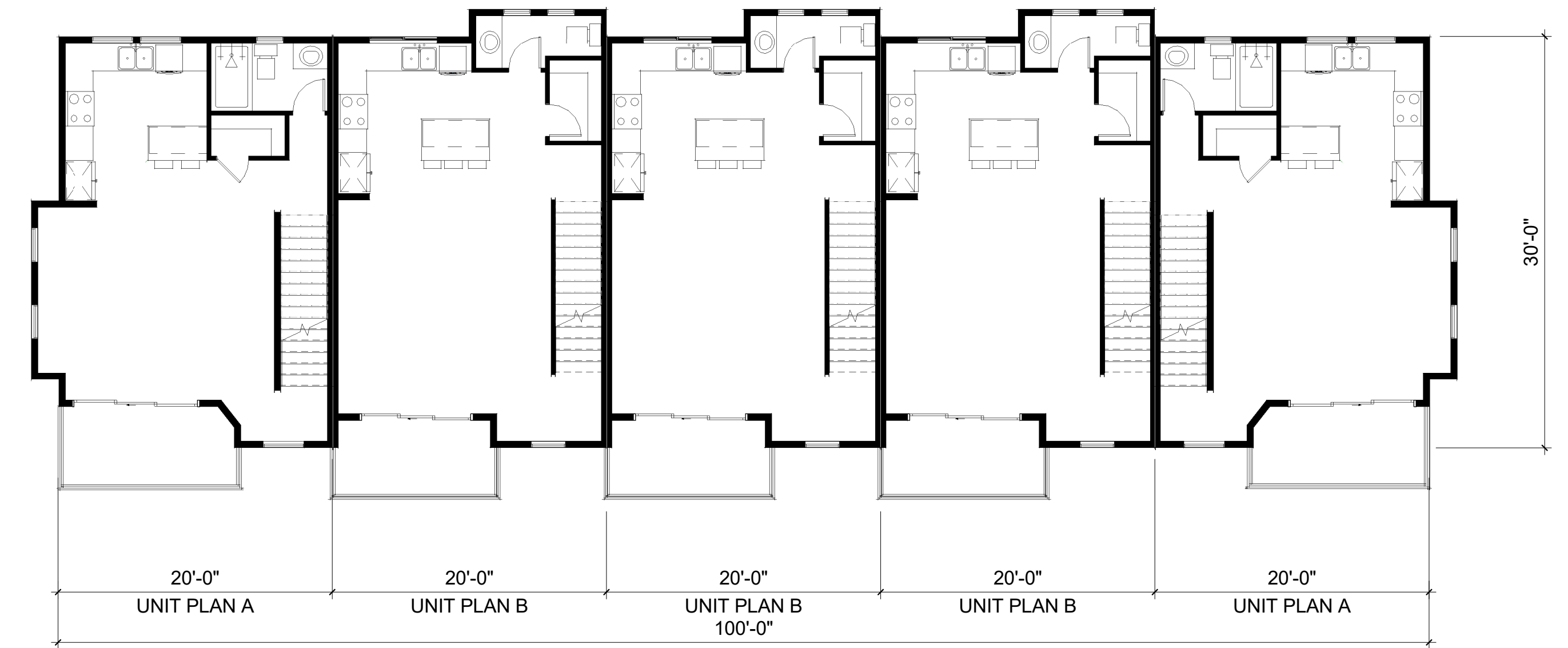
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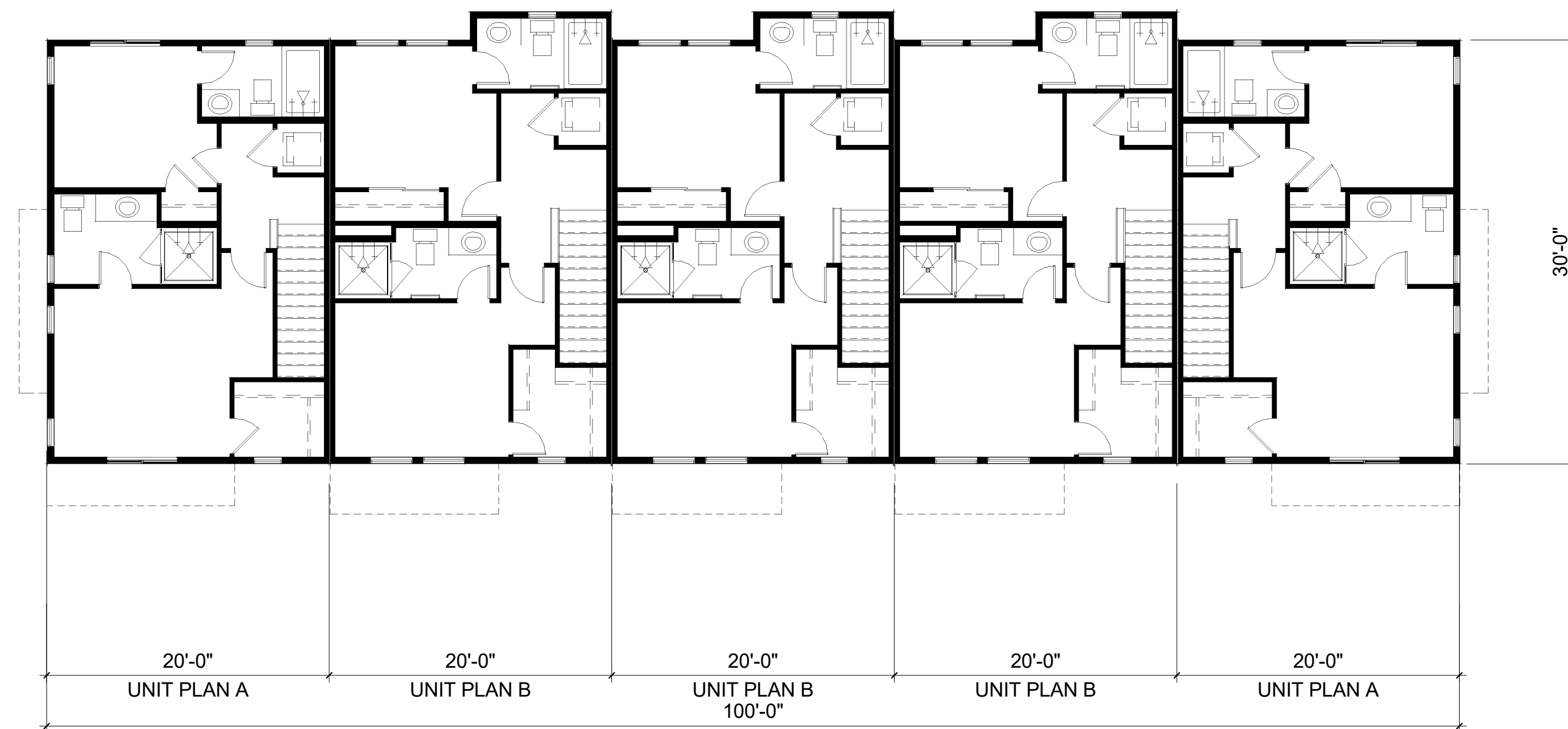


A15

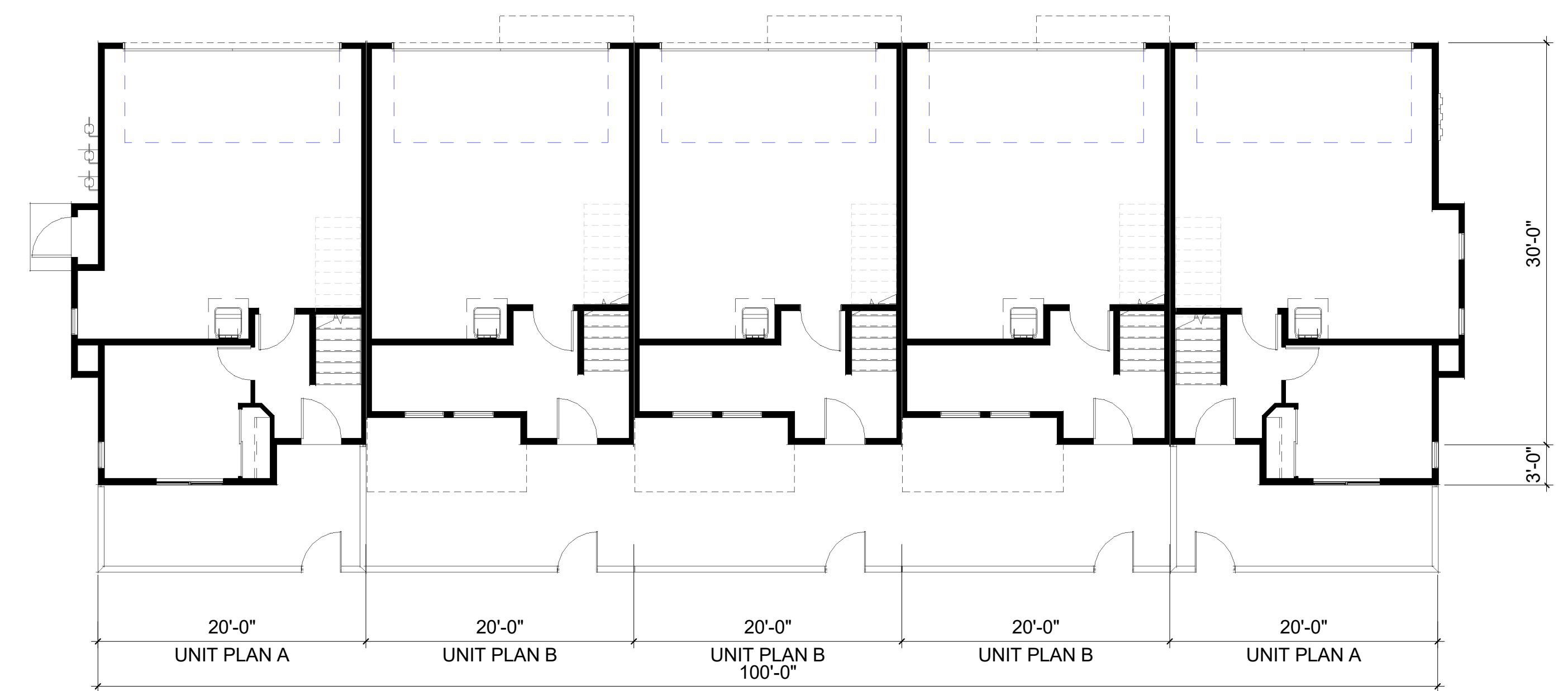




2 BUILDING TYPE C - 5-PLEX - FIRST FLOOR  
1/8" = 1'-0"



3 BUILDING TYPE C - 5-PLEX - THIRD FLOOR  
1/8" = 1'-0"



1 BUILDING TYPE C - 5-PLEX - SECOND FLOOR  
1/8" = 1'-0"