## Vicinity Map:



## 124th Avenue Business Park

Buildings 'A', 'B' and 'C' Southwest 124th Avenue Tualatin, Oregon 97062

## Project Directory:

## **DEVELOPER**:

Tualatin 124, LLC 9760 Southwest Freeman Drive Wilsonville, Oregon 97070 Phone: (503) 816-7719 Contact: Tracy Bowers

## **ENGINEER**:

VLMK Engineering + Design 3933 South Kelly Avenue Portland, Oregon 97239 Phone: (503) 222-4453 Contact: Havlin Kemp, Kurt Nakashima

## **WETLAND CONSULTANT:**

Environmental Science & Assessment, LLC 4831 Northeast Fremont Street, Suite 2B Portland, Oregon 97213 Phone: (503) 478-0424 Contact: Jack Dalton

## SURVEYOR:

Weddle Surveying, Incorporated 6950 Southwest Hampton Street Tigard, Oregon 97223 Phone: (503) 941-9585 Contact: -

## JURISDICTION:

City of Tualatin, Oregon 10699 Southwest Herman Road Tualatin, Oregon 97062 Phone: (503) 691-3044 Contact: -

## LANDSCAPE ARCHITECT:

Otten and Associates 3933 South Kelly Avenue, Suite 'B' Portland, Oregon 97239 Phone: (503) 972-0311 Contact: Erin Holsonback

## ARBORIST:

Teragan & Asoociates, Incorporated 3145 Westview Circle Lake Oswego, Oregon 97034 Phone: (503) 697-1975 Contact: Christine Johnson

## CONTRACTOR:

To Be Determined

# General Site Plan - Reference Only 1" = 80.0' TAX LOT 2S 1 22C- 1501 TAX LOT 2S 1 22C- 1600 PARKING 45 SPACES

## Separate Permits / Deferred Submittals

2019 O.S.S.C, 2019 O.M.S.C., 2017 O.P.S.C., 2017 O.E.S.C., 2019 O.E.E.S.C. AND 2009 ICC ANSI 117.1

NO.	SYSTEM DESCRIPTION	SUB-CONTRACTOR	SUBMITTAL					
1	STEEL ROOF JOISTS AND GIRDERS	TO BE DETERMINED	SHOP DRAWINGS					
2	ELECTRICAL	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR					
3	MECHANICAL	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR					
4	FIRE PROTECTION	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR					
5	PLUMBING	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR					
6	EMERGENCY RESPONDER RADIO	TO BE DETERMINED	DIRECTLY TO CITY BY SUB-CONTRACTOR					
DEFERRED SUBMITTAL NOTE: IN ACCORDANCE WITH I.B.C. SECTION 107.3.4.1 DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY VLMK PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL FOR PERMIT APPROVAL. THE SUBCONTRACTOR OR VENDOR IS RESPONSIBLE TO PROVIDE CUSTOMARY DESIGN DOCUMENTS AND PERMIT COORDINATION FOR THEIR DEFERRED SUBMITTAL ITEMS. THE DEFERRED SUBMITTAL ITEMS								

6) ENERGY CODE (OZERCC) 7) ADA APPLICABLE CODES AND STANDARDS INCLUDE:

## Building Codes:

2019 OREGON STRUCTUAL SPECIALTY CODE (OSSC) 2019 OREGON MECHANICAL SPECIALTY CODE (OMSC) 2017 OREGON PLUMBING SPECIALTY CODE (OPSC)

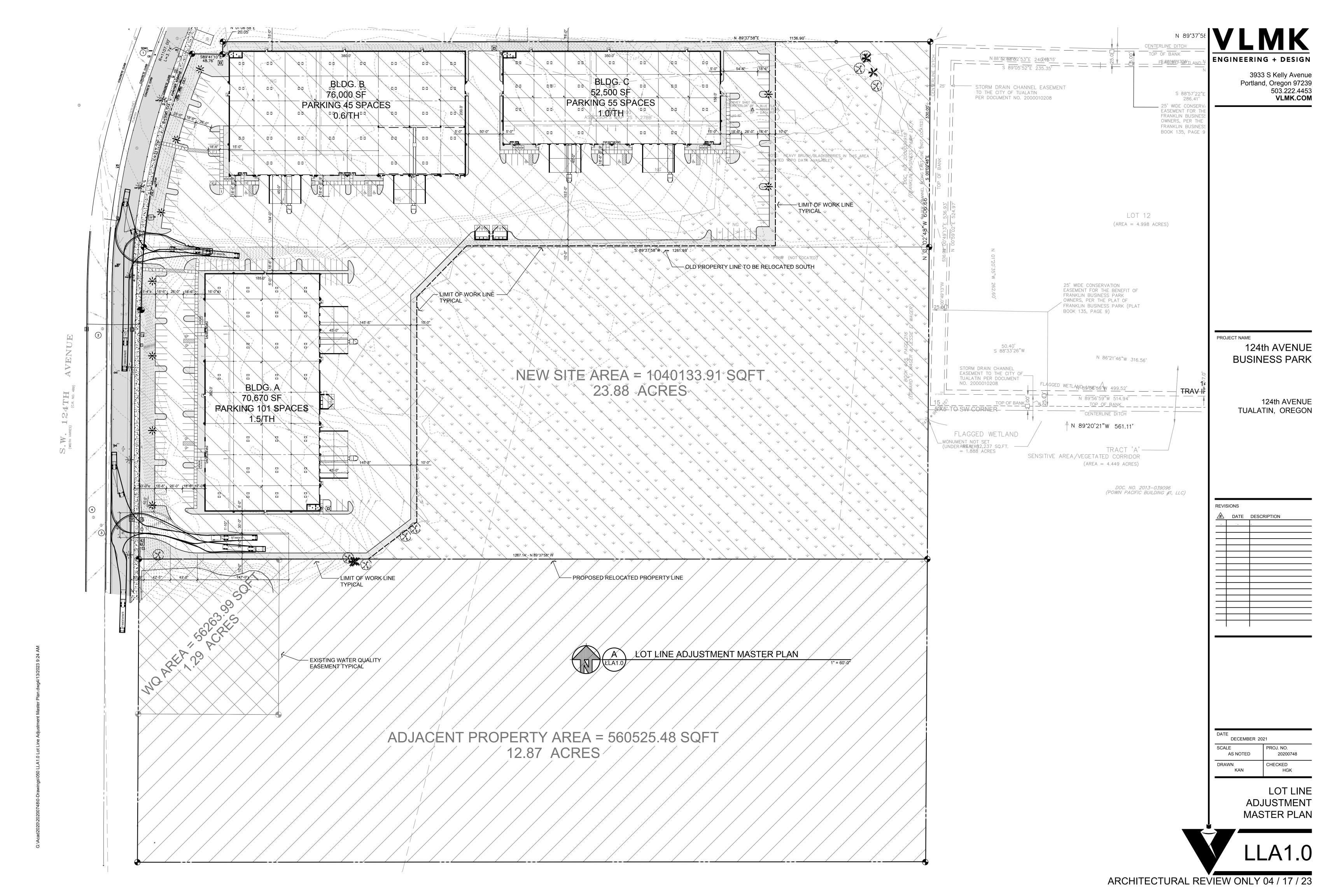
2017 OREGON ELECTRICAL SPECIALTY CODE (OESC) 5) FIRE 2019 OREGON FIRE CODE (OFC) 2019 OREGON ZERO ENERGY READY COMMERCAIL

> 2010 STANDARDS FOR ACCESSIBLE DESIGN NATIONAL FIRE PROTECTION AGENCY

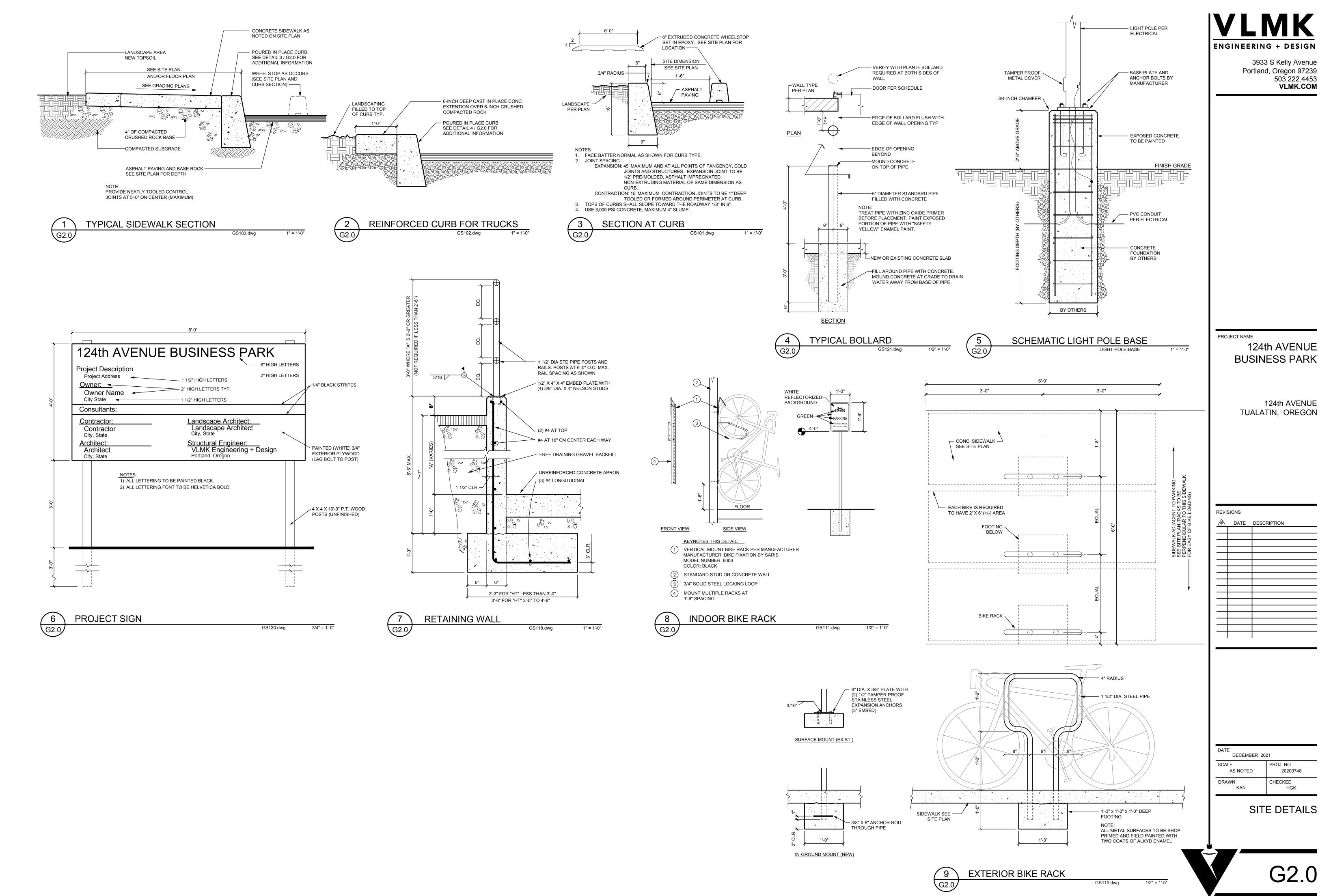
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De	scription of Set:	/ 22	+-		7 / 23 ARCHITECTURAL					<u> </u>								_	
SHEET CVR1.0	TITLE COVER SHEET	DATE: 04 / 08 / 22	90 / 90		04 / 17					_							$\perp$	4	_
							<u> </u>			<u> </u>		<u> </u>	<u>                                       </u>					_	
LLA1.0	LOT LINE ADJUSTMENT - MASTER PLAN					_	+												
G1.0 G2.0	SITE PLAN SITE DETAILS	•					-			$\vdash$								$\dashv$	
G2.1	SITE DETAILS		Ŏ							L							$\equiv$	#	
G2.2	ADA PARKING LAYOUT AND SIGNAGE																	_	
C1.0 C1.1	PRELIMINARY GRADING PLAN  ENLARGED GRADING PLAN					+	+			-							$\dashv$	$\dashv$	
C1.2	ENLARGED GRADING PLAN									L						$\dashv$		#	$\exists$
C1.3 C1.4	PRELIMINARY UTILITY PLAN  PRELIMINARY STORM TECH CROSS SECTIONS			•														$\pm$	
C2.0 C2.1	ENLARGED UTILITY PLAN  ENLARGED UTILITY PLAN	+	-		+	+	+			╀							$\dashv$	$\dashv$	$\dashv$
C2.2	UTILITY DETAILS				#												$\exists$	#	
C2.3 C3.0	UTILITY DETAILS  PRELIMINARY EROSION CONTROL PLAN	上	•			$\pm$	$\pm$	$\pm$		$oldsymbol{\pm}$							$\exists$	$\exists$	
C3.1 C3.2	CLEARING AND DEMOLITION ESCP OVERALL PLAN CLEARING AND DEMOLITION PLAN		<del>                                     </del>		+	-	+	+		<del>                                     </del>					$\dashv$	$\dashv$	$\dashv$	-	-
C3.3	CLEARING AND DEMOLITION PLAN				#	#	#	1		1						$\exists$	$\exists$	#	
C3.4 C3.5	GRADING AND UTILITY CONSTRUCTION ESCP OVERALL PLA GRADING AND UTILITY CONSTRUCTION ESCP	IN			$\pm$	$\pm$	$\pm$	$\pm$		$\downarrow$							$\exists$	$\exists$	$\exists$
C3.6 C3.7	GRADING AND UTILITY CONSTRUCTION ESCP EROSION AND SEDIMENT CONTROL DETAILS		<del>                                     </del>	$\prod$	+	-	+	+		+				$\Box$	$\dashv$	$\dashv$	$\dashv$	$\dashv$	$\dashv$
C4.0 C4.1	OVERALL SITE AND PAVING PLAN	+	1		#	#	#	+		1						$\exists$	$\exists$	#	
C4.1 C4.2	ENLARGED PAVING AND STRIPING PLAN ENLARGED PAVING AND STRIPING PLAN				1												$\equiv$	$\pm$	
	SITE SURVEY / EXISTING CONDITIONS					T	İ	T	1	T	Τ		İ				一	7	
TD4.0	TDEE ONDVEY										ı							〓	
ΓΡ1.0	TREE SURVEY																		
_T1.0 _T1.1	SITE LIGHTING PLAN SITE LIGHTING DETAILS						+			-							$\dashv$	$\dashv$	
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L1.0 L1.1	OVERALL LANDSCAPE PLAN ENLARGED LANDSCAPE PLAN (NORTHWEST)																	$\pm$	
L1.2 L1.3	ENLARGED LANDSCAPE PLAN (NORTHEAST)  ENLARGED LANDSCAPE PLAN (SOUTH)		9							-							$\dashv$	$\dashv$	
L2.0	LANDSCAPE DETAILS AND SPECIFICATIONS	•	Ŏ			土	土											土	
40.0	CODE REVIEW	Ţ	•		Ī	Ī	T		Τ	T									
41.0 41.1	FLOOR PLAN - BUILDING 'A' FLOOR PLAN - BUILDING 'B'					+	+			+							$\dashv$	+	$\dashv$
A1.2 A1.3	FLOOR PLAN - BUILDING 'C' DOOR AND HARDWARE SCHEDULES	Ì					-			-							$\dashv$	7	
A2.0	EXTERIOR ELEVATIONS - BUILDING 'A'	Ì	O														$\exists$	$\exists$	
A2.1 A2.2	EXTERIOR ELEVATIONS - BUILDING 'B'  EXTERIOR ELEVATIONS - BUILDING 'C'																	$\pm$	$\exists$
A2.3 A3.0	BUILDING SECTIONS AND DETAILS WALL SECTIONS		9		-		+			-							$\dashv$	$\dashv$	
A3.1	WALL SECTIONS		Ŏ		#					T							$\equiv$	コ	
44.0 44.1	STOREFRONT PLANS AND ELEVATIONS  MISC. ARCHITECTURAL DETAILS																$\exists$	$\pm$	
45.0 45.1	ROOF PLANS - BUILDING 'A', 'B' AND 'C' ROOF DETAILS				1		+			$\vdash$							$\dashv$	$\dashv$	
46.0	SPECIFICATIONS		Ò		1											$\dashv$	$\exists$	丰	$\exists$
46.1 46.2	SPECIFICATIONS  SPECIFICATIONS		0															$\exists$	
A6.3 A6.4	SPECIFICATIONS  SPECIAL INSPECTION NOTES	+	9		+	+	+			╀							$\dashv$	$\dashv$	$\dashv$
		÷					÷			÷								=	
S0.0 S1.0	SPECIAL INSPECTIONS AND NOTES FOUNDATION PLAN - BUILDING 'A'		•		1													$\exists$	
S1.1 S1.2	FOUNDATION PLAN - BUILDING 'B' FOUNDATION PLAN - BUILDING 'C'		9		1		+			-							$\dashv$	$\dashv$	
S2.0	FOUNDATION DETAILS		Ŏ		1					F								7	$\exists$
S2.1 S3.0	FOUNDATION DETAILS  ROOF FRAMING PLAN - BUILDING 'A'		Ó		$\pm$	$\frac{1}{2}$	#	+								$\exists$	$\exists$	$\pm$	
S3.1 S3.2	ROOF FRAMING PLAN - BUILDING 'B' ROOF FRAMING PLAN - BUILDING 'C'	+		$\parallel$	+	+	+	+	+	+		$\vdash$		H	H	$\dashv$	$\dashv$	$\dashv$	$\dashv$
S4.0 S4.1	ROOF FRAMING DETAILS				#	1	#	1		1						$\dashv$	$\dashv$	#	
S5.0	ROOF FRAMING DETAILS  TILT WALL PANEL ELEVATIONS				#	+	#									$\exists$	$\exists$	$\pm$	
S5.1 S5.2	TILT WALL PANEL ELEVATIONS  TILT WALL PANEL REINFORCING AND DETAILS				+	+	+			+							$\dashv$	+	$\dashv$
S5.3 S6.0	TILT WALL PANEL REINFORCING CRANE PLAN AND DETAILS				1		-			-							$\dashv$	$\dashv$	
	EXF			<u> </u>	_		⇟	<u> </u>											
TT1.0	TRUCK TURNING EXHIBIT	_			_	+	╅		+										
CIVIL CALCULATIONS STRUCTURAL CALCULATIONS  FIRST ISSUE  RE-ISSUED - NO CHANGES  C CALCULATIONS  C CALCULATIONS																			
BID SET PROGRESS SET ARCHITECTURAL REVIEW X CONSTRUCTION SET RECORD SET    PROJECT: 124th Avenue Business Park   VLMK PROJECT #: 2020748   DATE: JANUARY 2022																			

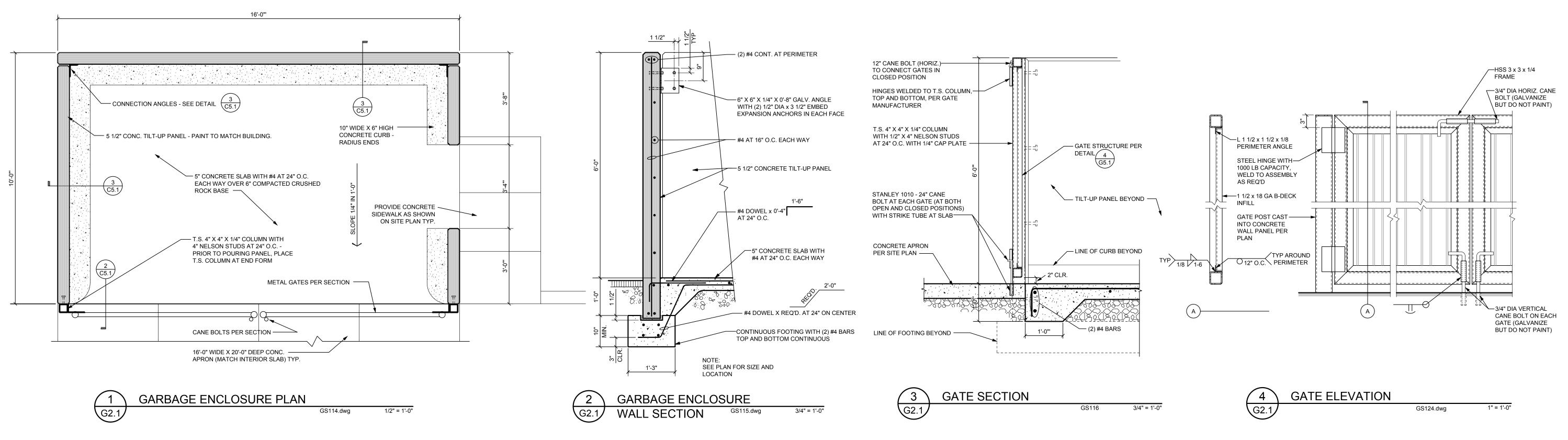
COVER SHEET





**VLMK ENGINEERING + DESIGN** 3933 S Kelly Avenue MONUMENT NOT SET Portland, Oregon 97239 503.222.4453 **VLMK.COM** (UNDER\_WATER) 6' CHAIN LINK FENCE \_\_6' CHAIN LINK FENCE N 01°06'58"E -\_N\_89**:**37'58"E 11<del>36</del>.90'-350.0 [×] /[×] [×] \_54'-6" [.18'-6" BLDG. C BLDG.B **₹**-13 G [×] [×]\ [×] 52,500 SF 76,000 SF PER\_DO PARKING 55 SPACES **PARKING 45 SPACES** [×] ~0.6/TH [×] 8 50'-0" [\*] [\*] Ç×I [×] [×] , - (E×Ī HEAVY BRUSH/BLACKBERRIES IN THIS AREA O TOPO DATA AVAILABLE) [×] - LIMIT OF WORK LINE **TYPICAL** PROJECT NAME 124th AVENUE **BUSINESS PARK** S 89°37′58″W / 1261.98′ POND (NOT LOCATED) - OLD PROPERTY LINE TO BE RELOCATED SOUTH 124th AVENUE TUALATIN, OREGON LIMIT OF WORK LINE PROPOSED SITE PLAN TYPICAL SITE PLAN KEYNOTES: NOTE: NOT ALL KEYNOTES APPEAR ON THIS SHEET. (SEE ALL ENLARGED SITE PLANS) CATCH BASIN COMMUNICATIONS RISER MANHOLE (MH AS NOTED) CONC. NATURAL GROUND CONIFEROUS TREE TO REMAIN POLYVINYL CHLORÍDE PIPE SIDEWALK RAMP. 1:12 MAXIMUM SLOPE. PROVIDE CODE APPROVED (SIZE VARIES 6" - 48") DETECTABLE WARNING. SEE DETAIL 5 / G2.0. PULL BOX CORREGATED STEEL PIPE SPOT ELEVATION - TOP OF CURB POURED-IN-PLACE CONCRETE CURB. LOCATE AROUND ALL LANDSCAPE COUNTY ROAD SPOT ELEVATION - GUTTER AREAS AS SHOWN (U.N.O.). 5.0' TYPICAL CURB RADIUS AT CORNERS DECIDUOUS TREE TO REMAIN (U.N.O.). SEE DETAIL 6 / G2.0. TREE W/TAG NUMBER (SIZE VARIES 6" - 48") REVISIONS 3" WIDE PAINT STRIPE. WATER METER ELECTRICAL PANEL WATER VALVE NEW CONCRETE SIDEWALK. SEE DETAIL 1 / G2.0. STORM DRAIN # DATE DESCRIPTION ELECTRICAL VAULT WETLANDS FLAGGING EASEMENT T TRANSFORMER PAD AND BOLLARDS - COORDINATE WITH ELECTRICAL. ♥FH FIRE HYDRANT TUALATIN PER FENCE (AS NOTED) 5.0' X 5.0' MIN. CONCRETE LANDING (4" THICK - UNREINFORCED). NO. 20000102 CONIFEROUS TREE TO BLDG. A BE REMOVED LOADING DOCK CONCRETE SLAB. 7 INCH THICK UNREINFORCED (SIZE VARIES 6" - 48") -----ST-----STORM DRAIN CONCRETE OVER 6 INCHES COMPACTED CRUSHED ROCK OVER 70,670 SF WETLANDS FLAG LIINE DECIDUOUS TREE TO COMPACTED SUBGRADE. BE REMOVÈD (SIZE VARIES 6" /- 48") PARKING 101 SPACES FIRE SPRINKLER AND DOMESTIC WATER RISER - SEE SITE 5X5' TO SW CORNE UTILITY PLAN. (VERIFY WITH FLOOR PLANS FOR LOCATIONS). PAINT STRIPING (3" WIDE AT 2.0' O.C.) DENOTING PEDESTRIAN ACCESS WALKWAY OR NO PARKING. PLANNING AND ZONING SUMMARY: EXTERIOR BICYCLE PARKING - SEE DETAIL 8 / G2.0. FLAGGED W City of Tualatin, Oregon Jurisdiction: INTERIOR BICYCLE PARKING - SEE DETAIL 9 / G2.0. MG - General Manufacturing Land Use Zone: \_MONUMENT NOT SET LOADING DOCK RETAINING WALL WITH GUARDRAIL - SEE (UNDER AR ARER\$ 2,237 Assessor's Map No. & Tax Lots: 2S128A 000100 DETAIL 10 / G2.0. = 1.888 ACRE Street Address and Cross Streets: 20400 SW Cipole Road (at SW Cimino Street) NEW PUBLIC SIDEWALK PER CITY STANDARD DETAILS. 145<u>'-8"</u> 1,040,134 Sq. Ft. - 23.8± Acres Site Area: 10'-0" NEW CONCRETE DRIVEWAY PER CITY STANDARD DETAILS. Overlay zone: 12" CONCRETE BACKER CURB - SEE DETAIL 4 / G2.0. Wetlands 6.0' HIGH CHAIN LINK FENCE WITH BARB WIRE ABOVE - SEE Floodplain: CARPOOL / VANPOOL PARKING. PROVIDE CODE APPROVED SIGN ON A 1 1/2" DIA. STEEL PIPE, 4.0' HIGH AND PAINT PAVEMENT SECTIONS (NON AMENDED SOIL): "CARPOOL" (IN SPACE ON A.C.). (BASED ON 20 YEAR DESIGN LIFE FROM GEO REPORT, DATED --/--/--) METAL STAIR AT MANDOOR IN DOCK - SEE DETAIL 2 / G2.1. CAR PARKING AND AISLE - ---" A.C. PAVING OVER --" CRUSHED CONCRETE GARBAGE ENCLOSURE - SEE DETAIL 1 / G2.2. ROCK OVER COMPACTED SUBGRADE. EV CHARGING STATION FOR ELECTRIC CAR PARKING. MODERATE TRUCK MANEUVERING - ---" A.C. PAVING OVER --" CRUSHED ROCK OVER COMPACTED SUBGRADE. SEE ELECTRICAL FOR REQUIREMENTS. NEW MONUMENT SIGN PER DETAILS ON SHEET G2.3. PROVIDE HEAVY TRUCK MANEUVERING - ---" A.C. PAVING OVER --" CRUSHED (2) 1-INCH DIA. CONDUITS TO THIS LOCATION FROM THE ROCK OVER COMPACTED SUBGRADE. ELECTRICAL ROOM LIGHTS PER ELECTRICAL. DECEMBER 2021 1267.14' - N 89°37'58" W PROJ. NO. AS NOTED 20200748 CHECKED DRAWN 147'-0"± -~43'-5" PROPOSED RELOCATED PROPERTY LINE LIMIT OF WORK LINE TYPICAL PROPOSED SITE PLAN





3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

PROJECT NAME

124th AVENUE

124th AVENUE TUALATIN, OREGON

**BUSINESS PARK** 

DATE
DECEMBER 2021

SCALE
AS NOTED
PROJ. NO.
20200748

DRAWN
KAN
CHECKED
HGK

SITE DETAILS

NOTE:
SEE GRADING PLAN
FOR ALL FINISH ELEVATIONS

WALK DOOR
AT GRADE
MAX.

DOCK PLAN AND SECTION

GS119.dwg 1" = 10'-0"

BUILDING WALL—

-0.10' (1.2") OVERHEAD DOOR

WARP SLAB EDGE 0.10'(1.2"):1.0'

AT GRADE OHD
- SEE STRUCTURAL DETAILS

AT GRADE

-0.0<u>8 (1") AC</u> +0.42 TOW - TRUCK

LOADING DOCK

> 0.00' FIN. FLOOR REFERENCE

OVERHEAD DOOR AND-

TRACK ABOVE

LENGTH AS REQUIRED TO MEET 2'-6" ABOVE GRADE REQUIREMENT

TRAPPED CATCH BASIN—

GUARDRAIL PER DETAIL—

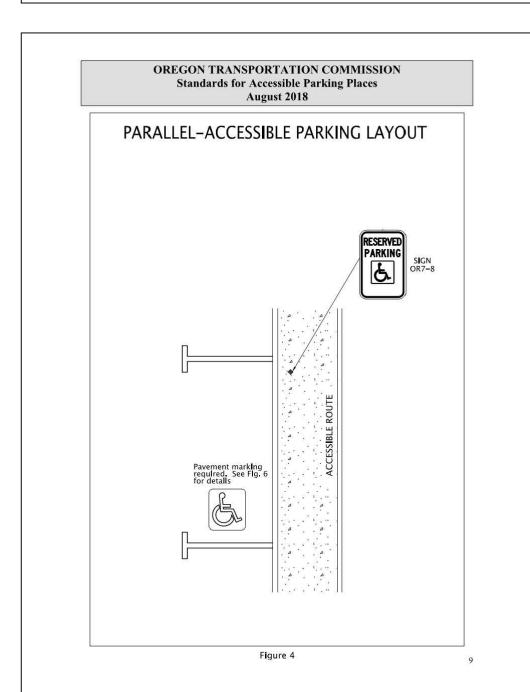
TOP OF RETAINING WALL-

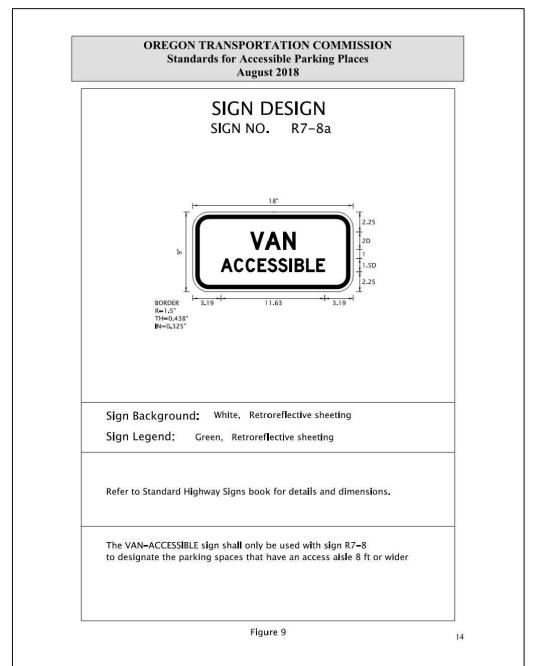
AC GRADE BEYOND WALL

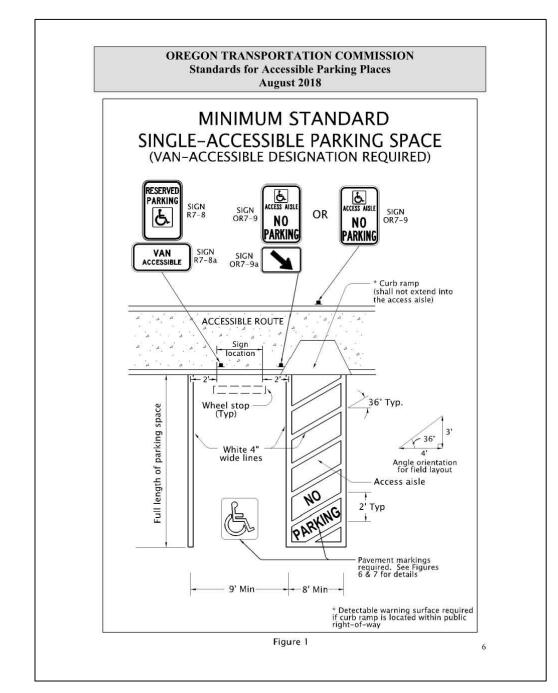
\_-2.5' AC 3.0' FROM WALL\

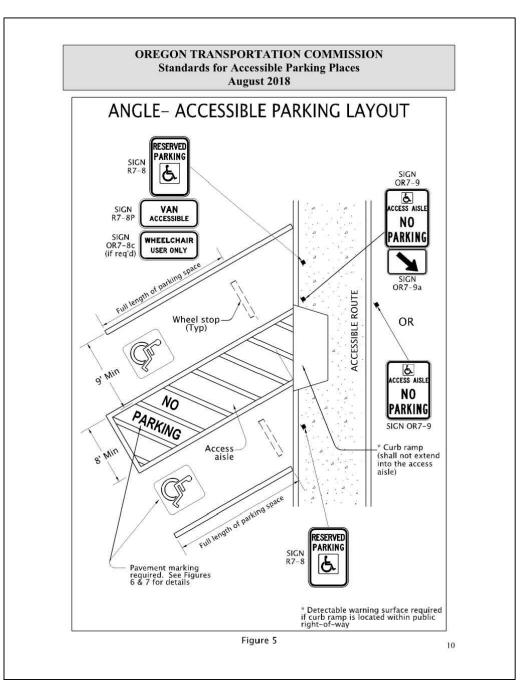
WARP AC —
TRANSITION

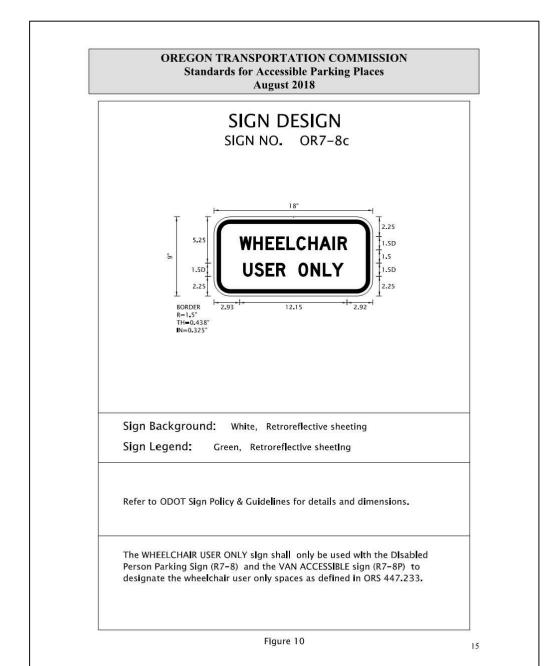
WARPED AC TRANSITION

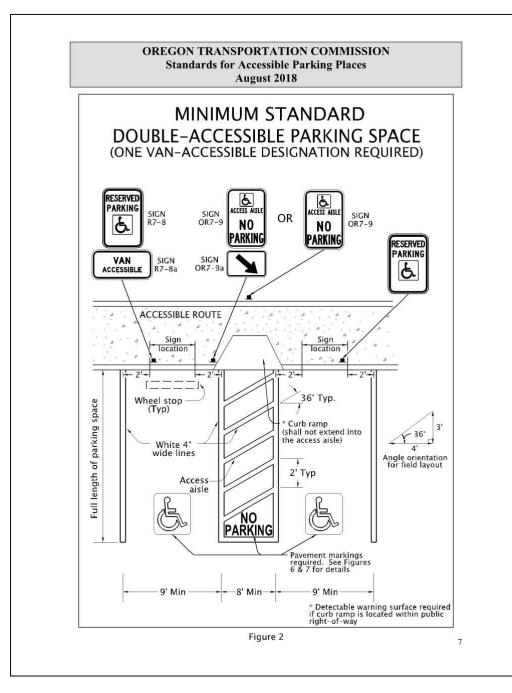


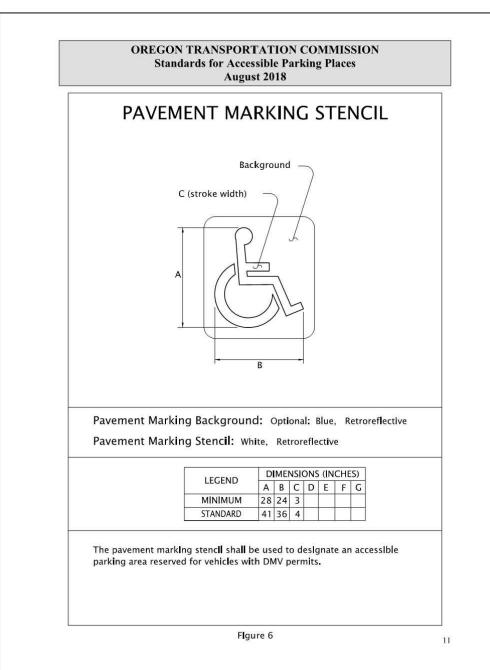


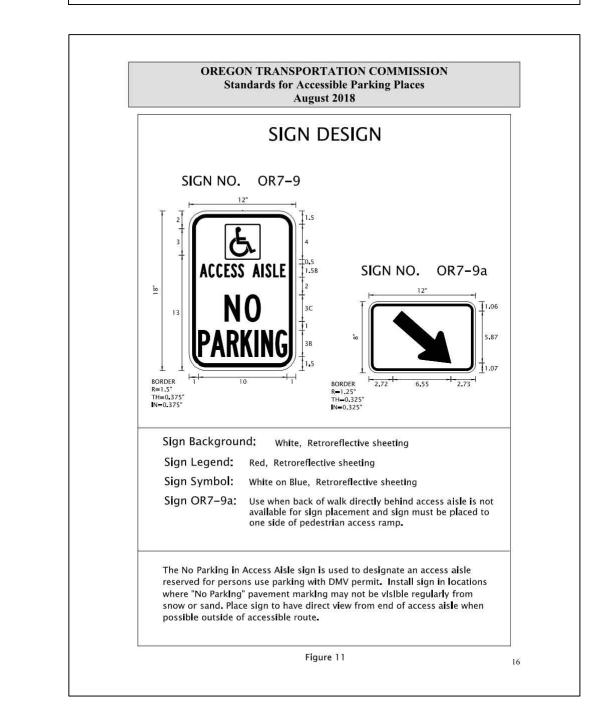














3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

PROJECT NAME 124th AVENUE **BUSINESS PARK** 

> 124th AVENUE TUALATIN, OREGON

_								
REVI	REVISIONS							
<b></b>	DATE	DESCRIPTION						
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-								
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DECEMBER 2021 SCALE PROJ. NO. 20200748 AS NOTED DRAWN CHECKED KAN

> ADA PARKING LAYOUT AND SIGNAGE

Standards for Accessible Parking Places August 2018 MINIMUM STANDARD FIVE- ACCESSIBLE PARKING SPACES (ONE WHEELCHAIR USER DESIGNATION REQUIRED) PARKING VAN ACCESSIBLE ACCESS AISLE NO PARKING ACCESSIBLE ROUTE Access aisle (6' Min) \* Detectable warning surface require if curb ramp is located within public right-of-way Figure 3

OREGON TRANSPORTATION COMMISSION

Standards for Accessible Parking Places

August 2018

PAVEMENT MARKING LEGEND

Pavement Marking Legend: White or Yellow, Retroreflective

be required for all access aisles next to accessible parking spaces. Engineering judgement should be used for placement location to give best visual location to prevent illegal use of access alsle. Yellow may be used instead of white to increase contrast between access aisle white

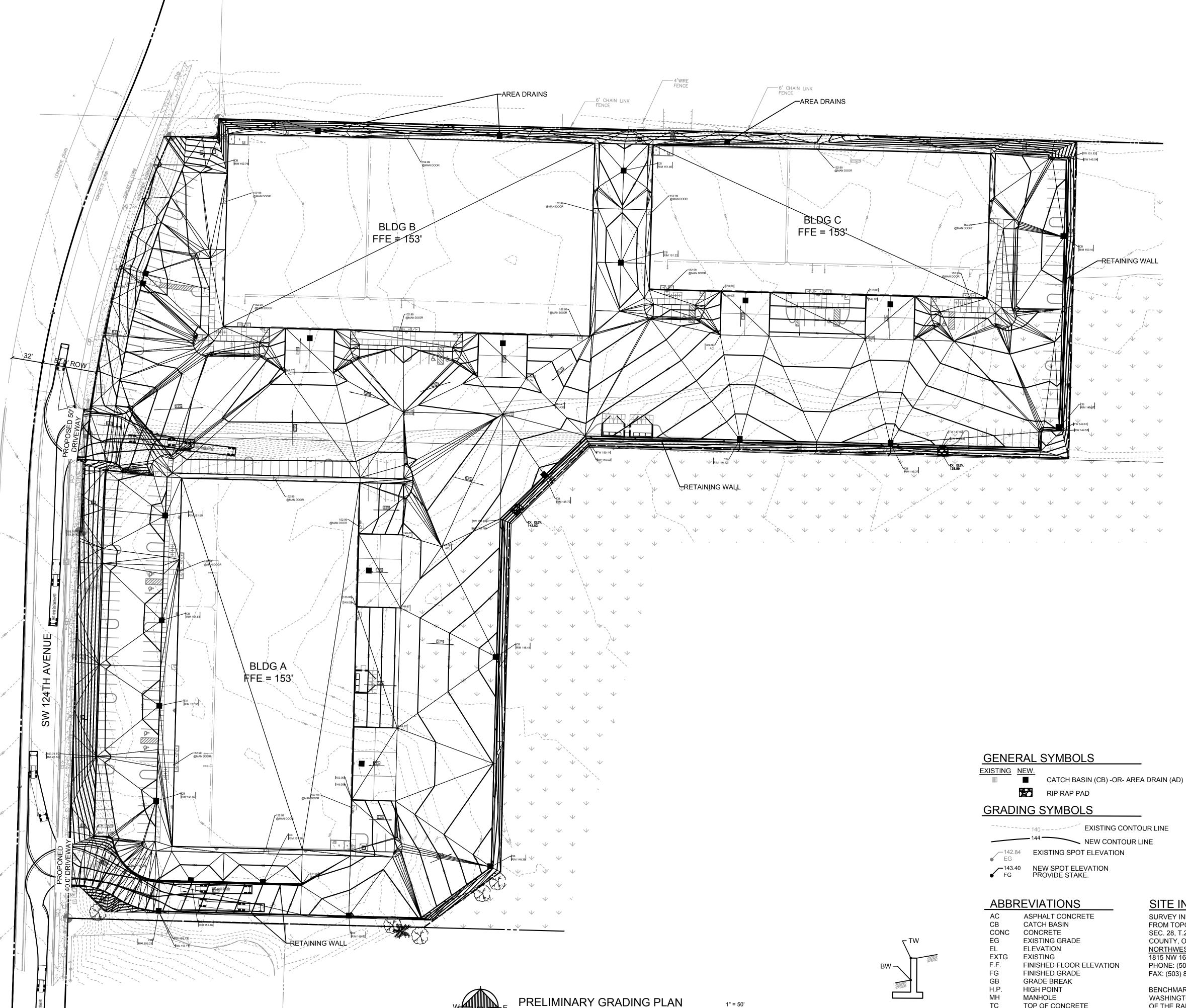
lines and the "No Parking" legend.

The "No Parking" pavement marking is used to designate an access aisle

reserved for persons use parking with a DMV permit. This marking shall

Figure 7

OREGON TRANSPORTATION COMMISSION



## **GENERAL NOTES**

- 1. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND TOPOGRAPHY ARE AS SHOWN ON PLANS. WHEN ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 2. CONTRACTOR TO LEAVE ALL AREAS OF PROJECT FREE OF DEBRIS AND UNUSED CONSTRUCTION MATERIAL.
- 3. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, SURVEYING, TESTING, PERSONNEL, TRAFFIC SAFETY CONTROL AND AS-BUILTS FOR ALL PHASES OF CONSTRUCTION.
- 4. CONTRACTOR SHALL COORDINATE PUBLIC IMPROVEMENTS AND INSPECTIONS WITH THE CITY OF TUALATIN.
- PROPERTY LINE BEARINGS AND DISTANCES AS WELL AS SITE AREA CALCULATIONS ARE PROVIDED FOR ZONING AND PERMIT REVIEW ONLY. REAL PROPERTY LEGAL DESCRIPTIONS AND AREA CALCULATIONS ARE TO BE PROVIDED BY A REGISTERED PROFESSIONAL SURVEYOR.
- 6. PROPERTY CORNER SURVEY MONUMENTS, WHICH ARE IN DANGER OF BEING DISTURBED OR DESTROYED BY THE WORK OF THIS PROJECT, SHALL BE TIED-OUT BY A REGISTERED PROFESSIONAL SURVEYOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, AND SHALL BE RE-SET IN ACCORDANCE WITH STATE LAW, IMMEDIATELY FOLLOWING THE COMPLETION OF ALL CONSTRUCTION
- 7. ADA REQUIREMENTS ALL ACCESSIBLE ROUTES AND PARKING SPACES, AISLES, RAMPS, ETC. SHALL BE INCOMPLIANCE WITH THE CURRENT OSSC REQUIREMENTS AND ANSI-A117.1-2009 (ADAAG). ADDITIONAL DESIGN PARAMETERS:
- 7.1. MAXIMUM RAMP SLOPE SHALL NOT EXCEED 7.5% 7.2. MAXIMUM WALK CROSS-SLOPE SHALL NOT EXCEED 1.5%
- 7.3. MAXIMUM LANDING SLOPE SHALL NOT EXCEED 1.5%
- 7.4. NO PORTION OF ADA PARKING SPACES AND AISLES SHALL EXCEED 2.0%

## **GRADING NOTES**

- ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 811 OR 1-800-332-2344. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 811 OR 1-800-332-2344.
- 2. ALL NEW CONTOURS SHOWN ARE FINISH GRADES, UNLESS OTHERWISE NOTED.
- 3. ORGANIC AND UNDESIRABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION AREA AS DIRECTED BY THE ENGINEER.
- 4. ALL DISTURBED AREAS NOT LANDSCAPED ARE TO BE HYDROSEEDED OR BEDDED IN STRAW TO PREVENT EROSION. SEE EROSION CONTROL SHEET, CX.X.
- 5. ALL FILL AREAS SHALL BE STRIPPED OF ORGANIC MATERIAL FILL WILL BE PLACED IN 6 TO 8-INCH LIFTS AND COMPACTED TO 95 PERCENT RELATIVE MAXIMUM DENSITY ACCORDING TO ASTM D-1557 STANDARDS. BASE ROCK IN THE PAVED AREAS WILL BE COMPACTED TO 95% ASTM D-1557. LANDSCAPED AREAS WILL BE COMPACTED TO 90 PERCENT. ADDITIONAL COMPACTION TESTS MAY BE REQUIRED BY THE CITY OR THE ENGINEER OF RECORD, IF POOR COMPACTION EFFORTS ARE OBSERVED DURING CONSTRUCTION. COMPACTION REPORTS FROM A REPUTABLE TESTING LAB WILL BE SUPPLIED TO THE ENGINEER.

## **ENGINEERING + DESIGN**

3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

PROJECT NAME

124th AVENUE **BUSINESS PARK** 

124th AVENUE TUALATIN, OREGON

REVISIONS #\ DATE DESCRIPTION

APRIL 2022 SCALE PROJ. NO. 20200748 AS NOTED DRAWN CHECKED MMG

> **PRELIMINARY GRADING PLAN**

EXISTING CONTOUR LINE \_\_\_\_\_144 \_\_\_\_\_\_ NEW CONTOUR LINE

TOP OF CONCRETE BOTTOM OF WALL

TOP OF WALL TYP. TYPICAL

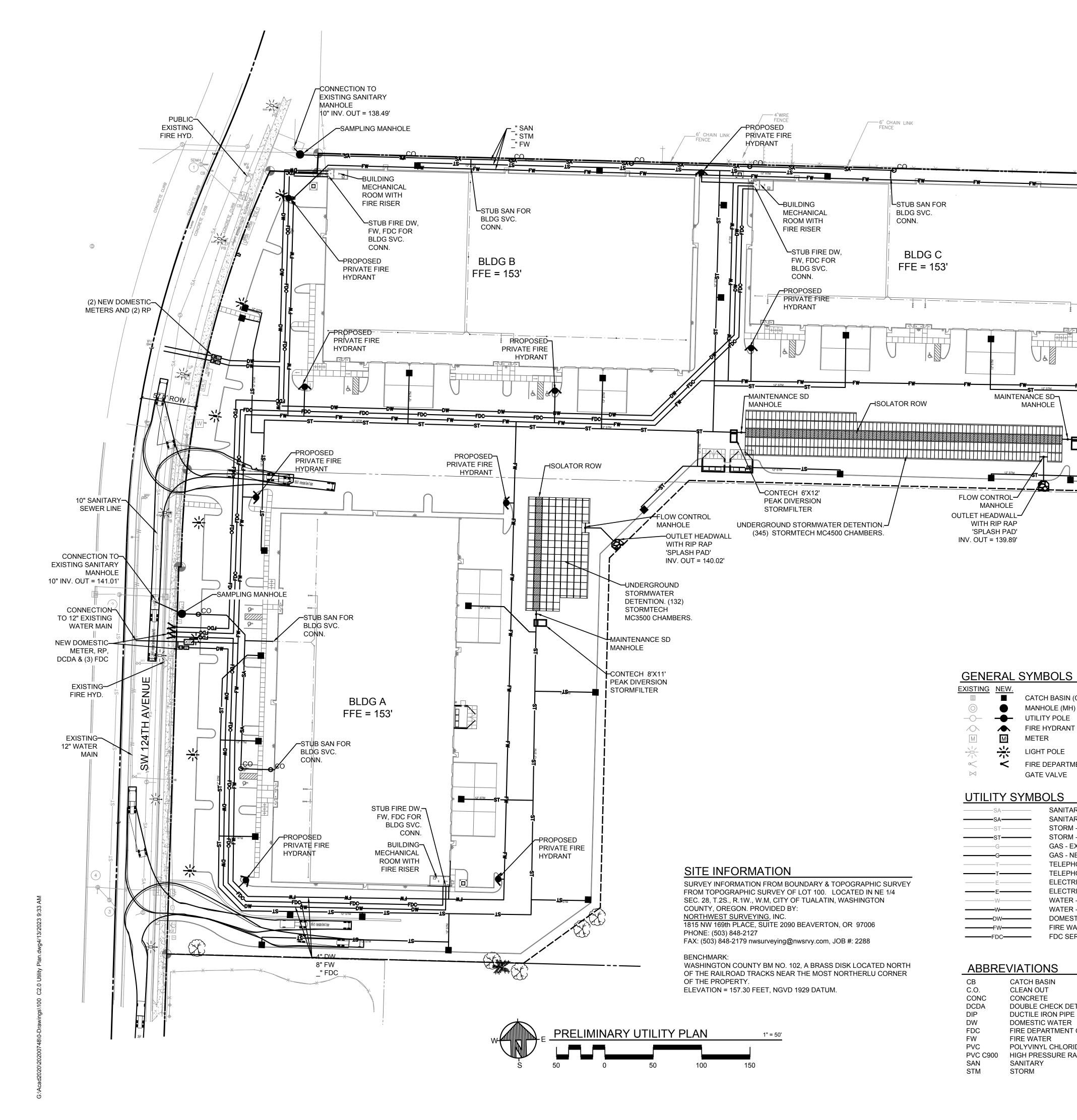
SURVEY INFORMATION FROM BOUNDARY & TOPOGRAPHIC SURVEY

FROM TOPOGRAPHIC SURVEY OF LOT 100. LOCATED IN NE 1/4 SEC. 28, T.2S., R.1W., W.M, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON. PROVIDED BY: NORTHWEST SURVEYING, INC. 1815 NW 169th PLACE, SUITE 2090 BEAVERTON, OR 97006 PHONE: (503) 848-2127

FAX: (503) 848-2179 nwsurveying@nwsrvy.com, JOB #: 2288

SITE INFORMATION

BENCHMARK: WASHINGTON COUNTY BM NO. 102, A BRASS DISK LOCATED NORTH OF THE RAILROAD TRACKS NEAR THE MOST NORTHERLU CORNER OF THE PROPERTY. ELEVATION = 157.30 FEET, NGVD 1929 DATUM.



## **UTILITY NOTES**

PROPOSED-

HYDRANT

CONTECH STEEL 4

CARTRIDGE

CATCH BASIN (CB) -OR- AREA DRAIN (AD)

FIRE DEPARTMENT CONNECTION (FDC)

SANITARY - EXISTING

TELEPHONE - EXISTING

DOMESTIC WATER - NEW

FDC SERVICE LINE - NEW

**TELEPHONE - NEW ELECTRICAL - EXISTING** 

ELECTRICAL - NEW

WATER - EXISTING

FIRE WATER - NEW

DOUBLE CHECK DETECTOR ASSEMBLY

FIRE DEPARTMENT CONNECTION

HIGH PRESSURE RATED PVC

WATER - NEW

CATCH BASIN

DUCTILE IRON PIPE

POLYVINYL CHLORIDE

DOMESTIC WATER

CLEAN OUT

CONCRETE

FIRE WATER

SANITARY

STORM

SANITARY - NEW

STORM - EXIST

STORM - NEW

GAS - NEW

**GAS - EXISTING** 

MANHOLE (MH)

FIRE HYDRANT (FH)

UTILITY POLE

LIGHT POLE

GATE VALVE

**CATCHBASIN** 

STORMFILTER

-PROPOSED

HYDRANT

PRIVATE FIRE

PRIVATE FIRE

MAINTENANCE SD-

MANHOLE

- ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 811 OR 1-800-332-2344. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 811 OR 1-800-332-2344.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET. BEND OR ELBOW REQUIRED OR INSTALLATION OF THE UTILITIES SHOWN. THE DRAWINGS DO NOT DEPICT EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.
- 3. BEDDING AND PIPE ZONE BACKFILL SHALL BE PER "PIPE TRENCH EMBEDMENT" DETAIL, SHEET \_\_\_\_
- 4. CONTRACTORS SHALL CONTACT CITY OF TUALATIN PUBLIC WORKS AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL (\_\_\_) \_\_\_-\_\_\_.
- 5. THE MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER LINES & PUBLIC WATER LINES SHALL BE 10-FT.
- 6. EXCAVATED SEWER TRENCH SPOIL MATERIAL SHALL BE TESTED AND LEGALLY DISPOSED OF AT A PROPER LANDFILL OR OTHER APPROPRIATE
- ALL SEWER TRENCH LINES AND EXCAVATIONS SHALL BE PROPERLY SHORED AND BRACED TO PREVENT CAVING. UNUSUALLY DEEP EXCAVATIONS MAY REQUIRE EXTRA SHORING AND BRACING. ALL SHEETING, SHORING, AND BRACING OF TRENCHES SHALL CONFORM TO OREGON OCCUPATIONAL SAFETY AND HEALTH DIVISION (OSHA) REGULATIONS AND THE CITY OF TUALATIN STANDARD CONSTRUCTION SPECIFICATIONS.
- 8. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH PRIVATE UTILITIES FOR RELOCATION OF CONDUITS, POWER POLES, VAULTS, PEDESTALS, ETC.
- 9. ALL EXISTING FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN, OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION.
- 10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE & DEPTH OF EXISTING UTILITIES. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- 11. ALL SANITARY DRAINAGE, RAIN DRAIN AND STORM SEWER PIPING INSTALLED WITHIN 5-FT OF THE OUTSIDE OF THE BUILDING SHALL BE CAST IRON, SCHEDULE 40 ABS-D.W.V., SCHEDULE 40 PVC-D.W.V. OR OTHER MATERIAL AS APPROVED BY THE OREGON AMENDMENTS TO THE UNIFORM PLUMBING
- 12. HORIZONTAL STORM AND SANITARY DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL AND EACH RUN OF PIPING, WHICH IS MORE THAN 100 FOOT IN TOTAL DEVELOPED LENGTH. SHALL BE PROVIDED WITH A CLEANOUT FOR EACH 100 FOOT, OR FRACTION THEREOF, IN LENGTH OF SUCH PIPING. AN ADDITIONAL CLEANOUT SHALL BE PROVIDED FOR EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135 DEGREES. THE MAXIMUM DISTANCE ALLOWED BETWEEN MANHOLES IS 300 FEET. ALL REQUIRED CLEANOUTS MAY NOT BE LOCATED ON PLAN.
- 13. PRIVATE SANITARY SEWER LINES, DENOTED "SAN" OR "SA", SHALL BE PVC 3034 OR APPROVED EQUAL IN ACCORDANCE WITH PROJECT SPECIFICATIONS. USE PVC C900 OR CL52 DIP WHERE COVER IS LESS THAN 15-INCHES FROM PIPE CROWN TO PAVED SURFACE. NOTE: ALL SANITARY PIPING WITHIN 5-FT OF AN EXTERIOR BUILDING WALL SHALL BE SCHEDULE 40 PVC OR OTHER PER APPROVED MATERIALS PER THE UNIFORM PLUMBING
- 14. PRIVATE STORM SEWER LINES, DENOTED "STM" OR "ST", SHALL BE PVC 3034, PVC C900, PVC C905, HDPE, CL52 DIP OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED. ALL STORM PIPING SHOWN HAS BEEN SIZED FOR A MANNING'S "N" VALUE = 0.013 AND PIPE INVERTS HAVE BEEN DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE
- 15. ALL STORM LATERALS SHALL HAVE #10 GAUGE COPPER WIRE OR TRACER TAPE AT 1.5-FT TO 2.0-FT ABOVE THE LATERAL.
- 16. ALL DOMESTIC (POTABLE) WATER SERVICE LINES OUTSIDE OF THE BUILDING DENOTED "DW" SHALL BE SCHEDULE 40 PVC OR PVC C900 CL150 UNLESS OTHERWISE NOTED. FIRE WATER SERVICE LINES OUTSIDE OF THE BUILDING DENOTED, "FW", "FDC" SHALL BE PVC C900 CL150 UNLESS OTHERWISE
- 17. CONCRETE THRUST BLOCKING AND/OR MECHANICAL RESTRAINTS ("MEGA-LUG" OR EQUIVALENT) SHALL BE PROVIDED AT ALL WATERLINE FITTINGS AS REQUIRED BY THE CITY OF TUALATIN. BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH AND CLEAR OF JOINT ACCESSORIES. BEARING AREA OF THRUST BLOCK SHALL BE COMPUTED ON THE BASIS OF ALLOWABLE SOIL BEARING PRESSURE. SEE DETAIL SHEET
- 18. MINIMUM COVER OVER WATERLINES IS TO BE 36 INCHES AS MEASURED FROM FINISH GRADE TO TOP OF PIPE. MINIMUM VERTICAL SEPARATION BETWEEN WATERLINE AND SANITARY SEWER AT A CROSSING IS 18 INCHES. SANITARY SEWER AT WATERLINE CROSSINGS WITH LESS THAN THE MINIMUM VERTICAL SEPARATION SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATERTIGHT JOINTS. IN SUCH CASES THE 18-FOOT LENGTH OF SANITARY SEWER SHALL BE CENTERED AT THE CROSSING.
- 19. PRIOR TO BEING PLACED IN SERVICE, THE WATERLINE AND SERVICES SHALL BE FLUSHED, STERILIZED, AND RE-FLUSHED, ALL IN ACCORDANCE WITH THE CITY OF TUALATIN "PUBLIC WORKS CONSTRUCTION CODE." CITY CREWS WILL TAKE BACTERIOLOGICAL TESTS WHEN SO REQUESTED BY THE CONTRACTOR INSTALLING WATER MAINS. THE REQUEST FOR THESE TESTS SHALL BE MADE THROUGH THE CITY INSPECTOR.
- 20. PRIOR TO CONSTRUCTION, ALL ON-SITE FIRE WATER SYSTEM LINE SIZES, METER SIZES, DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) SIZES, AND OTHER APPURTENANCES SHOWN ON THE UTILITY PLAN SHALL BE VERIFIED BY THE FIRE PROTECTION ENGINEER FOR THE PROJECT. ANALYSIS OF THE SYSTEM SHALL BE FROM THE NEW FACILITY SERVICE TO THE POINT OF CONNECTION WITH THE PUBLIC WATER SYSTEM. THE MAKES AND MODELS OF ALL SYSTEM COMPONENTS SHALL BE ACCEPTABLE PER WATER DISTRICT LIST OF APPROVED COMPONENTS.



3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

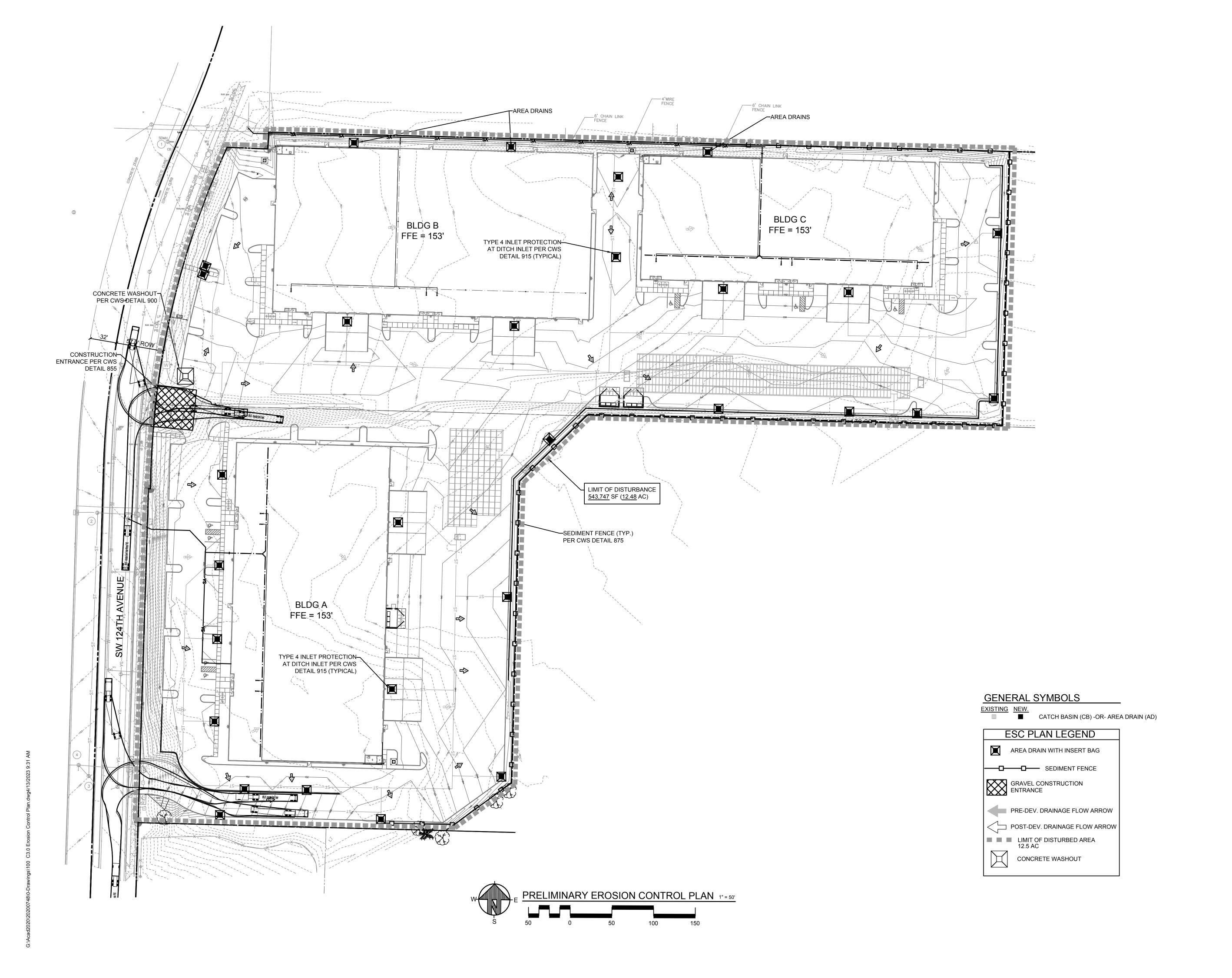
PROJECT NAME 124th AVENUE **BUSINESS PARK** 

> 124th AVENUE TUALATIN, OREGON

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AS NOTED	20200748					
DRAWN	CHECKED					
MMG	BMD					

**PRELIMINARY UTILITY PLAN** 



3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

PROJECT NAME

124th AVENUE

**BUSINESS PARK** 

124th AVENUE TUALATIN, OREGON

REVISIONS								
<u></u>	DATE	DESCRIPTION						

DATE APRIL 2022							
SCALE AS NOTED	PROJ. NO. 20200748						
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PRELIMINARY EROSION CONTROL PLAN

C3.0

## SCALE: 1" = 60

1-FT. CONTOUR INTERVAL

## TOPOGRAPHIC SURVEY SW 124 AVE

IN THE NE 1/4 AND THE NW 1/4 OF SECTION 27

T.2S., R.1W., WILLAMETTE MERIDIAN CITY OF TUALATIN, WASHINGTON COUNTY, OREGON PREPARED FOR
VLMK ENGINEERING + DESIGN
C/O HAVLIN KEMP
503-222-4453

SANITARY SEWER NOTES

RIM=156.79'
I.E. 10" PVC (THRU S-N) = 140.49'

 $\frac{1}{2} \quad \text{RIM} = 154.24' \\ \text{I.E. } 10'' \text{ PVC (THRU S-N)} = 139.34'$ 

RIM=151.82' I.E. 10" PVC (THRU SW-NE) = 138.67' I.E. 8" CSP IN (W) = 138.77' RIM=154.84' I.E. 10" PVC (THRU E-N) = 138.49'

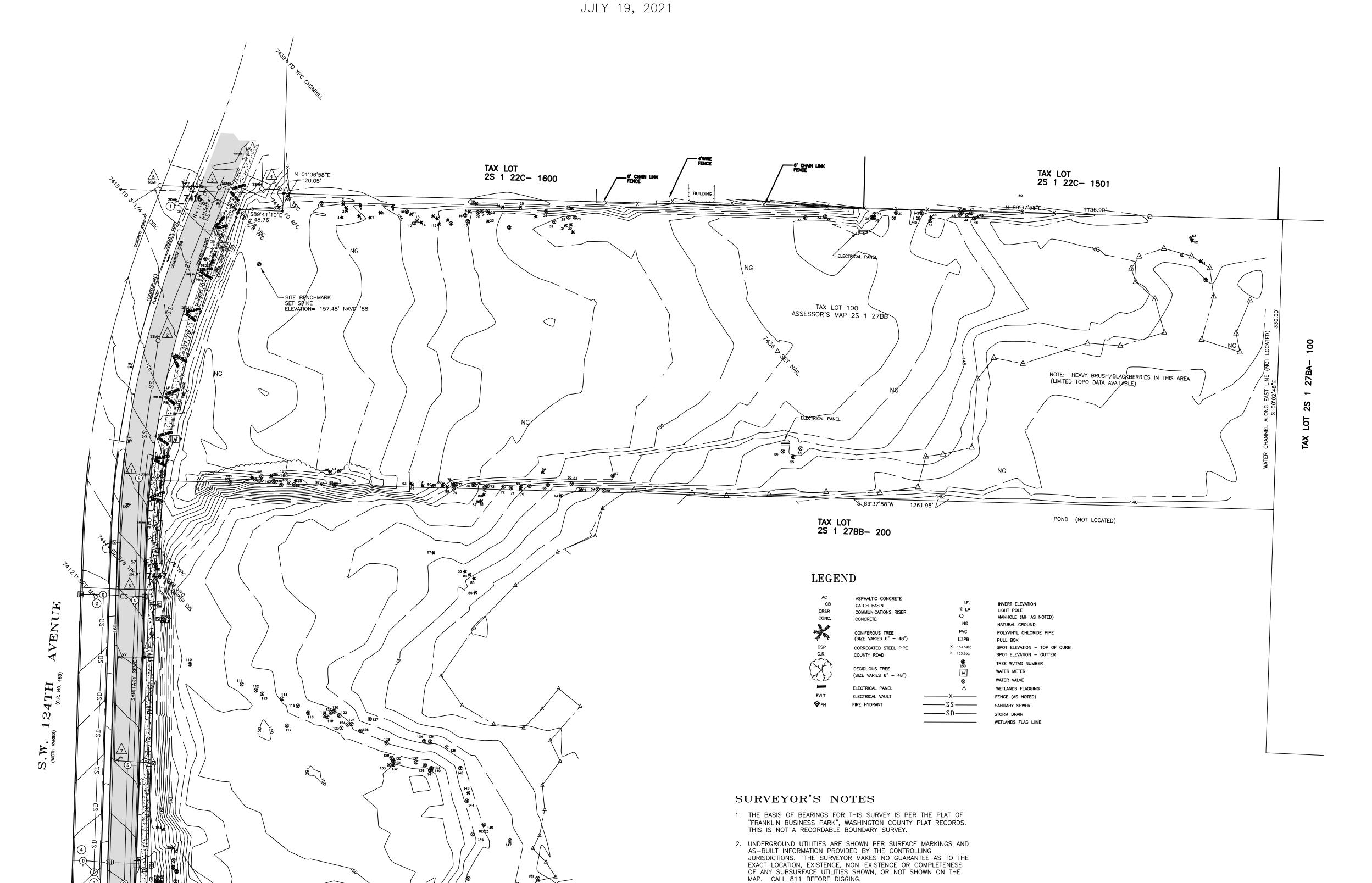
RIM=158.88'
I.E. 10" PVC IN (S) = 141.28'
I.E. IN (W) = 141.31'
I.E. 10" PVC OUT (N) = 141.01'

RIM=164.02'
I.E. 10" PVC IN (SW) = 155.01'
I.E. 10" PVC OUT (N) = 154.84'

## STORM DRAIN NOTES

3 RIM=163.99'
I.E. 12" CONC. IN (NW) = 153.86'
I.E. 12" CONC. IN (N) = 153.00'
I.E. 12" CONC. OUT (SE) (CAPPED) = 153.57'

(4) RIM=163.68'
I.E. 12" CONC. IN (E) = 159.86'
I.E. 12" CONC. IN (W) = 159.81'
I.E. 12" CONC. IN (S) = 159.23'



BENCHMARK

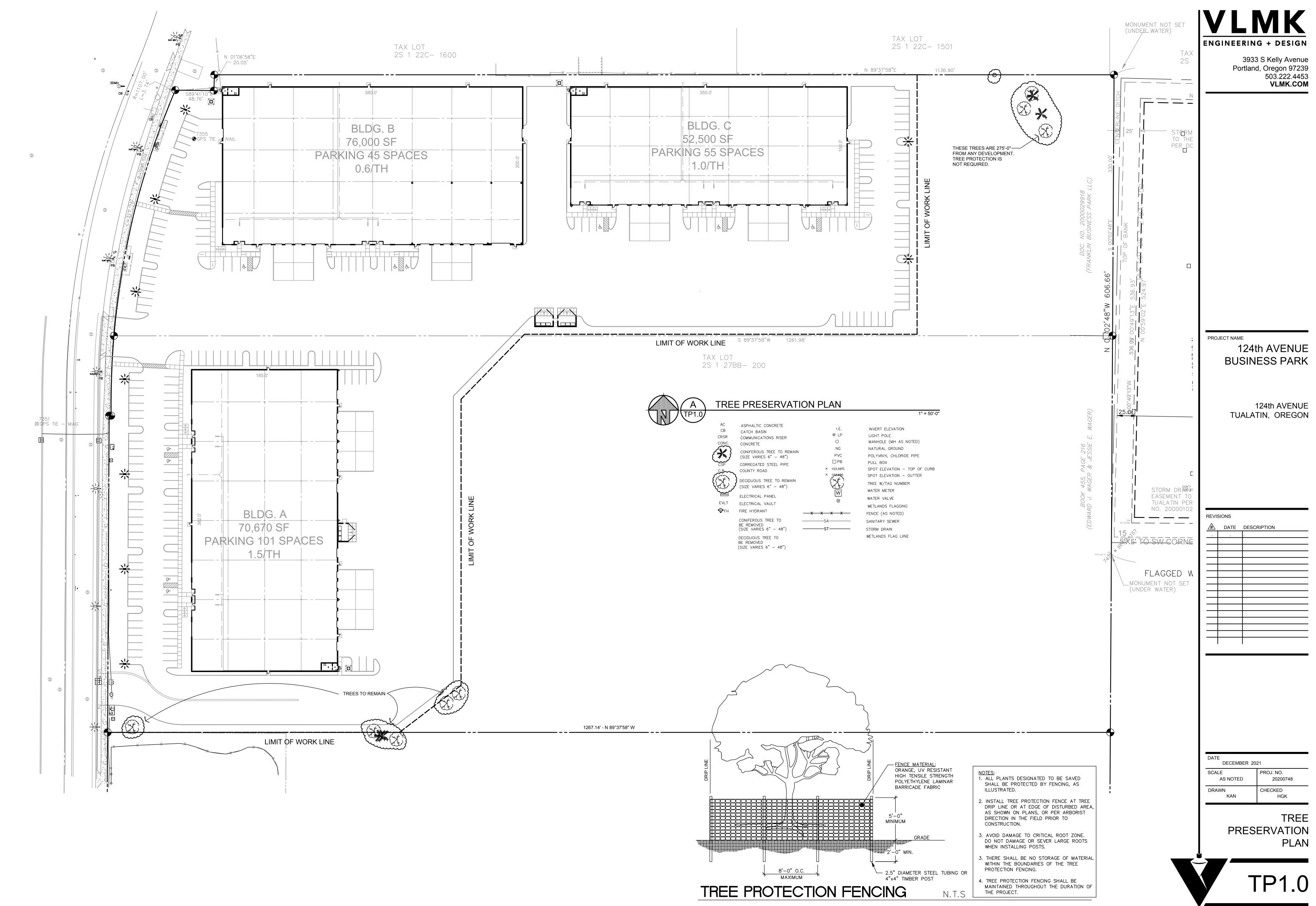
THE BENCHMARK USED FOR THIS PROJECT IS AN OPUS-DERIVED ELEVATION ON WEDDLE SURVEYING INC. POINT #7414. ELEVATION: 157.48' NAVD '88 (GEOID 12B)

REGISTERED PROFESSIONAL LAND SURVEYOR

JULY 25, 1995 MICHAEL D. RENNICK 2718

EXPIRES: DECEMBER 31, 2022

Excellence is our benchmark. 6950 SW HAMPTON ST., STE. 170, TIGARD, OR 97223 PH: (503) 941-9585 FAX: (503) 941-9640 www.weddlesurveying.net



**VLMK** ENGINEERING + DESIGN 3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** MONUMENT NOT SET (UNDER\_WATER) TAX LOT 2S 1 22C- 1501 6' CHAIN LINK FENCE TAX LOT 2S 1 22C- 1600 TAXN 01°06'58"E 1136.90' BLDG. C BLDG. B STORM TO THE PER DC 52,500 SF 76,000 SF PARKING 55 SPACES PARKING 45 SPACES 1.0/TH 0.6/TH PROJECT NAME **BUSINESS PARK** S 89°37′58″W 1261.98′ TAX LOT 2S 1 27BB- 200 124th AVENUE TUALATIN, OREGON REVISIONS STORM DRAMENT TO # DATE DESCRIPTION TUALATIN PER NO. 20000102 BLDG. A 70,670 SF \_15 <u>\_</u>5%5' TO SW CORNE PARKING 101 SPACES 1.5/TH FLAGGED SITE LIGHTING PLAN V\_MONUMENT NOT SET (UNDERAWAÆER\$2,237 = 1.888 ACRE ON- SITE LIGHT POLE (L.P.) BUILDING WALL PACK LIGHT (W.P.) PATH LIGHT - LIGHT BOLLARD DECEMBER 2021 1267.14' - N 89°37'58" W AS NOTED CHECKED HGK DRAWN SITE LIGHTING

124th AVENUE

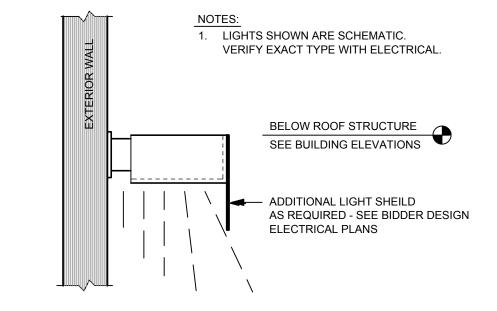
PLAN

LIGHT SOURCE SHIELDING PREVENTS DIRECT LINE OF SIGHT TO LIGHT SOURCE @ 3' ABOVE PROPERTY LINE PROPERTY LINE

## TYPICAL LIGHTING SHEILD

ALL SITE LIGHTING TO MEET THE REQUIREMENTS OF C.O. CANBY STANDARDS TABLE 16.43.070 FOR ZONE LZ-2 'AMBIENT LEVEL MEDIUM' LIGHTING

CONSTRUCTION DOCUMENTS TO PROVIDE LZ-2 LUMENS FOR LIGHTING IN ACCORDANCE WITH TABLE 17.43.070 LUMINAIRE MAXIMUMS





Performance Data Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user reinforment and application. Actual vettage may differ by 4-6% when operating between 120-480V +/- 10%. Contact factory or performance data on any configurations not shown here. Projected LED Lumen Maintenance 700 80C 700 --K 188W To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory. 0 25,000 50,000 100,000 DSX2 LED 80C 1000 1000 80C 1000 -- K 275W 1.0 0.98 0.97 0.95 **Electrical Load** | Drive Current | System | 120 | 208 | 240 | 277 | 347 | 480 | 80 700 188W 1.74 1.00 0.87 0.75 0.60 0.64 1.00 0.44 1.00 275W 2.55 1.47 1.27 1.10 0.88 0.64 100C (100 LEDs) 700 100C 700 -- K 218W T4 100 700 218W 2.02 1.16 1.01 0.87 0.70 0.56 FEATURES & SPECIFICATIONS

Note: Specifications subject to change without notice.

ULIZET 15 JU Plottcell - SSL twist-lock (120-2771)\*\*

BOLLIZET 15 JU Plottcell - SSL t One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com
• 2011-2013 Acuity Brands Lighting, Inc. All rights reserved.

DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

J.563\*\*

DM19AS Single unit DM29AS 2 at 90° + DM39AS 3 at 120° + D

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its

The D-Series distills the benefits of the latest in

LED technology into a high performance, high efficacy, long-life luminaire. The outstanding

excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting

applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Not available with 347 or 480V.

Specifies a ROAM® enabled turninier with 0.10V dimening capability, PER option required. Not available with 1000m3 347V or 1000m4 480V, Additional hardware required. Not available with 0.000m3 347V or 1000m4 480V, Additional hardware remained by 1000m4 delephyment; must be purchased enaminity. Call 1-800-44-26745 or email: sales@noamservices.net. Not available with PIRH, DS, BL30, BL50, or TLS.

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

photometric performance results in sites with

WALL / POLE LIGHTS

DSX2 LED Forward optics 80 C 80 LEDs (four engines) Rotated optics (four engines) 80 C 80 LEDs (four engines) 80 C

Example: SSA 20 4C DM19AS DDBXD

LIGHT SHOWN IS CAPABLE OF BOTH WALL AND POLE MOUNT SENSOR PROVIDED FOR SUNSET / SUNRISE OPERATION

One Lithonia Way • Conyers, Georgia 20012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com
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MATCH EXISTING LIGHTS & FIXTURES.

TYPICAL LIGHTING

D-Series Size 2

Weight 39 lbs (max): (17.7 kg)

ElumTools General Use Illuminance Results

Max/Min Maximum Minimum 2.8 fc 10.8 fc 0.0 fc 228.6 59.8

AS NOTED 20200748 CHECKED DRAWN KAN

PROJ. NO.

DECEMBER 2021

SCALE

**VLMK** 

ENGINEERING + DESIGN

PROJECT NAME

REVISIONS

# DATE DESCRIPTION

124th AVENUE

124th AVENUE

**BUSINESS PARK** 

TUALATIN, OREGON

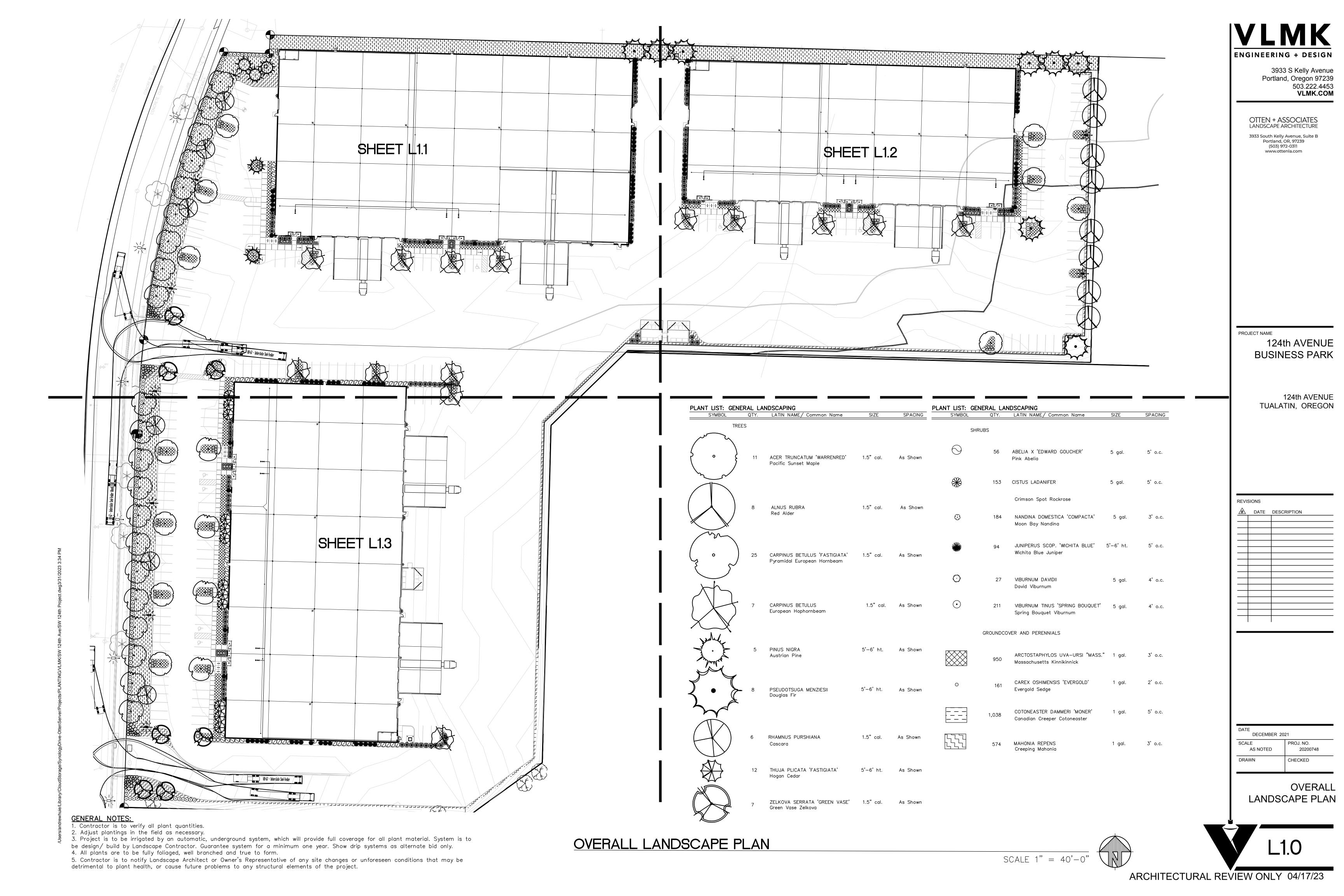
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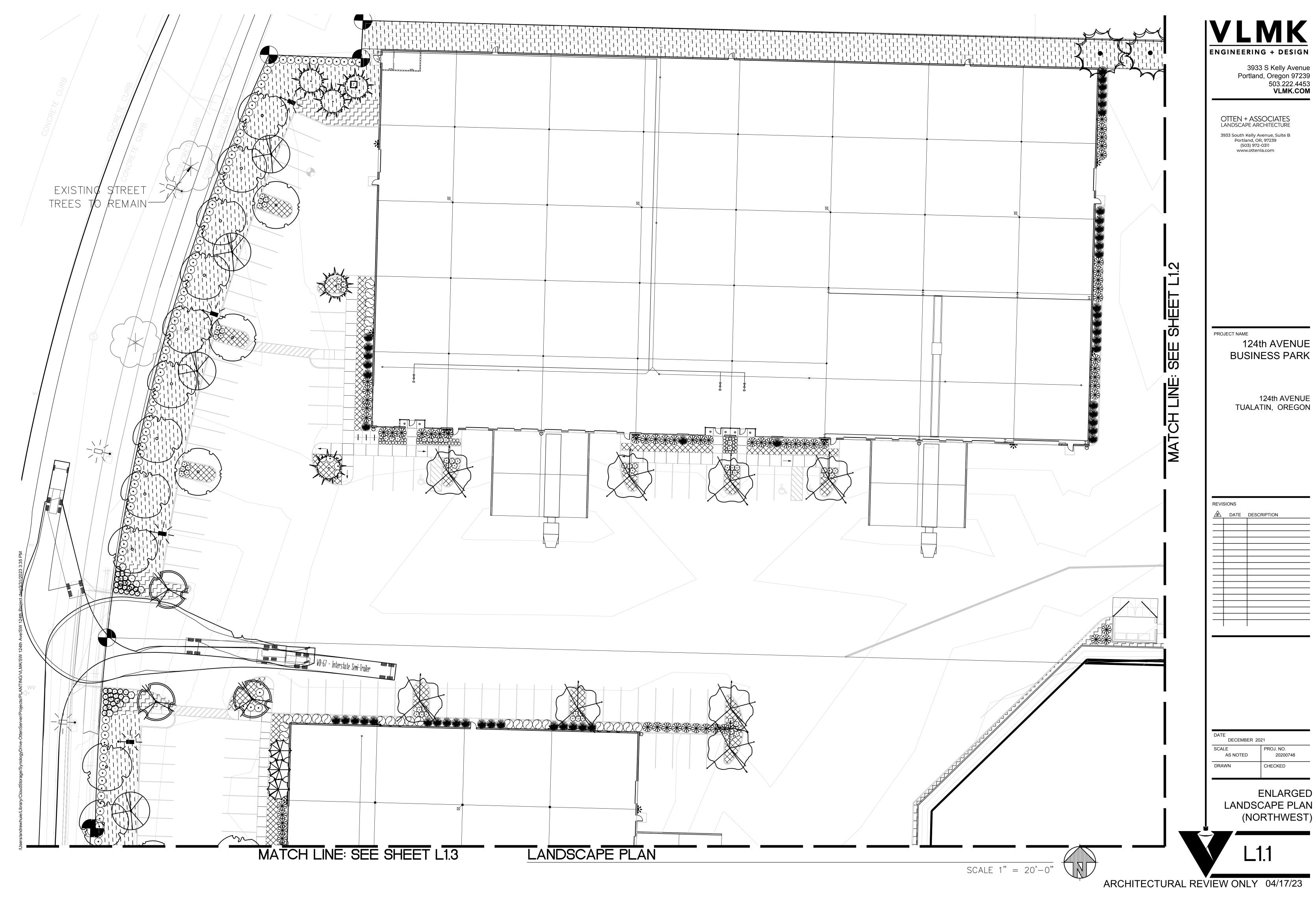
503.222.4453

VLMK.COM

Portland, Oregon 97239

SITE LIGHTING **DETAILS** 





ENLARGED (NORTHWEST)

3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

OTTEN + ASSOCIATES LANDSCAPE ARCHITECTURE

3933 South Kelly Avenue, Suite B Portland, OR, 97239 (503) 972-0311 www.ottenla.com

PROJECT NAME

124th AVENUE BUSINESS PARK

124th AVENUE TUALATIN, OREGON

DATE DESCRIPTION

DATE DESCRIPTION

DATE
DECEMBER 2021

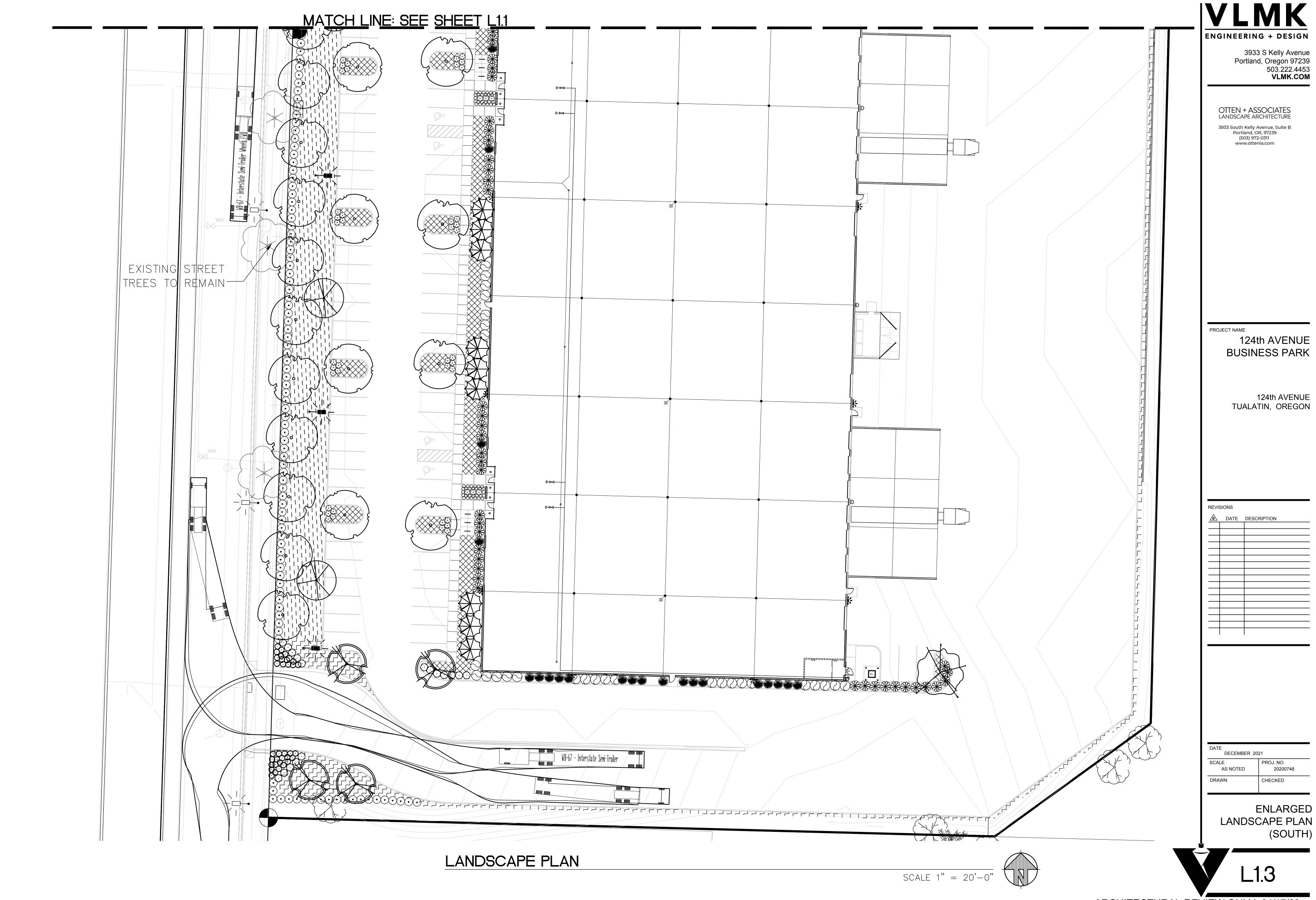
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AS NOTED

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ENLARGED LANDSCAPE PLAN (NORTHEAST)





**ENLARGED** 

(SOUTH)

### OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 — 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

**PROTECTION**: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliaged, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container—grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. Grow container plants in containers a minimum of one year prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well—branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds. Landscape Contractor is to verify with the General Contractor if the on—site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitablility of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

### PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round—up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all greas by rotatilling to a minimum depth of 8". Remove all stones (over 1½" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

**SOIL MIX:** Prepare soil mix in each planting hole by mixing:

2 part native topsoil (no subsoil)

1 part compost (as approved)

formular the following rates: Small shrubs - 1/8 lb./ plant

8 Shrubs - 1/3 to 1/2 lb./ plant

Trees - 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5—4—3) with micro—nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8—16—8) with micro—nutrients and 50% slow—releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22—16—8) with micro—nutrients and 50% slow—releasing nitrogen. <u>DO NOT</u> apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of

👱 prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

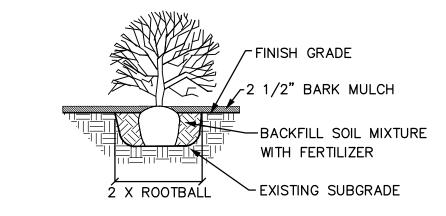
When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright. Tree stakes shall be removed after one year.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2½" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

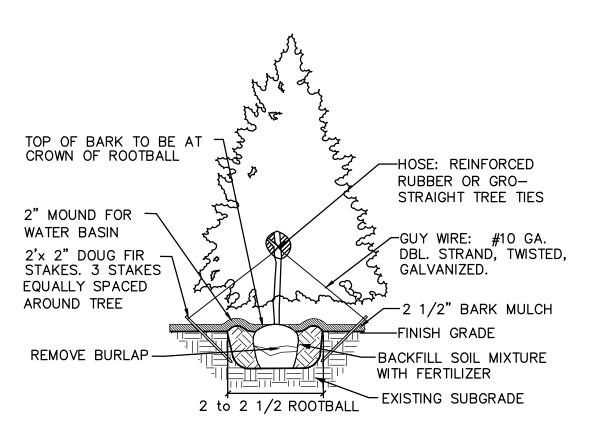
GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

. CLEAN—UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.



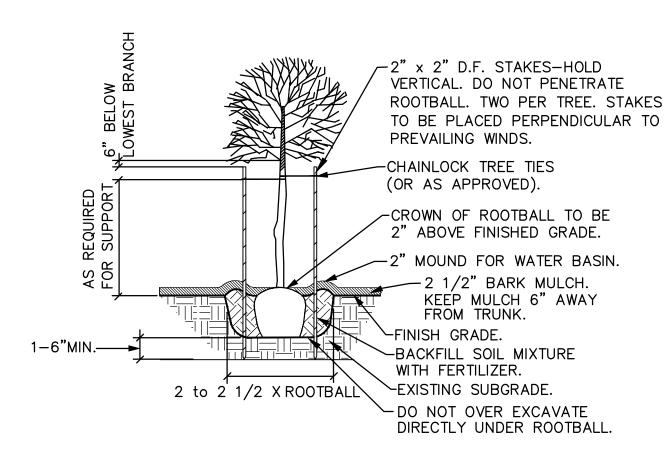
SHRUB PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE STAKING DETAIL

NOT TO SCALE



NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

GENERAL DECIDUOUS TREE PLANTING DETAIL

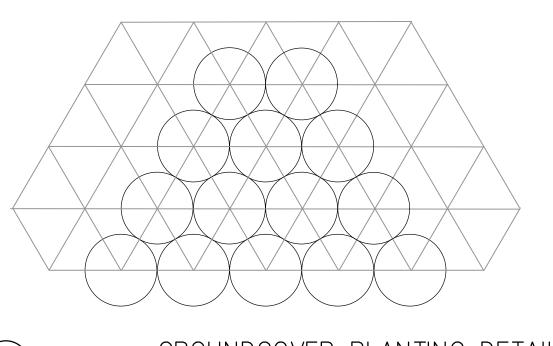
124th AVENUE NOT TO SCALE TUALATIN. OREGON

REVISIONS

PROJECT NAME

124th AVENUE

**BUSINESS PARK** 



GROUNDCOVER PLANTING DETAIL NOT TO SCALE

# DATE DESCRIPTION

**ENGINEERING + DESIGN** 

OTTEN + ASSOCIATES

LANDSCAPE ARCHITECTURE

3933 South Kelly Avenue, Suite B

Portland, OR, 97239

(503) 972-0311 www.ottenla.com

3933 S Kelly Avenue

503.222.4453

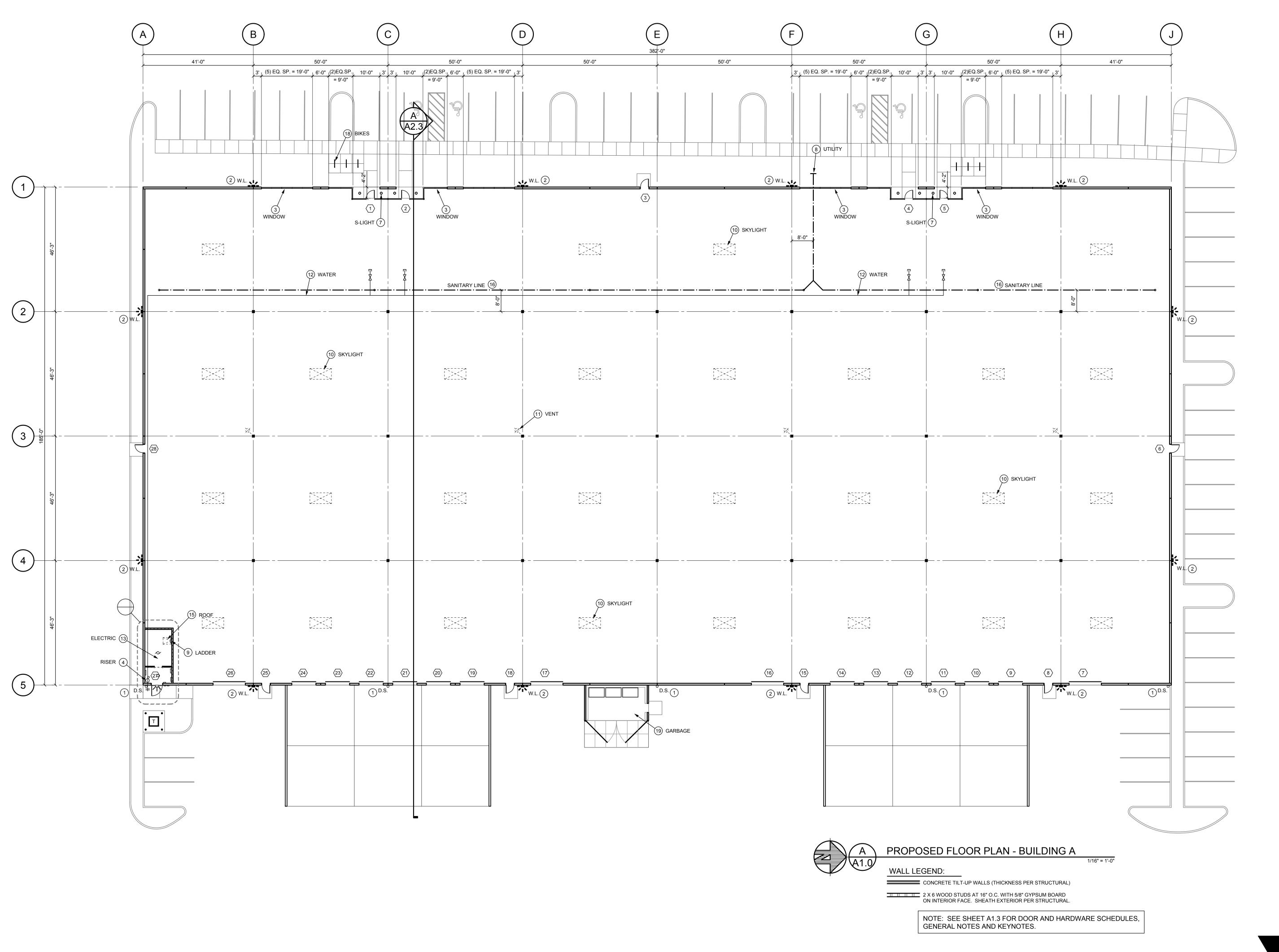
**VLMK.COM** 

Portland, Oregon 97239

DECEMBER 2021 SCALE PROJ. NO. AS NOTED 20200748 CHECKED

> LANDSCAPE **DETAILS & SPECIFICATIONS**





3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

124th AVENUE BUSINESS PARK

> 124th AVENUE TUALATIN, OREGON

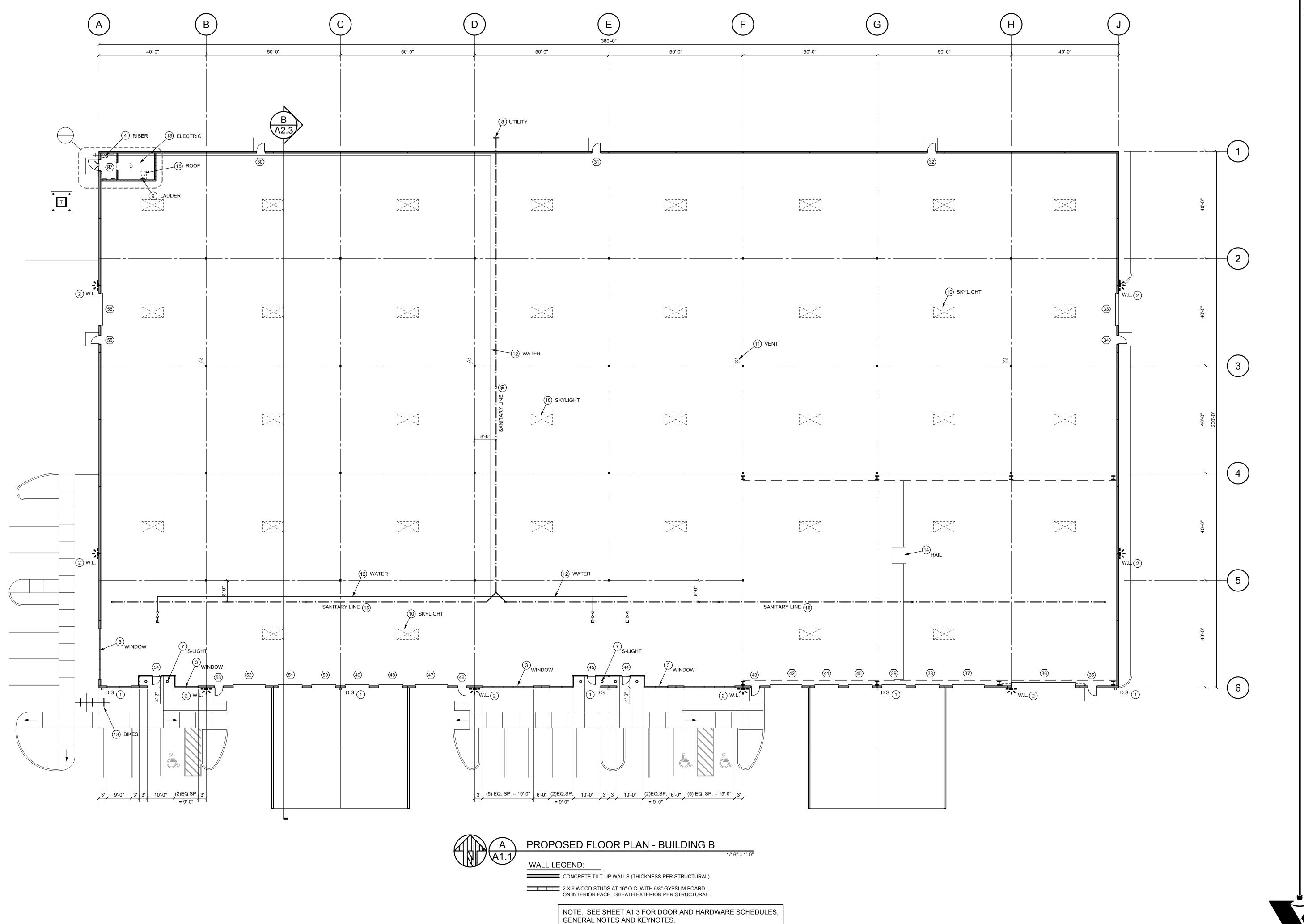
DATE
DECEMBER 2021

SCALE
AS NOTED
PROJ. NO.
20200748

DRAWN
KAN
CHECKED
HGK

PROPOSED FLOOR PLAN BUILDING A

A1.0



3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

124th AVENUE
BUSINESS PARK

124th AVENUE TUALATIN, OREGON

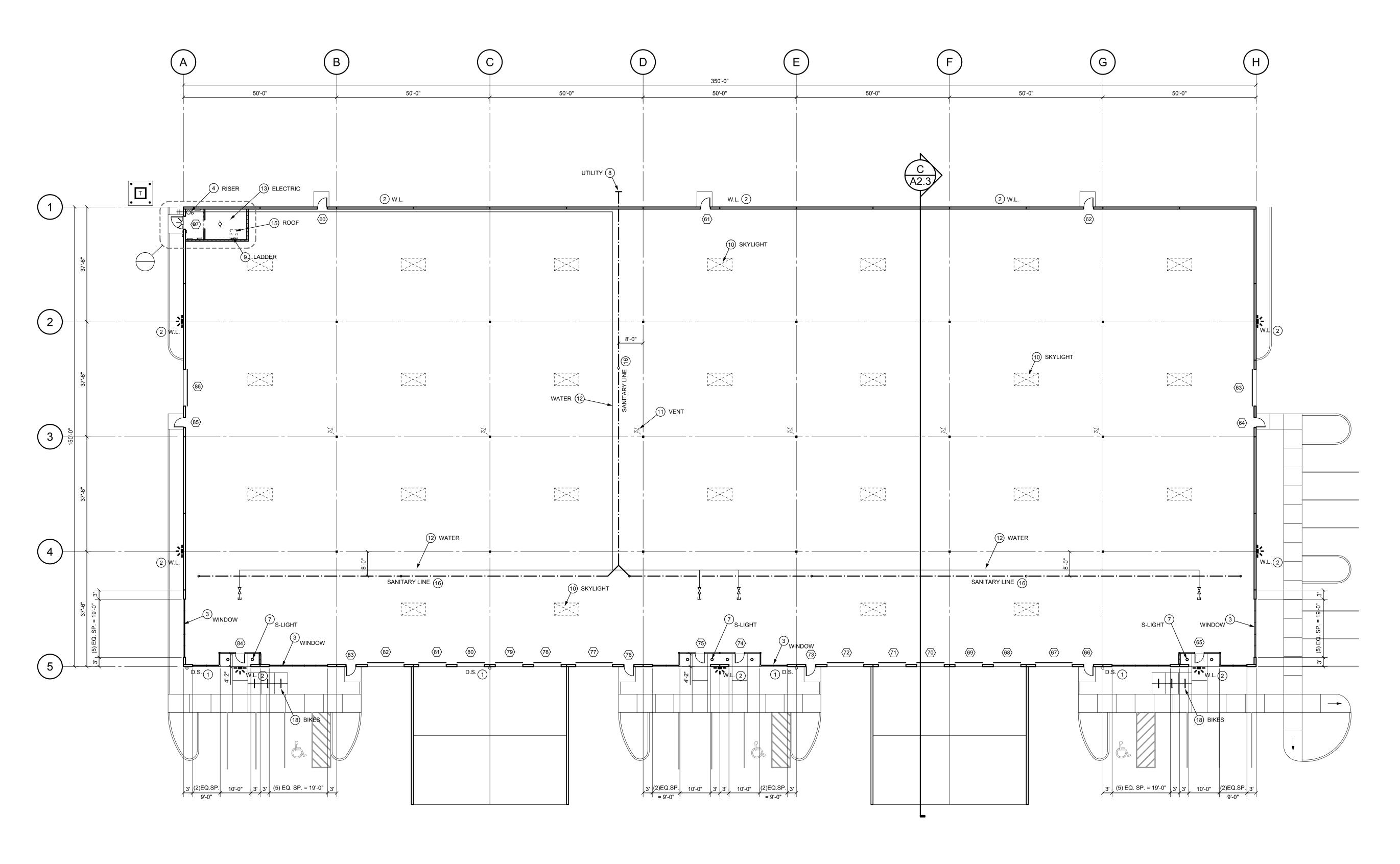
DATE
DECEMBER 2021

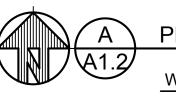
SCALE
AS NOTED
PROJ. NO.
20200748

DRAWN
KAN
CHECKED
HGK

PROPOSED FLOOR PLAN BUILDING B

A1.





PROPOSED FLOOR PLAN - BUILDING C

WALL LEGEND:

CONCRETE TILT-UP WALLS (THICKNESS PER STRUCTURAL)

2 X 6 WOOD STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD ON INTERIOR FACE. SHEATH EXTERIOR PER STRUCTURAL.

NOTE: SEE SHEET A1.3 FOR DOOR AND HARDWARE SCHEDULES, GENERAL NOTES AND KEYNOTES.

**VLMK** ENGINEERING + DESIGN

3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

PROJECT NAME 124th AVENUE **BUSINESS PARK** 

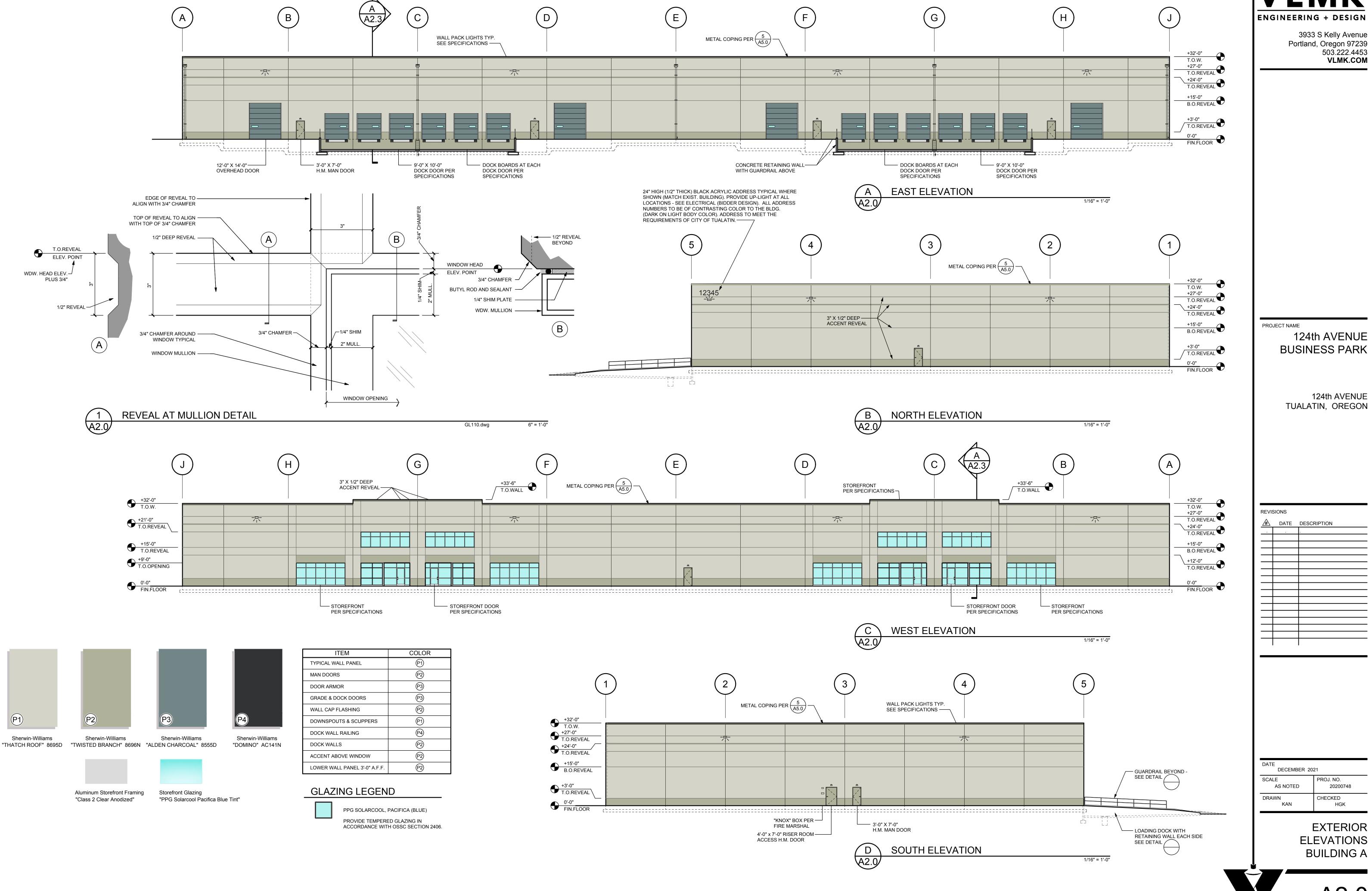
124th AVENUE TUALATIN, OREGON

REVISIONS A DATE DESCRIPTION

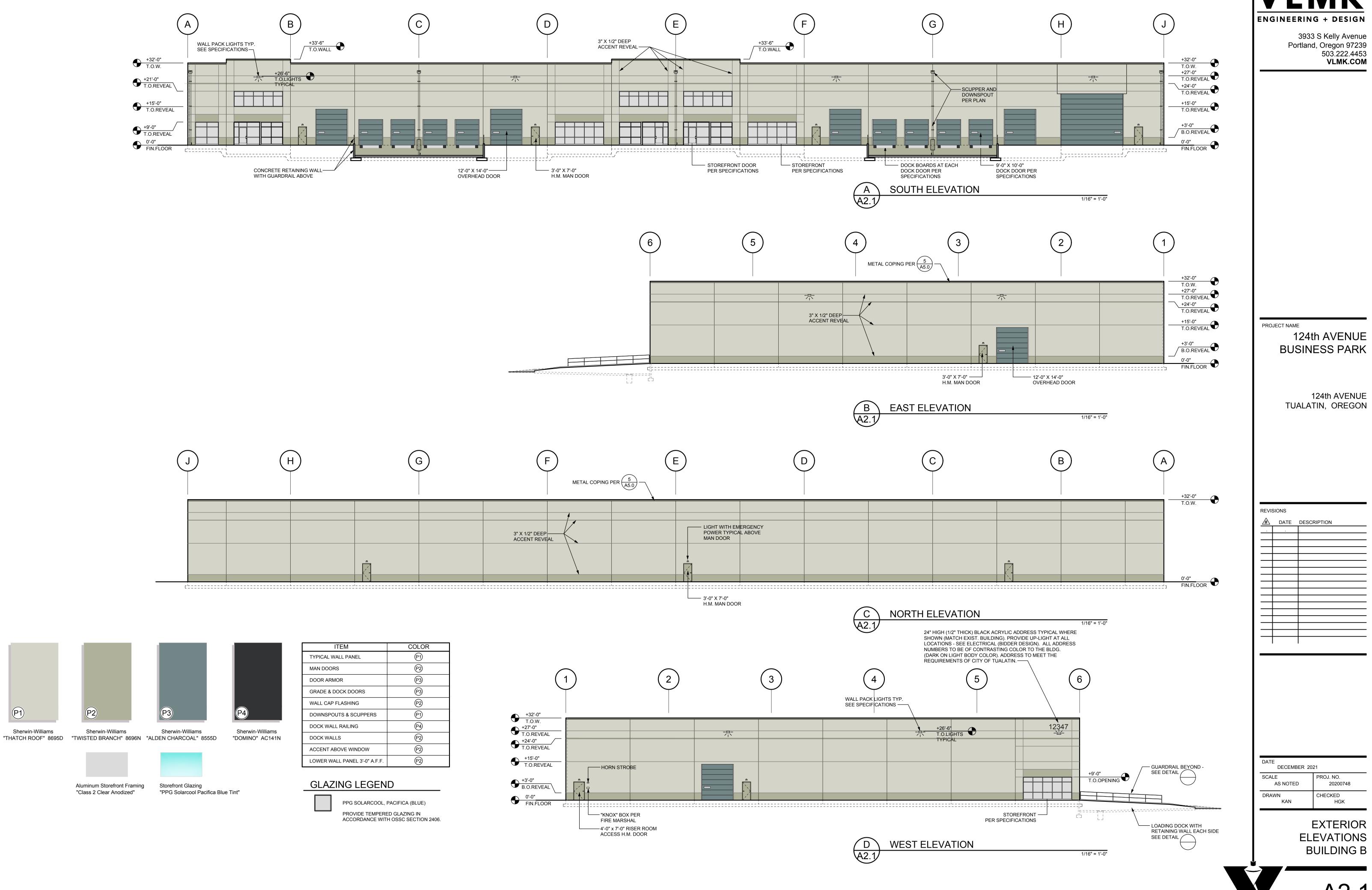
DECEMBER 2021 PROJ. NO. AS NOTED 20200748 DRAWN CHECKED

> PROPOSED FLOOR PLAN **BUILDING C**

> > A1.2



124th AVENUE



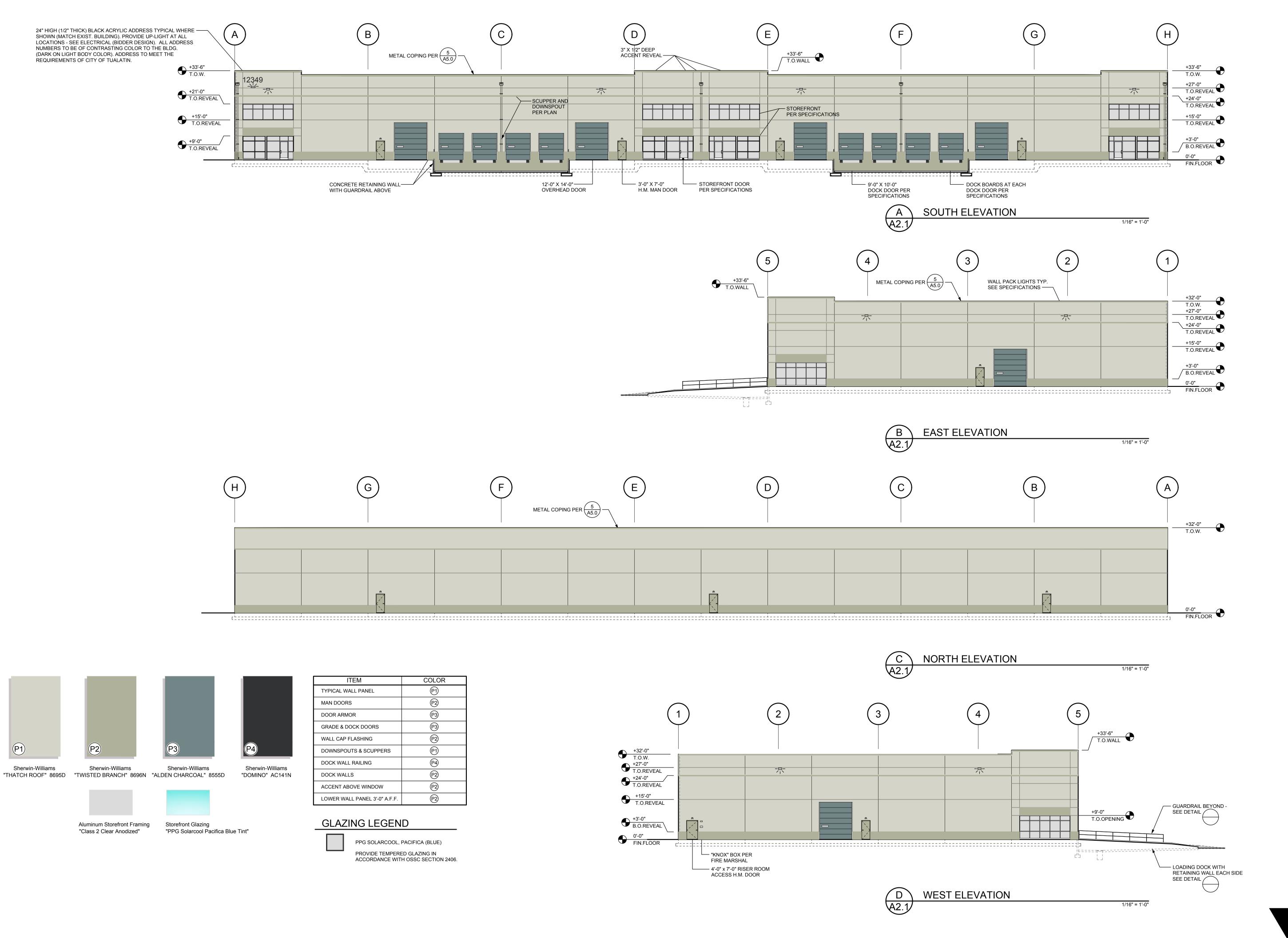
3933 S Kelly Avenue

124th AVENUE

124th AVENUE

20200748

**EXTERIOR ELEVATIONS** 



3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM** 

PROJECT NAME

12/1th Δ\/F

124th AVENUE BUSINESS PARK

124th AVENUE TUALATIN, OREGON

DATE
DECEMBER 2021

SCALE
AS NOTED
PROJ. NO.
20200748

DRAWN
KAN
CHECKED
HGK

EXTERIOR ELEVATIONS BUILDING C

A2.2